

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

Please Read  
 Application And  
 Notes, If Any,  
 Attached

BU TION

**PERMIT**

Permit Number: 090437

This is to certify that MJ DEVELOPMENT COMPANY LLC Agent

has permission to New 2 story, 3 bedroom, 2 1/2 Bath Home 22' x 2' Garage

AT 16  
18 Yale St

C 436 A006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas W. Mackley* 6/10/09  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0437	Issue Date:	CBL: 436 A006001
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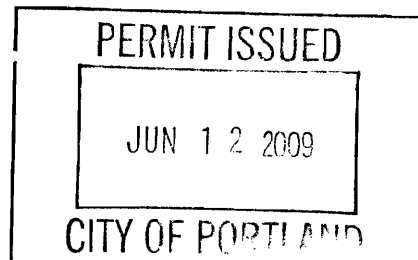
Location of Construction: 4 12 Yale St	Owner Name: MJ DEVELOPMENT COMPANY	Owner Address: 31 OLD CAMPUS DR	Phone: 207-776-1762
Business Name:	Contractor Name: M J Development	Contractor Address: 31 Old Campus Dr Portland	Phone: 2077974386
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - New 2 story, 3 bedroom, 2 1/2 Bath Home w/ 22' x 24' garage	Permit Fee: \$1,295.00	Cost of Work: \$120,000.00	CEO District: 4
Proposed Project Description: New 2 story, 3 bedroom, 2 1/2 Bath Home w/ 22' x 24' garage		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	
		Signature: _____		Signature: <i>Jm 6/10/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 05/08/2009	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>Panel 7-Zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2009-0047</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK w/ conditions</i> Date: <i>6/2/09 Jm</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>Jm</i> Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Yale St.</u>		
Total Square Footage of Proposed Structure/Area <u>1700 SF.</u>	Square Footage of Lot <u>80,000 SF.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>Book 4488</u> Block# <u>pg 191</u> Lot# <u>436-AS</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>M.J. Development</u> Address <u>31 Old Campus Dr</u> City, State & Zip <u>Portland 04103</u>	Telephone: <u>797-4380</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>120,000</u> C of O Fee: \$ <u>75.00</u> Total Fee: \$ <u>1,295</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>Rov Land.</u> Proposed Specific use: _____ Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Yale St. (3 lots)</u> Project description: <u>24x36 22x24 Garage 2 Bed 2 1/2 Baths. 2 story.</u>		
Contractor's name: <u>M.J. Development</u> Address: <u>31 Old Campus Dr.</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>797-4380</u> Who should we contact when the permit is ready: <u>Jim Wescott</u> Telephone: <u>776-1762</u> Mailing address: _____		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 5/7/09

**This is not a permit; you may not commence ANY work until the permit is issue**

Applicant: M.J. Development

Date: 5/15/09

Address: <sup>16</sup> Yale St (Lot 2)

C-B-L: 436-A-006  
perm # 09-0437

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build two story single family home w/ attached garage (22' x 24')

Sevage Disposal - city

Lot Street Frontage - 50' min. - 75.09' given.

Front Yard - 25' min. - 26' scaled to front of porch - ~~8' effective~~

Rear Yard - 25' min. - ~~35.5' scaled to deck~~ 35.5' scaled to back deck.

Side Yard - 2 stories - 14' min. - 14.5' scaled on ~~right~~ <sup>left</sup>  
14' scaled on street.

Projections - deck 12x8, deck stairs 5x4, porch

Width of Lot - 65' min. - 75' scaled

Height - 35' max. 23' scaled

Lot Area - 6,500 sq ft min. - 8071 sq ft given

Lot Coverage Impervious Surface - 35% = 2824.75

Area per Family - 6,500 sq ft min

Off-street Parking - 2 spaces required - 2 car garage OK

Loading Bays - N/A

Site Plan - minor/minor 2009-0047

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - panel 7 - zone X

24 x 36 = 864  
 house - ~~24 x 34 = 816~~  
 12 x 2 = 24  
 garage 22 x 24 = 528  
~~porch = 9.75 x 9 = 87.75~~  
 deck = 12 x 8 = 96  
 stairs = 4 x 5 = 20

OK  
 1532.75  
 1532

OK

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

  X   **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

  X   **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

  X   **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**  
**NOTE: There is a \$75.00 fee per inspection at this point.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

\_\_\_\_\_  
Signature of Applicant/Designee

*Thomas H. Mackley*  
\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

*6/10/07*  
\_\_\_\_\_  
Date

*Marked*

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0437	<b>Date Applied For:</b> 05/08/2009	<b>CBL:</b> 436 A006001
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<b>Location of Construction:</b> 16 Yale St	<b>Owner Name:</b> MJ DEVELOPMENT COMPANY	<b>Owner Address:</b> 31 OLD CAMPUS DR	<b>Phone:</b> 207-776-1762
<b>Business Name:</b>	<b>Contractor Name:</b> M J Development	<b>Contractor Address:</b> 31 Old Campus Dr Portland	<b>Phone:</b> (207) 797-4386
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home - New 2 story, 3 bedroom, 2 ½ Bath Home w/ 22' x 24' garage	<b>Proposed Project Description:</b> New 2 story, 3 bedroom, 2 ½ Bath Home w/ 22' x 24' garage
--------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------

**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 06/02/2009

**Note:****Ok to Issue:** 

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 05/21/2009

**Note:****Ok to Issue:** 

- 1) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 06/05/2009

**Note:****Ok to Issue:** 

- 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 8) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 16 Yale St	<b>Owner Name:</b> MJ DEVELOPMENT COMPANY	<b>Owner Address:</b> 31 OLD CAMPUS DR	<b>Phone:</b> 207-776-1762
<b>Business Name:</b>	<b>Contractor Name:</b> M J Development	<b>Contractor Address:</b> 31 Old Campus Dr Portland	<b>Phone</b> (207) 797-4386
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

**Comments:**

5/15/2009-amachado: Spoke to Jim Wescott. A few discrepancies bewteen the building on the siteplan & the building on the building plans. The building plans are correct. He will bring in a revised siteplan that matches the building plans. Moving permit forward in the system but not signing off yet.

5/21/2009-tm: building review finished and waiting for Zoning and DRC approval before issuance.

5/28/2009-amachado: Jim Wescott submitted new building plans that he said matched the site plan . They don't match. Spoke to Jim and told him that the permit is on hold until the plans match. Permit is my hold basket.

6/2/2009-amachado: Received revised set of plans. Signed off. Permit is in Tom's hold basket waiting for DRC approval.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

2009-0047

Application I. D. Number

5/8/2009

Application Date

**Mj Development Company Llc**

Applicant

31 Old Campus Dr , Portland , ME 04103

Applicant's Mailing Address

James Wescott

Consultant/Agent

Agent Ph: (207)797-4380

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

**Marge Schmuckal**

16  
12  
~~8-8~~ Yale St , Portland, Maine

Address of Proposed Site

~~436-1000001~~ 4.36 A 006001

Assessor's Reference: Chart-Block-Lot

Single Family Home Lot 2

Project Name/Description

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify) \_\_\_\_\_

0

Proposed Building square Feet or # of Units      Acreage of Site      Proposed Total Disturbed Area of the Site      Zoning

**Check Review Required:**

- |                                                           |                                                   |                                                      |                                                |
|-----------------------------------------------------------|---------------------------------------------------|------------------------------------------------------|------------------------------------------------|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review         |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                | <input type="checkbox"/> Site Location         |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            | <input type="checkbox"/> Housing Replacement   |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       | <input type="checkbox"/> Other _____           |

Fees Paid:    Site Plan    \$50.00    Subdivision    \_\_\_\_\_    Engineer Review    \$250.00    Date    5/11/2009

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved       Approved w/Conditions See Attached       Denied

Approval Date \_\_\_\_\_      Approval Expiration \_\_\_\_\_      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee

Required\*

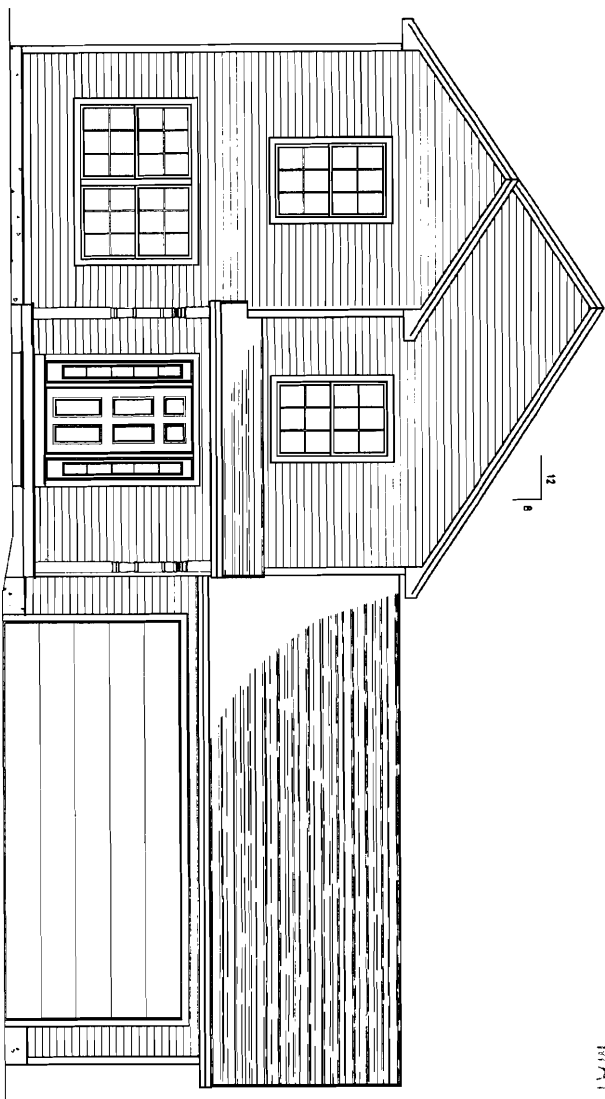
Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |                                                             |                |                                                    |                 |
|-------------------------------------------------------------|----------------|----------------------------------------------------|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____                                              | _____           |
|                                                             | date           | amount                                             | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____                                              |                 |
|                                                             | date           | amount                                             |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____                                              | _____           |
|                                                             | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|                                                             | date           |                                                    | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |                                                    |                 |
|                                                             | date           |                                                    |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____                                              | _____           |
|                                                             | submitted date | amount                                             | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____                                              |                 |
|                                                             | date           | signature                                          |                 |

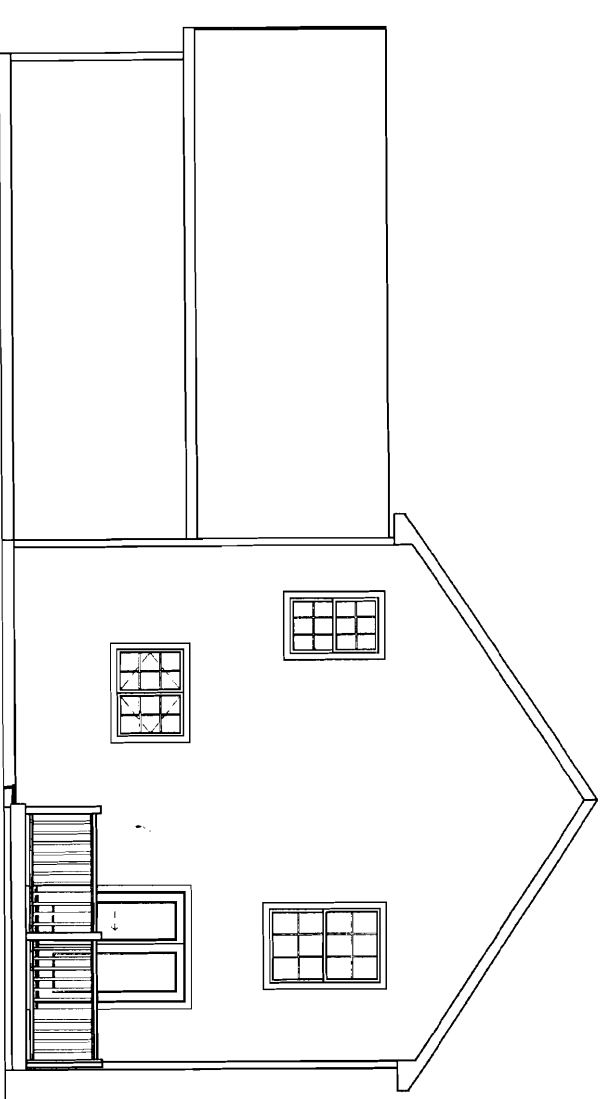


MAY 29 2008



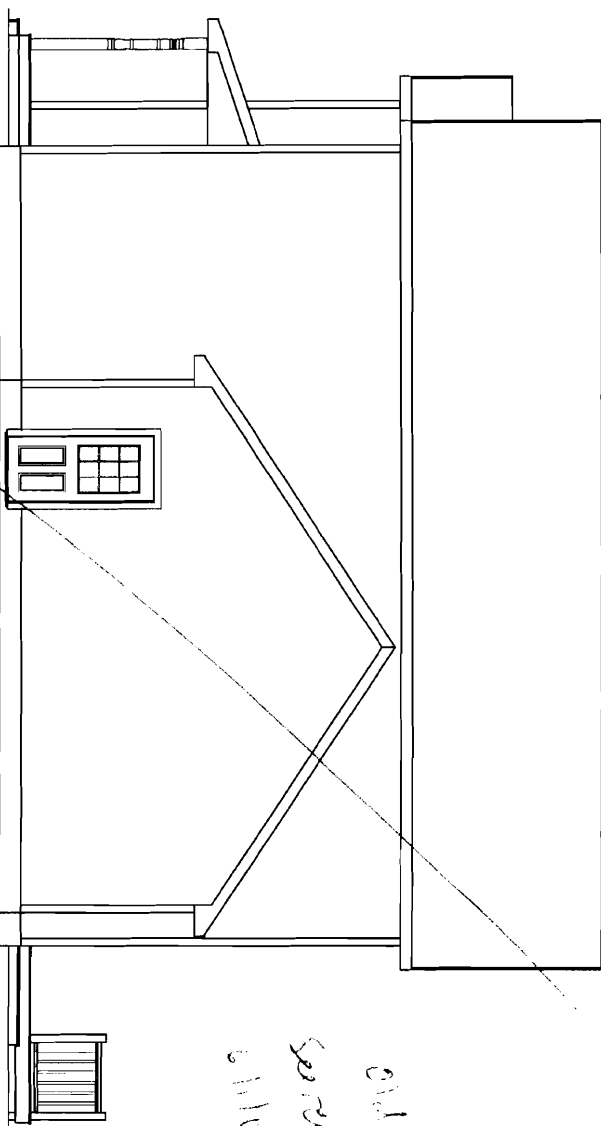
FRONT ELEVATION  
1/4" = 1'-0"

CONSTRUCTION NOTE:  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/CONTR. OR LOCAL CODES.



REAR ELEVATION  
1/4" = 1'-0"

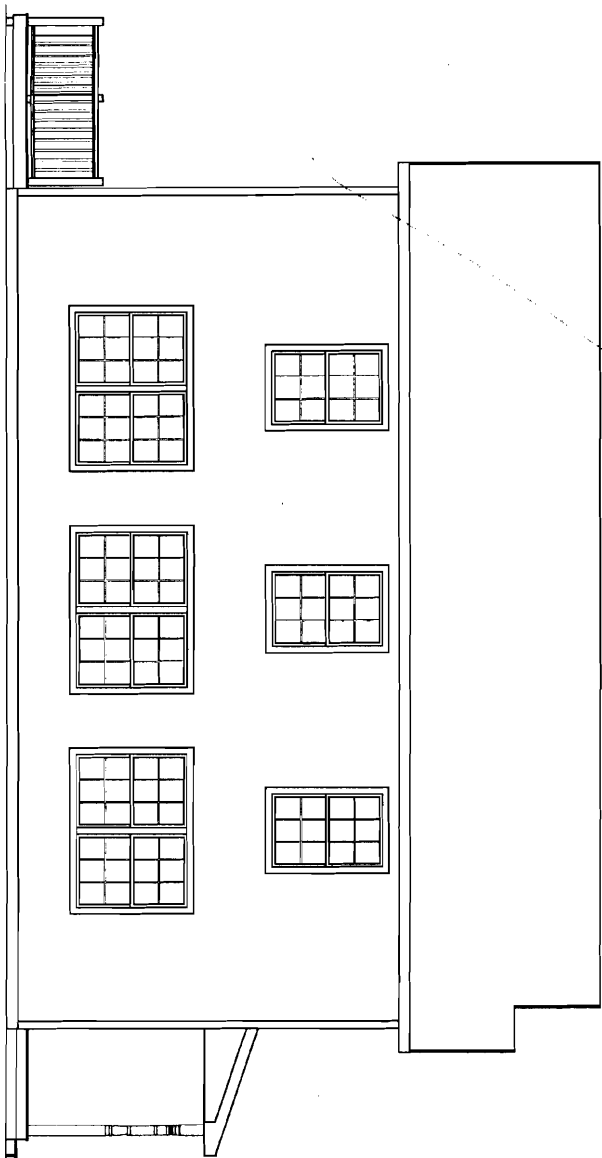
CONSTRUCTION NOTE:  
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RIGHT ELEVATION  
1/4" = 1'-0"

CONSTRUCTION NOTE:  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/CONTR. OR LOCAL CODES.

OLD  
See record  
6/1/05



LEFT ELEVATION  
1/4" = 1'-0"

CONSTRUCTION NOTE:  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES TO BE DETERMINED PER OWNER/CONTR. OR LOCAL CODES.

16  
Yale St # 09-0437

PROPOSED ELEVATIONS  
LOT #2, YALE ST.  
PORTLAND, ME



THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:

05/27/08

Date: 05/27/09

Scale: 1/4" = 1'-0"

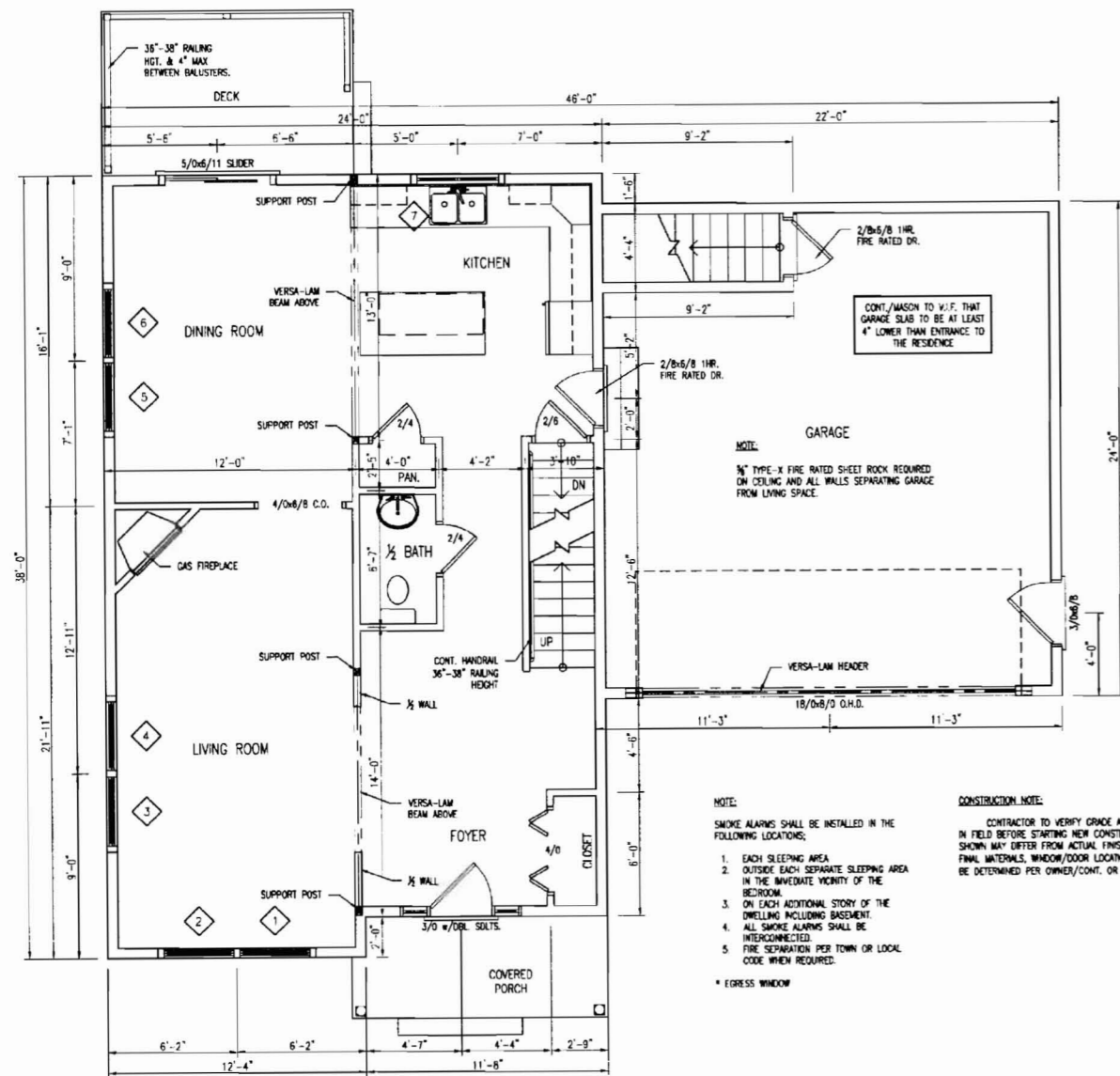
Drawn By: JTM

Project: QM61399

Street Number:

1 of 4





HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE

PRODUCT TYPE:	WITHOUT GRILLS HP LOW-E:	
	U-FACTOR	R-VALUE
CASEMENT	0.31	0.31
STANDARD DOUBLE-HUNG	0.35	0.35
PREMIUM DOUBLE-HUNG	0.48	0.48
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

MATHEN BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

**1st FLR. WINDOW SCHEDULE**

Mark	Manufacturer	Style	Size	Egress	Header Size	HP Low-E U-Factor / R-Value
1	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
2	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
3	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
4	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
5	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
6	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
7	Molten Brothers	CA2438-2	4'-7" x 1'-2"	N/A	(2) 2x8 w/ 1/2" Ply	31/31

Old  
Screened  
blinds

- NOTE:**  
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- EACH SLEEPING AREA
  - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM
  - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENT.
  - ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
  - FIRE SEPARATION PER TOWN OR LOCAL CODE WHEN REQUIRED.
- \* EGRESS WINDOW
- CONSTRUCTION NOTE:**  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

FIRST FLOOR PLAN  
1/4" = 1'-0"

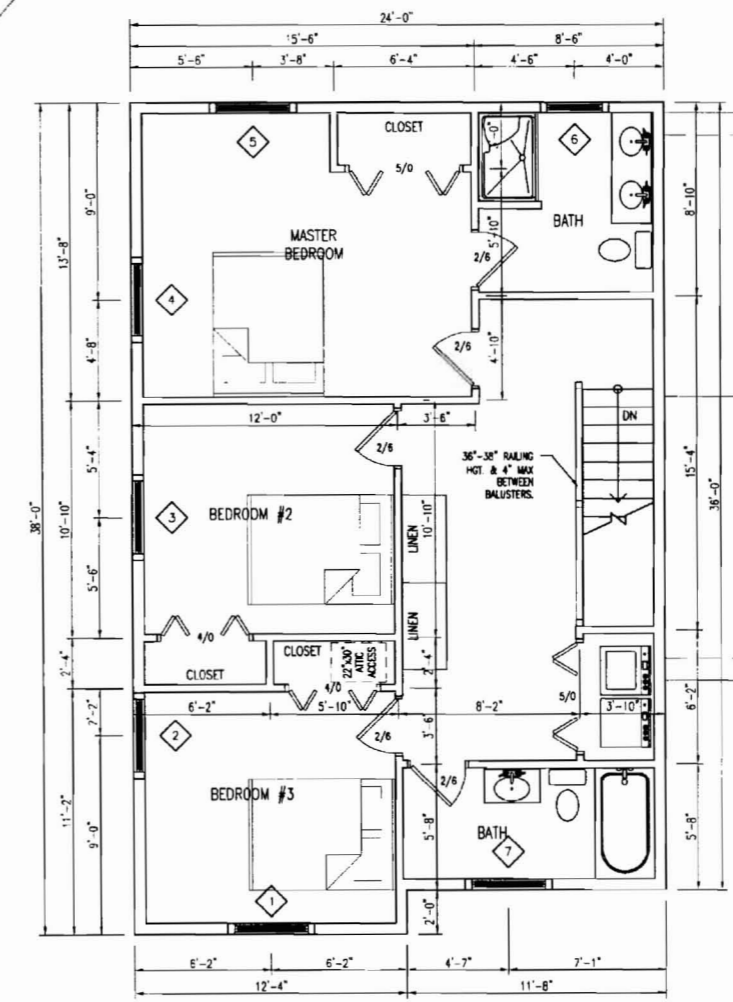
HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE

PRODUCT TYPE:	WITHOUT GRILLS HP LOW-E:	
	U-FACTOR	R-VALUE
CASEMENT	0.31	0.31
STANDARD DOUBLE-HUNG	0.35	0.35
PREMIUM DOUBLE-HUNG	0.48	0.48
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

MATHEN BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

**2nd FLR. WINDOW SCHEDULE**

Mark	Manufacturer	Style	Size	Egress	Header Size	HP Low-E U-Factor / R-Value
1	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
2	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
3	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
4	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
5	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
6	Molten Brothers	DH4060	3'-4" x 5'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35
7	Molten Brothers	DH4060	3'-0" x 4'-0"	YES	(3) 2x8 w/ 1/2" Ply	35/35



- NOTE:**  
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- EACH SLEEPING AREA
  - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM
  - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENT.
  - ALL SMOKE ALARMS SHALL BE INTERCONNECTED.
  - FIRE SEPARATION PER TOWN OR LOCAL CODE WHEN REQUIRED.
- \* EGRESS WINDOW
- CONSTRUCTION NOTE:**  
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

SECOND FLOOR PLAN  
1/4" = 1'-0"

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