

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: 101303

This is to certify that Mj Development Company LLC Develop NOV - 4 2010
has permission to Amendment to permit # 100502 changed from 24' x 36' colonial single story ranch
AT 12 Yale St CR 436 A005001 City of Portland

provided that the person or persons, firm or corporation securing this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is (either for other) moved-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

Department Name

Chris Burke 11/4/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1305	Issue Date:	CBL: 436 A005001
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Location of Construction: 12 Yale St	Owner Name: Mj Development Company Llc	Owner Address: 31 Old Campus Dr	Phone: 207-797-4380
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: 2077761762
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: R-2/R-3

Part Use: Vacant Land	Proposed Use: New Single Family / Amendment to permit # 100502 Changed from 24' x 36' colonial to single story ranch.	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB	

Proposed Project Description: Amendment to permit # 100502 Changed from 24' x 36' colonial to single story ranch.	Signature:	Signature: <i>[Signature]</i> 11/4/10
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: EB	Date Applied For: 10/15/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p> <p style="font-size: 24pt; font-weight: bold;">PERMIT ISSUED</p> <p>NOV - 4 2010</p>	<p>Special Zone or Reviews</p> <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>10/15/10</i> <i>[Signature]</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1305	Date Applied For: 10/15/2010	CBC: 436 A003001
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Location of Construction: 12 Yale St	Owner Name: Mj Development Company Llc	Owner Address: 31 Old Campus Dr	Phone: 207-797-4380
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: New Single Family / Amendment to permit # 100502 Changed from 24' x 36' colonial to single story ranch.	Proposed Project Description: Amendment to permit # 100502 Changed from 24' x 36' colonial to single story ranch.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/19/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) This permit is being issued with the understanding that a deck is not being built. Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 11/04/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.</p> <p>2) A code compliant barrier shall be installed at the rear sliding door if the height to grade is over 30" as no deck is approved with this permit.</p> <p>3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.</p> <p>4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p> <p>5) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.</p>			

Dept: DRC	Status: Approved with Conditions	Reviewer: Philip DiPietro	Approval Date: 11/02/2010
Note:	This approval is for the revised site plan dated 11/2/10 by Land Design Solutions, submitted by Jim Wescott that replaces the originally approved colonial style house with a ranch style house. Ok to Issue: <input checked="" type="checkbox"/>		
<p>1) This approval is for the revised site plan dated 11/2/10 by Land Design Solutions, submitted by Jim Wescott that replaces the originally approved colonial style house with a ranch style house.</p> <p>2) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.</p> <p>3) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.</p> <p>4) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.</p>			

Location of Construction: 12 Yale St	Owner Name: Mj Development Company Llc	Owner Address: 31 Old Campus Dr	Phone: 207-797-4380
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: (207) 776-1762
Lessee/Buyer's Name:	Phone:	Permit Type: Amendment to Single family	

- 5) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 7) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.
- 8) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 9) All Site work (final grading, landscaping, loans and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

- 10/18/2010-gg: Ann routed the revised site plan to Phil (DRC) and Leslie (Engineering). /gg
- 10/19/2010-amachado: Left message for Jim Wescott to call. Site plan shows deck & building plans don't.
- 10/19/2010-amachado: Received email from Jim Wescott. Deck is not part of application.
- 11/3/2010-jmb: Left vmsg for Jim W. For information per the plan review.
- 11/4/2010-jmb: Jim W. Called, he gave the details required as noted on the plan review record, ok to issue.

PERMIT ISSUED

NOV - 4 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

NOV - 4 2010

City of Portland



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

April 20 1912

Received from Alex McKeenrat

~~License~~ 10 YEL D

Cost of Construction \$ _____ Building Fee _____

Permit Fee \$ _____ Site Fee _____

Certificate of Occupancy Fee _____

Amend permit Total: 32.00

Building (TS) Plumbing (TS) _____ Electrical (TS) _____ Site Plan (TZ) _____

Owner _____

City: 436-A-007

Check # 6111 Total Collected \$ 32.00

No work is to be started until permit issued.
Please keep original receipt for your records.

Taken by: JRM

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

101305



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Yale St. Portland</u>		
Total Square Footage of Proposed Structure/Area <u>1400 SF +/-</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>436</u> Block# <u>A</u> Lot# <u>005</u>	Applicant: <u>must be owner, Lessee or Buyer</u> Name <u>M.S. Development</u> Address <u>31 Old Campus Dr</u> City, State & Zip <u>Portland Me. 04103</u>	Telephone:
RECEIVED OCT 15 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C. of O Fee: \$ _____ Total Fee: \$ _____
	Current legal use (i.e. single family) <u>Raw land</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use _____ Is property part of a subdivision? <u>Yes</u> If yes, please name <u>Yale St.</u> Project description: <u>single story Ranch. Changed from 24'x36' Colonial</u> <u>amend permit # 10-0502 - new have 24'x44' w/ 14'x24' attached</u>	
Contractor's name: <u>M.S. Development</u> 3 pages Address: <u>31 Old Campus Dr</u> City, State & Zip <u>Portland Me. 04103</u> Telephone: <u>797-4380</u> Who should we contact when the permit is ready: <u>Jim Wescott</u> Telephone: <u>797-4380</u> Mailing address: <u>31 Old Campus Dr Portland Me. 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 313 City Hall or call 874-8703

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/15/2010

This is not a permit; you may not commence ANY work until the permit is issued

From: <joe444@aol.com>
To: <amachado@portlandmaine.gov>
Date: 10/18/2010 11:58 AM
Subject: 12 Yale st.

Ann we will not be building a deck unless a buyer requests.
Thanks Jim Wescott
Sent via BlackBerry by AT&T

RECEIVED

OCT 19 2010

Dept of Building Inspections
City of Portland Maine

Applicant: M.S. Development (Jim Wescott)

Date: 10/19/10

Address: 12 Yale St.

C-B-L: 436-A-005
permit # 10-1305

CHECK-LIST AGAINST ZONING ORDINANCE

* amendment to original permit
10-0502

Date - New

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - build one story single family home - 44' x 25' w/ detached garage (14' x 24')

Sanitary Disposal - city - see original site plan

Lot Street Frontage - 50' min - 113.2' given (OK)

Front Yard - 25' min - 27' setback to front, right corner

Rear Yard - 25' min - 43' setback to back

Side Yard - one story 6' min - right side - 9.5' (OK) given
- left side - 10' setback (OK)

Projections -

Width of Lot - 65' min - 77' setback (OK)

Height - 35' min - 15.25' setback (OK)

Lot Area - 6500 sq ft min - 10,740 sq ft given

Lot Coverage/ Impervious Surface - 35% = 3715 sq ft

44 x 25 = 1232

14 x 24 = 336

only 4 x 5 = 20
1815 sq ft (OK)

Area per Family - 6500 sq ft (OK)

Off-street Parking - 2 spaces required - one in garage, 1 on 14' x 18' beyond setback (OK)

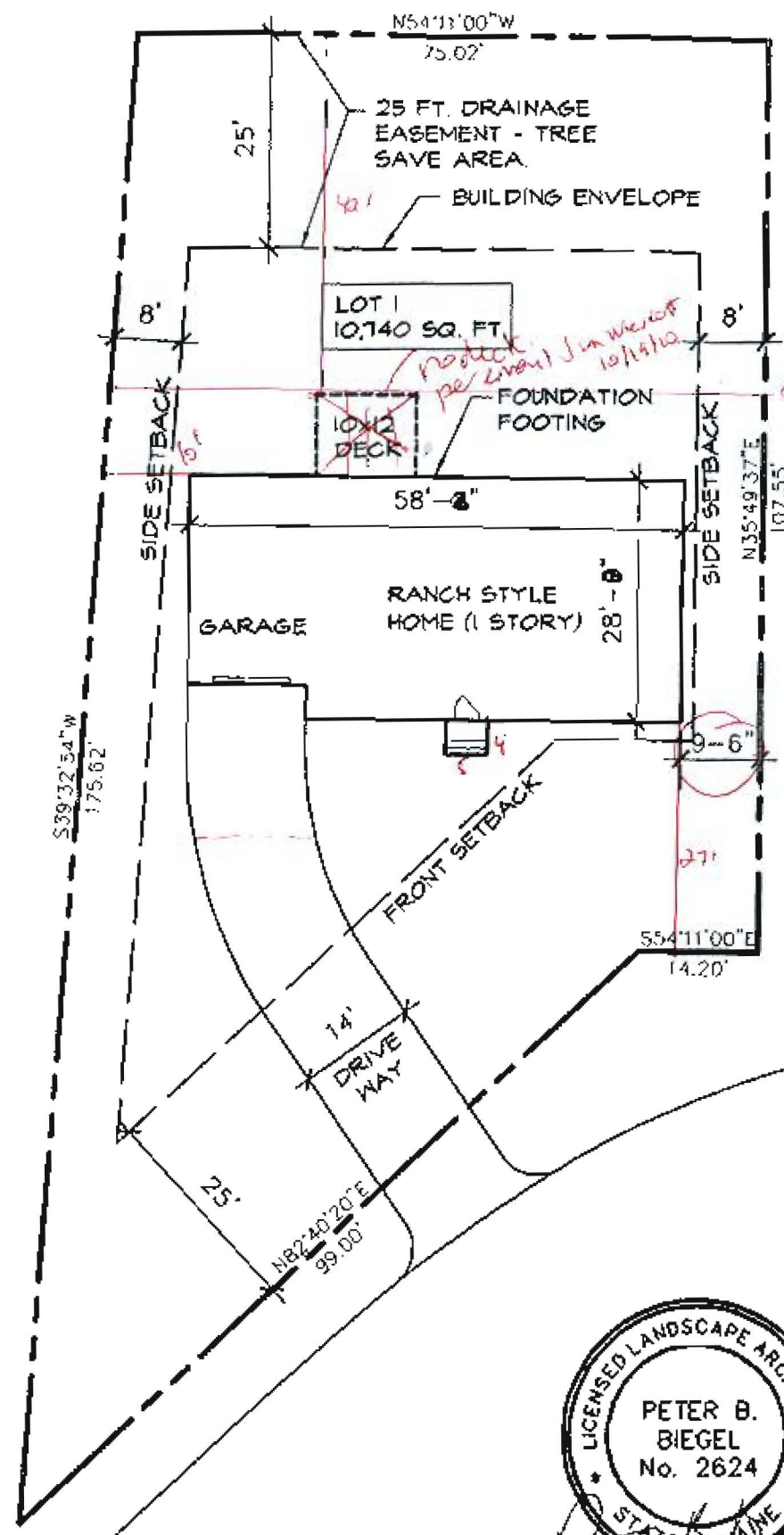
Loading Bays - N/A

Site Plan - 2009-0211

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - avoid 7-2002 X

Drawing Name: K:\Land Design Solutions\Yale Street\Yale St Lot-1 | Plot Date / Time: Sep. 12, 10 / 10:12 PM



NOTES:

1. BOUNDARY INFORMATION TAKEN FROM LOT 1 SITE PLAN, YALE STREET LOT DIVISION PREPARED BY STANTEC AUGUST 2008.
2. THIS PLAN HAS BEEN PREPARED FOR THE PURPOSES OF CONSTRUCTING A ONE STORY RANCH STYLE HOUSE ON LOT ONE IN PLACE OF THE 2 STORY HOME ORIGINALLY PROPOSED. FOR ALL OTHER INFORMATION REFER TO FIGURE C-5.1 PREPARED BY STANTEC DATED AUGUST 2008.
3. BUILDING FOOTPRINT INFORMATION PROVIDED BY THE OWNER.
4. SETBACKS SHOWN ARE MINIMUM DISTANCE TO THE OUTSIDE OF THE FOUNDATION AND ASSUMES THAT THE STRUCTURE IS ONE STORY.
5. REFER TO DRAWING C1.1 RECORDING PLAT FOR PROJECT ZONING AND SUBDIVISION APPROVAL NOTES.

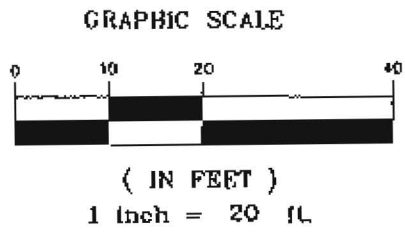
Used for zoning

RECEIVED

OCT 15 2010

Dept. of Building Inspections
City of Portland Maine

12 Yale St



9-13-10

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM LAND DESIGN SOLUTIONS, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO LAND DESIGN SOLUTIONS.

LAND DESIGN SOLUTIONS LAND PLANNING SITE PLANNING LANDSCAPE ARCHITECTURE P.O. Box 516, 160 Longwoods Road, Cumberland, ME 04021 Tel: (207) 939-1717 Email: pbiegel@landdesignsolutions.com		DESIGN PBB DRAWN PBB CWD PBB	YALE STREET DEVELOPMENT YALE STREET, PORTLAND, MAINE LOT #1 BUILDING LOCATION SITE PLAN	
MJ DEVELOPMENT CO. 31 OLD CAMPUS DRIVE, PORTLAND, MAINE		DATE 9/13/2010 SCALE 1"=20'	PROJ NO DWG NO	C-101 A

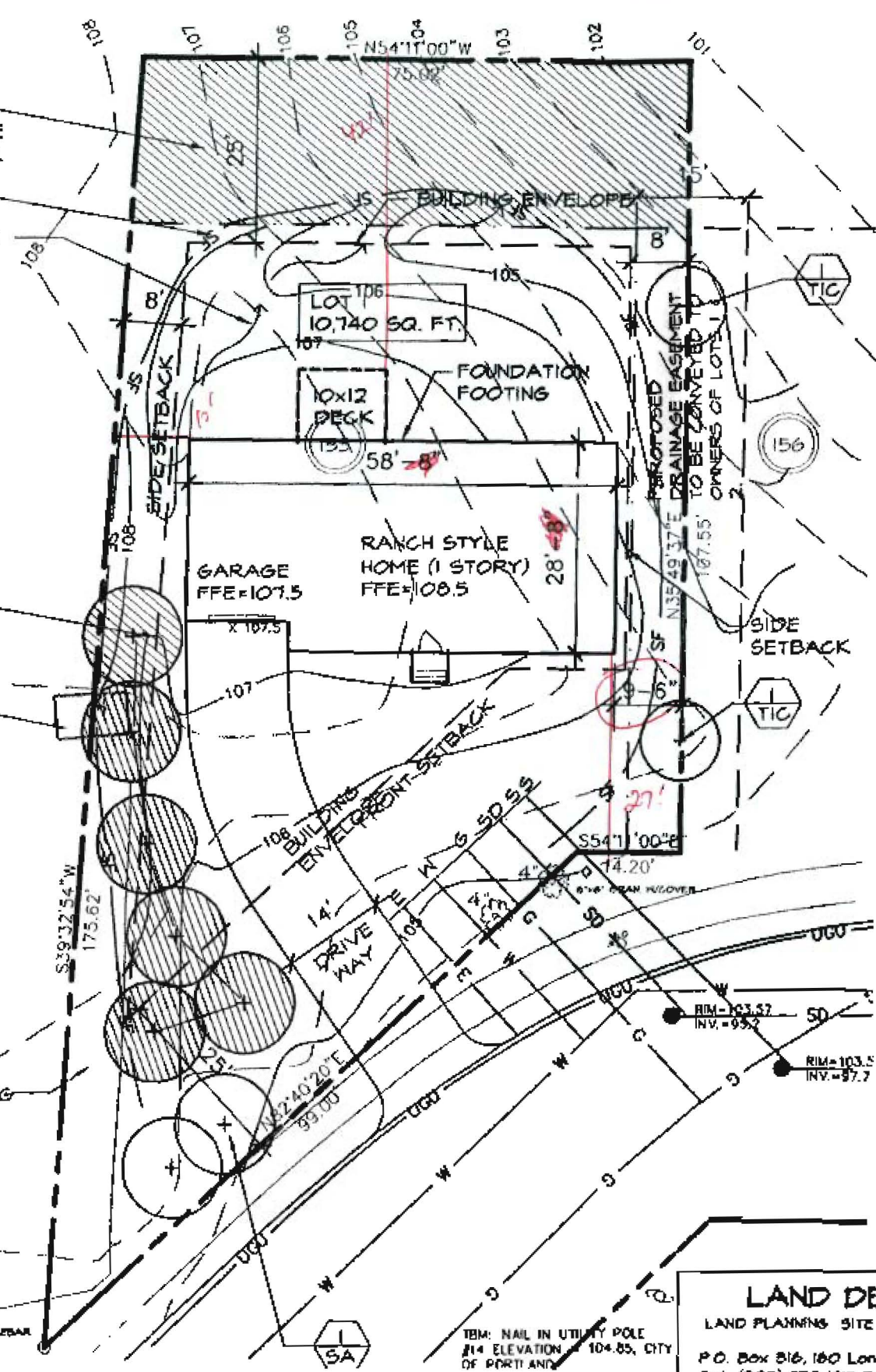
Drawing Name: A:\Landscape Design Solutions\Yale Street\Yale St. Lot #1\Plot Data / Time: Nov. 2, 10 / 9:38 AM

25-FT DRAINAGE EASEMENT AREA IS TREE SAVE. SEE #2 DWG. C3.1.
SILT FENCE (TYP.)
DRAINAGE ARROW (TYP.)

PROPOSED BUFFER PLANTING SEE NOTE #3 DWG C3.1.

SHED TO BE RELOCATED.

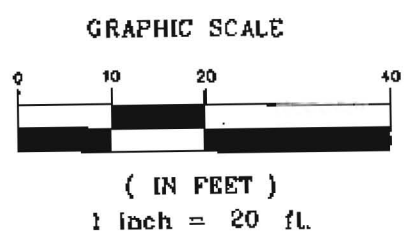
PORTION OF BIT. PARKING AREA TO BE REMOVED.



NOTES:

1. BOUNDARY INFORMATION TAKEN FROM LOT #1 SITE PLAN, YALE STREET LOT DIVISION PREPARED BY STANTEC AUGUST 2008.
2. BUILDING FOOTPRINT INFORMATION PROVIDED BY THE OWNER.
3. SITE ADAPTATION FOR LOT #1, AS SHOWN ON THIS PLAN IS BASED ON THE PREVIOUSLY CITY OF PORTLAND APPROVED FIGURE C-5.1 AS PREPARED BY STANTEC AND TITLED LOT ONE SITE PLAN. THE PLAN HAS BEEN REVISED TO PROPOSE A SINGLE STORY RANCH STYLE HOME INSTEAD OF THE ORIGINALLY PROPOSED 2 STORY HOME.
4. SETBACKS SHOWN ARE MINIMUM DISTANCE TO THE OUTSIDE OF THE FOUNDATION AND ASSUMES THAT THE STRUCTURE IS ONE STORY.
5. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES AND STREET TREES SHOWN ARE APPROXIMATELY AS SHOWN ON SHEET C2.1 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET OR ON ADJACENT LOTS IS AVAILABLE.
6. REFER TO DRAWING C1.1 RECORDING PLAT FOR PROJECT ZONING AND SUBDIVISION APPROVAL NOTES.
7. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.
8. PROPOSED GARAGE AND FLOOR ELEVATIONS SHOWN ARE MINIMUM ELEVATIONS.
9. THE OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.

- from Phil - showing site plan information
RECEIVED
NOV - 2 2010
Dept. of Building Inspections
City of Portland Maine
Zoning is same as 101/116 p67



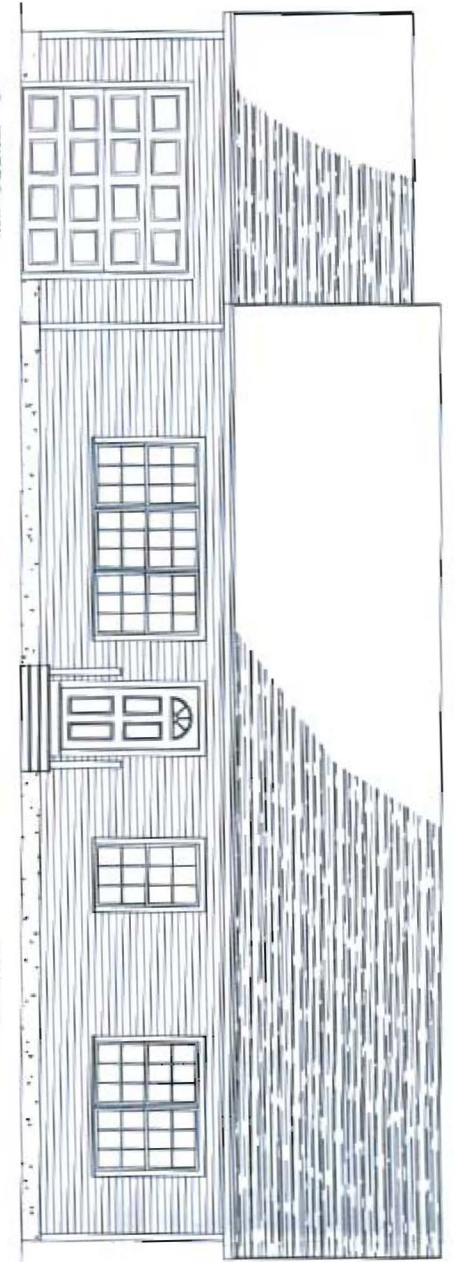
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM LAND DESIGN SOLUTIONS, ANY ALTERATIONS, OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO LAND DESIGN SOLUTIONS.

LAND DESIGN SOLUTIONS LAND PLANNING SITE PLANNING LANDSCAPE ARCHITECTURE P.O. Box 316, 180 Longroads Road, Cumberland, ME 04021 Tel. (207) 934-1117 Email: pbiegel@landdesignsolutions.com		DESIGN PBB DRAWN PBB CHKD PBB	12 YALE STREET DEVELOPMENT YALE STREET, PORTLAND, MAINE LOT #1 BUILDING LOCATION SITE PLAN
MJ DEVELOPMENT CO. 31 OLD CAMPUS DRIVE, PORTLAND, MAINE		DATE 11/02/2010 SCALE 1"=20'	PROJ. NO. _____ DWG. NO. _____ REV. _____ C-101

RECEIVED

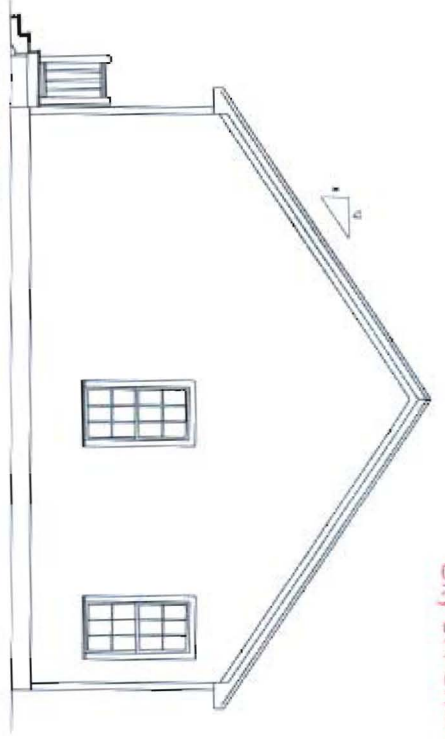
OCT 15 2010

Dept. of Building Inspections
City of Portland Maine



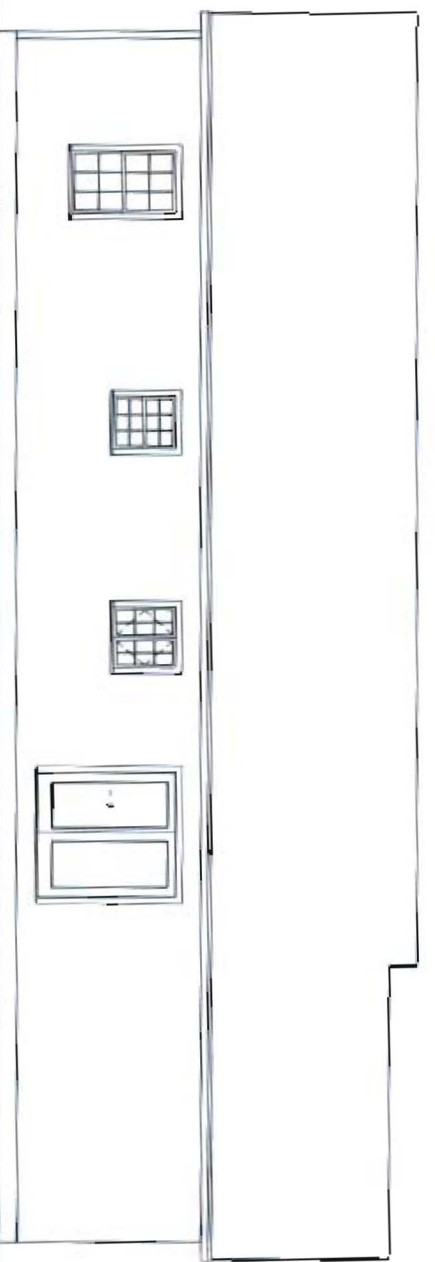
FRONT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE CITY ENGINEER. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.



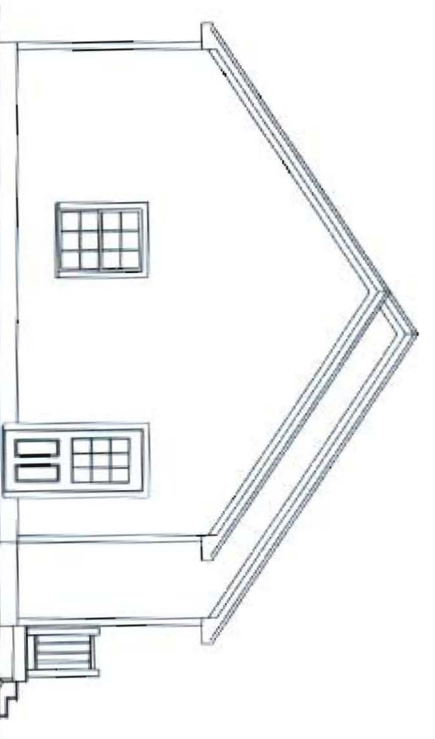
RIGHT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
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REAR ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
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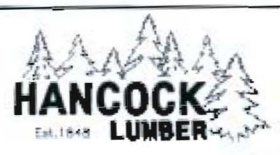


LEFT ELEVATION
1/4" = 1'-0"

CONSTRUCTION NOTE:
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12 Yale St

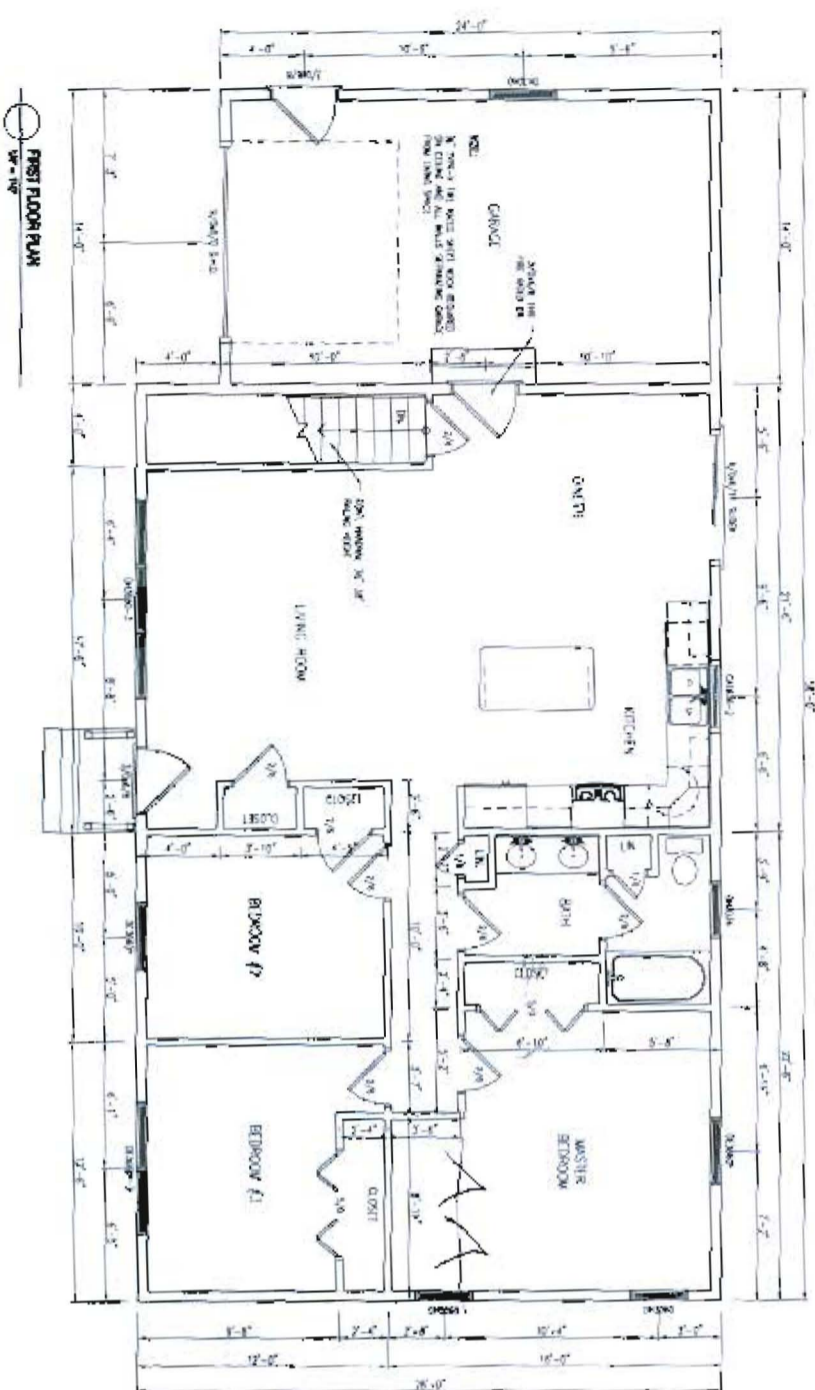
PROPOSED ELEVATIONS
LOT #1, YALE STREET
PORTLAND, ME



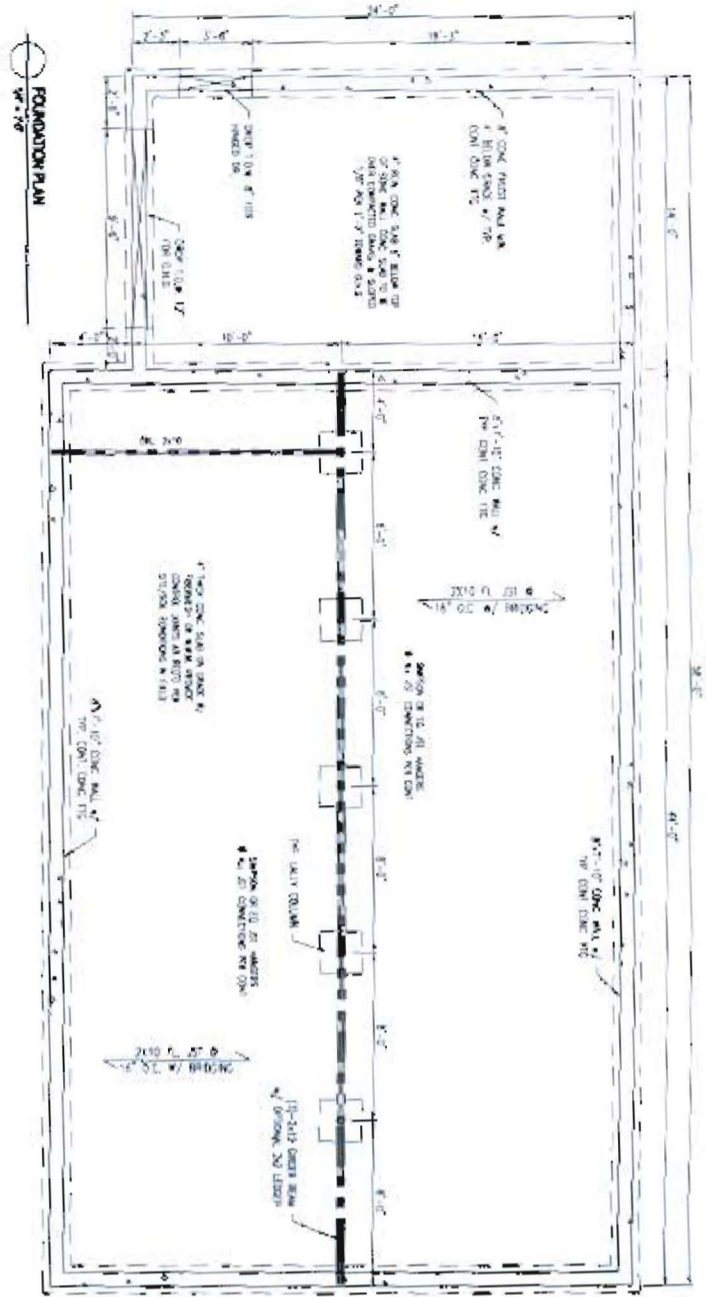
THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING CIVIL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

REVISIONS:

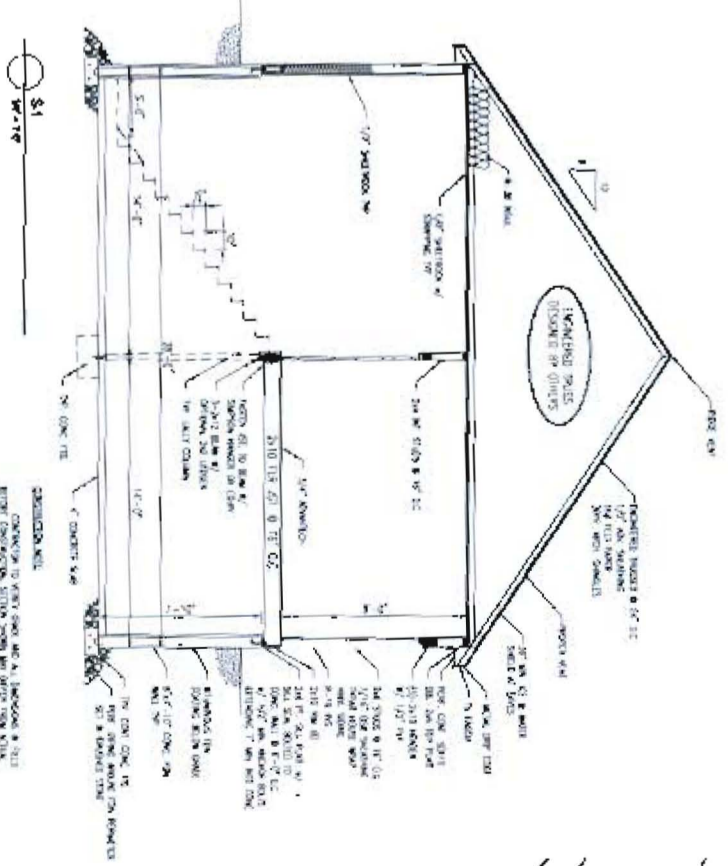
Date : 09/01/10
Scale : 1/4" = 1'-0"
Drawn By : JIM
Project : 0602510
Sheet Number :
1 of 3



- NOTES:**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE BUILDING CODE.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE MECHANICAL CODE.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ELECTRICAL CODE.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE PLUMBING CODE.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE FIRE AND SAFETY CODE.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENERGY EFFICIENCY CODE.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENVIRONMENTAL CODE.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HEALTH AND SAFETY CODE.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE LAND USE CODE.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ZONING CODE.



- NOTES:**
1. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE BUILDING CODE.
 2. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE MECHANICAL CODE.
 3. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ELECTRICAL CODE.
 4. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE PLUMBING CODE.
 5. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE FIRE AND SAFETY CODE.
 6. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENERGY EFFICIENCY CODE.
 7. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ENVIRONMENTAL CODE.
 8. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE HEALTH AND SAFETY CODE.
 9. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE LAND USE CODE.
 10. FOUNDATION SHALL BE IN ACCORDANCE WITH THE 2009 MAINE ZONING CODE.



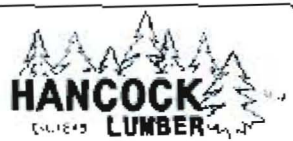
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OCT 15 2010

Dept. of Building Inspections
City of Portland Maine

12 Kale St.

PROPOSED FLR & SECTION PLANS
LOT #1, YALE STREET
PORTLAND, ME



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Revisions:	
Date:	09/01/10
Scale:	1/4" = 1'-0"
Drawn By:	JIV
Project:	WKS/10
Sheet Number:	2 of 3

Jeanie Bourke - 12 Yale Street, Revised Single Family Site Plan Approval

From: Philip DiPiero
To: Code Enforcement & Inspections
Date: 11/2/2010 12:14 PM
Subject: 12 Yale Street, Revised Single Family Site Plan Approval

Hi all, this project, site plan # 2009-0053 the Wescott revised/amended single family home at 12 Yale Street, meets minimum DRC site plan requirements for the issuance of the building permit. Please see UI for sign off.

Thanks.

phil

12 Yale

BP 10-1305


436-A-005

11/3/10

Amendment but totally new design

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	8" x 16" Scaled 2' x 2' interior	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" perf pipe, bituminous w/ sock	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" 6' OC	
Lally Column Type (Section R407)	TYP concrete/steel	
Girder & Header Spans (Table R 502.5(2))	8'-0" max 28' width	OK 8'-10"
Built-Up Wood Center Girder Dimension/Type	3-2x12 w/ 2x2 ledger	
Sill/Band Joist Type & Dimensions	2x6 pt/2x10	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 @ 16" O.C. 28' width	OK 15'5"
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A 1 story	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	Trusses	

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	8' 12	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Trusses 24" OC.	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4" Advantech, 2/16 OSB, 1/2 Adv. SDO	1 1/4 / 10 5/8 OSB w/clips Jim W. (1)
Fastener Schedule (Table R602.3(1) & (2))	Provided	Provided Jim W.
Private Garage (Section R309) Living Space? (Above or beside)		
Fire separation (Section R309.2)	5/8 type X separation	
Opening Protection (Section R309.1)	1 in F.R. Door	or need on dividing wall to underside of roof sheath
Emergency Escape and Rescue Openings (Section R310)	Each Bedroom IXE-3660	
Roof Covering (Chapter 9)	30 yr. Arch	
Safety Glazing (Section R308)	N/A	
Attic Access (Section R807)	not shown	1 1/4 / 10 22" x 30" Jim W. (2)
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	3-2x10	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19, 7 F _{Roof} , R-38 NO U Factor	R-21 wall, floor 10/4/10 35 window Jim W. (2)

Type of Heating System	? Gas FHW	11/4/10 Jim W. 
Means of Egress (See R311 & R312)	yes	
Basement	3	
Number of Stairways	1 walls	
Interior	2	
Exterior		
Treads and Risers (Section R311.5.3)	7 1/4" Rise 10" tread	
Width (Section R311.5.1)	3' + scaled	
Headroom (Section R311.5.2)	N/A	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36" - 38" continuous	
Smoke Detectors (Section R313) Location and type/Interconnected	Notes as per code	
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	N/A	
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	No deck approved	Barrier required if over 30' off grade (condition)