

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** IATION

Permit Number: 090523

This is to certify that MJ DEVELOPMENT COMPANY LLC Inc Inc
 has permission to New Single Family Home -24x30 Colonial with 22x22 Attached Garage Two Stories, 3 Bedroom, One 1/2 Bath
 AT 12 6 YALE ST CL 436 A005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2 HO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas H. Malley 6/10/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0523	Issue Date:	CBL: 436 A005001
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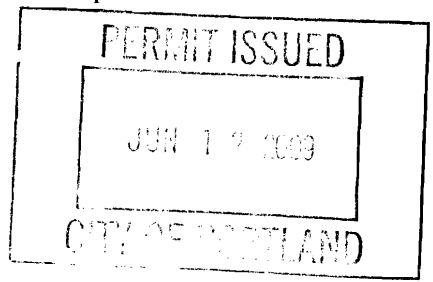
Location of Construction: 11 8 YALE ST	Owner Name: MJ DEVELOPMENT COMPANY	Owner Address: 31 OLD CAMPUS DR	Phone: 207-797-4380
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: 2077761762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-3

Past Use: Vacant Land	Proposed Use: Single Family Home - New Single Family Home -24x36 Colonial with 22x24 Attached Garage. Two Stories, 3 Bedroom, One 1/2 Bath	Permit Fee: \$1,295.00	Cost of Work: \$120,000.00	CEO District: 4
Proposed Project Description: New Single Family Home -24x36 Colonial with 22x24 Attached Garage. Two Stories, 3 Bedroom, One 1/2 Bath		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Signature:	Signature: <i>Jim 6/10/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: lmd	Date Applied For: 05/28/2009	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland N/A <input type="checkbox"/> Flood Zone parcel 7-200X <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan 2009-0051 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: 6/2/09 ABH	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABH
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



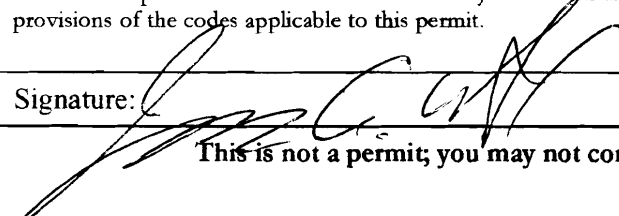
General Building Permit Application

Location/Address of Construction: <u>12 & Yale St Lot #1</u>		
Total Square Footage of Proposed Structure/Area <u>11,000'</u>		Square Footage of Lot <u>90,000 SF</u>
Tax Assessor's Chart, Block & Lot Chart# <u>Block# Lot#</u> <u>Book 4488</u> <u>Pg 191</u> <u>436-A-005</u>	Applicant * must be owner, Lessee or Buyer * Name <u>MJ Development</u> Address <u>31 Old Campus Dr.</u> City, State & Zip <u>Portland 04103</u>	Telephone: <u>797-4380</u>
Lessee/DBA (If Applicable) <u>MAY 28 2009</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>120,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ <u>1295</u> <u>300</u> s. t. fee
Current legal use (i.e. single family) If vacant, what was the previous use? <u>Raw land.</u> <u>\$11595</u>		
Proposed Specific use: Is property part of a subdivision? _____ If yes, please name _____ Project description: <input checked="" type="checkbox"/> <u>24x36 Colonial Hse 22x24 Garage</u> <u>2 1/2 Baths 3 Bdrm 2 floors</u>		
Contractor's name: <u>M.J. Development</u>		
Address: <u>31 Old Campus Dr.</u>		
City, State & Zip: <u>Portland 04103</u>		Telephone: <u>797 4380</u>
Who should we contact when the permit is ready: <u>Jim Wescott</u>		Telephone: <u>276-1762</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 5/28/09

This is not a permit; you may not commence ANY work until the permit is issued.

Applicant: MJ Development, Inc. (Jim Weseloff)

Address: 12 Yale St. (Lohi)

Date: 6/2/09

C-B-L: 436-A-005

permit # 09-0523

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct 2 story 24 x 36 house w/ 22x24 attached garage

Sevage Disposal - city

Lot Street Frontage - 53' min - 113.2' given

Front Yard - 25' min - 24' scaled

Rear Yard - 25' min - 36' scaled w/ deck

Side Yard - 1 1/2 story - 8' min right 14' scaled
2 story - 14' min left 17' scaled

Projections - 12 x 8 deck

Width of Lot - 65' min - 73' scaled

Height - 35' max - 22.75' scaled

Lot Area - 6,500 ϕ - 10,740 ϕ given

Lot Coverage Impervious Surface - 35% = 3759 ϕ

Area per Family - 6,500 ϕ

Off-street Parking - 2 spaces required - 2 car garage

Loading Bays - N/A

Site Plan - minor/minor 2009-0051

Shoreland Zoning/Stream Protection - N/A

Flood Plains - parcel 7 - zone X

$$36 \times 24 = 864$$

$$22 \times 24 = 528$$

$$12 \times 8 = 96$$

$$2 \times 12 = 24$$

$$1512 \phi$$

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2009-0053

Application I. D. Number

5/28/2009

Application Date

New Single Family Home

Project Name/Description

Mj Development Company Llc

Applicant

31 Old Campus Dr , Portland , ME 04103

Applicant's Mailing Address

Consultant/Agent

Agent Ph:

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

12
676 Yale St , Portland, Maine

Address of Proposed Site

436 A005001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify)

0

Proposed Building square Feet or # of Units Acreage of Site Proposed Total Disturbed Area of the Site Zoning

Check Review Required:

- | | | | |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Zoning Conditional - PB | <input type="checkbox"/> Subdivision # of lots | <input type="checkbox"/> Design Review |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Site Location |
| <input type="checkbox"/> After the Fact - Major | <input type="checkbox"/> Stormwater | <input type="checkbox"/> Traffic Movement | <input type="checkbox"/> Housing Replacement |
| <input type="checkbox"/> After the Fact - Minor | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review | <input type="checkbox"/> Other |

Fees Paid: Site Plan \$50.00 Subdivision Engineer Review \$250.00 Date 5/29/2009

Zoning Approval Status:

Reviewer

- Approved Approved w/Conditions See Attached Denied

Approval Date Approval Expiration Extension to Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee

Required*

Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

Performance Guarantee Accepted

date

amount

expiration date

Inspection Fee Paid

date

amount

Building Permit Issue

date

Performance Guarantee Reduced

date

remaining balance

signature

Temporary Certificate of Occupancy

date

Conditions (See Attached)

expiration date

Final Inspection

date

signature

Certificate Of Occupancy

date

Performance Guarantee Released

date

signature

Defect Guarantee Submitted

submitted date

amount

expiration date

Defect Guarantee Released

date

signature

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0523	Date Applied For: 05/28/2009	CBL: 436 A005001
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Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone: (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 06/02/2009

Note:**Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/10/2009

Note:**Ok to Issue:**

- 1) The attic scuttle opening must be 22" x 30".
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Philip DiPierro **Approval Date:** 06/05/2009

Note:**Ok to Issue:**

- 1) The limits of allowable clearing shall be clearly marked with flagging or temporary fencing. Absolutely no clearing is to take place within, or encroach into the "do not disturb/no cut" zone. All conditions listed in the approved subdivision plan, as they relate to this lot shall be followed.
- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 4) A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 5) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

Location of Construction: 12 YALE ST	Owner Name: MJ DEVELOPMENT COMPANY	Owner Address: 31 OLD CAMPUS DR	Phone: 207-797-4380
Business Name:	Contractor Name: MJ Development	Contractor Address: 31 Old Campus Rd Portland	Phone (207) 776-1762
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

- 7) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 8) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

6/2/2009-amachado: Dimensions on the building plans don't match the dimensions on the siteplan. Spoke to Jim Wescott. He submitted revised plans.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Thomas M. Markley

Signature of Inspections Official

6/10/09

Date

Mailed

12 Yale ST

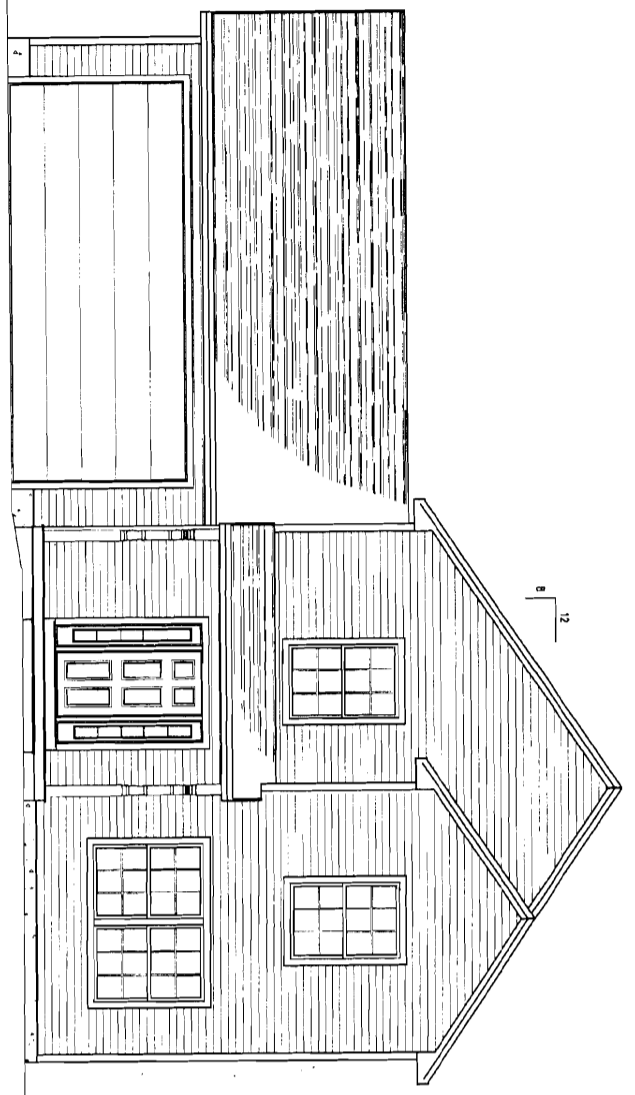
09-0523

CBL 436-A-005

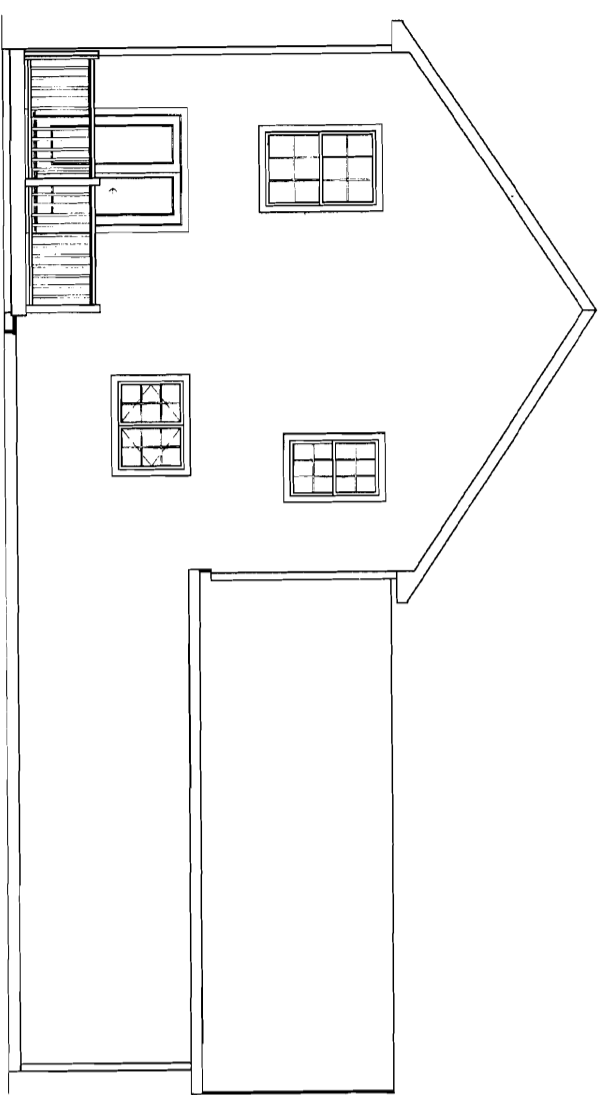
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	6x8 concrete footings 8x7 wall 10ft -	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	Crushed stone - filter fabric 4" DRAIN Dimples	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 min Anchor Bolts "60" oc	OK		
Lally Column Type (Section R407)	lally's in concrete footings 3 1/2	OK		
Girder & Header Spans (Table R 502.5(2))		OK		
Built-Up Wood Center Girder Dimension/Type	4(2x10) 12ft span	OK		
Sill/Band Joist Type & Dimensions	2x6 sill			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8))	engineered trusses 24'OC	
Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	12/8 pitch	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	1/2 CDX 15# felt paper Arc sheath 5/8 CDX	OK
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2013	
Private Garage (Section R309) Living Space ? (Above or beside)		
Fire separation (Section R309.2)	5/8 type X sheetrock walls	OK
Opening Protection (Section R309.1)	ceilings → Fire Block all penetrations	
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	Same as above	OK
Safety Glazing (Section R308)	NA except bathroom	OK
Attic Access (Section R807)	NA	OK
Chimney Clearances/Fire Blocking (Chap. 10)	NA	OK
Header Schedule (Section 502.5(1) & (2))	2 R2x10's	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-19 walls - R38 ceilings R21 floors + 0.35 uFactor R value	OK

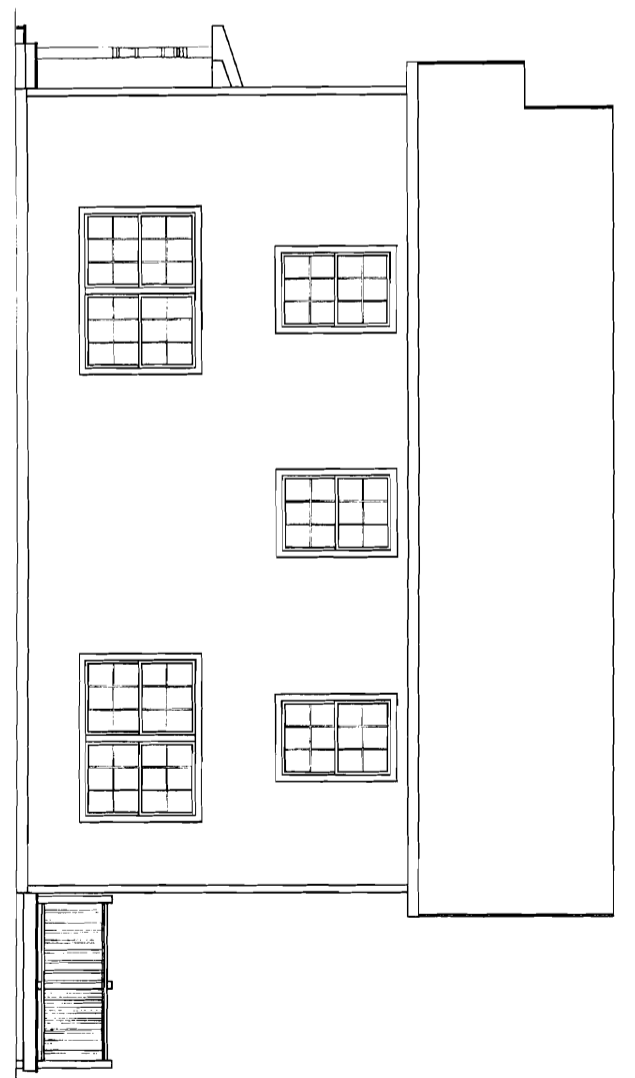
Type of Heating System		
Means of Egress (Sec R311 & R312)		
Basement	1	OK
Number of Stairways	2	
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	744 max rise - 10 inch net	
Width (Section R311.5.1)	3ft min	
Headroom (Section R311.5.2)	6" 8 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 guards 34-38 handrails	
Smoke Detectors (Section R313) Location and type/Interconnected	each bedroom all levels interconnected battery backup	OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	per IRC 2003	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	NA	OK



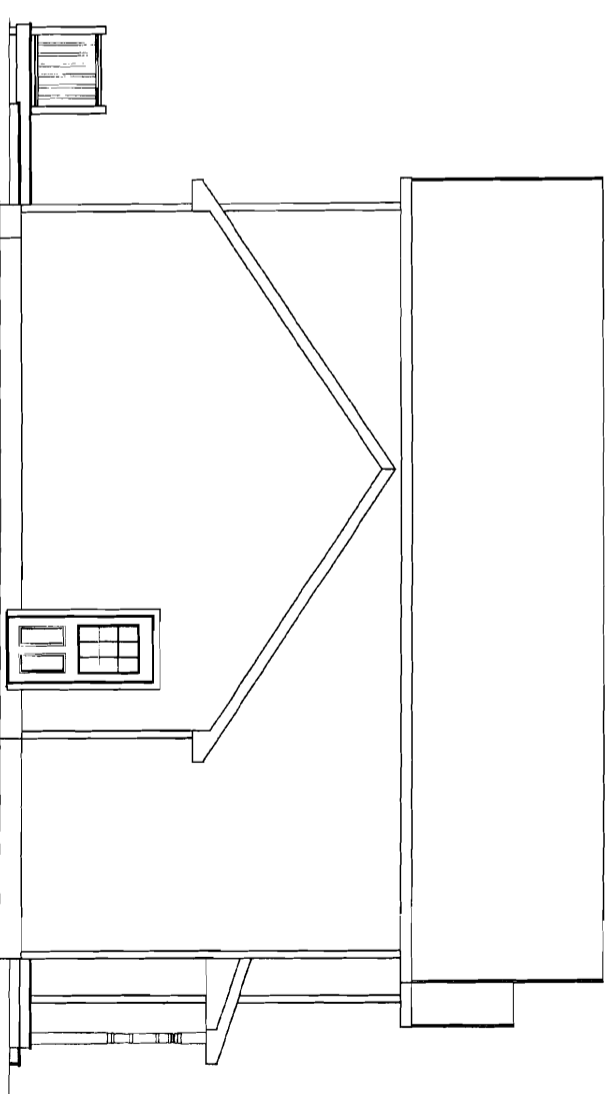
CONSTRUCTION NOTE:
 CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/OWNER'S AGENT OR LOCAL CODES.



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#09-0523

PROPOSED ELEVATIONS
 12 YALE ST. LOTS #1 & #2 #1
 PORTLAND, ME



THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE WORK PRODUCT OF ANY ARCHITECT. NEITHER HANCOCK LUMBER NOR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT, BY PROVIDING CUSTOMERS WITH THIS INFORMATION, HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

Revisions:

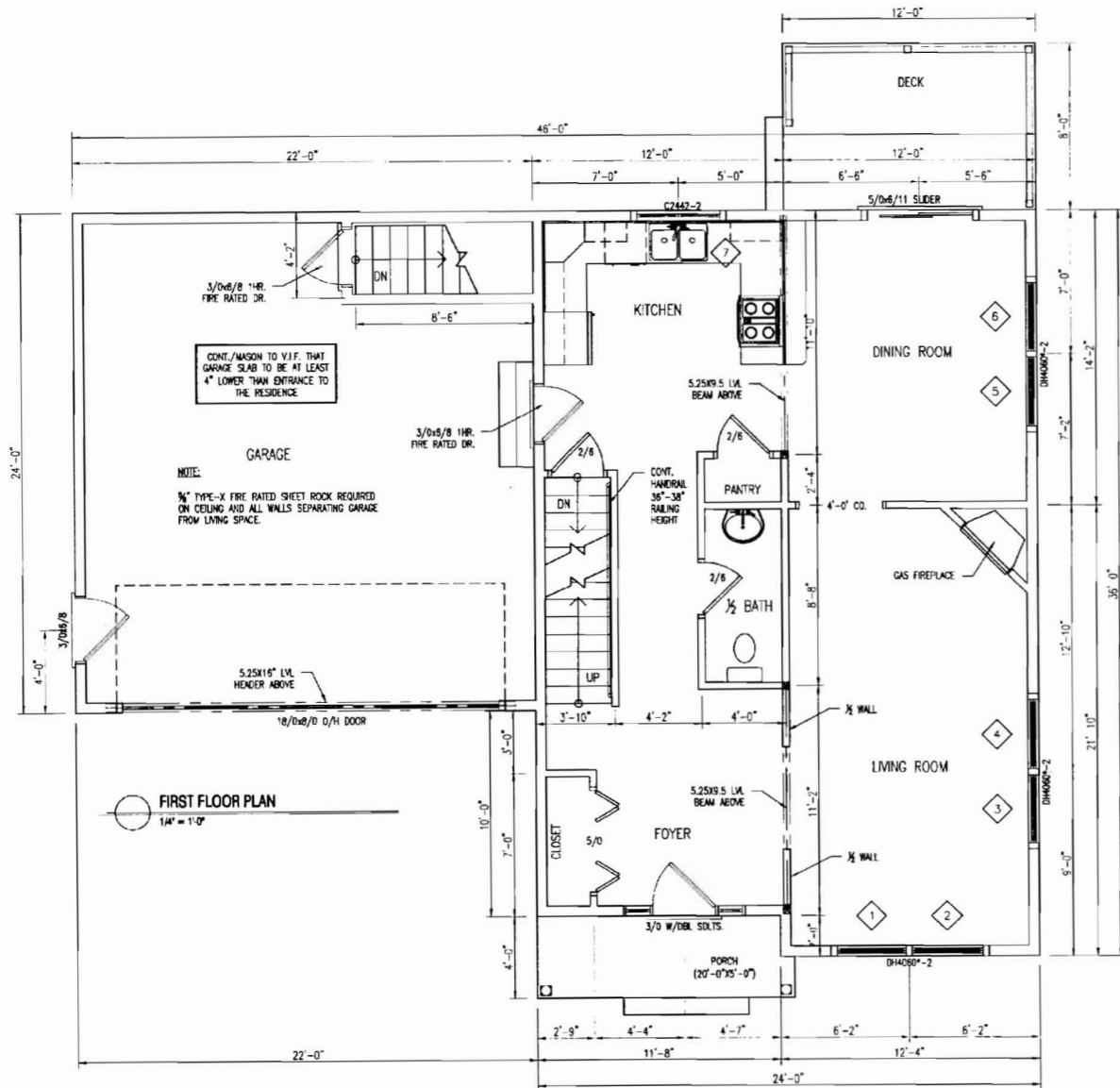
NO.	DATE	DESCRIPTION

Date : 06/01/09
 Scale : 1/4"=1'-0"
 Drawn By : JTM
 Project: 01W62209
 Sheet Number:
 1 of 4

JUN 2 2009

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Revisions:
06/09/09 -
Date : 06/01/09
Scale : 1/4" = 1'-0"
Drawn By: JTM
Project: CLW052909
Sheet Number:
3 of 4



HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE		
HANCOCK WINDOWS PRODUCT TYPE:	WITHOUT GRILLS HP LOW-E	
	U-FACTOR	R-VALUE
CASEMENT	0.31	0.31
STANDARD DOUBLE-HUNG	0.35	0.35
PREMIUM DOUBLE-HUNG	0.48	0.48
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

- NOTES:**
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- EACH SLEEPING AREA
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS
 - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS
 - ALL SMOKE ALARMS SHALL BE INTERCONNECTED
- CONSTRUCTION NOTE:**
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

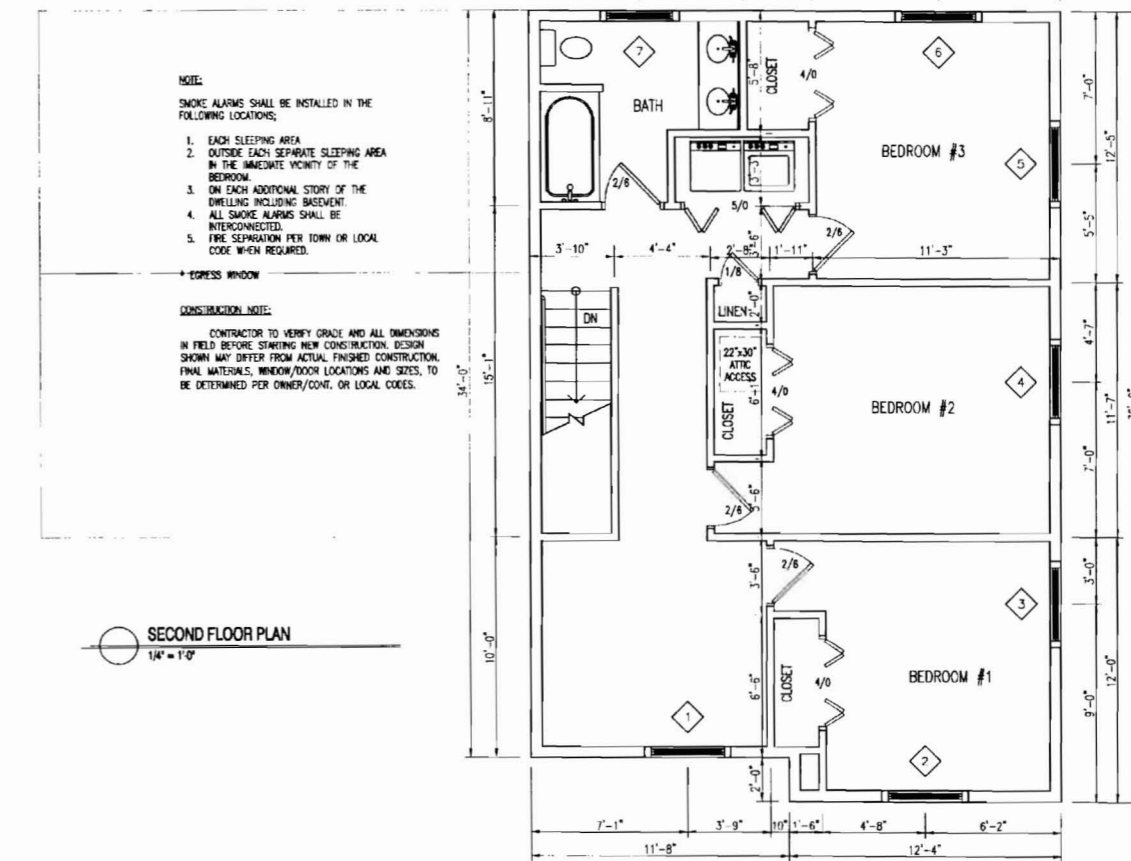
*MATHW BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

1st FLR. WINDOW SCHEDULE							
Mark	Manufacturer	Style	Size		Egress	Header Size	HP Low-E
			Width	Height			U-Factor / R-Value
1	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
2	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
3	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
4	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
5	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
6	Mathw Brothers	D-4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
7	Mathw Brothers	C20236-2	4'-7-1/2"	3'-0"	N/A	(3) 2x8 w/ 1/2" Ph	31/31

HANCOCK CLASSIC WINDOWS NFRC CERTIFIED UNIT PERFORMANCE		
HANCOCK WINDOWS PRODUCT TYPE:	WITHOUT GRILLS HP LOW-E	
	U-FACTOR	R-VALUE
CASEMENT	0.31	0.31
STANDARD DOUBLE-HUNG	0.35	0.35
PREMIUM DOUBLE-HUNG	0.48	0.48
TRANSOM	0.34	0.34
AWNING	0.31	0.31
GLIDER	0.33	0.33

*MATHW BROTHERS NFRC CERTIFIED CENTER UNIT PERFORMANCE

2nd FLR. WINDOW SCHEDULE							
Mark	Manufacturer	Style	Size		Egress	Header Size	HP Low-E
			Width	Height			U-Factor / R-Value
1	Mathw Brothers	DH4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
2	Mathw Brothers	DH4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
3	Mathw Brothers	DH4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
4	Mathw Brothers	DH4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
5	Mathw Brothers	DH4060	3'-4"	5'-0"	YES	(3) 2x8 w/ 1/2" Ph	35/35
6	Mathw Brothers	DH3648	3'-0"	4'-0"	N/A	(3) 2x8 w/ 1/2" Ph	35/35



- NOTE:**
SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- EACH SLEEPING AREA
 - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM
 - ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENT
 - ALL SMOKE ALARMS SHALL BE INTERCONNECTED
 - FIRE SEPARATION PER TOWN OR LOCAL CODE WHEN REQUIRED
- CONSTRUCTION NOTE:**
CONTRACTOR TO VERIFY GRADE AND ALL DIMENSIONS IN FIELD BEFORE STARTING NEW CONSTRUCTION. DESIGN SHOWN MAY DIFFER FROM ACTUAL FINISHED CONSTRUCTION. FINAL MATERIALS, WINDOW/DOOR LOCATIONS AND SIZES, TO BE DETERMINED PER OWNER/CONT. OR LOCAL CODES.

TABLE R502.5(1)
ORDER SPANS AND HEADER SPANS FOR EXTERIOR BEARING WALLS
 (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

ORDER SPANS AND HEADERS SUPPORTING	SIZE	SIZE GROUND SNOW LOAD (psf)					
		Building Width (feet)					
		20		28		36	
Roof and ceiling	2-2x4	3-2	1	2-8	1	2-8	1
	2-2x6	4-2	1	4-1	1	4-8	1
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-3	2	7-3	2	6-6	2
	3-2x6	7-3	1	6-3	1	5-9	1
	3-2x8	8-1	1	7-1	1	6-6	1
	3-2x10	9-1	1	8-1	1	7-10	1
	3-2x12	10-1	1	9-1	1	8-2	1
	4-2x4	6-4	1	5-4	1	6-6	1
	4-2x6	7-4	1	6-4	1	7-10	1
	4-2x8	8-4	1	7-4	1	8-2	1
Roof, ceiling and over center-bearing floor	2-2x4	3-2	1	2-8	1	2-8	1
	2-2x6	4-2	1	4-1	1	4-8	1
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-3	2	7-3	2	6-6	2
	3-2x6	7-3	1	6-3	1	5-9	1
	3-2x8	8-1	1	7-1	1	6-6	1
	3-2x10	9-1	1	8-1	1	7-10	1
	3-2x12	10-1	1	9-1	1	8-2	1
	4-2x4	6-4	1	5-4	1	6-6	1
	4-2x6	7-4	1	6-4	1	7-10	1
	4-2x8	8-4	1	7-4	1	8-2	1
Roof, ceiling and one clear span floor	2-2x4	3-2	1	2-8	1	2-8	1
	2-2x6	4-2	1	4-1	1	4-8	1
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-3	2	7-3	2	6-6	2
	3-2x6	7-3	1	6-3	1	5-9	1
	3-2x8	8-1	1	7-1	1	6-6	1
	3-2x10	9-1	1	8-1	1	7-10	1
	3-2x12	10-1	1	9-1	1	8-2	1
	4-2x4	6-4	1	5-4	1	6-6	1
	4-2x6	7-4	1	6-4	1	7-10	1
	4-2x8	8-4	1	7-4	1	8-2	1
Roof, ceiling and two center-bearing floor	2-2x4	3-2	1	2-8	1	2-8	1
	2-2x6	4-2	1	4-1	1	4-8	1
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-3	2	7-3	2	6-6	2
	3-2x6	7-3	1	6-3	1	5-9	1
	3-2x8	8-1	1	7-1	1	6-6	1
	3-2x10	9-1	1	8-1	1	7-10	1
	3-2x12	10-1	1	9-1	1	8-2	1
	4-2x4	6-4	1	5-4	1	6-6	1
	4-2x6	7-4	1	6-4	1	7-10	1
	4-2x8	8-4	1	7-4	1	8-2	1
Roof, ceiling and two clear span floor	2-2x4	3-2	1	2-8	1	2-8	1
	2-2x6	4-2	1	4-1	1	4-8	1
	2-2x8	5-11	2	5-2	2	4-7	2
	2-2x10	7-3	2	6-3	2	5-7	2
	2-2x12	8-3	2	7-3	2	6-6	2
	3-2x6	7-3	1	6-3	1	5-9	1
	3-2x8	8-1	1	7-1	1	6-6	1
	3-2x10	9-1	1	8-1	1	7-10	1
	3-2x12	10-1	1	9-1	1	8-2	1
	4-2x4	6-4	1	5-4	1	6-6	1
	4-2x6	7-4	1	6-4	1	7-10	1
	4-2x8	8-4	1	7-4	1	8-2	1

- For S: 1 inch=25.4mm, 1 pound per square foot=0.0479kN/m²
- Spans are given in feet and inches.
 - Tabulated values assume #2 grade lumber.
 - Building width is measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.
 - NI-Number of jack studs required to support each end. Where the number of required jack studs equals one, the header is permitted to be supported by an approved framing anchor attached to the full-height wall stud and to the header.
 - Use 30psf ground snow load for cases in which ground snow load is less than 30psf and the roof live load is equal to or less than 20psf.

TABLE R502.5(2)
ORDER SPANS AND HEADER SPANS FOR INTERIOR BEARING WALLS
 (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir and required number of jack studs)

HEADERS AND GIRDERS SUPPORTING	SIZE	Building Width (feet)					
		20		28		36	
		Span	N ¹	Span	N ¹	Span	N ¹
One floor only	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-8	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	1	4-5	1
	2-2x10	7-0	2	6-1	2	5-3	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x6	7-2	1	6-3	1	5-7	1
	3-2x8	8-3	1	7-2	1	6-9	1
	3-2x10	9-4	1	8-3	1	7-10	1
	3-2x12	10-5	1	9-4	1	8-2	1
	4-2x4	6-10	1	5-1	1	4-8	1
	4-2x6	7-1	1	6-2	1	5-5	1
	4-2x8	8-2	1	7-1	1	6-6	1
Two floor only	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-3	1	2-9	1	2-5	1
	2-2x8	4-4	1	3-8	1	3-2	1
	2-2x10	5-5	2	4-7	2	3-10	2
	2-2x12	6-6	2	5-6	2	4-8	2
	3-2x4	5-11	2	4-5	2	3-11	2
	3-2x6	6-2	2	5-4	2	4-10	2
	3-2x8	7-3	2	6-3	2	5-7	2
	3-2x10	8-4	2	7-2	2	6-6	2
	3-2x12	9-5	2	8-3	2	7-5	2
	4-2x4	7-2	2	6-2	2	5-6	2
	4-2x6	8-3	2	7-2	2	6-5	2

TABLE R802.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

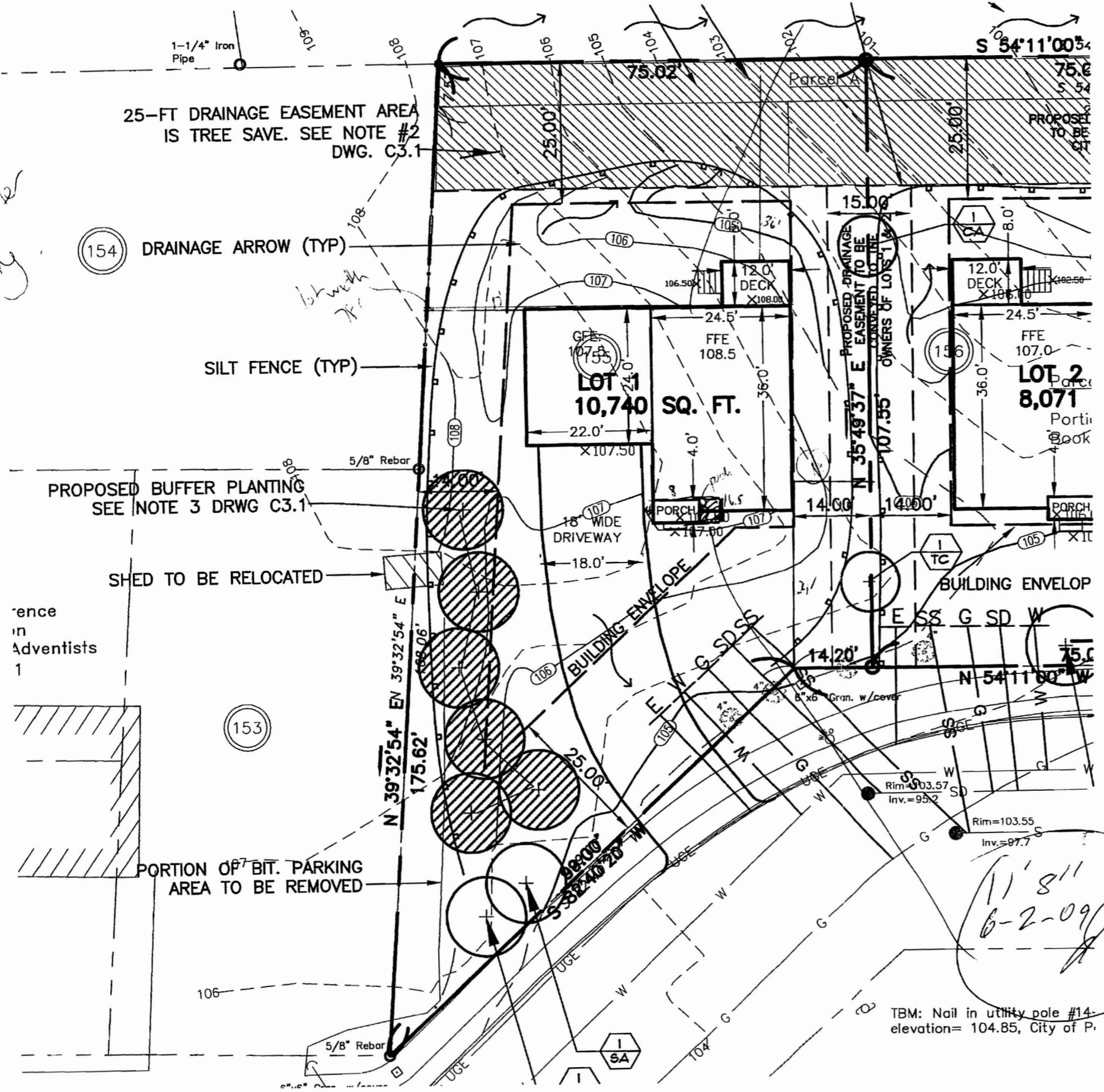
DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER	SPACING OF FASTENERS	
		Edges (inches) ¹	Intermediate support ^{2,3} (inches)
wood structural panels, subfloor, roof and wall sheathing to framing, and particleboard wall sheathing to framing			
5/16" - 1/2"	8d common nail (subfloor, wall) 8d common nail (roof)	6	12 ⁴
19/32" - 1"	8d common nail	6	12 ⁴
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12
Other wall sheathing ⁵			
1/2" regular cellulose fiberboard sheathing	1-1/2" galvanized roofing nail 8d common nail staple 16ga., 1-1/2" long	3	6
1/2" regular cellulose fiberboard sheathing	1-3/4" galvanized roofing nail 8d common nail staple 16ga., 1-3/4" long	3	6
25/32" structural cellulose fiberboard sheathing	1-1/2" galvanized roofing nail 8d common nail staple galvanized, 1-1/2" long 1-1/4" screws, type W or S	3	6
1/2" gypsum sheathing	1-1/2" galvanized roofing nail 8d common nail staple 16ga., 1-1/2" long	4	8
5/8" gypsum sheathing	1-1/2" galvanized roofing nail 8d common nail staple 16ga., 1-1/2" long	4	8
wood structural panels, combination subfloor underlayment to framing			
3/4" and less	8d deformed nail or 8d common nail	6	12
7/8" - 1"	8d common nail or 8d deformed nail	6	12
1-1/8" - 1-1/4"	10d common nail or 8d deformed nail	6	12

- For S: 1 inch = 25.4mm, 1 foot = 304.8mm, 1 mile per hour = 1.609km/h.
- All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80ksi (551 MPa) for shank diameter of .192inch (20d common nail), 90ksi (620 MPa) for shank diameters larger than 0.142inch but not larger than 1.177inch, and 100ksi (688 MPa) for shank diameters of 0.142inch less.
 - Staples are 18 gage wire and have a minimum 7/16-inch on diameter crown width.
 - Nails shall be spaced at not more than 6inches on center at all supports where spans are 48inches or greater.
 - Four-foot- by 8-foot or 4-foot-by 8-foot panels shall be applied vertically.
 - Spacing of fasteners not included in this table shall be based on table R502.3(1).
 - For regions having basic wind speed of 110mph or greater, 8d deformed nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25feet, up to 35feet maximum.
 - For regions having basic wind speed of 100mph or less, nails for attaching wood structural panel roof sheathing to gable and wall framing shall be spaced 6inches on center. When basic wind speed is greater than 100mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4inches on center to gable and wall framing.
 - Gypsum sheathing shall conform to ASTM C79 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to either ANSI A14.1 or ASTM C 208.
 - Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and at all roof plane perimeters. Blocking of roof or floor sheathing panel edges perpendicular to the framing members shall not be required except at intersection of adjacent roof planes. Floor and roof perimeter shall be supported by framing members or solid blocking.

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF HANCOCK LUMBER. HANCOCK LUMBER SHALL NOT BE RESPONSIBLE FOR THE WORK PROVIDED OR THE RESULTS THEREOF. THE INFORMATION IS NOT THE WORK OF HANCOCK LUMBER. HANCOCK LUMBER IS A REGISTERED ARCHITECT WITHIN THE STATE OF MAINE, AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. HANCOCK LUMBER DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

24' / 6-2-09

Used for zoning



NOTES:

1. GRADING SHOWN ON THIS PLAN IS FOR LOT #1 ONLY. GRADING ON ADJACENT LOTS IS CONCEPTUAL BASED ON SHEET C2.1, GRADING, DRAINAGE, UTILITIES & EROSION CONTROLS; YALE STREET LOT DIVISION, AS APPROVED BY CITY OF PORTLAND.
2. DRIVEWAYS, UTILITY CONNECTIONS, LIGHT POLES, AND STREET TREES SHOWN ARE APPROXIMATELY AS SHOWN ON SHEET C2.1 OF APPROVED PLANS. NO AS-BUILT INFORMATION FOR THESE IMPROVEMENTS ON YALE STREET OR ON ADJACENT LOTS IS AVAILABLE.
3. BUILDING FOOTPRINT AND LAYOUT SHOWN IS BASED ON FLOOR PLAN PROVIDED BY OWNER.
4. SITE ADAPTATION FOR LOT #1, AS SHOWN ON THIS PLAN BY STANTEC CONSULTING SERVICES, INC. IS BASED ON INFORMATION DESCRIBED IN NOTES #1 TO #3.
5. OWNER SHALL BE RESPONSIBLE FOR ALL LAYOUT AND FOR CONFORMANCE TO ZONING AND ALL APPROVED PLANS AND PERMITS.
6. EROSION CONTROLS SHALL BE INSTALLED BY CONTRACTOR PRIOR TO CONSTRUCTION, AS REQUIRED. EROSION CONTROLS SHOWN ARE CONCEPTUAL AND SHALL BE PLACED BASED ON ACTUAL FIELD CONDITIONS.
7. SETBACKS SHOWN ARE MINIMUM DISTANCE TO OUTSIDE OF FOUNDATION AND ASSUMES STRUCTURE TO BE 1-1/2 STORIES AT GARAGE. NOTE THAT SIDE STREET AND FRONT YARD SETBACKS ARE APPLICABLE. BUILDING CORNERS ARE LOCATED AT MINIMUM SETBACKS AND SHALL BE SET BY PROFESSIONAL SURVEYOR.
8. PROPOSED GARAGE AND FLOOR ELEVATIONS SHOWN ARE MINIMUM ELEVATIONS.

File:00258-base.dwg
AUGUST, 2008
210800258-L1

Client/Project
MJ DEVELOPMENT COMPANY
31 OLD CAMPUS DRIVE
PORTLAND, MAINE
Figure No. C-5.1

Title
LOT 1 SITE PLAN
12 YALE ST. LOT DIVISION
09-0523

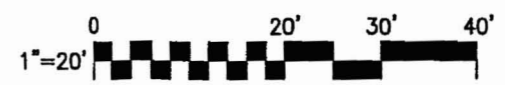


Legend

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Stantec



TBM: Nail in utility pole #14 elevation= 104.85, City of P.

11' 8" / 6-2-09