

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MARTIN'S POINT

Located At 331 VERANDA ST

Job ID: 2012-05-4079-ALTCOMM

CBL: 434- C-010-001

has permission to Replace exterior porch (no roof), & ADA entrance ramp at building #7, shoreland zone 1 year exception provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

 6/20/12

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Framing only if required prior to covering

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-4079-ALTCOMM

Located At: 331 VERANDA ST

CBL: 434- C-010-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Your recent submission shows that the replacement structures will be less in square footage and volume than what was removed on 7/9/2011.
3. Please note that a specific use for Bldg #7 or the old Morrison Building has not been established with this permit. Subsequent permits shall declare the use of the building. This permit is only for the rebuilding of the exterior porch and handicap entrance ramp.

Fire

1. All construction shall comply with City Code Chapter 10.
2. This permit is being approved on the basis of the scope of work submitted. Any deviation from the plans would require amendments and approval.
3. Components of the means of egress shall comply with NFPA 101 Chapter 7, including, but not limited to: ramps not to exceed 1:12; stairs 7/11; guards 42" high with balusters less than 4" a part; and Handrails 34" – 38".
4. Private fire mains and fire hydrants shall be maintained, tested and painted in accordance with Fire Department Regulations.
5. Fire extinguishers are required per NFPA 1.

Building

1. Application approval based upon information provided by the applicant or design professional; including revisions received as dated. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

will email
PDF

2012 054079 66



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

R-P

Location/Address of Construction: 331 Veranda Street		
Total Square Footage of Proposed Structure/Area 509 sf		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 434 C10	Applicant * <u>must be owner, Lessee or Buyer</u> * Name Martin's Point Address 331 Veranda Street City, State & Zip Portland, ME 04103	Telephone: 207-874-2323 Ext. 110
Lessee/DBA (If Applicable) RECEIVED MAY 24 2012 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 70,000 C of O Fee: \$ N/A Total Fee: \$ 720
Current legal use (i.e. single family) <u>Vacant</u> If vacant, what was the previous use? <u>Morrison Development Center</u> Proposed Specific use: <u>Business - VACANT NO USE AT PRESENT</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: Construction of the exterior porch and handicap entrance ramps only. Construction includes concrete foundations, steel and wood framing, decking and rails. The remainder of the project will be permitted separately.		
Contractor's name: <u>PC Construction</u> Address: <u>131 Presumpscot Street</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>874-2323 X110</u> Who should we contact when the permit is ready: <u>Jared Ballard</u> Telephone: <u>Same</u> Mailing address: <u>Same as above</u>		

7/9/11 Demol

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: JMA Date: 5/22/2012

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: JUDY L. JOHNSON / JAMES CURLEY (STRUCT)

Date: MAY 22, 2012

Job Name: MARTIN'S PLACE HEALTH CARE - BLDG #7 - PORCH/STAIR ADA PUMP

Address of Construction: 331 VERANDA STREET, PORTLAND, MAINE

2009
2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2009 Use Group Classification (S) B

Type of Construction EXIST IIB, NEW IIB

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC YES

Is the Structure mixed user? No If yes, separated or non separated or non separated (section 302.3) ---

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) ONE HAS BEEN PERFORMED

Structural Design Calculations

--- Submitted for all structural members (106.1 - 108.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (1603.11, 1807)

Floor Area Use	Loads Shown
Tenant Spaces	50 psf + 15 psf Partition
connector/stairs	100 psf

Wind loads (1603.1.4, 1609)

ASCE 7 Chapter 6 - Simplified Procedure
Design option utilized (1609.1.1, 1609.6)

98 Basic wind speed (1809.3)

II 1.0 Building category and wind importance Factor, I_w (table 1604.5, 1609.5)

C Wind exposure category (1609.4)

--- Internal pressure coefficient (ASCE 7)

--- Component and cladding pressures (1609.1.1, 1609.6.2.2)

--- Main force wind pressures (1603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

--- Design option utilized (1614.1)

II Seismic use group ("Category")

256/0088 Spectral response coefficients, S_a & S_1 (1615.1)

C Site class (1615.1.5)

Walls 14.2 / 21.5 psf
Roofs - 6.6 / - 11.1 psf

--- Live load reduction

--- Roof live loads (1603.1.2, 1607.11)

35 Roof snow loads (1603.7.3, 1608)

50 Ground snow load, P_g (1608.2)

35 If $P_g > 10$ psf, flat roof snow load, P_f

1.0 If $P_g > 10$ psf, snow exposure factor, C_e

1.0 If $P_g > 10$ psf, snow load importance factor, I_s

1.0 Roof thermal factor, C_t (1608.4)

--- Sloped roof snowload, P_s (1608.4)

C Seismic design category (1616.3)

Ordinary Braced Frame Basic seismic force resisting system (1617.6.2)

3/4/3/4 Response modification coefficient, R , and deflection amplification factor, C_d (1617.6.2)

Equivalent Lateral Force Analysis procedure (1616.6, 1617.5)

0.085 W Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

--- Flood Hazard area (1612.3)

--- Elevation of structure

Other loads

--- Concentrated loads (1607.4)

15 psf FA + Tenant Spaces Partition loads (1607.5)

--- Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

10 Pressure
23/31/37 suction for Zones 1/2/3
based on 65 ft² Tributary Area



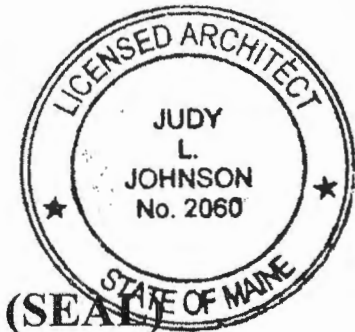
Accessibility Building Code Certificate

Designer: JUDY L. JOHNSON

Address of Project: 331 VERMONT STREET, PORTLAND MAINE

Nature of Project: EGRESS PORCH/STAIR & ADA
RAMP REPLACEMENT TO AN
EXIST. BUILDING

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Judy L. Johnson.

Title: ARCHITECT - PRINCIPAL

Firm: HARRIMAN

Address: 123 MIDDLE ST.
PORTLAND MAINE

Phone: 207-775-0053

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

HARRIMAN

Harriman | 123 Middle Street Portland, Maine 04101 United States

Transmittal**ID:** 00026**Date Sent:** 6/1/2012

Project: Martin's Point, Morrison Development Ctr
Number: 11588

To: Jeanie Bourke
 City of Portland
 389 Congress Street
 Room 308
 Portland, ME 04101
 207-874-8715 (Phone)

City of Portland Maine
 Dept. of Building Inspections

JUN 01 2012

From: Mark Ouellette
 Harriman
 123 Middle Street
 Portland, Maine 04101
 United States
 207-775-0053 (Phone)
 207-775-0460 (Fax)

RECEIVED

Subject: 11588-Martins Point - Porch/Stair ADA Ramp Permit drawings
Via: Hand

Purpose: For your approval
Remarks: Jeanie,

Please find enclosed revised drawings that superseded previously issued contract document drawings submitted by PC Construction. There are no changes to the drawings other than the discussed clarifications pertaining to scope of future work and that of which is associated with this building permit application.

If you have any questions, please do not hesitate to call me. Thank you.

Mark M. Ouellette, AIA, LEED® AP
 Architectural Studio

HARRIMAN
 Architects + Engineers
 123 Middle Street
 Portland, Maine 04101
 207.775.0053 tel
 207.775.0460 fax
 207.730-2736 cell

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www.harriman.com

CC: Jared Ballard(PC Construction)
 Judy Johnson(Harriman)
 Jeff Bland(Martin's Point Health Care)



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Receipts Details:

Tender Information: Check , BusinessName: Martin's Point Health Care, Inc, Check Number: 189989

Tender Amount: 720.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 5/24/2012

Receipt Number: 44291

Receipt Details:

Referance ID:	6651	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	720.00	Charge Amount:	720.00
Job ID: Job ID: 2012-05-4079-ALTCOMM - construct exterior porch & handicap ramp			
Additional Comments: Jared Ballard			

Thank You for your Payment!



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Greg Mitchell, Acting Director of Planning and Development
Marge Schmuckal, Zoning Administrator

Meeting Information

DATE: 12/9/11 ZONE: R-P
LOCATION: Former Morison Dev. Center - Martins Point
PEOPLE PRESENT: Mark Oullette - Nathan Smith - Alex J. Rick K. - Marge -

DISCUSSION: Went over "wish list" -
1 year to rebuild within the existing footprint
wants to expand upward
discussed 14-436 (b)
and shoreline zoning 30% - within 75' protected buffer
Needs to accurately get base line
medical offices (Admin)
treatment (physical therapy)
training for schools nurse etc - employment training for
discussed uses staff (assessory)
discussed type of site plan review - maybe staff review?

Please note: this meeting is not an pre-approval of any ordinances. No project can be approved without going thru the appropriate reviews. This meeting is only to outline the City processes to go through based on the information given at this meeting. Any changes to that information may change the process requirements. Please check ordinances that are on-line for further information at www.portlandmaine.gov.

HARRIMAN

Harriman | 123 Middle Street Portland, Maine 04101 United States

Transmittal

ID: 00027
Date Sent: 6/5/2012

Project: Martin's Point, Morrison Development Ctr
Number: 11588

To: Barbara Barhydt
City of Portland / Planning Division
United States
756-8256 (Phone)

MES@portlandmaine.gov
RWK@portlandmaine.gov

From: Mark Ouellette
Harriman
123 Middle Street
Portland, Maine 04101
United States
207-775-0053 (Phone)
207-775-0460 (Fax)

Subject: 11588_Martins_Point_Healthcare_Bldg7_City_of_Portland_Pre-Permit_Staff_Review_Ramp_Stair_Porch-06-05-12

Via: Info Exchange

Purpose: For your use

Remarks: Marge,

Please find attached pdf. I have provided the additional information you requested.

On SHEET 2A, I have added square footage and cubic footage of the various existing entities that have been removed. Also, on SHEET 3, I have indicated the square footage and cubic footage of the proposed porch/stair/ADA ramp for your 30% calculations.

If you have any further questions, please contact me.

Mark M. Ouellette, AIA, LEED® AP
Architectural Studio

HARRIMAN
Architects + Engineers
123 Middle Street
Portland Maine 04101
207 775 0053 tel
207 775 0460 fax
207 730-2736 cell

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CC: Jared Ballard(PC Construction)
Judy Johnson(Harriman)
Jeff Bland(Martin's Point Health Care)
John Kuchinski(Harriman)

Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
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1	11588 Martins Point Pre Building Permit Staff Approval.pdf		5/16/2012			
1	11588 ZONING STUDY 06-05-12.pdf		6/5/2012			

JUN - 5 2012



2012 05 4079

Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

ADA

PROJECT NAME: 331 VERANDA STREET - Bldg. #7 Porch/Stair Ramp

PROJECT ADDRESS: 331 VERANDA ST. CHART/BLOCK/LOT: 434 C01 00001

APPLICATION FEE: (\$50.00)

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

EGRESS PORCH/STAIR & ADA RAMP RECONSTRUCTION

CONTACT INFORMATION:

OWNER/APPLICANT

CONSULTANT/AGENT

Name: JEFF BLAND

Name: MARK OUELLETTE

Address: R.O. Box 9746
331 VERANDA ST PORTLAND

Address: 123 MIDDLE ST.
PORTLAND ME.

Work #: 207-828-2471 ME.

Work #: 207-775-0053

Cell #: 207-310-8495

Cell #: 207-730-2736

Fax #: 207-828-7836

Fax #: 207-775-0460

Home #: —

Home #: —

E-mail: JEFF.BLAND@MARTINSPONT.ME

E-mail: MOUELLETTE@HORIZONMAN.COM

Criteria for an Administrative Authorization: ⁰²⁵
(see section 14-523(4) on pg .2 of this appl.)

Applicant's Assessment
Y(yes), N(no), N/A

- a) Is the proposal within existing structures? No
- b) Are there any new buildings, additions, or demolitions? YES
- c) Is the footprint increase less than 500 sq. ft.? No
- d) Are there any new curb cuts, driveways or parking areas? No
- e) Are the curbs and sidewalks in sound condition? YES
- f) Do the curbs and sidewalks comply with ADA? YES
- g) Is there any additional parking? No
- h) Is there an increase in traffic? No
- i) Are there any known stormwater problems? No
- j) Does sufficient property screening exist? YES
- k) Are there adequate utilities? YES
- l) Are there any zoning violations? No
- m) Is an emergency generator located to minimize noise? No
- n) Are there any noise, vibration, glare, fumes or other impacts? No

Signature of Applicant: [Signature]

Date: 5/31/2012

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other required approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

Sec. 14-523 (b). Applicability

No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

**Administrative Authorization Decision
City of Portland, Planning Division**

331 Veranda Street
Building #7 Porch and stair

Criteria for an Administrative Authorizations:
(See Section 14-523 (4) on page 2 of this application)

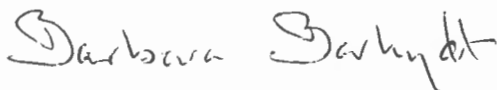
Applicant's Assessment
Y(yes), N(no), N/A

Planning Division
Use Only

a) Is the proposal within existing structures?	No	No
b) Are there any new buildings, additions, or demolitions?	Yes	Yes – ramp and porch with egress
c) Is the footprint increase less than 500 sq. ft.?	No	Ramp 206 sf Porch 521 sf
d) Are there any new curb cuts, driveways or parking areas?	No	No
e) Are the curbs and sidewalks in sound condition?	Yes	Yes
f) Do the curbs and sidewalks comply with ADA?	Yes	Yes
g) Is there any additional parking?	No	No
h) Is there an increase in traffic?	No	No
i) Are there any known stormwater problems?	No	No
j) Does sufficient property screening exist?	Yes	Yes
k) Are there adequate utilities?	Yes	Yes
l) Are there any zoning violations?	No	No
m) Is an emergency generator located to minimize noise?	No	No
n) Are there any noise, vibration, glare, fumes or other impacts?	No	No

The Administrative Authorization for 331 Veranda Street was approved by Barbara Barhydt, Development Review Services Manager on June 6, 2012 with the following conditions of approval as listed below:

1. The approval is for the handicap ramp and the porch and egress only, as shown on site plan C00.1. Building changes shown as future additions shall be submitted for review and approval under separate applications.
2. **Standard Condition of Approval:** The applicant shall obtain all required City Permits, including building permits from the Inspection Division (874-8703) and any other permits required from the Department of Public Services (874-8801) prior to the start of any construction.

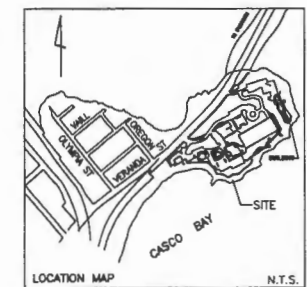
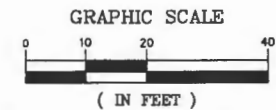
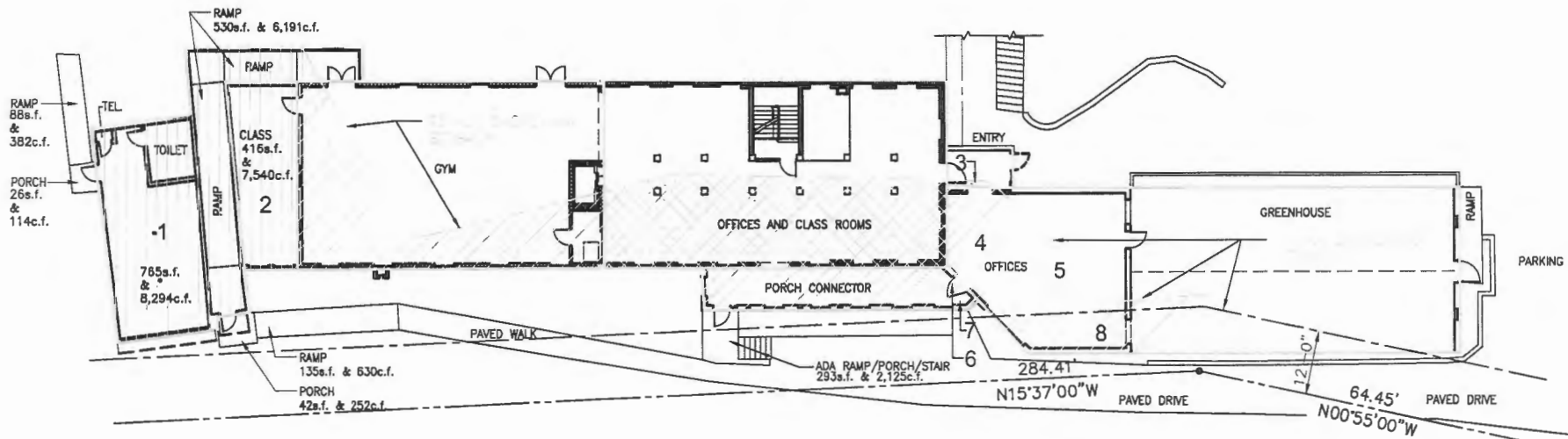


Barbara Barhydt
Development Review Services Manager
June 6, 2012

Barbara Barhydt - martins point

From: Rick Knowland
To: Barbara Barhydt
Date: Wednesday, June 06, 2012 11:44 AM
Subject: martins point

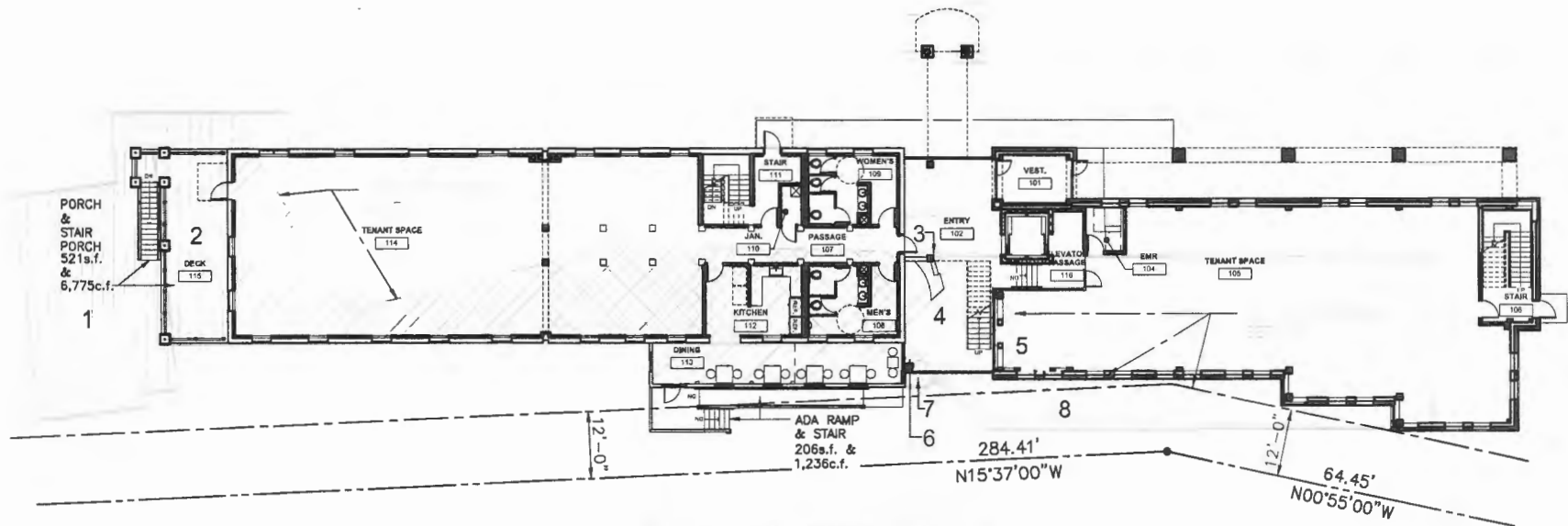
Barbara, Marge told me she is ok with martins point. So the administrative authorization could be approved if you are comfortable in doing so.



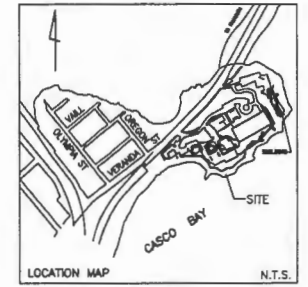
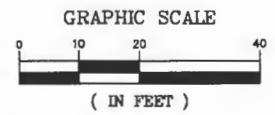
MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE

SHEET 2A - BUILDING ZONING - SHORELAND ZONING ANALYSIS - EXIST. BLDG. FLOOR PLAN
 June 5, 2012



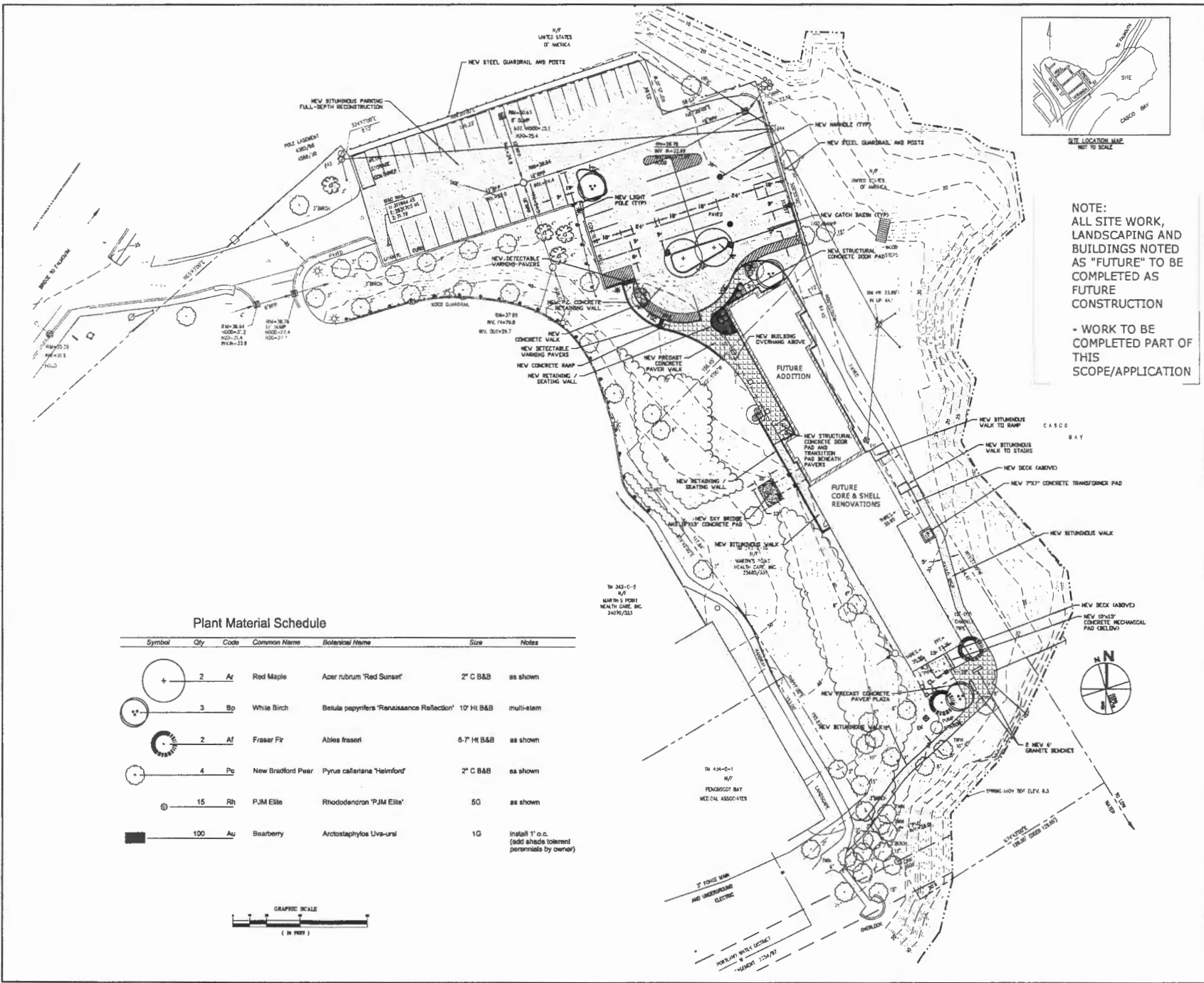


PORTION OF BUILDING	NON-COMPLIANT SQUARE FOOTAGE	NON-COMPLIANT VOLUME (C.F.)
1	-1,295	-15,540
2	+1,042	+7,033
3	+8	+170
4	+295	+6,268
5	+280	+3,861
6	+19	+404
7	-12	-120
8	-415	-446
TOTAL	-78	+1,630



MARTIN'S POINT HEALTHCARE
PORTLAND, MAINE





HARRIMAN
Architects + Engineers

133 Middle Street
Portland, ME 04101
207.791.1100
www.harriman.com

Project No: **MARTINE'S POINT HEALTHCARE BUILDING #7 RENOVATION & ADDITION**
PORTLAND, MAINE

Alt. Project No: 11588
Rev. No:

NOTES:

1. SURVEY PREPARED BY OWEN HASKELL, INC., DATED FEB. 22, 2012.

5/3/12	ISSUED FOR BUILDING PERMIT
4-08-12	ISSUED FOR BID

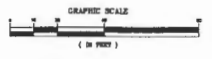
Drawing Title: _____

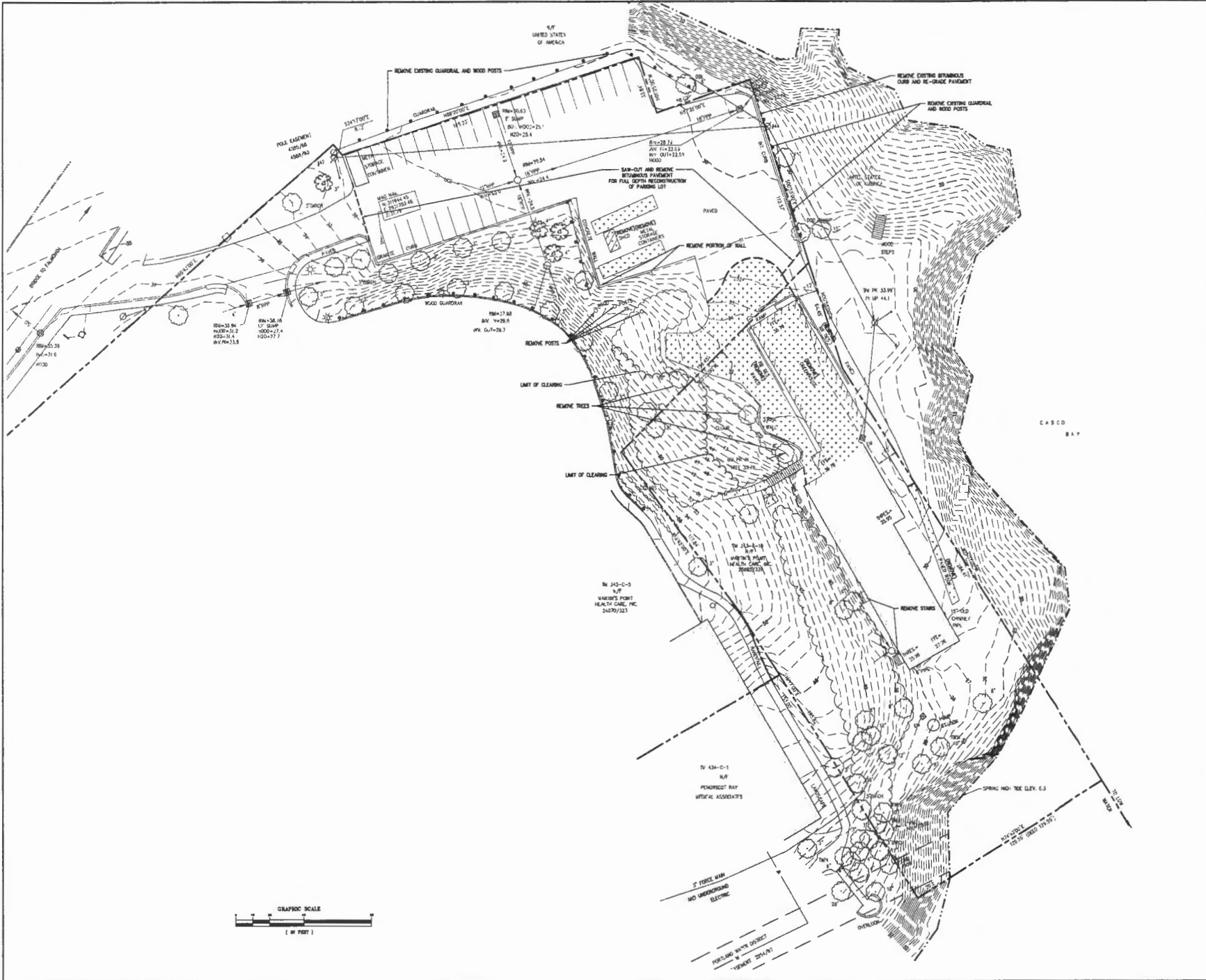
Drawing No: **SITE PLAN**

PL / PL. P.L.C. Drawn By: P.L.S.
Drawing Number: **C00.1**

Plant Material Schedule

Symbol	Qty	Code	Common Name	Botanical Name	Size	Notes
⊕	2	Ar	Red Maple	Acer rubrum 'Red Sunset'	2" C B&B	as shown
⊙	3	Bp	White Birch	Betula papyrifera 'Renaissance Reflection'	10" H1 B&B	multi-stem
⊙	2	Af	Fraser Fir	Abies fraseri	8-7" H1 B&B	as shown
⊕	4	Pc	New Bradford Pear	Pyrus calleryana 'Heimford'	2" C B&B	as shown
⊙	15	Rh	PJM Ellie	Rhododendron 'PJM Ellie'	5G	as shown
■	100	Au	Bearberry	Arctostaphylos Uva-ursi	1G	Install 1" o.c. (add shade tolerant perennials by owner)





Project File:
 MARTIN'S POINT
 HEALTHCARE
 BUILDING #7
 RENOVATION &
 ADDITION
 PORTLAND, MAINE

Job Proposal No. 11558
 City: Portland

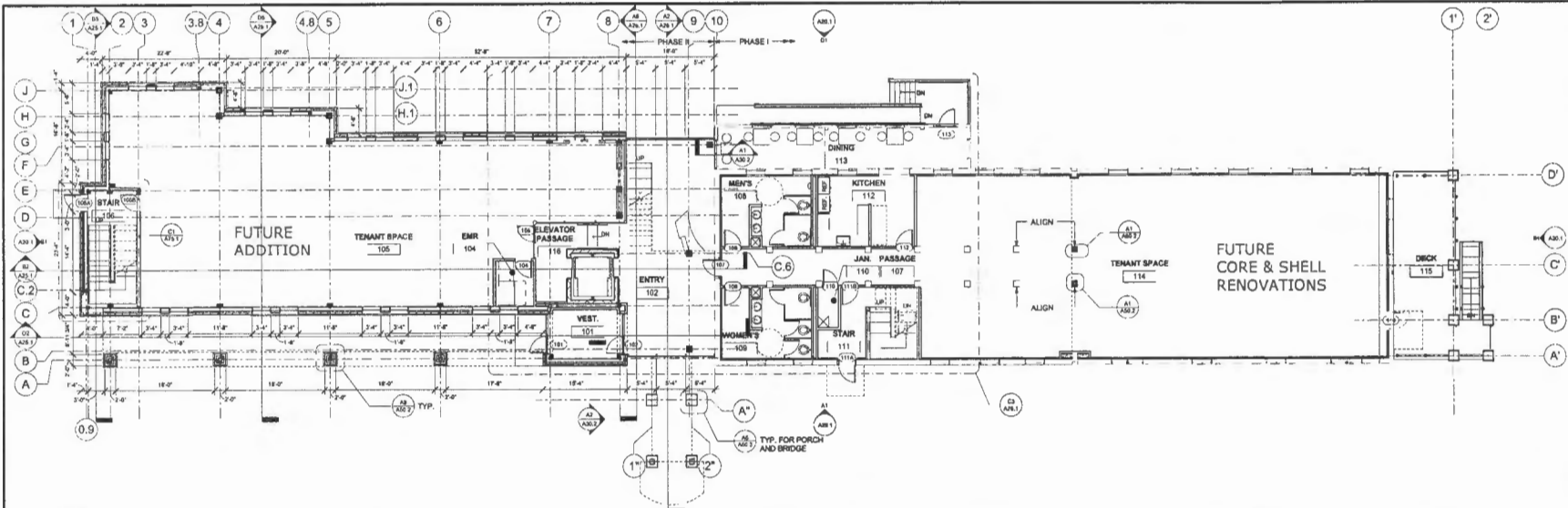
- NOTES:
 1. SURVEY PREPARED BY OWEN HASKELL, INC., DATED FEB. 23, 2012.

Date	Description
3/30/11	ISSUED FOR BUILDING PERMIT
4-08-12	ISSUED FOR BID

Existing Site
**EXISTING SITE
 CONDITIONS AND
 DEMOLITION PLAN**

PL / NO: PLG Drawn By: PLS

Sheet Number:
C10.1



01 FIRST FLOOR PLAN
1/8" = 1'-0"

- GENERAL NOTES:**
- INTERIOR PARTITION DIMENSIONS ARE TO FACE OF FINISH OF PARTITION FROM COLUMN CENTER LINE UNLESS OTHERWISE SHOWN/NOTED.
 - REFER TO A10.1 FOR PARTITION DESCRIPTIONS.
 - ALL INTERIOR PARTITIONS ARE TYPE 223 UNLESS OTHERWISE NOTED. FULL HEIGHT PARTITIONS SHALL BE FRAMED AROUND MECHANICAL DUCTWORK. GAPS AROUND DUCTWORK WITH SOUND ATTENUATING BATT (SAB) INSULATION.

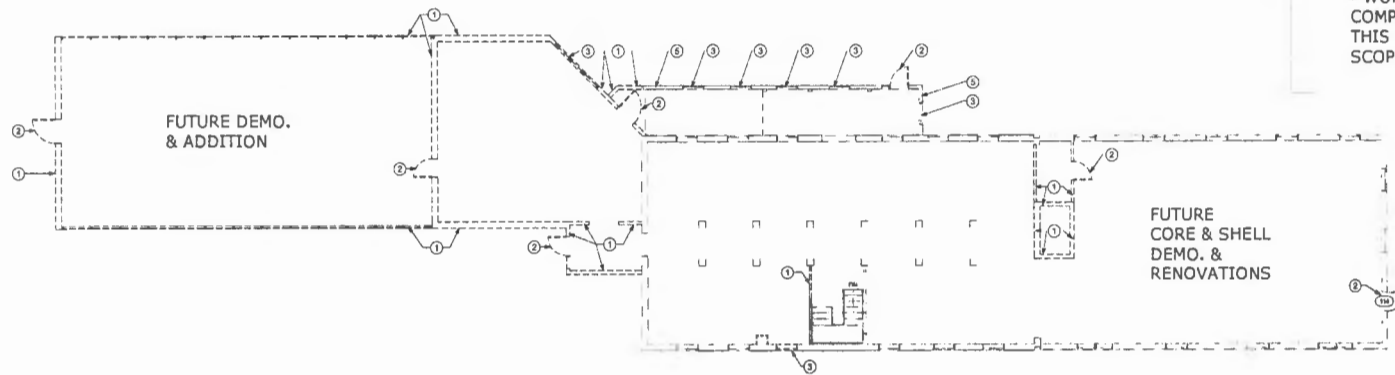
LEGEND:

ROOM NAME	ROOM NAME & NUMBER
---	PARTITION/CONSTRUCTION TYPE
---	DOOR NUMBER
---	WINDOW TYPE
---	FIRE EXTINGUISHER
---	FIRE EXTINGUISHER & CABINET

- GENERAL DEMOLITION NOTES:**
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL SAFETY CODES.
 - MAINTAIN INTEGRITY OF ALL EXISTING FIRE RATED ASSEMBLIES TO REMAIN, INCLUDING ENCLOSURES AT COLUMNS, STAIRS, AND SHAFTS.
 - PROTECT ALL EXISTING FINISHES, MILLWORK, AND CONSTRUCTION TO REMAIN.
 - BEFORE STARTING WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL PREPARE A LIST OF EXISTING DAMAGED AREAS, DOCUMENTED BY DATED PHOTOGRAPHS AND SIGNED BY THE PERSON CONDUCTING THE INVESTIGATION, PRESENT TO OWNER FOR VERIFICATION PRIOR TO STARTING DEMOLITION.
 - CONTRACTOR SHALL COORDINATE DEMOLITION OPERATIONS WITH THE OWNER, AND PROCURE PRIOR APPROVAL FOR ALL DEMOLITION PROCEDURES, INCLUDING USE OF BUILDING FACILITIES, PLACEMENT OF DUMPSTER, REFUSE REMOVAL, AND PHASING.
 - CONTRACTOR SHALL COORDINATE REMOVAL AND STORAGE OF ALL SALVAGED ITEMS WITH THE OWNER.
 - PROTECT AND MAINTAIN THE OPERATION OF ANY EXISTING SYSTEMS TO REMAIN FUNCTIONAL DURING THE PROJECT. PROCURE PRIOR APPROVAL FROM THE OWNER FOR ANY SHUT-DOWNS REQUIRED.
 - CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS BEFORE DEMOLITION BEGINS. PROVIDE TEMPORARY OR PERMANENT STRUCTURE AS REQUIRED.
 - MISC. EQUIPMENT OR FURNISHINGS SHALL BE STORED OR REMOVED AT THE DISCRETION OF THE OWNER.
 - WHERE ELECTRICAL FIXTURES ARE REMOVED, EXISTING WIRING SHALL BE REMOVED BACK TO ELECT. BOX. REFER TO ELECTRICAL DRAWINGS.
 - AFTER DEMOLITION, ALL ABANDONED PENETRATIONS SHALL BE PATCHED AND FIRE PROTECTED ACCORDING TO CODE.
 - ITEMS TO BE SALVAGED FOR RE-USE BY OWNER:
 - DOOR HARDWARE
 - ROLLING FILES
 - LIGHTING, INC. EMERG. LIGHTING
 - FIRE EXTINGUISHERS
 - SMOKE DETECTORS
 - CONTRACTOR TO PROTECT AREAS TO REMAIN OPERATIONAL FROM DUST & DEBRIS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND CLEANING ANY AREAS EXPOSED TO DUST OR DEBRIS FROM DEMOLITION ACTIVITIES.
 - GROW AT EXTERIOR WALLS TO REMAIN UNLESS NOTED OTHERWISE.

NOTE:
ALL BUILDINGS NOTED AS "FUTURE" TO BE COMPLETED AS FUTURE CONSTRUCTION
- WORK TO BE COMPLETED PART OF THIS SCOPE/APPLICATION

02 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"



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Project No. **MARTIN'S POINT HEALTHCARE**

BUILDING #7 RENOVATION & ADDITION
PORTLAND, MAINE

Formed Photo No. 11588

Scale: 1/8" = 1'-0"

PHASE ONE (EXISTING)
PHASE TWO (ADDITIONS)

NO.	DESCRIPTION	DATE

Drawing Scale: As indicated 1/8" = 1'-0"

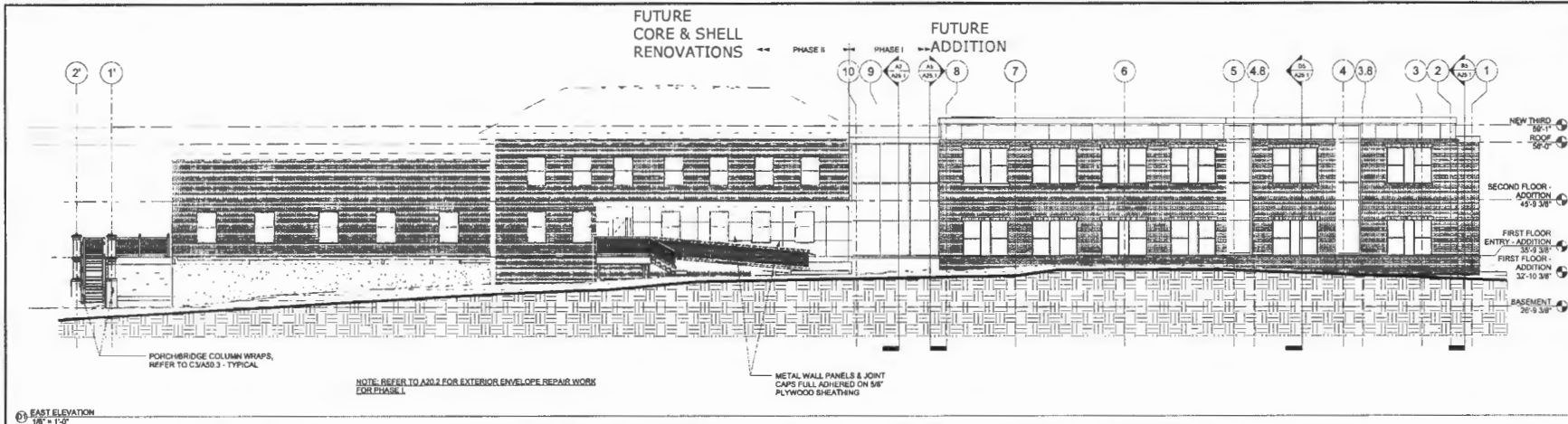
NO.	REVISION	DATE

Drawing Date:

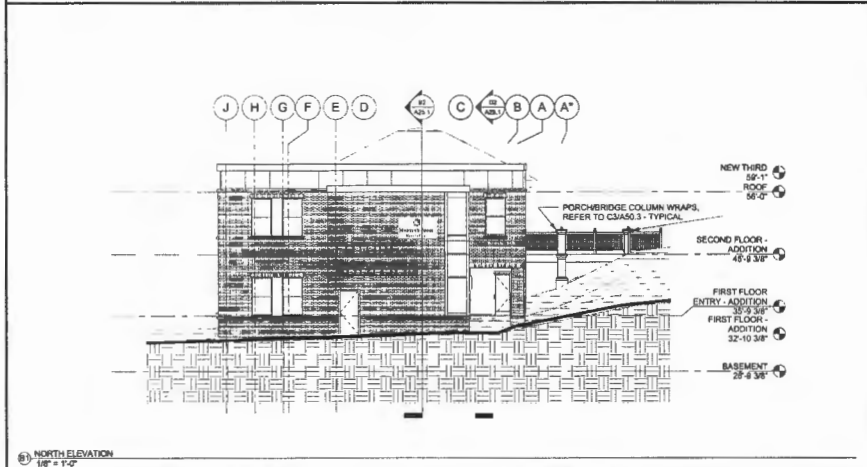
Project No. **FIRST FLOOR PLANS**

Rev. No. **A10.1** Drawn by **MMO**

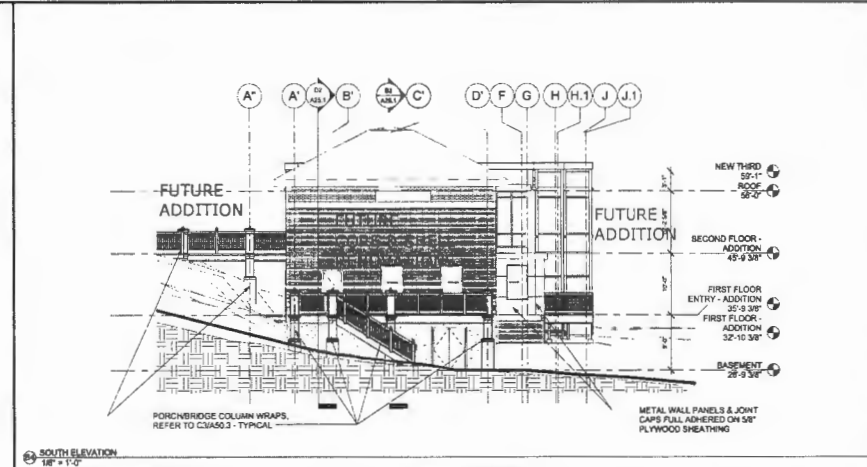
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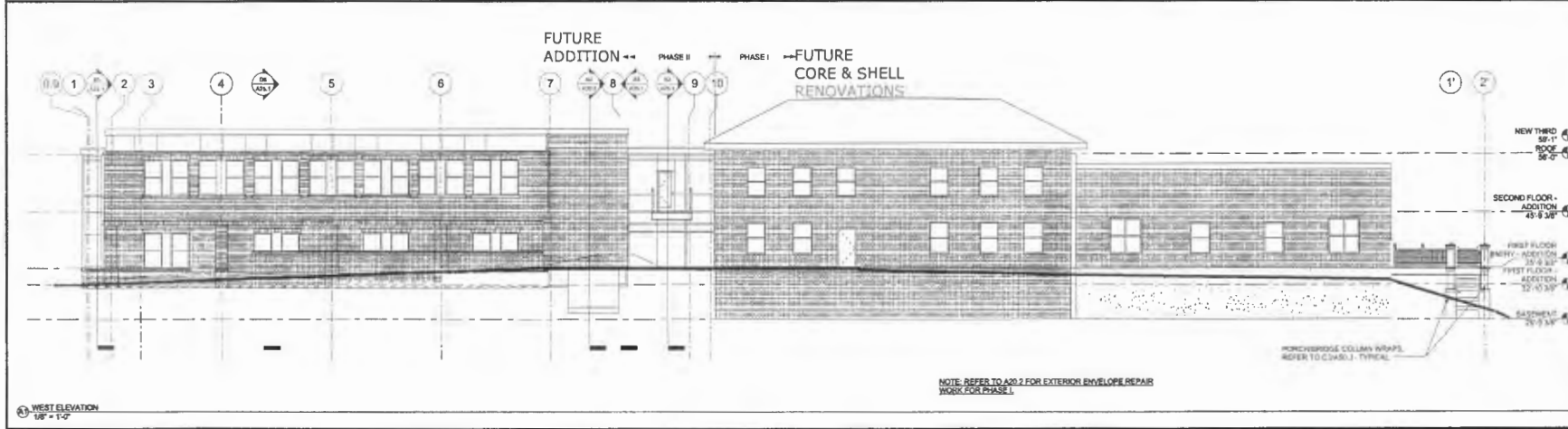
61 EAST ELEVATION
1/8" = 1'-0"



62 NORTH ELEVATION
1/8" = 1'-0"



63 SOUTH ELEVATION
1/8" = 1'-0"



64 WEST ELEVATION
1/8" = 1'-0"

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Tel: 763.738.5424

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Project No: MARTIN'S POINT HEALTHCARE

BUILDING #7 RENOVATION & ADDITION
PORTLAND, MAINE

Project No: 11558

Phase One (EXISTING) Phase Two (ADDITION)

NOTE:
ALL BUILDINGS NOTED AS "FUTURE" TO BE COMPLETED AS FUTURE CONSTRUCTION

- WORK TO BE COMPLETED PART OF THIS SCOPE/ APPLICATION



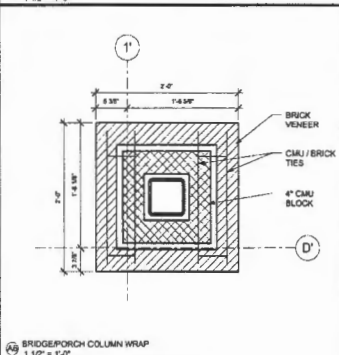
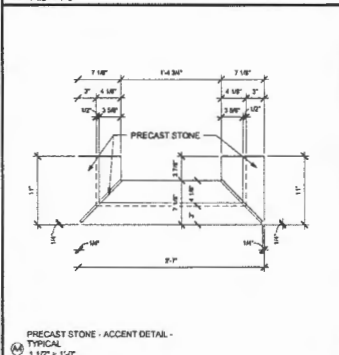
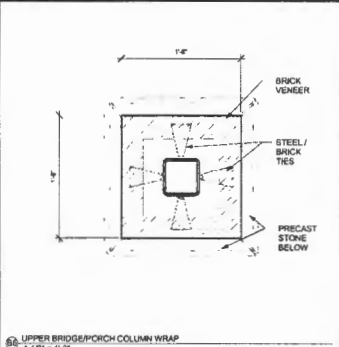
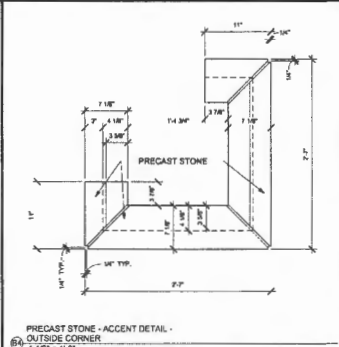
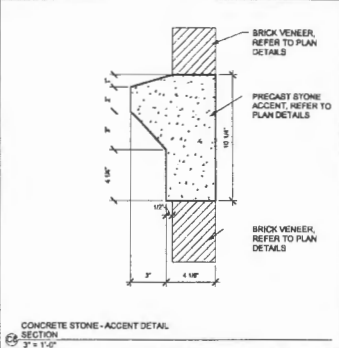
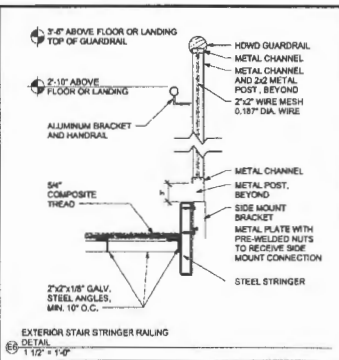
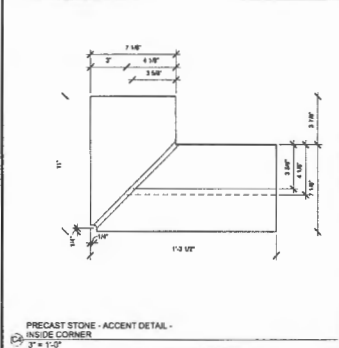
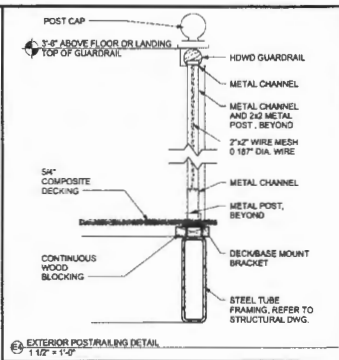
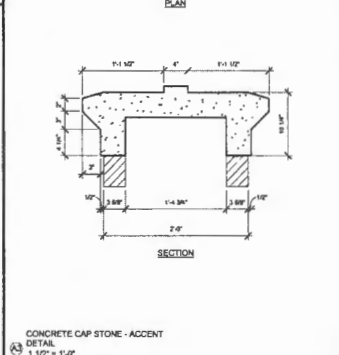
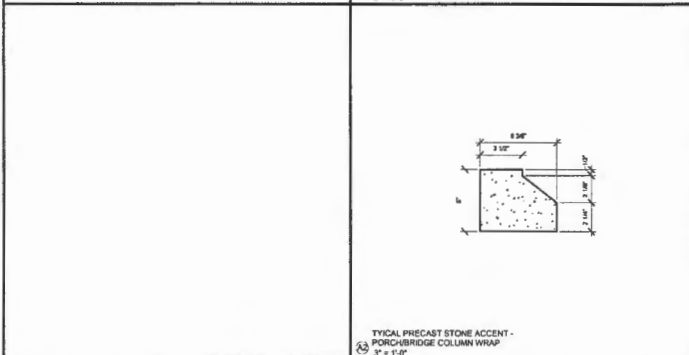
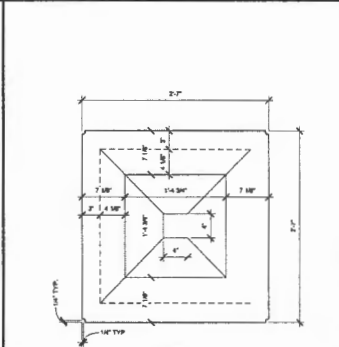
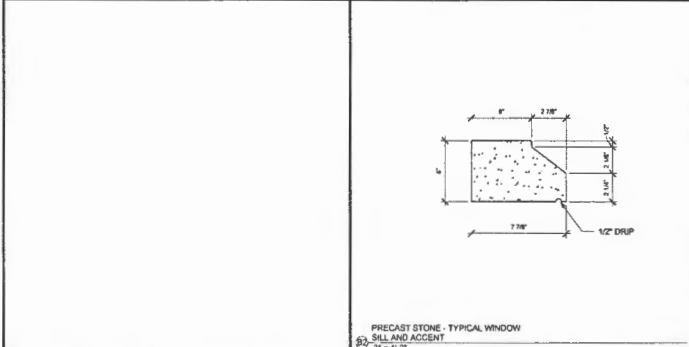
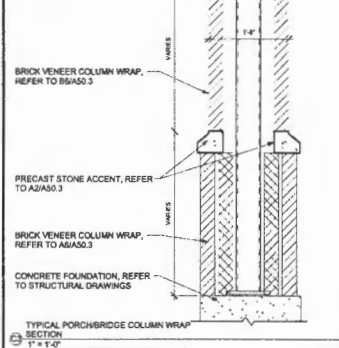
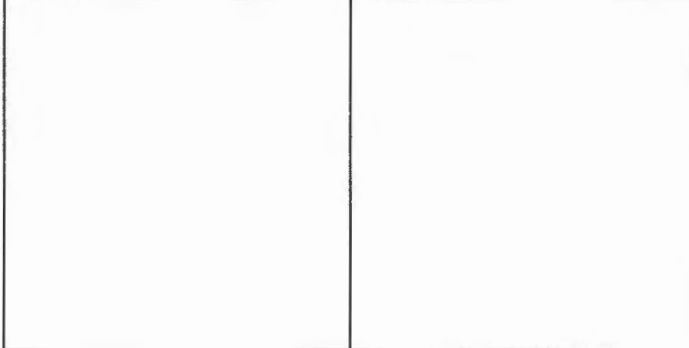
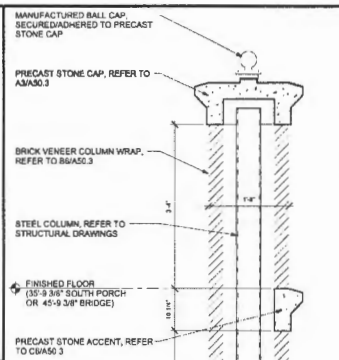
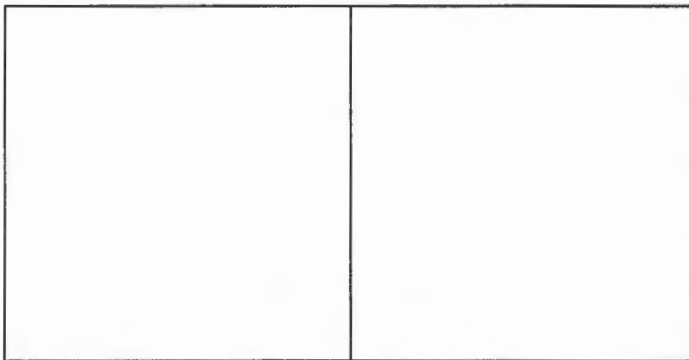
NO.	REVISION	DATE	DESCRIPTION

Drawing Title: EXTERIOR ELEVATIONS

Project No: A20.1

Client: TRU

Drawing Number: A20.1



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JUDY J. HARRIMAN
REGISTERED ARCHITECT
NO. 1000

Project Title
**MARTIN'S POINT HEALTHCARE
BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Historical Project No. 11558

Site Plan

Drawing Scale
As Indicated 1/2" = 1'-0"

Graphic scale showing 0, 2, 4, 6, 8, 10 feet.

NOTICE: BEFORE USING BUILDING PERMIT APPLICANT MUST REVIEW THESE

Sheet: 010
Date: 05/14/12
Project: 11558

Drawing Title
**EXTERIOR DETAILS AND
PLAN DETAILS**

Author: JAL
Drawn by: MM0

A50.3



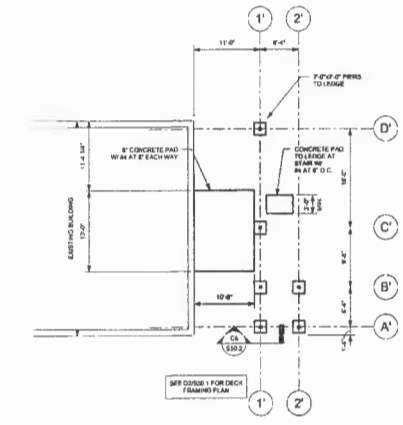
- FOUNDATION PLAN NOTES:**
- TOP OF CONCRETE REVISIONS ARE REINFORCED IN PLACE FROM FINISH FLOOR ELEVATION TO 2" BELOW FINISH FLOOR.
 - SEE ADDITIONAL APPLICABLE FOUNDATION NOTES ON DRAWING 5501.
 - 1-FT INDICATES TOP OF CONCRETE SLAB/STAIR.
 - 1-FT INDICATES TOP OF FOOTING SLAB/STAIR.
 - SPREAD FOOTINGS ARE CENTERED ON COLUMN, UNLESS NOTED OTHERWISE.
 - SEE ARCHITECTURAL DRAWINGS FOR LOCATION AND DIMENSIONS OF ALL EXISTING WALLS. VERIFY EXISTING WALL ELEVATION BEFORE ANY FLOORING PRODUCT TO BE INSTALLED.
 - 1-FT INDICATES SPAN OF STRUCTURAL SLAB. SEE DETAIL A1001.1.
 - COORDINATE START POINT OF BUILDING LAYOUT TO BUILDING EXISTING LAYOUT TO BE 1/2" UP OF FINISH FLOOR FACE OF BRICK AT EXISTING BUILDING.

Drawing Scale: 1/8" = 1'-0"

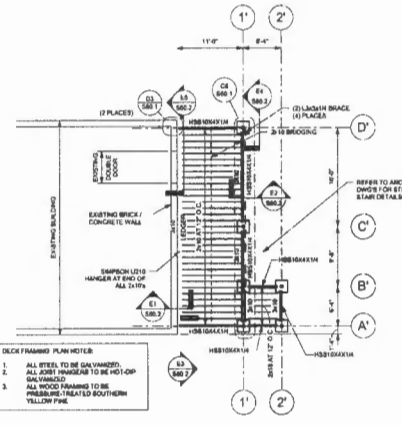
NO.	DATE	ISSUED FOR BUILDING PERMITS	DESCRIPTION
1	5/20/12	ISSUED FOR BUILDING PERMITS	
2	6/20/12	ISSUED FOR BID	
3	8/20/12	FOR BIDDING/CONTRACT	

Drawing Title: **FOUNDATION PLANS AND MISC. FRAMING PLANS**

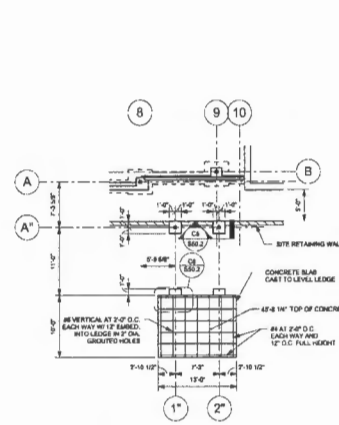
Prepared By: JPC
Checked By: MRM
Drawing Number: **S10.1**



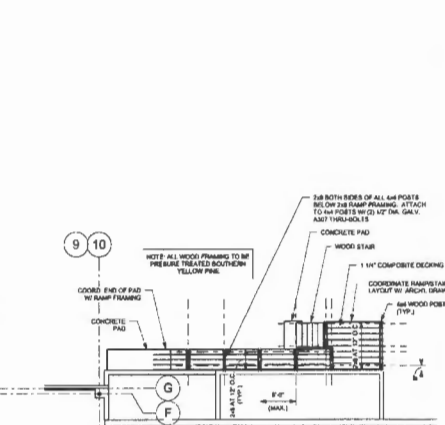
D1 DECK FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



D2 DECK FRAMING PLAN
SCALE: 1/8" = 1'-0"



D4 FUTURE FOUNDATION PLAN AT BRIDGE
SCALE: 1/8" = 1'-0"



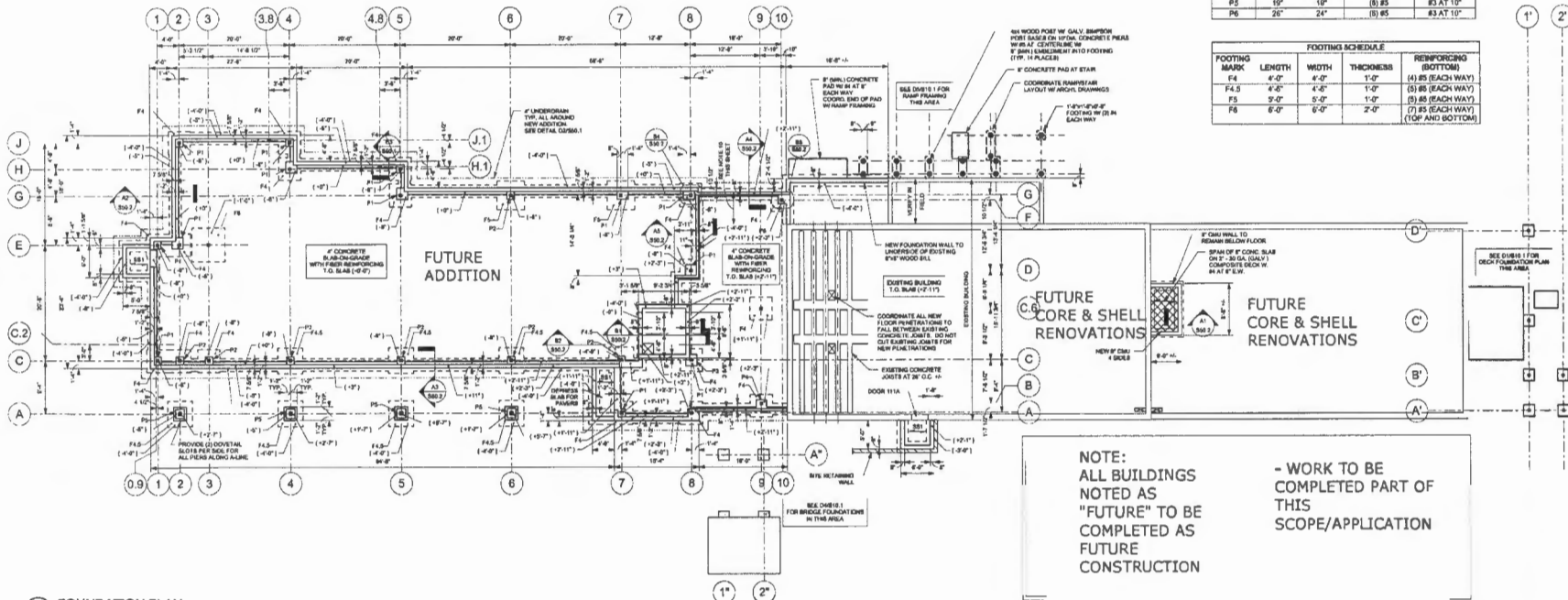
D5 RAMP FRAMING PLAN
SCALE: 1/8" = 1'-0"

PIER SCHEDULE

PIER MARK	LENGTH	WIDTH	VERTICAL REINFORCING	BENT TIES
P1	24'	24'	(8) #5	#3 AT 10"
P2	24'	18'	(8) #5	#3 AT 10"
P3	24'	24'	(12) #5	#3 AT 10"
P4	18'	22'	(8) #5	#3 AT 10"
P5	18'	18'	(8) #5	#3 AT 10"
P6	26'	24'	(8) #5	#3 AT 10"

FOOTING SCHEDULE

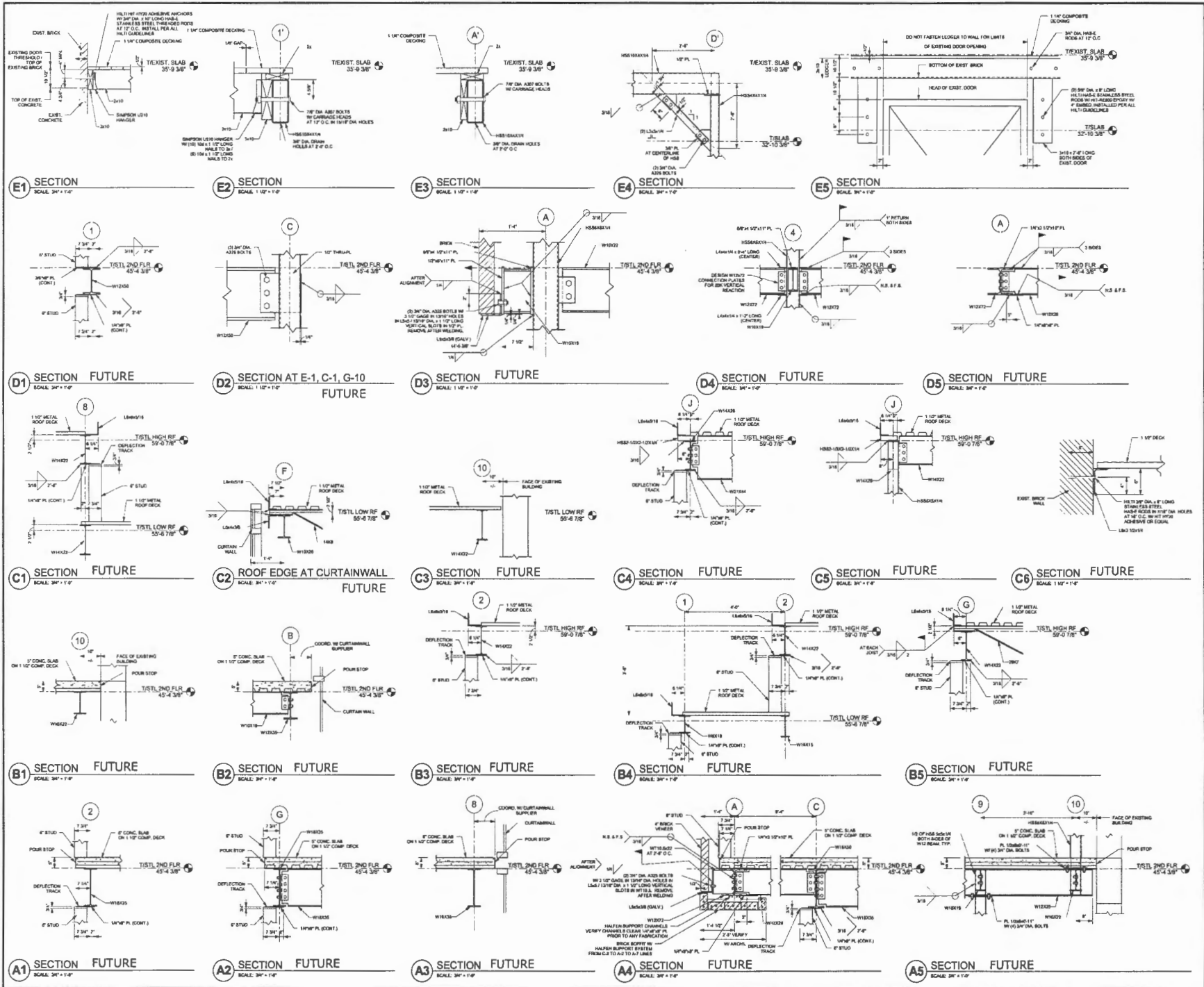
FOOTING MARK	LENGTH	WIDTH	THICKNESS	REINFORCING (BOTTOM)
F4	4'-0"	4'-0"	1'-0"	(4) #5 (EACH WAY)
F4.5	4'-6"	4'-6"	1'-0"	(8) #5 (EACH WAY)
F5	3'-0"	5'-0"	1'-0"	(8) #5 (EACH WAY)
F6	6'-0"	6'-0"	2'-0"	(7) #5 (EACH WAY) (TOP AND BOTTOM)



A1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

NOTE:
ALL BUILDINGS NOTED AS "FUTURE" TO BE COMPLETED AS FUTURE CONSTRUCTION

- WORK TO BE COMPLETED PART OF THIS SCOPE/APPLICATION



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Project No. **MARTIN'S POINT HEALTHCARE**

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Revision: 11558

1" = 1'-0"

NOTE:
ALL DETAILS
NOTED AS
"FUTURE" TO BE
COMPLETED AS
FUTURE
CONSTRUCTION
AND ARE NOT
SCOPE OF WORK
RELATED TO
THIS PERMIT
APPLICATION.

Drawing Date: 05/11/17

As Indicated

Scale: 3/4" = 1'-0"

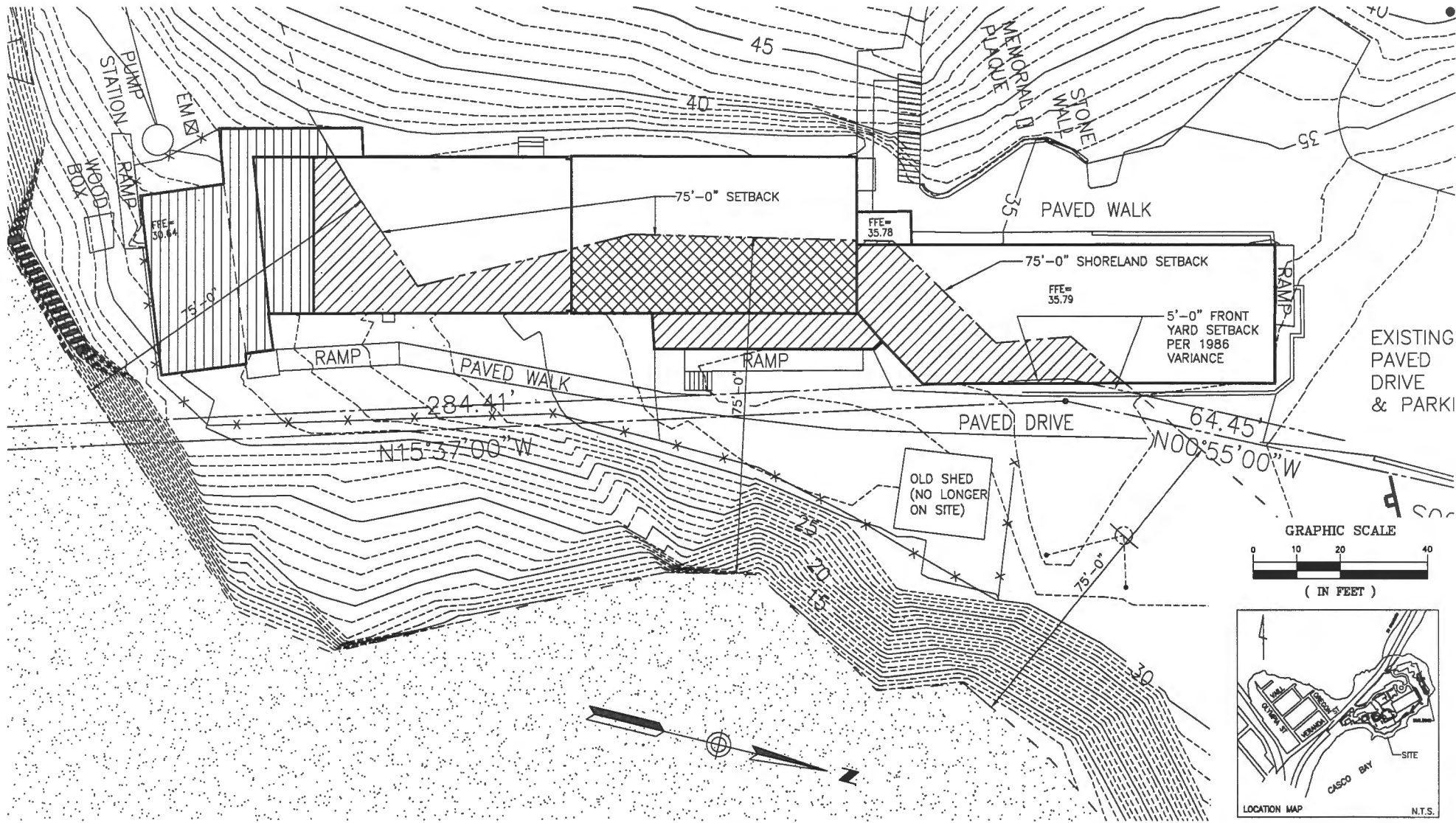
NO.	DATE	DESCRIPTION

Project No. **MARTIN'S POINT HEALTHCARE**

FRAMING DETAILS

Proj. No. JPC Drawn By: MRSB

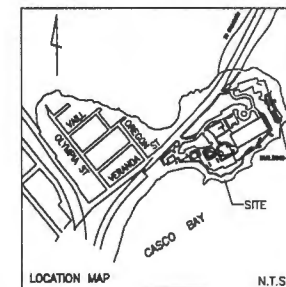
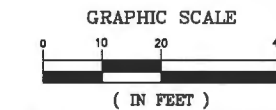
Drawing Number: **S60.2**

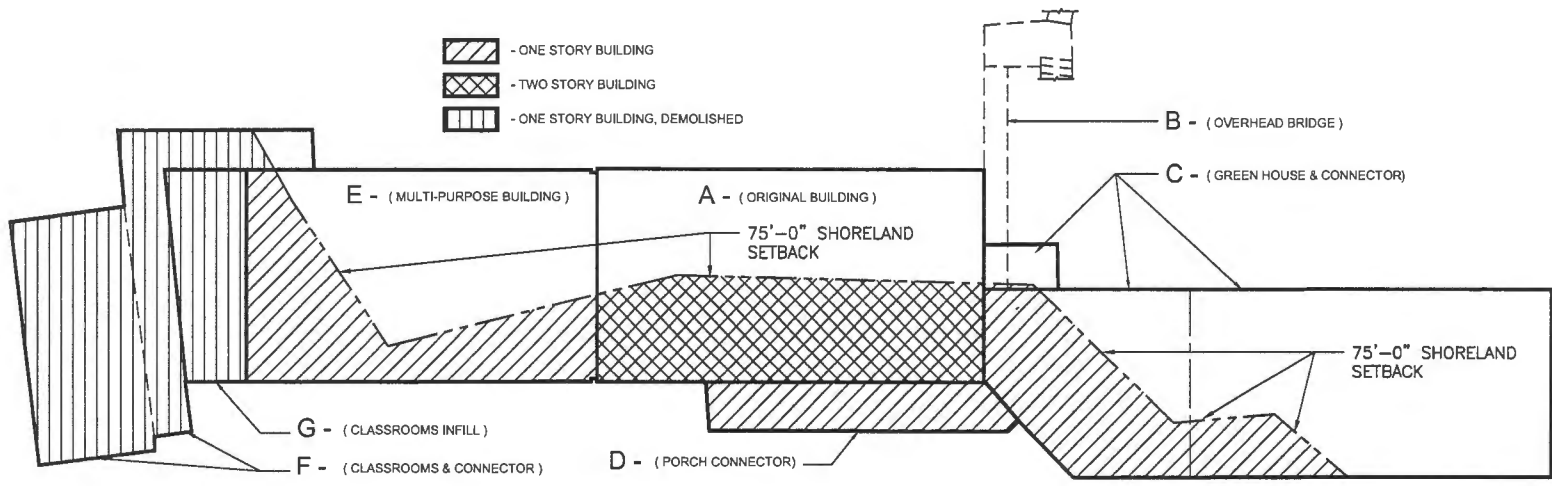


MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE

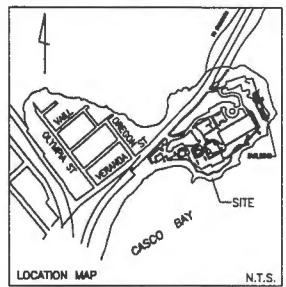
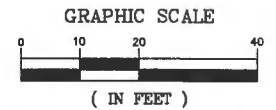
SHEET 1 - BUILDING ZONING - SHORELAND ZONING ANALYSIS - EXISTING SITE/BUILDING OVERLAY

June 5, 2012





BUILDING	BUILT / PERMITTED	EXISTING SQUARE FOOTAGE	EXISTING VOLUME (C.F.)	NON-COMPLIANT SQUARE FOOTAGE	NON-COMPLIANT VOLUME (C.F.)	REMARKS
A	1933	4,600	63,286	2,170	29,744	
B	May 19, 1976	150	150	N/A	N/A	Existing has been demolished
C	1986	2,968	40,718	859	12,172	
D	1986	395	5,500	395	5,500	Existing ramp/stair been demolished
E	1933	2,047	63,286	912	17,856	
F	May 19, 1976	1,295	14,485	1,242	13,955	Existing has been demolished
G	July 26, 1996	416	7,540	N/A	N/A	Existing has been demolished
TOTAL		11,871	194,965	5,578	79,227	
TOTAL INCREASE TO NON-CONFORMING (UP TO 30%)				1,673	23,768	



MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE
 SHEET 2 - BUILDING ZONING - SHORELAND ZONING ANALYSIS - EXISTING BUILDING
 June 5, 2012



Jeanie Bourke - RE: 11588: Martin's Point, Morrison Development Ctr - File Transfer - 11588-Martins Point - additional information

From: "Mark M. Ouellette" <mouellette@harriman.com>
To: "Jeanie Bourke" <JMB@portlandmaine.gov>
Date: 6/20/2012 10:02 AM
Subject: RE: 11588: Martin's Point, Morrison Development Ctr - File Transfer - 11588-Martins Point - additional information

Thank you so much.

Peculiar regarding the ADA document. I simply wanted to demonstrate that we will construct the stair to meet 2010 guidelines.

Mark M. Ouellette, AIA, LEED® AP
Architectural Studio

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207.775.0460 fax
207.730-2736 cell

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From: Jeanie Bourke [mailto:JMB@portlandmaine.gov]
Sent: Wednesday, June 20, 2012 9:57 AM
To: Mark M. Ouellette
Subject: Re: 11588: Martin's Point, Morrison Development Ctr - File Transfer - 11588-Martins Point - additional information

Hi Mark,

Thanks for the information, the ADA document did not come through, the pages are bla

I will be able to issue this, I will contact Jared when it is ready.
Jeanie

Jeanie Bourke
CEO/LPI/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315

RECEIVED
JUN 20 2012
Dept. of Building Inspections
City of Portland Maine

HARRIMAN

Harriman | 123 Middle Street Portland, Maine 04101 United States

Transmittal

ID: 00029

Date Sent: 6/19/2012

Project: Martin's Point, Morrison Development Ctr
Number: 11588

To: Jeanie Bourke
City of Portland
389 Congress Street
Room 308
Portland, ME 04101
207-874-8715 (Phone)

From: Mark Ouellette
Harriman
123 Middle Street
Portland, Maine 04101
United States
207-775-0053 (Phone)
207-775-0460 (Fax)

Subject: 11588-Martins Point - additional information

Via: Info Exchange

Purpose: For your use

Remarks: Jeanie,

I received your voicemail. Please find attached additional requested information. Sorry for the informality, I wanted to get this to you as quickly as possible so permit approval is not delayed.

I have also attached an excerpt from 2010 ADA Guidelines, you had a specific question on handrail extensions. We have 12" extensions beyond tread/nosing edge at both top of stair and bottom per revised ADA Guidelines.

In addition, I have attached 2 referenced structural drawings from plans previously submitted. Not all details shown on these apply to the limited scope associated with porch/stair and ramp permit application.

If you have further questions, please let me know.

CC: Jared Ballard(PC Construction)
Judy Johnson(Harriman)

RECEIVED
JUN 21 2012
Dept. of Building Inspections
City of Portland Maine

Description of Contents

Quantity	Title	Number	Date	Scale	Size	Revision
1	11588 - EGRESS STAIR SECTION.pdf		6/19/2012			
1	2010ADASTandards STAIRWAYS.pdf		6/19/2012			
1	32_S50-2.PDF		4/10/2012			
1	32_S60-1.PDF		4/10/2012			

Project Title
**MARTIN'S POINT
 HEALTHCARE
 BUILDING #7
 RENOVATION &
 ADDITION
 PORTLAND, MAINE**

HA Project No. 11588

Key Plan

- NOTES:**
 1. SURVEY PREPARED BY OWEN HASKELL, INC., DATED FEB. 22, 2012.

Mark	Date	Description
5/30/12	ISSUED FOR BUILDING PERMIT	
4-06-12	ISSUED FOR BID	
Issue Dates		

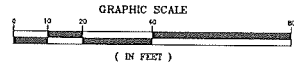
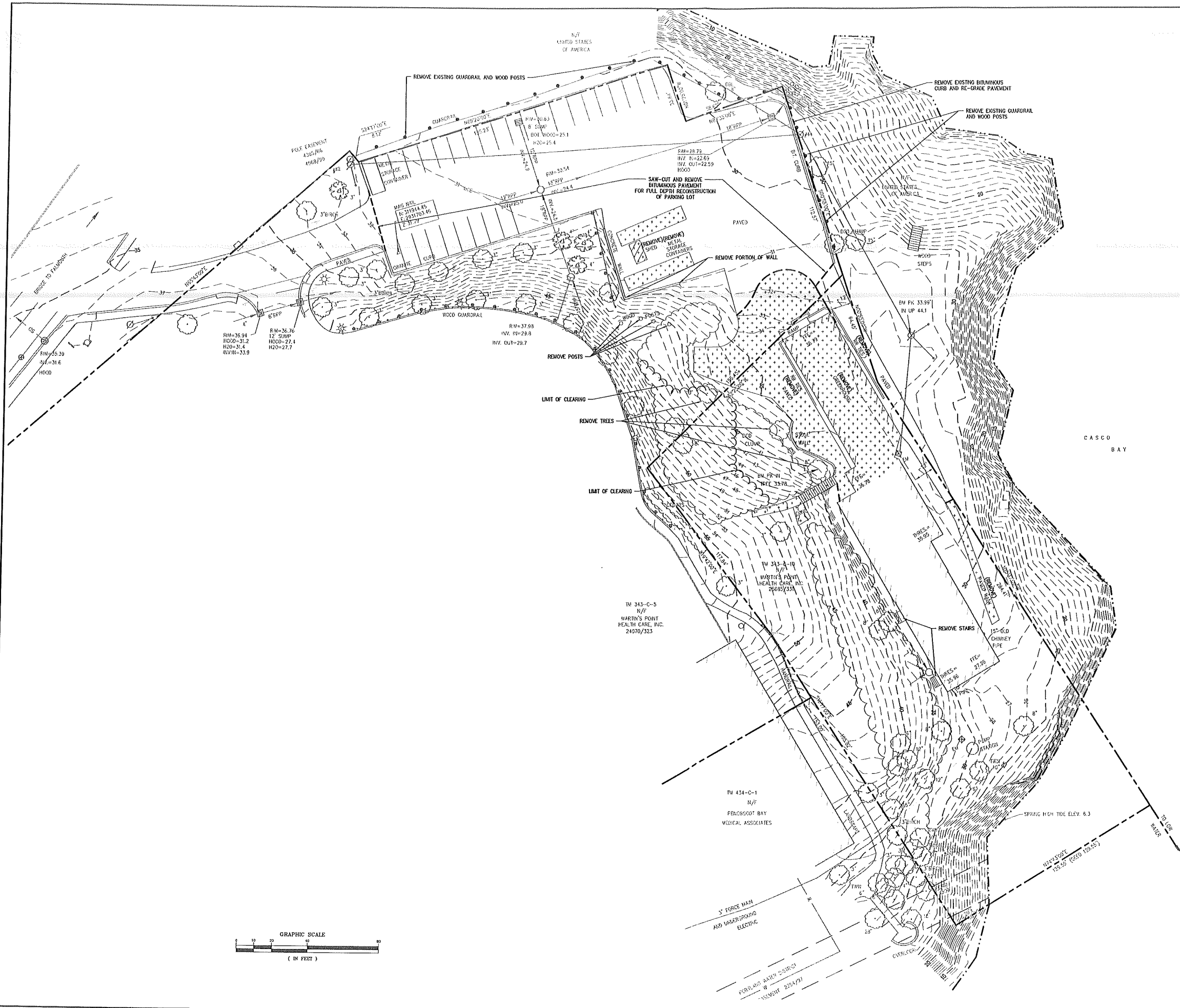
Drawing Status

Drawing Title
**EXISTING SITE
 CONDITIONS AND
 DEMOLITION PLAN**

PA / FE: FLC Drawn By: PLS

Drawing Number

C10.1



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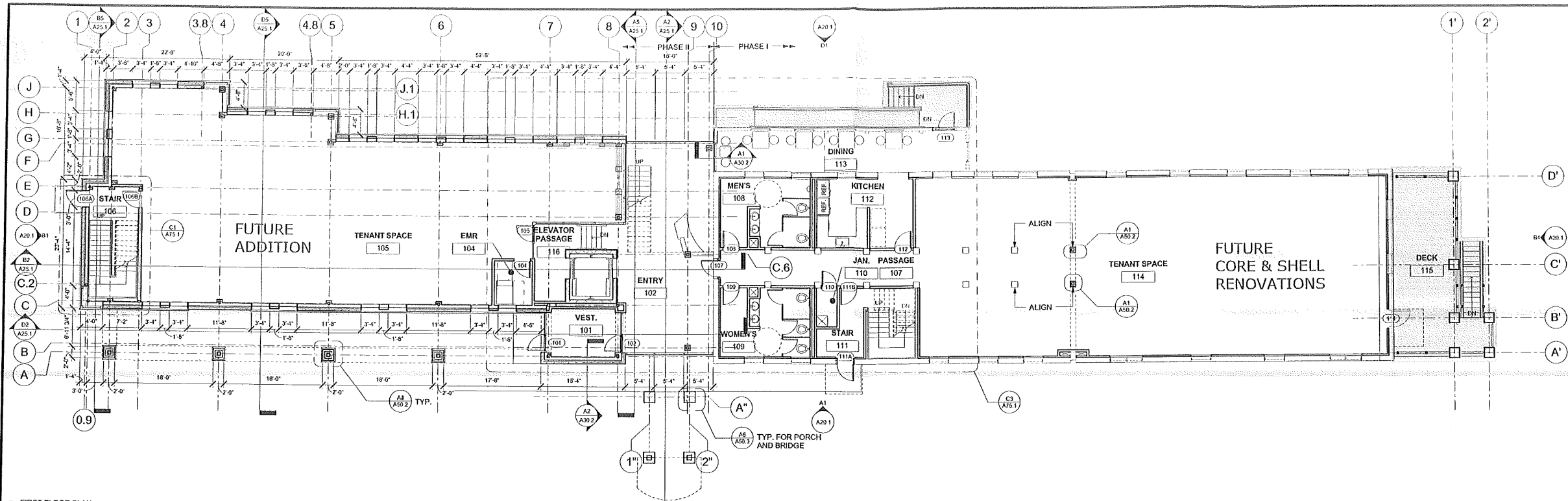
Project Title
MARTIN'S POINT HEALTHCARE

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Program Project No. 11588

Key Plan

PHASE ONE (EXISTING) PHASE TWO (ADDITION)



D1 FIRST FLOOR PLAN
1/8" = 1'-0"

GENERAL NOTES:

- INTERIOR PARTITION DIMENSIONS ARE TO FACE OF FINISH OF PARTITION FROM COLUMN CENTER LINE UNLESS OTHERWISE SHOWN/NOTED.
- REFER TO A40.1 FOR PARTITION DESCRIPTIONS.
- ALL INTERIOR PARTITIONS ARE TYPE 223 UNLESS OTHERWISE NOTED. FULL HEIGHT PARTITIONS SHALL BE FRAMED AROUND MECHANICAL DUCTWORK. FILL GAPS AROUND DUCTWORK WITH SOUND ATTENUATING BATT (SAB) INSULATION.

LEGEND:

- | | |
|-----|-----------------------------|
| ### | ROOM NAME & NUMBER |
| --- | PARTITION/CONSTRUCTION TYPE |
| ## | DOOR NUMBER |
| # | WINDOW TYPE |
| FE | FIRE EXTINGUISHER |
| FEC | FIRE EXTINGUISHER & CABINET |

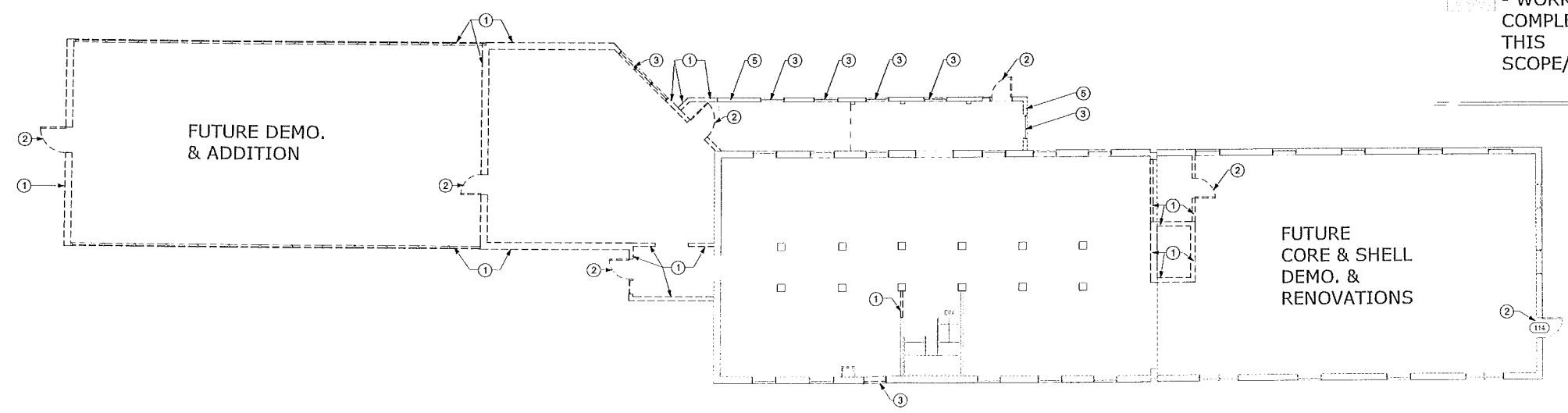
GENERAL DEMOLITION NOTES:

- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL, STATE AND NATIONAL SAFETY CODES.
- MAINTAIN INTEGRITY OF ALL EXISTING FIRE RATED ASSEMBLIES TO REMAIN, INCLUDING ENCLOSURES AT COLUMNS, STAIRS, AND SHAFTS.
- PROTECT ALL EXISTING FINISHES, MILLWORK, AND CONSTRUCTION TO REMAIN.
- BEFORE STARTING WORK, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS, INCLUDING DIMENSIONS AND ELEVATIONS. THE CONTRACTOR SHALL PREPARE A LIST OF EXISTING DAMAGED AREAS, DOCUMENTED BY DATED PHOTOGRAPHS AND SIGNED BY THE PERSON CONDUCTING THE INVESTIGATION. PRESENT TO OWNER FOR VERIFICATION PRIOR TO STARTING DEMOLITION.
- CONTRACTOR SHALL COORDINATE DEMOLITION OPERATIONS WITH THE OWNER, AND PROCURE PRIOR APPROVAL FOR ALL DEMOLITION PROCEDURES, INCLUDING USE OF BUILDING FACILITIES, PLACEMENT OF DUMPSTER, REFUSE REMOVAL, AND PHASING.
- CONTRACTOR SHALL COORDINATE REMOVAL AND STORAGE OF ALL SALVAGED ITEMS WITH THE OWNER.
- PROTECT AND MAINTAIN THE OPERATION OF ANY EXISTING SYSTEMS TO REMAIN FUNCTIONAL DURING THE PROJECT. PROCURE PRIOR APPROVAL FROM THE OWNER FOR ANY SHUT-DOWNS REQUIRED.
- CONTRACTOR TO VERIFY STRUCTURAL CONDITIONS BEFORE DEMOLITION BEGINS. PROVIDE TEMPORARY OR PERMANENT STRUCTURE AS REQUIRED.
- MISC. EQUIPMENT OR FURNISHINGS SHALL BE STORED OR REMOVED AT THE DISCRETION OF THE OWNER.
- WHERE ELECTRICAL FIXTURES ARE REMOVED, EXISTING WIRING SHALL BE REMOVED BACK TO ELECT. BOX. REFER TO ELECTRICAL DRAWINGS.
- AFTER DEMOLITION, ALL ABANDONED PENETRATIONS SHALL BE PATCHED AND FIRE PROTECTED ACCORDING TO CODE.
- ITEMS TO BE SALVAGED FOR RE-USE BY OWNER:
- DOOR HARDWARE
- ROLLING FILES
- LIGHTING, INC. EMERG. LIGHTING
- FIRE EXTINGUISHERS
- SMOKE DETECTORS
- CONTRACTOR TO PROTECT AREAS TO REMAIN OPERATIONAL FROM DUST & DEBRIS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND CLEANING ANY AREAS EXPOSED TO DUST OR DEBRIS FROM DEMOLITION ACTIVITIES.
- GPOW AT EXTERIOR WALLS TO REMAIN UNLESS NOTED OTHERWISE.

DEMOLITION LEGEND:

- REMOVE OR RELOCATE, REFER TO SPECIFIC NOTES BELOW.
- ① REMOVE EXISTING PARTITIONS (AS SHOWN) OR TO ACCOMMODATE NEW WORK, REFER TO FLOOR PLANS.
- ② REMOVE EXISTING DOOR(S)/FRAME(S).
- ③ REMOVE EXISTING WINDOW AND FRAME
- ④ REMOVE EXISTING ROOF
- ⑤ REMOVE EXISTING VINYL SIDING AND WEATHER BARRIER

NOTE:
ALL BUILDINGS NOTED AS "FUTURE" TO BE COMPLETED AS FUTURE CONSTRUCTION
- WORK TO BE COMPLETED PART OF THIS SCOPE/APPLICATION



A1 FIRST FLOOR DEMO PLAN
1/8" = 1'-0"

Drawing Scale
As Indicated

0 4 8 12
1/8" = 1'-0"

Mark	Date	Description

Drawing Title
FIRST FLOOR PLANS

Author: PAFFE, JUL
Checked: MMO

Drawing Number
A10.1

HARRIMAN
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46 Harriman Drive
Portland, ME 04106
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STATE OF MAINE
LICENSED ARCHITECT
JUDY K. HARRIMAN
No. 2080

Project Title
MARTIN'S POINT HEALTHCARE

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Harriman Project No. 11588

Key Plan

PHASE ONE (EXISTING) PHASE TWO (ADDITION)

NOTE:
ALL BUILDINGS
NOTED AS
"FUTURE" TO BE
COMPLETED AS
FUTURE
CONSTRUCTION

- WORK TO BE
COMPLETED
PART OF THIS
SCOPE/
APPLICATION

Drawing Scales

1/8" = 1'-0" 0 4 8 12
1/8" = 1'-0"

Mark	Date	Description
5/20/12		ISSUED FOR BUILDING PERMIT
4/6/12		ISSUED FOR BIDDING

Drawing Title

EXTERIOR ELEVATIONS

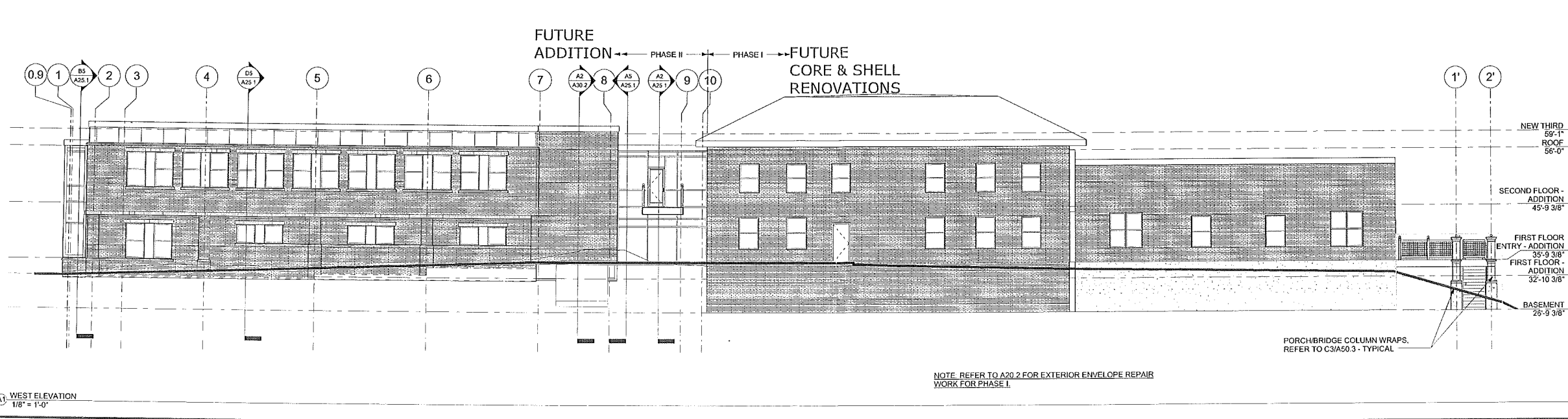
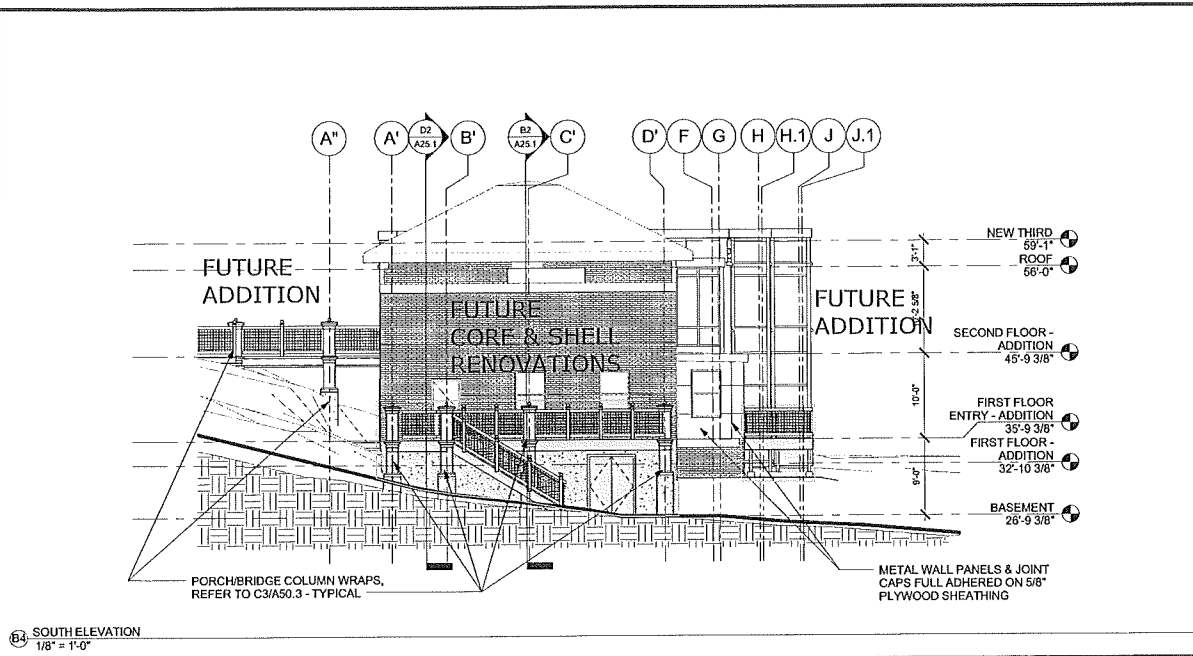
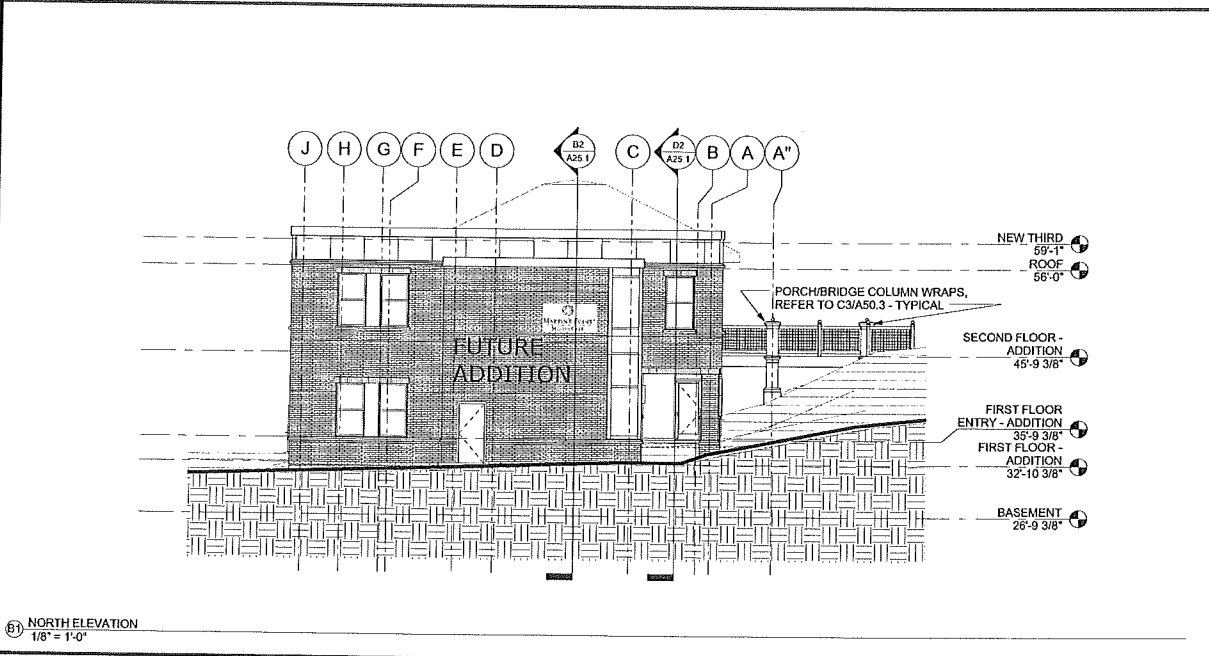
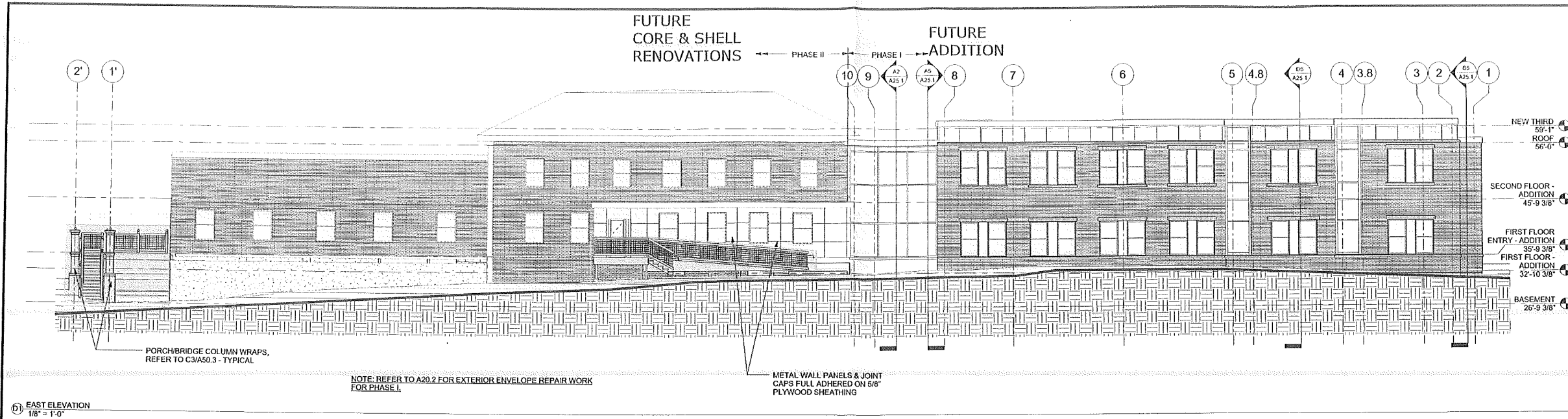
Drawing Title

EXTERIOR ELEVATIONS

PA/PC J.L.J. Drawn By: TRJ

Drawing Number

A20.1



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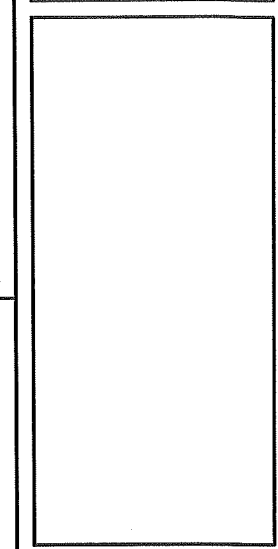
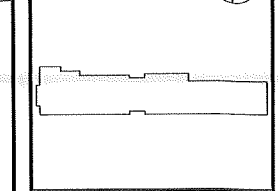
Professional Seal:
JUDY SCHWAB
REGISTERED ARCHITECT
STATE OF MAINE
No. 2000

Project File:
MARTIN'S POINT HEALTHCARE

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Plan/Sheet No.: 11588

Key Plan:



Drawing Scales:
As Indicated

0 2" 4" 6" 1' 1 1/2" = 1'-0"
0 3" 6" 9" 1' 1" = 1'-0"

Date	Issued For	Description
5/30/12	ISSUED FOR BUILDING PERMIT	
4-8-12	ISSUED FOR I.D.	
MM	Date	Description

Drawing Title:

**EXTERIOR DETAILS AND
PLAN DETAILS**

PA/PE J.L.J. Drawn By: MMO

Drawing No.: **A50.3**

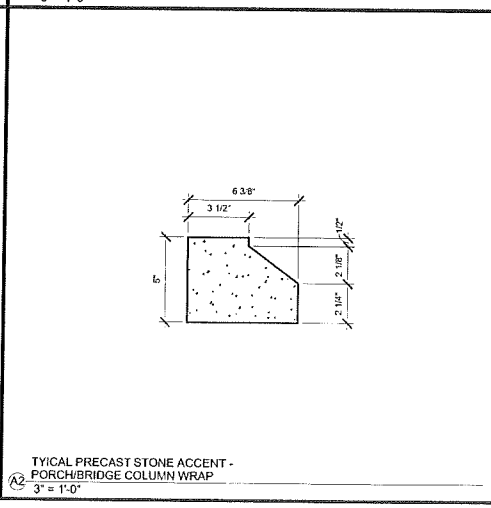
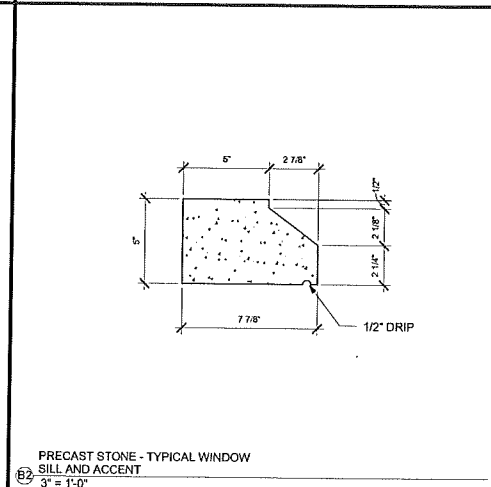
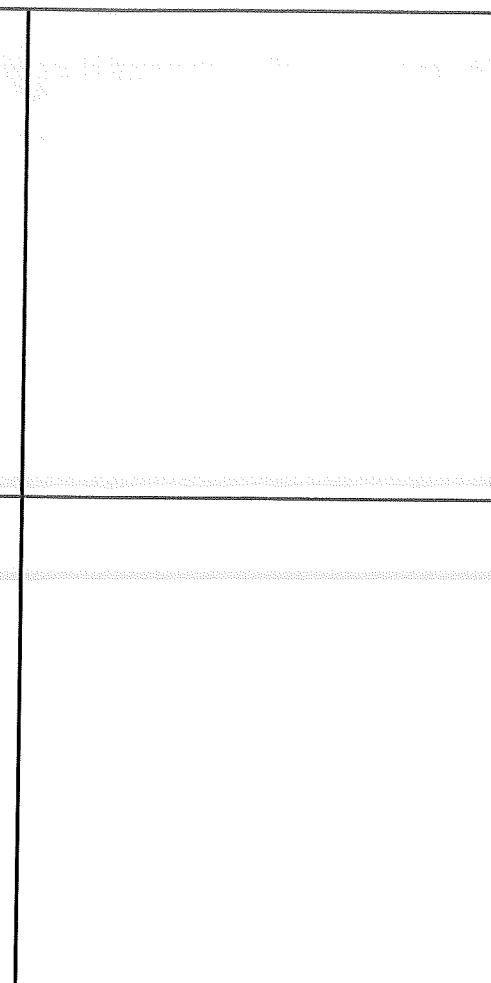
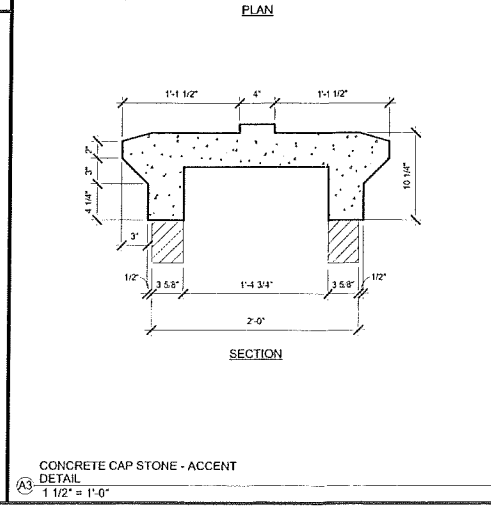
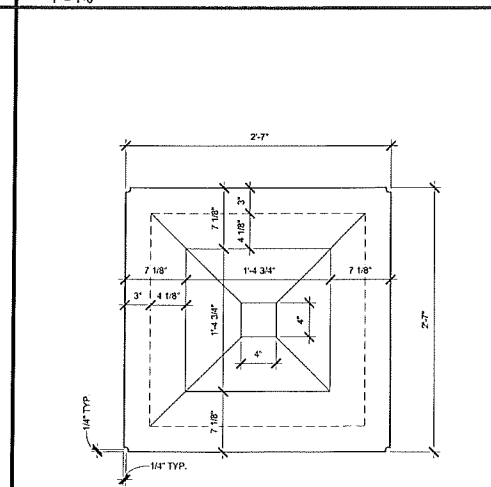
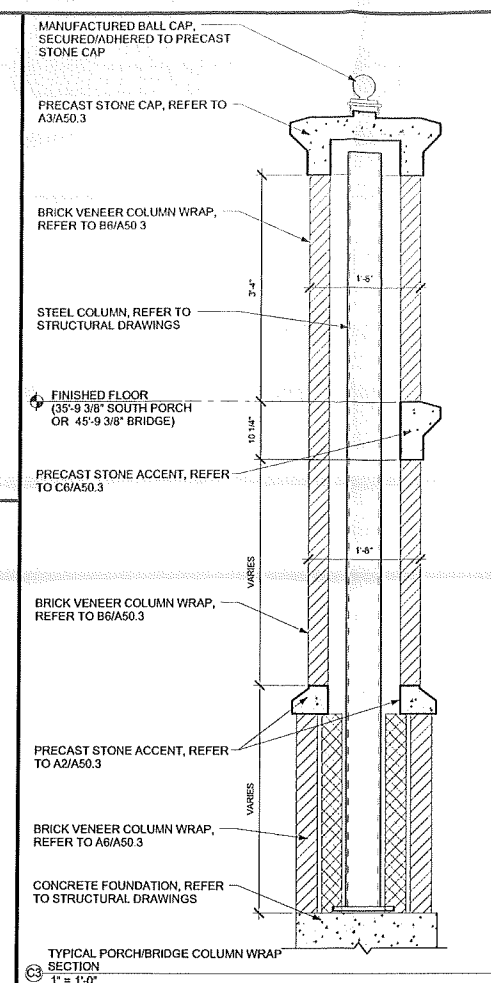
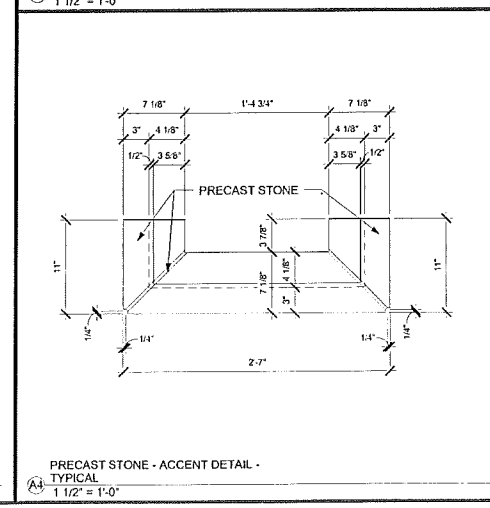
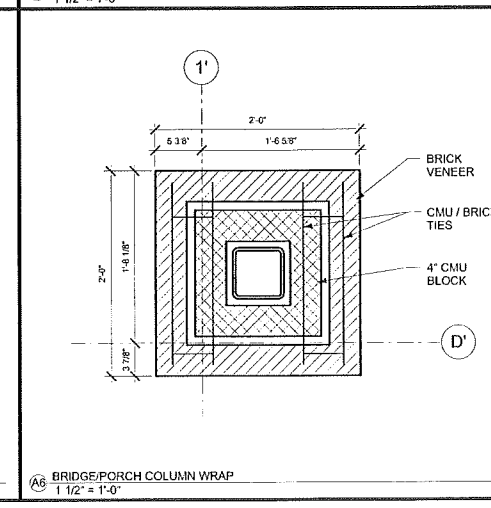
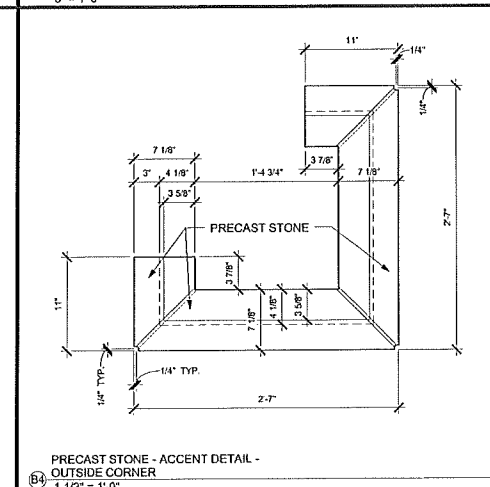
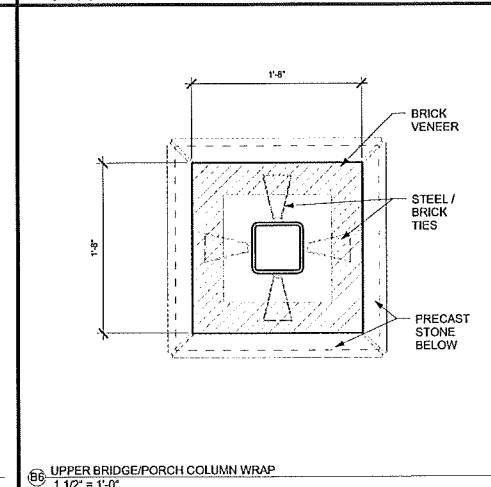
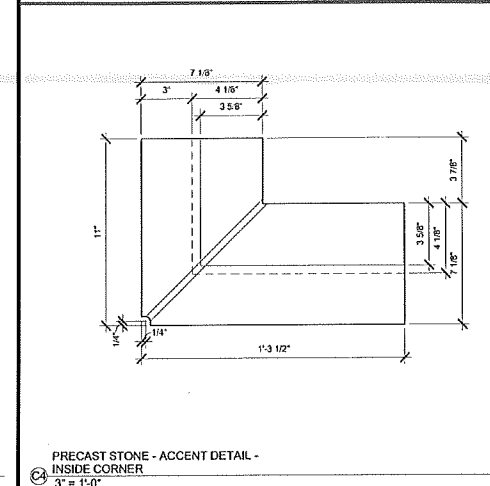
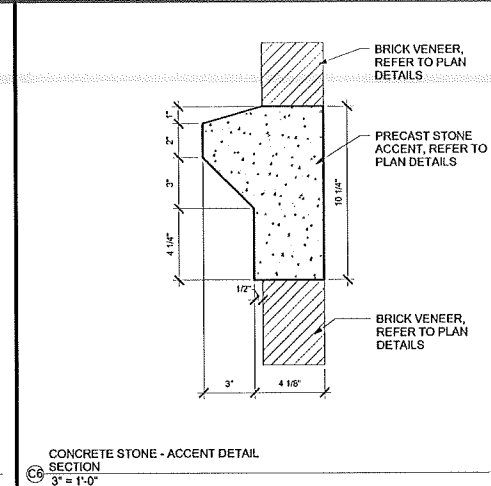
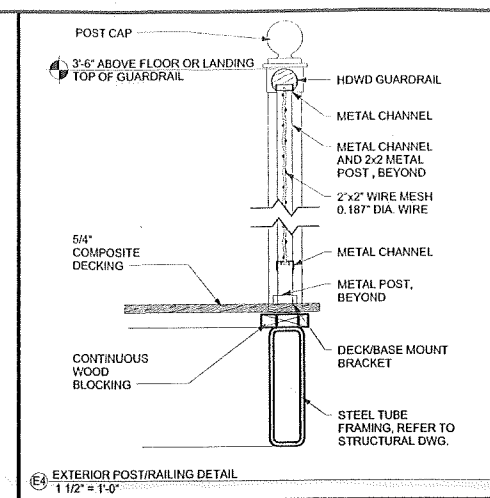
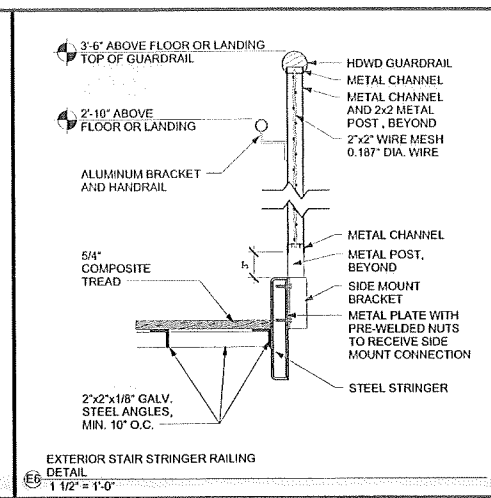
Project File:
MARTIN'S POINT HEALTHCARE

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

Plan/Sheet No.: 11588

Key Plan:

A50.3



A6

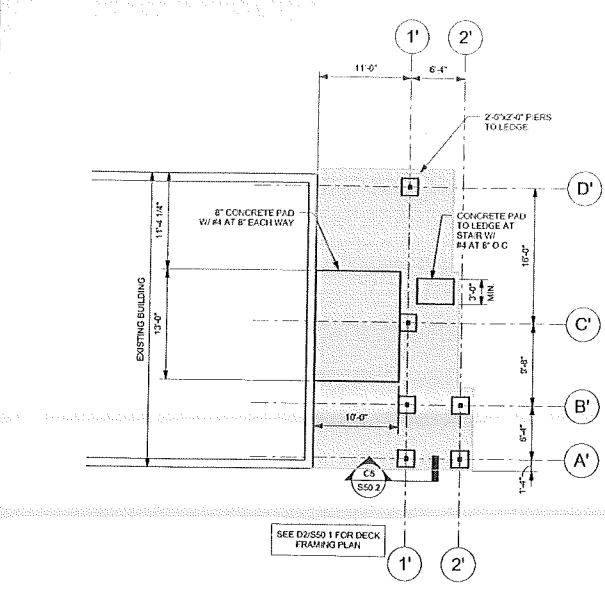
Project Title
MARTIN'S POINT HEALTHCARE

**BUILDING #7
RENOVATION &
ADDITION**
PORTLAND, MAINE

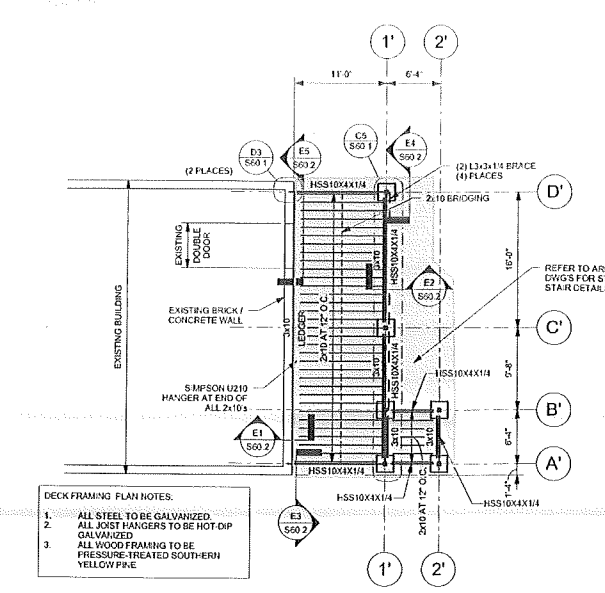
Harriman Project No. 11588

Key Plan

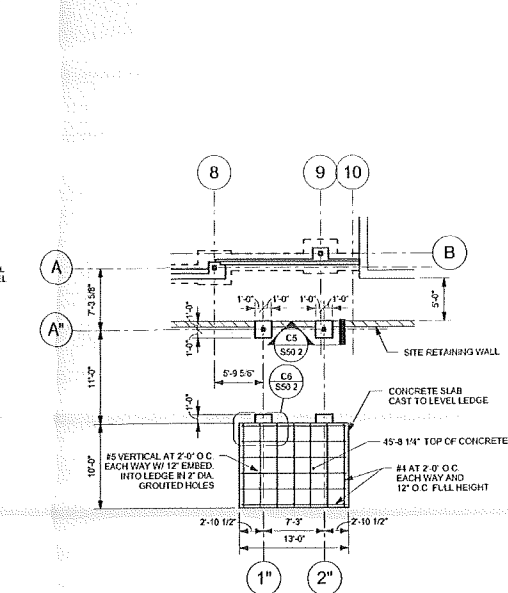
- FOUNDATION PLAN NOTES:**
1. TOP OF CONCRETE ELEVATIONS ARE REFERENCED (+/-) FROM FINISH FLOOR ELEVATION 32'-10" (10'-0").
 2. SEE ADDITIONAL APPROPRIATE FOUNDATION NOTES ON DRAWING S01.1
 3. (-4'-0") INDICATES TOP OF CONCRETE ELEVATION.
 4. (-1'-0") INDICATES TOP OF FOOTING ELEVATION.
 5. SPREAD FOOTINGS ARE CENTERED ON COLUMNS, UNLESS NOTED OTHERWISE.
 6. SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS AND DIMENSIONS OF ALL DEEPRESSED SLABS. VERIFY DEEPRESSED SLAB ELEVATION WITH ACTUAL FLOORING PRODUCT TO BE INSTALLED.
 7. (-1'-0") INDICATES SPAN OF STRUCTURAL SLAB. SEE DETAIL D2/S01.1.
 8. COORDINATE START POINT OF BUILDING LAYOUT WITH ARCHITECTURAL DRAWINGS. LAYOUT TO BEGIN 6" OFF OF PRIVATE FACE OF BRICK AT EXISTING BUILDING.



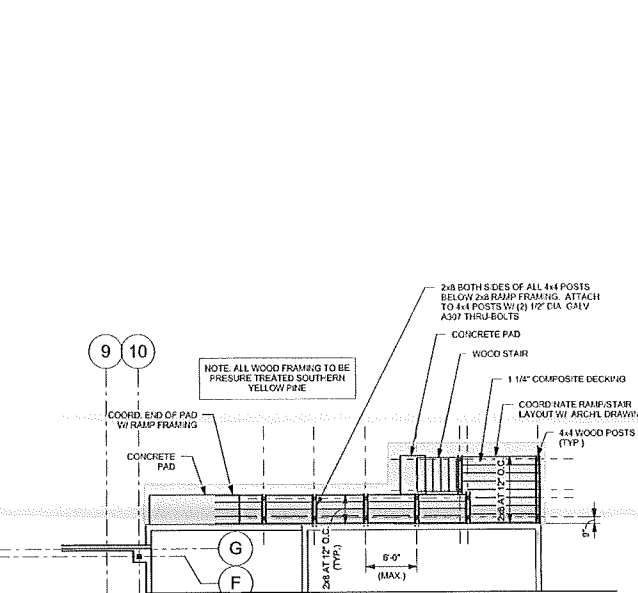
D1 DECK FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



D2 DECK FRAMING PLAN
SCALE: 1/8" = 1'-0"



D4 FUTURE FOUNDATION PLAN AT BRIDGE
SCALE: 1/8" = 1'-0"



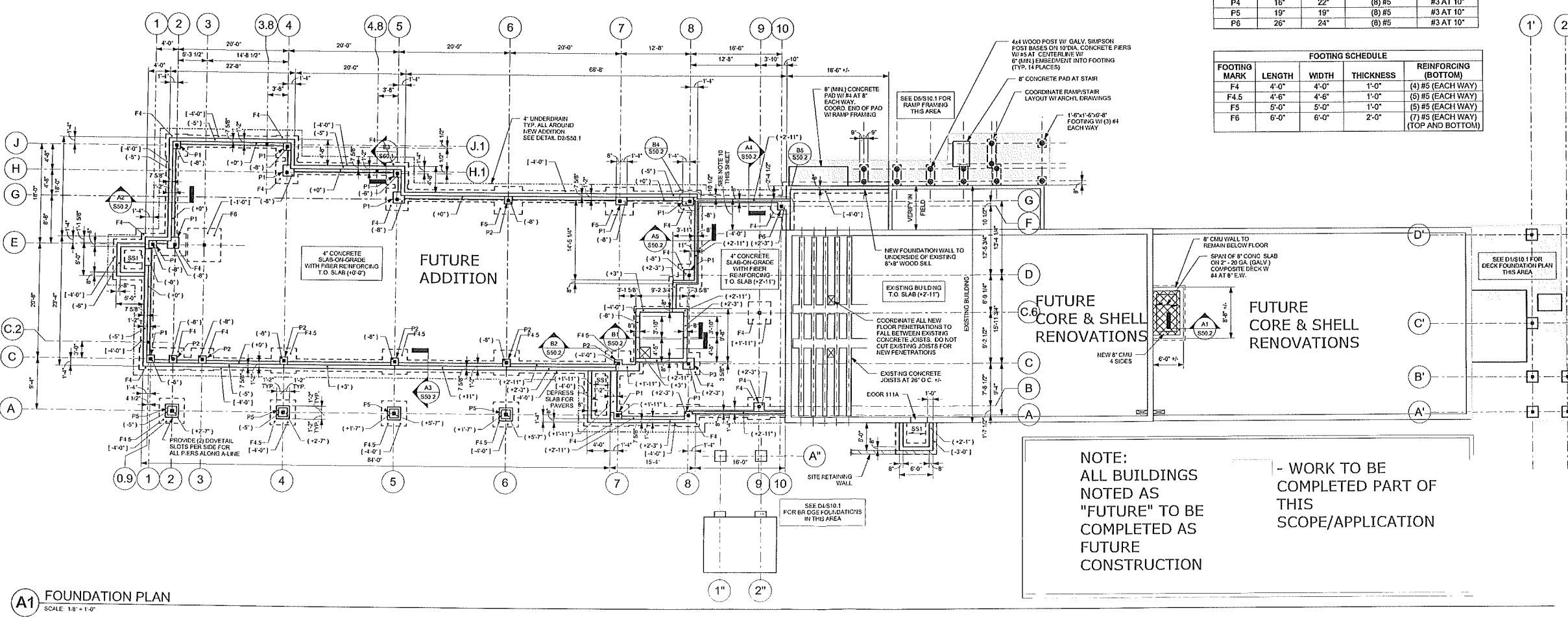
D5 RAMP FRAMING PLAN
SCALE: 1/8" = 1'-0"

PIER SCHEDULE

PIER MARK	LENGTH	WIDTH	VERTICAL REINFORCING	BENT TIES
P1	24"	24"	(8) #5	#3 AT 10"
P2	24"	16"	(8) #5	#3 AT 10"
P3	24"	24"	(12) #5	#3 AT 10"
P4	16"	22"	(8) #5	#3 AT 10"
P5	19"	19"	(8) #5	#3 AT 10"
P6	26"	24"	(8) #5	#3 AT 10"

FOOTING SCHEDULE

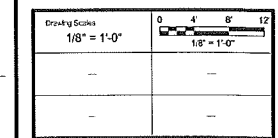
FOOTING MARK	LENGTH	WIDTH	THICKNESS	REINFORCING (BOTTOM)
F4	4'-0"	4'-0"	1'-0"	(4) #5 (EACH WAY)
F4.5	4'-6"	4'-6"	1'-0"	(5) #5 (EACH WAY)
F5	5'-0"	5'-0"	1'-0"	(5) #5 (EACH WAY)
F6	6'-0"	6'-0"	2'-0"	(7) #5 (EACH WAY) (TOP AND BOTTOM)



A1 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

NOTE:
ALL BUILDINGS NOTED AS "FUTURE" TO BE COMPLETED AS FUTURE CONSTRUCTION

- WORK TO BE COMPLETED PART OF THIS SCOPE/APPLICATION



5/3/12 ISSUED FOR BUILDING PERMIT

04-05-12 ISSUED FOR BID

01-27-12 DESIGN DEVELOPMENT

Mark	Date	Description

Drawing Title
FOUNDATION PLANS AND MISC. FRAMING PLANS

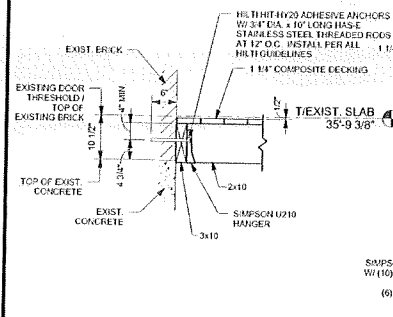
PA/PE JPC Drawn By MRM

NOTE:
ALL DETAILS
NOTED AS
"FUTURE" TO BE
COMPLETED AS
FUTURE
CONSTRUCTION
AND ARE NOT
SCOPE OF WORK
RELATED TO
THIS PERMIT
APPLICATION.

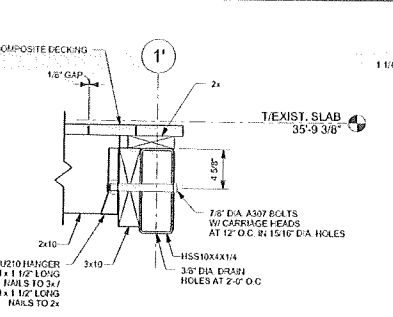
Drawing Scale	As Indicated	0 6' 1" 2'
		3/4" = 1'-0"
		1 1/2" = 1'-0"

7/30/12	ISSUED FOR BUILDING PERMIT	
8/25/12	ISSUED FOR BID	
Mark	Date	Description

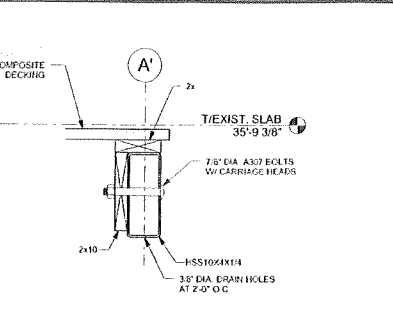
Drawing Title	FRAMING DETAILS
DATE	JPC
Drawn By	MIRM



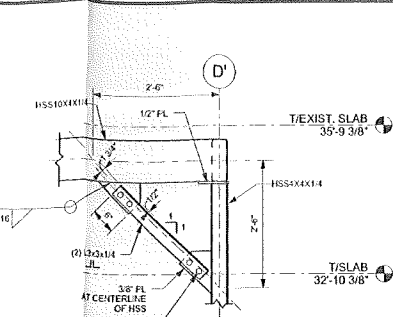
E1 SECTION
SCALE: 3/4" = 1'-0"



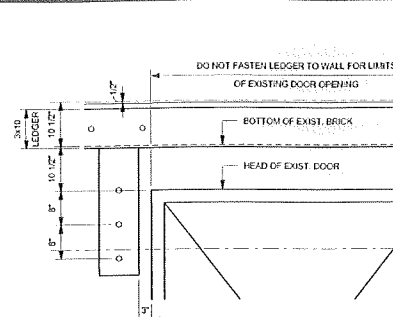
E2 SECTION
SCALE: 1 1/2" = 1'-0"



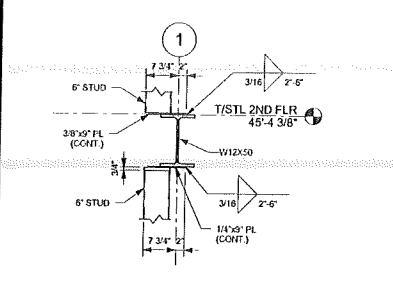
E3 SECTION
SCALE: 1 1/2" = 1'-0"



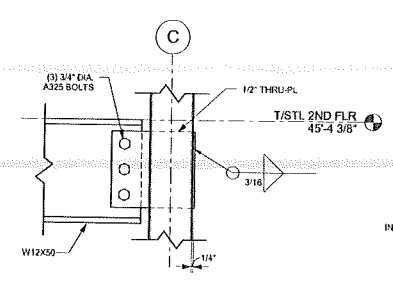
E4 SECTION
SCALE: 3/4" = 1'-0"



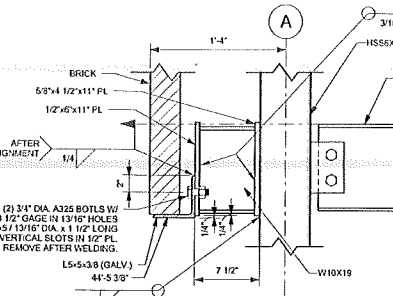
E5 SECTION
SCALE: 3/4" = 1'-0"



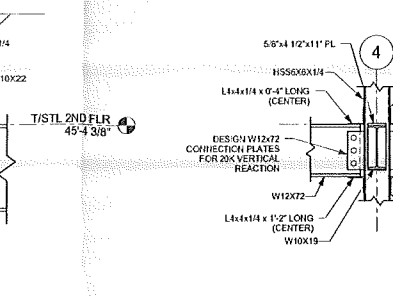
D1 SECTION FUTURE
SCALE: 3/4" = 1'-0"



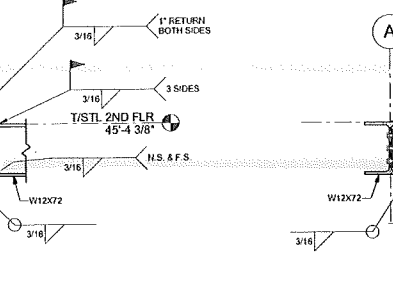
D2 SECTION AT E-1, C-1, G-10 FUTURE
SCALE: 1 1/2" = 1'-0"



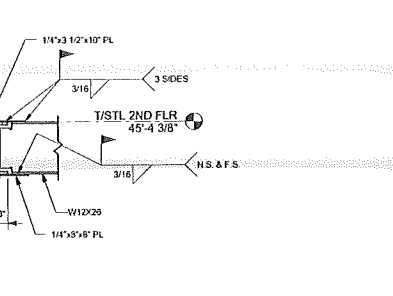
D3 SECTION FUTURE
SCALE: 1 1/2" = 1'-0"



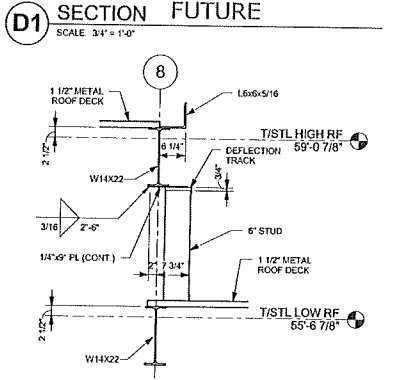
D4 SECTION FUTURE
SCALE: 3/4" = 1'-0"



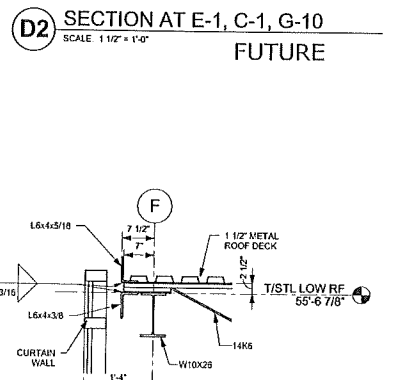
D5 SECTION FUTURE
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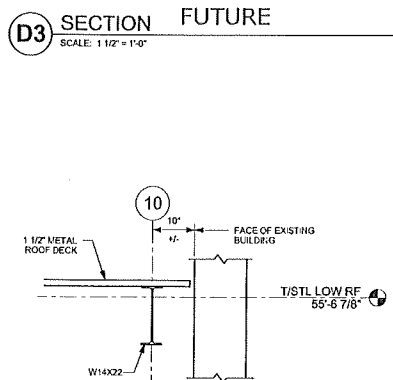
D6 SECTION FUTURE
SCALE: 3/4" = 1'-0"



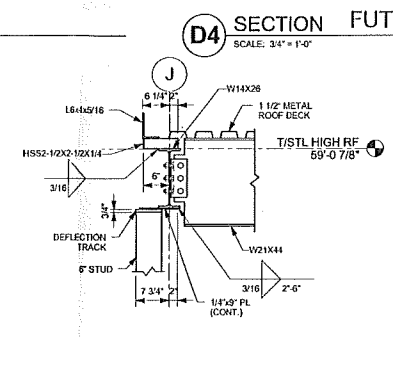
C1 SECTION FUTURE
SCALE: 3/4" = 1'-0"



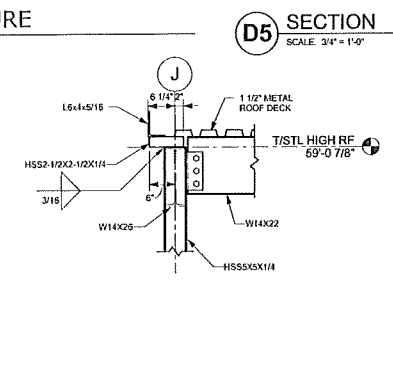
C2 ROOF EDGE AT CURTAINWALL FUTURE
SCALE: 3/4" = 1'-0"



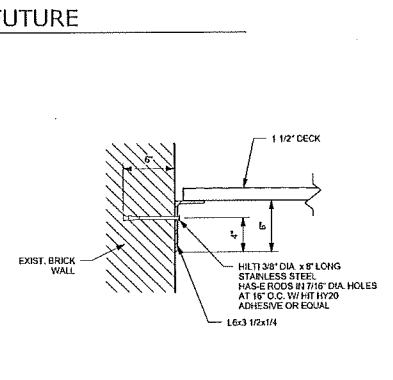
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SCALE: 3/4" = 1'-0"



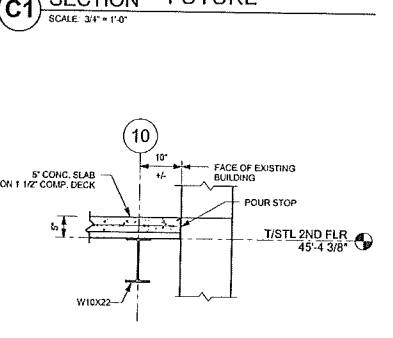
C4 SECTION FUTURE
SCALE: 3/4" = 1'-0"



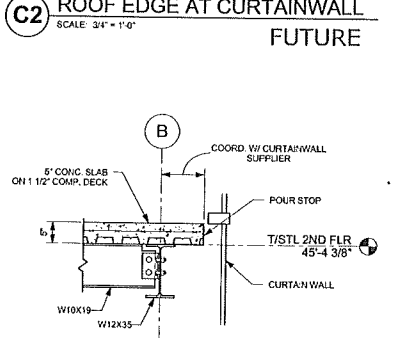
C5 SECTION FUTURE
SCALE: 3/4" = 1'-0"



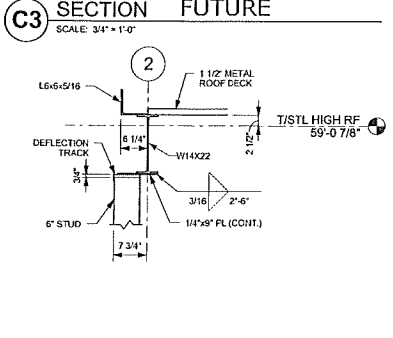
C6 SECTION FUTURE
SCALE: 1 1/2" = 1'-0"



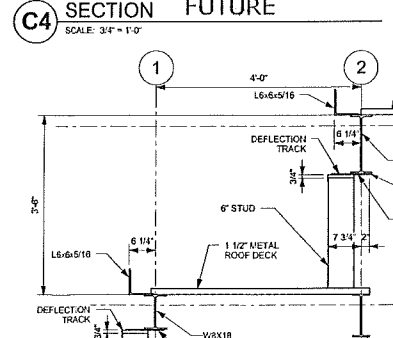
B1 SECTION FUTURE
SCALE: 3/4" = 1'-0"



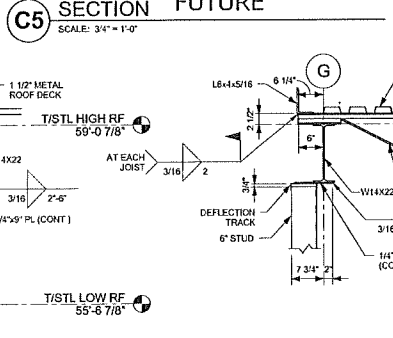
B2 SECTION FUTURE
SCALE: 3/4" = 1'-0"



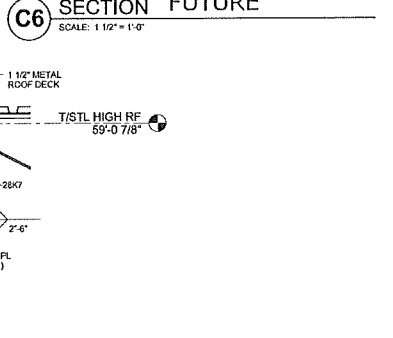
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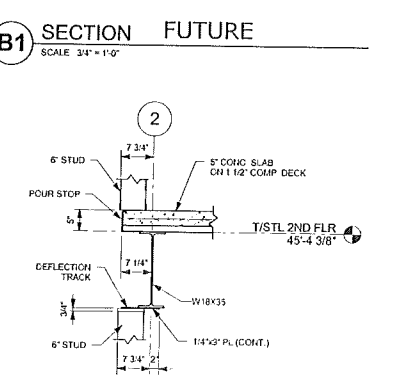
B4 SECTION FUTURE
SCALE: 3/4" = 1'-0"



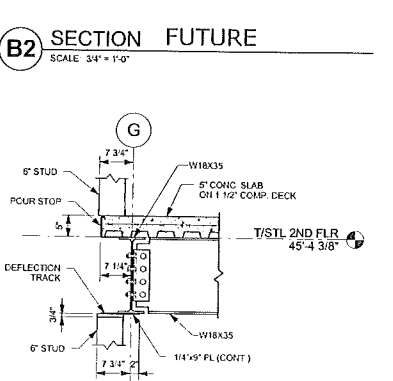
B5 SECTION FUTURE
SCALE: 3/4" = 1'-0"



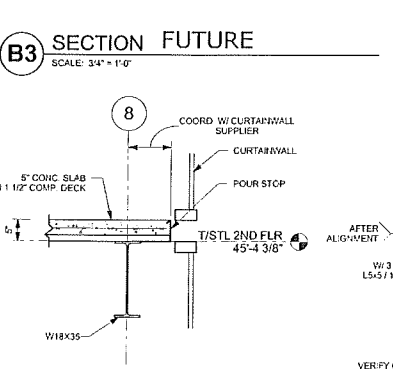
B6 SECTION FUTURE
SCALE: 1 1/2" = 1'-0"



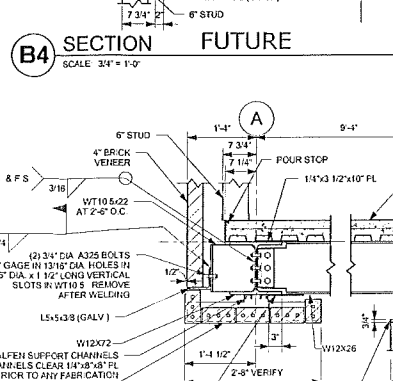
A1 SECTION FUTURE
SCALE: 3/4" = 1'-0"



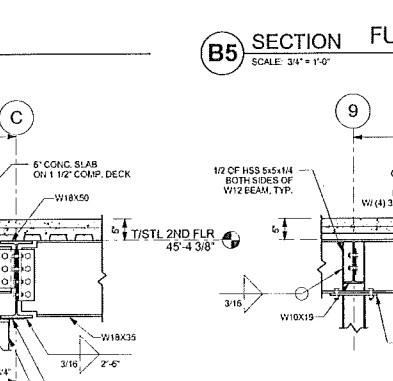
A2 SECTION FUTURE
SCALE: 3/4" = 1'-0"



A3 SECTION FUTURE
SCALE: 3/4" = 1'-0"



A4 SECTION FUTURE
SCALE: 3/4" = 1'-0"



A5 SECTION FUTURE
SCALE: 3/4" = 1'-0"

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HARRIMAN
Architects • Engineers

44 Harriman Drive
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646 Forester Road
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408.226.1242

www.harriman.com
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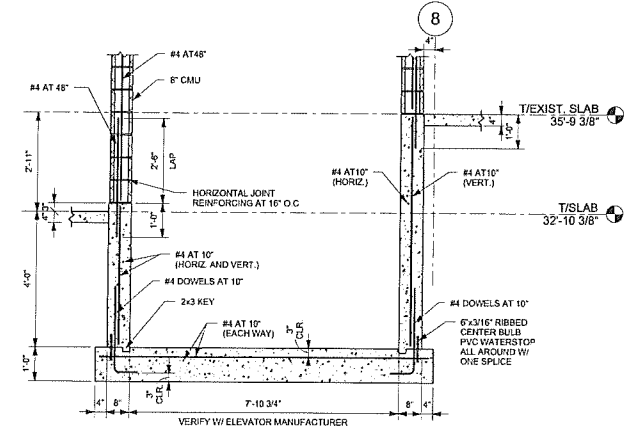
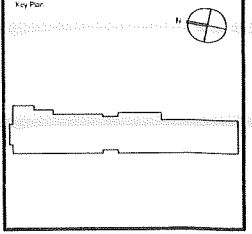
Project Title

MARTIN'S POINT HEALTHCARE

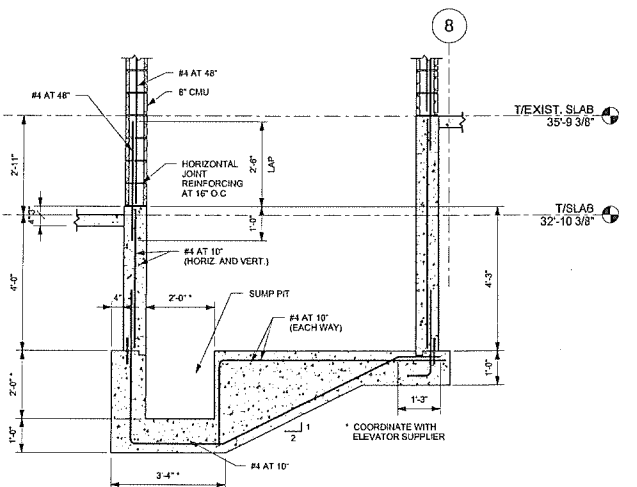
**BUILDING #7
RENOVATION &
ADDITION**

PORTLAND, MAINE

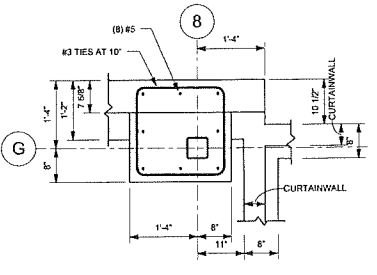
Harriman Project No. 11588



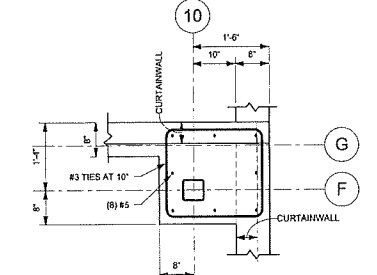
B1 SECTION
SCALE: 1/2" = 1'-0"



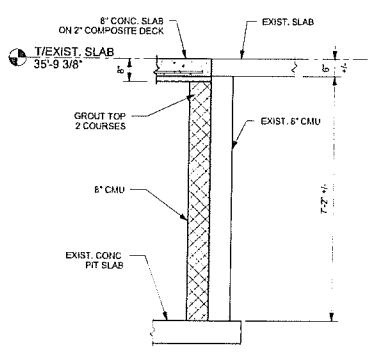
B2 SECTION
SCALE: 1/2" = 1'-0"



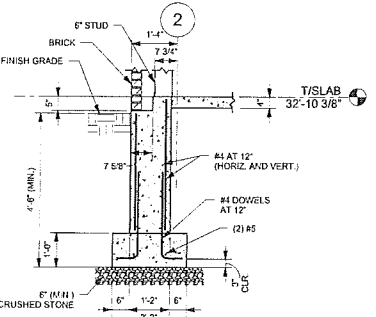
B4 DETAIL
SCALE: 3/4" = 1'-0"



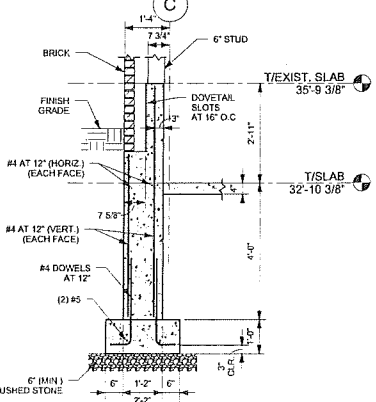
B5 DETAIL
SCALE: 3/4" = 1'-0"



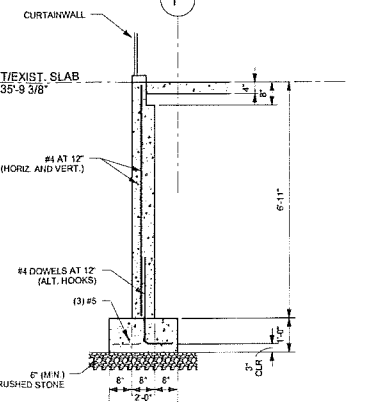
A1 SECTION
SCALE: 1/2" = 1'-0"



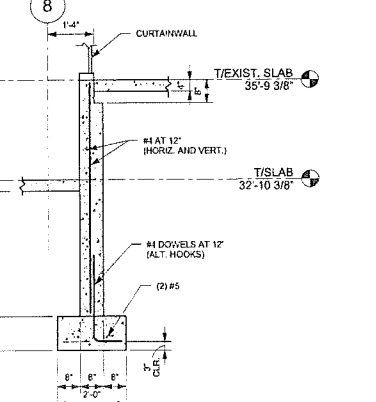
A2 SECTION
SCALE: 1/2" = 1'-0"



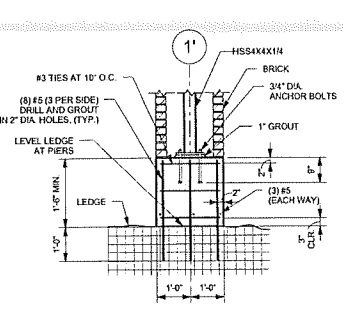
A3 SECTION
SCALE: 1/2" = 1'-0"



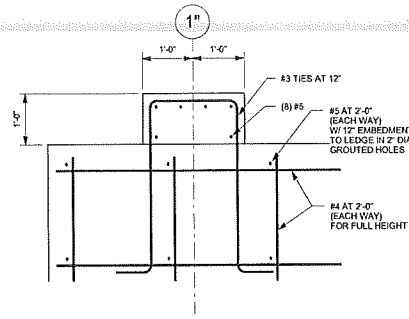
A4 SECTION
SCALE: 1/2" = 1'-0"



A5 SECTION
SCALE: 1/2" = 1'-0"



C5 SECTION
SCALE: 1/2" = 1'-0"



C6 DETAIL
SCALE: 3/4" = 1'-0"

Drawing Scales

As indicated	0 1 2 3'
0 6' 1 2'	1/2" = 1'-0"
0 8' 1 2'	3/4" = 1'-0"

Mark	Date	Issued For Bid	Description
-	04-06-12	ISSUED FOR BID	

Issue Date

Drawing Title

FOUNDATION DETAILS

Project No. JPC

Drawn By: MRM

Drawing Number

S50.2

E1 DETAIL SCALE: 3/4" = 1'-0"

E2 DETAIL SCALE: 3/4" = 1'-0"

E3 DETAIL SCALE: 3/4" = 1'-0"

D1 DETAIL SCALE: 3/4" = 1'-0"

D2 DETAIL SCALE: 1 1/2" = 1'-0"

D3 DETAIL SCALE: 3/4" = 1'-0"

D4 SECTION SCALE: 3/4" = 1'-0"

D6 SECTION SCALE: 1 1/2" = 1'-0"

C1 BRACED FRAME BF1 ON LINE 3 SCALE: 1/8" = 1'-0"

C2 BRACED FRAME BF2 ON LINE 8 SCALE: 1/8" = 1'-0"

C3 BRACED FRAME BF3 ON LINE G SCALE: 1/8" = 1'-0"

C4 BRACED FRAME BF4 ON LINE C SCALE: 1/8" = 1'-0"

C5 DETAIL SCALE: 3/4" = 1'-0"

B1 TYP. BRACE DETAIL SCALE: 3/4" = 1'-0"

B2 TYP. BRACE DETAIL SCALE: 3/4" = 1'-0"

B3 TYP. STEEL LINTEL SCHEDULE SCALE: 3/4" = 1'-0"

B4 TYP. MASONRY REINFORCING PLAN SCALE: 3/4" = 1'-0"

B5 TYP. STEEL TIE JOIST DETAIL SCALE: 3/4" = 1'-0"

A1 TYP. JOIST REINFORCING SCALE: 3/4" = 1'-0"

A2 TYP. FRAME AT ROOF OR FLOOR OPENING SCALE: 3/4" = 1'-0"

A3 TYP. ROOF DECK FASTENER LAYOUT SCALE: 3/4" = 1'-0"

A4 TYP. ROOF JOIST BEARING ON STEEL BEAM SCALE: 3/4" = 1'-0"

A5 TYP. BRACE DETAIL SCALE: 3/4" = 1'-0"

A6 GENERAL FRAMING NOTES SCALE: 3/4" = 1'-0"

EXTERIOR BRICK VENEER LINTEL SCHEDULE		
MASONRY OPENING	SIZE	BEARING
LESS THAN 11'-0"	L6x3x3/8	8" MIN

NOTES:
1. LINTEL FOR EXTERIOR MASONRY SHALL BE HOT-DIPPED GALVANIZED.
2. LINTEL IS SIZED FOR 4" WIDTH OF MASONRY.

CONCRETE MASONRY LINTEL SCHEDULE		
MASONRY OPENING	SIZE	BEARING
4'-10" OR LESS	L4x3 (2x2) (L.V.)	8" MIN OH SGUM

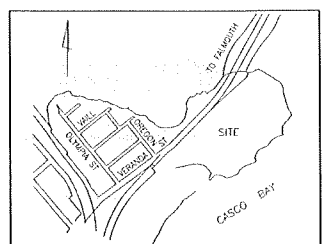
NOTES:
1. ONE ANGLE REQUIRED FOR EVERY 4' OF MASONRY.
2. MULTIPLE ANGLES SHALL BE WELDED BACK TO BACK.
3. "SGUM" INDICATES SOLID GROUTED MASONRY UNIT.

Project Title
**MARTIN'S POINT
HEALTHCARE
BUILDING #7
RENOVATION &
ADDITION
PORTLAND, MAINE**

NA Project No. 11588

Key Plan

NOTES:
1. SURVEY PREPARED BY OWEN HASKELL, INC., DATED FEB. 22, 2012.

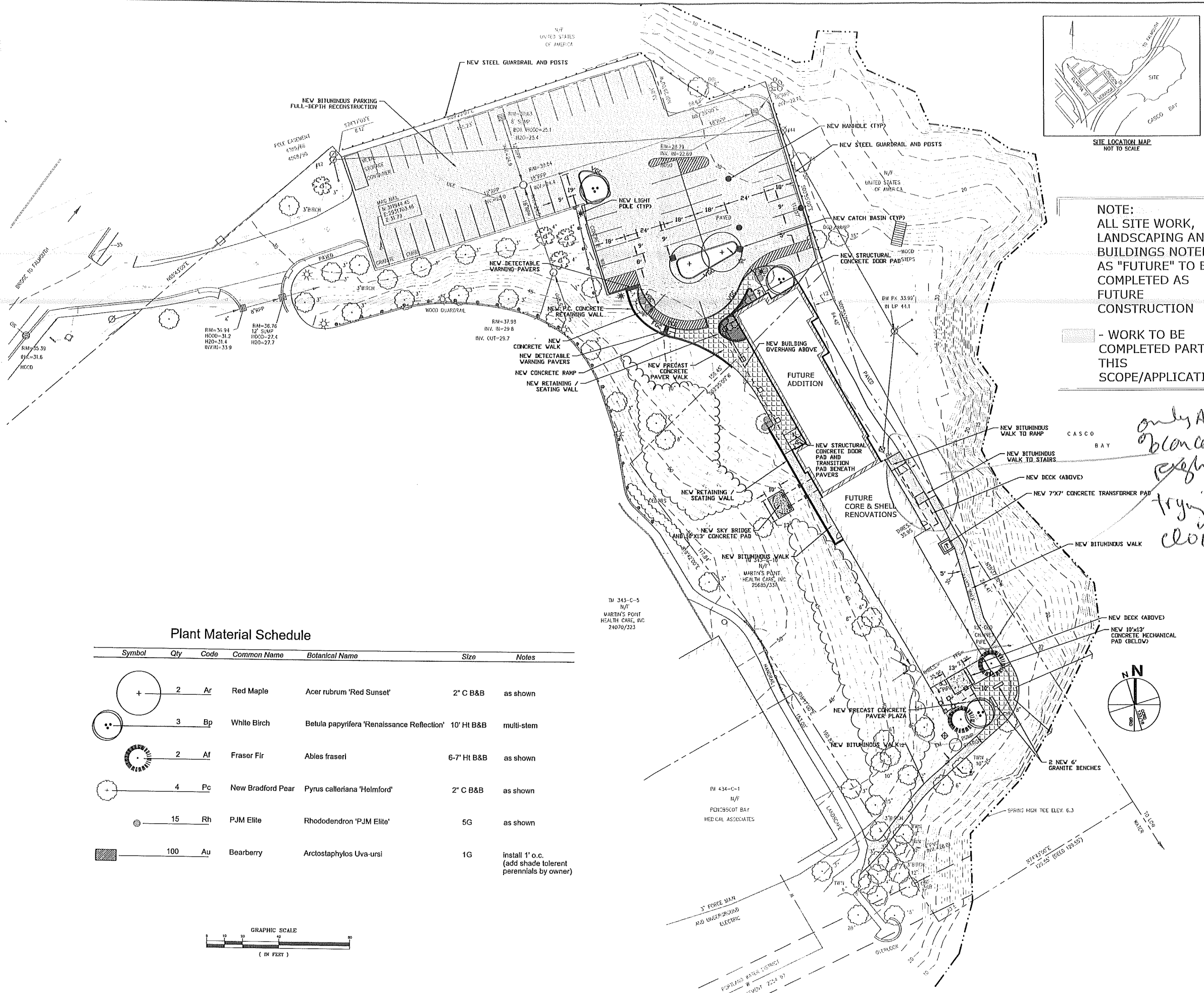


SITE LOCATION MAP
NOT TO SCALE

NOTE:
ALL SITE WORK,
LANDSCAPING AND
BUILDINGS NOTED
AS "FUTURE" TO BE
COMPLETED AS
FUTURE
CONSTRUCTION

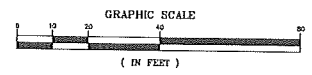
[Hatched Area] - WORK TO BE
COMPLETED PART OF
THIS
SCOPE/APPLICATION

*only area
to be done
right about
trying to beat the
clock*



Plant Material Schedule

Symbol	Qty	Code	Common Name	Botanical Name	Size	Notes
	2	Ar	Red Maple	Acer rubrum 'Red Sunset'	2" C B&B	as shown
	3	Bp	White Birch	Betula papyrifera 'Renaissance Reflection'	10' Ht B&B	multi-stem
	2	Af	Fraser Fir	Abies fraseri	6-7' Ht B&B	as shown
	4	Pc	New Bradford Pear	Pyrus calleryana 'Helmford'	2" C B&B	as shown
	15	Rh	PJM Elite	Rhododendron 'PJM Elite'	5G	as shown
	100	Au	Bearberry	Arctostaphylos Uva-ursi	1G	install 1' o.c. (add shade tolerant perennials by owner)



Issue Date	Issue Description
5/30/12	ISSUED FOR BUILDING PERMIT
4-06-12	ISSUED FOR BID

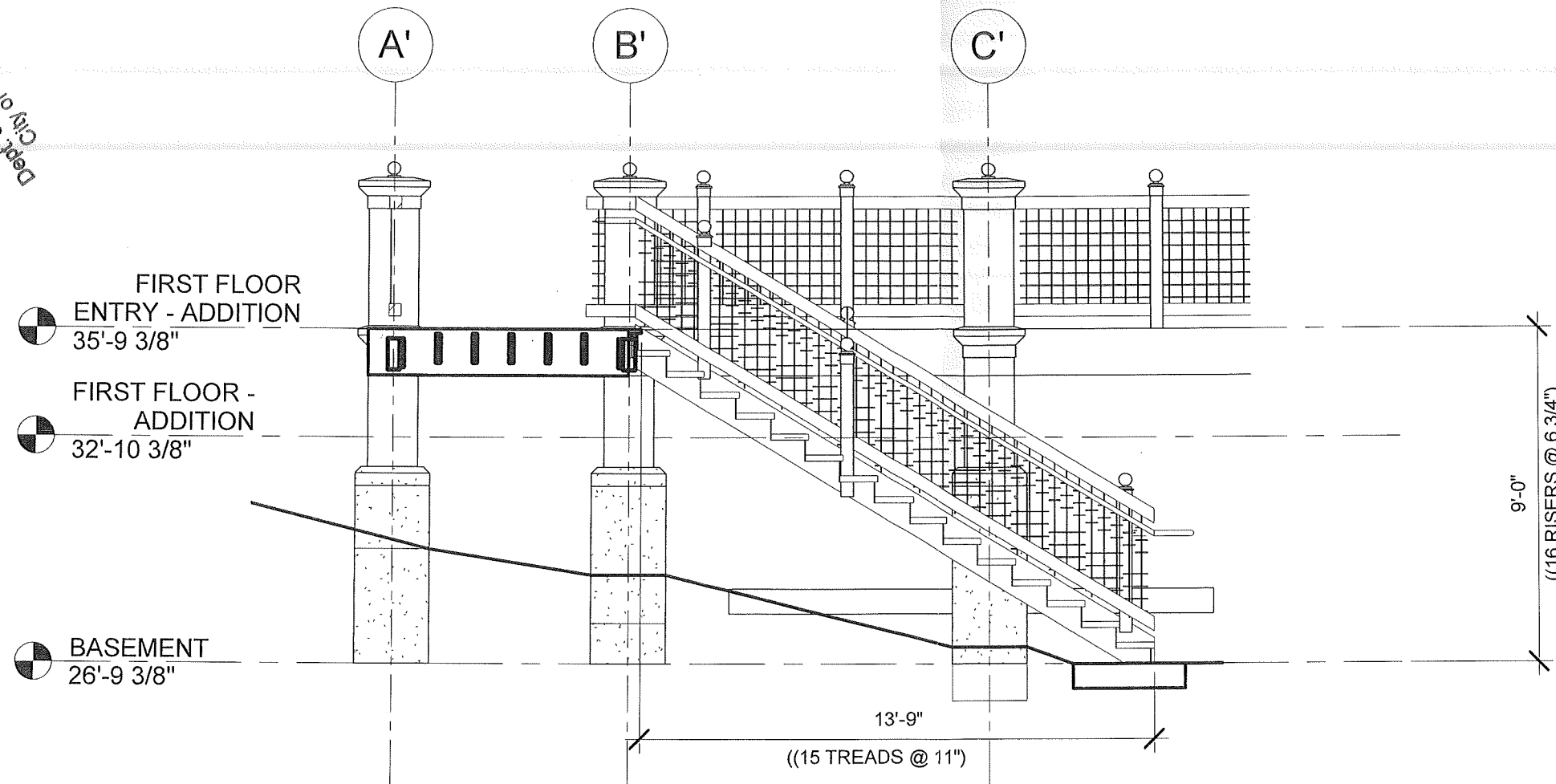
Drawing Status

Drawing Title
SITE PLAN

PA / PL / FLC Drawn By: PLS

Drawing Number
C00.1

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City of Portland Maine

1 SECTION - EXTERIOR EGRESS STAIR
1/4" = 1'-0"

MANUFACTURED BALL
SECURED/ADHERED TO
STONE CAP

PRECAST STONE CAP,
A3/A50.3

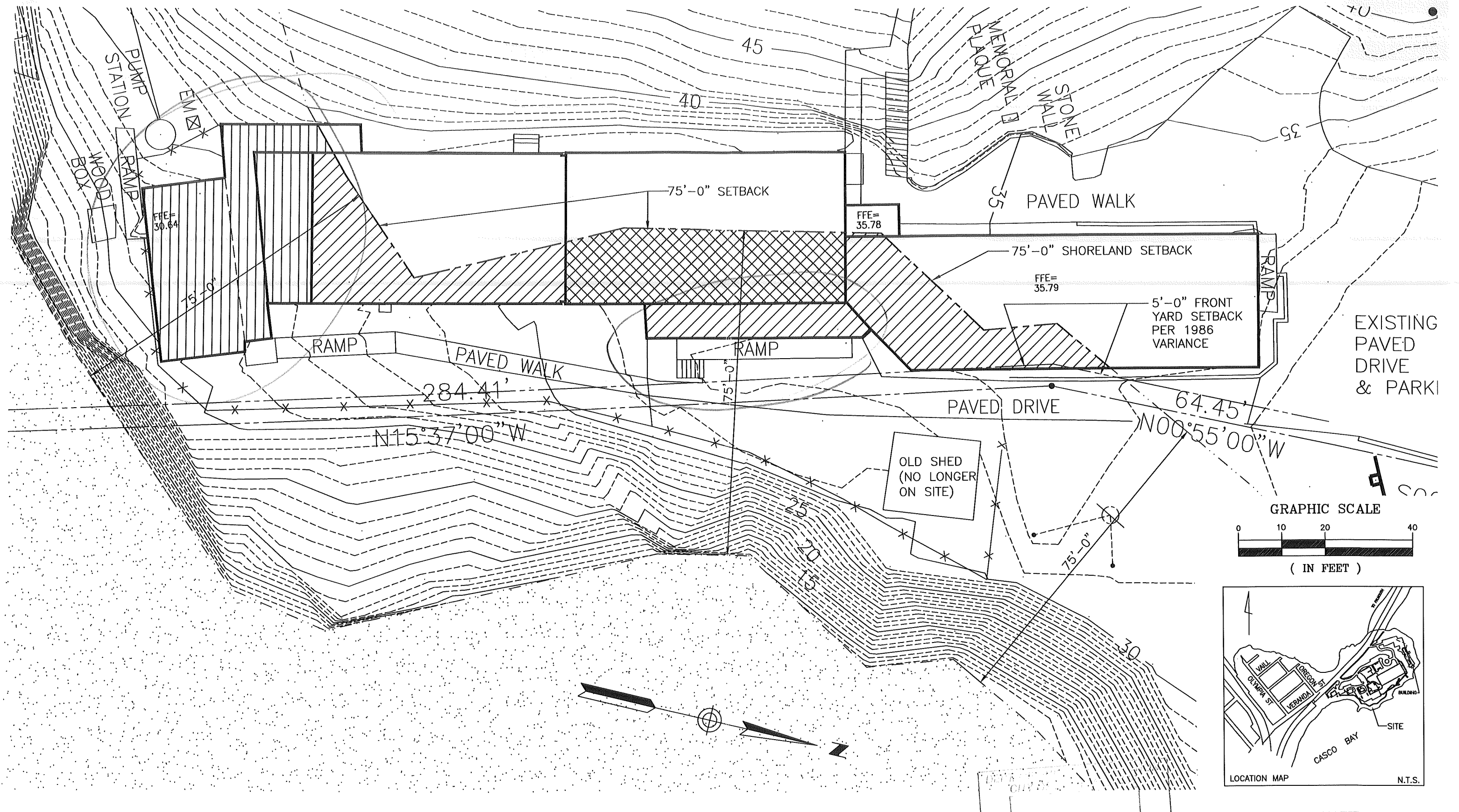
BRICK VENEER COLUMN
REFER TO B6/A50.3

STEEL COLUMN, REFER
STRUCTURAL DRAWING

FINISHED FLOOR
(35'-9 3/8" SOUTH PC
OR 45'-9 3/8" BRIDGE)

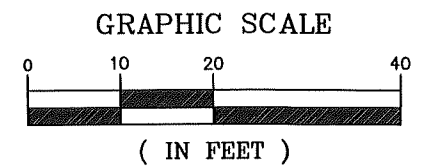
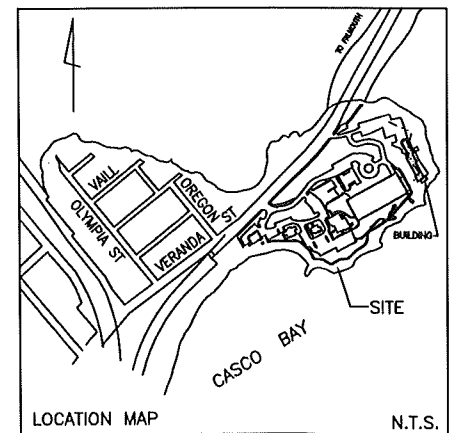
PRECAST STONE ACCENT
TO C6/A50.3

BRICK VENEER COLUMN
REFER TO B6/A50.3



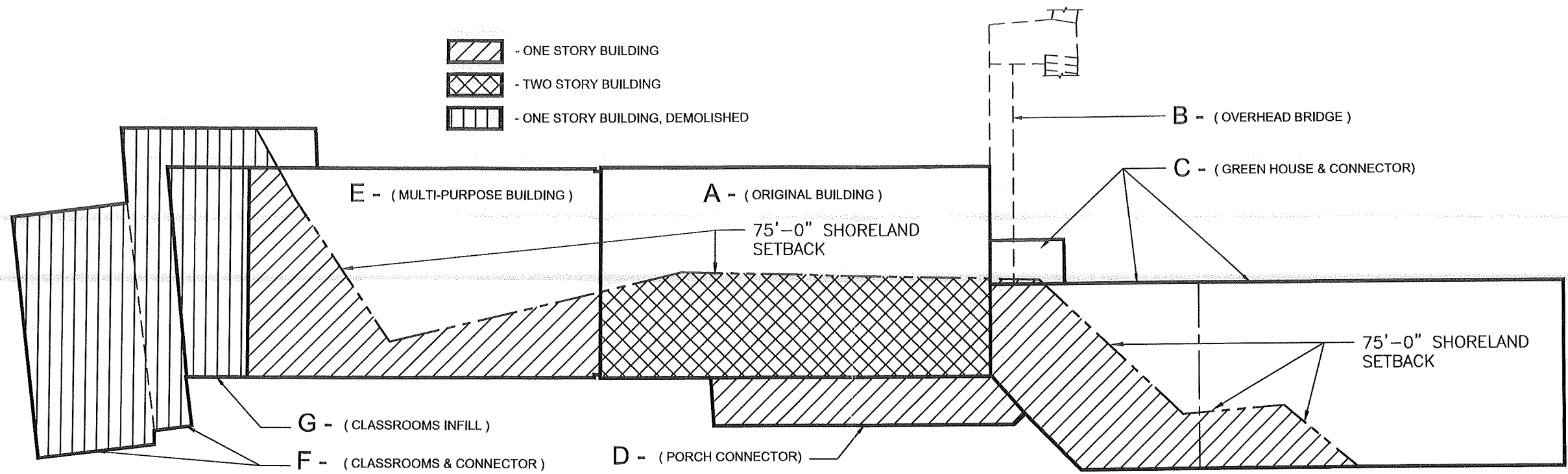
MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE

SHEET 1 - BUILDING ZONING - SHORELAND ZONING ANALYSIS - EXISTING SITE/BUILDING OVERLAY
 June 5, 2012



DATE: JUN - 5 2012





BUILDING	BUILT / PERMITTED	EXISTING SQUARE FOOTAGE	EXISTING VOLUME (C.F.)	NON-COMPLIANT SQUARE FOOTAGE	NON-COMPLIANT VOLUME (C.F.)	REMARKS
A	1933	4,600	63,286	2,170	29,744	
B	May 19, 1976	150	150	N/A	N/A	Existing has been demolished
C	1986	2,968	40,718	859	12,172	
D	1986	395	5,500	395	5,500	Existing ramp/stair been demolished
E	1933	2,047	63,286	912	17,856	
F	May 19, 1976	1,295	14,485	1,242	13,955	Existing has been demolished
G	July 26, 1996	416	7,540	N/A	N/A	Existing has been demolished
TOTAL		11,871	194,965	5,578	79,227	
TOTAL INCREASE TO NON-CONFORMING (UP TO 30%)				1,673	23,768	

GRAPHIC SCALE
 10 20 40
 (IN FEET)

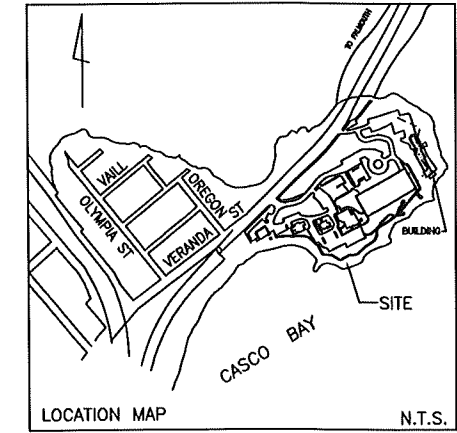
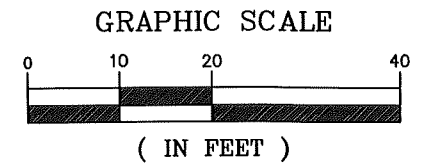
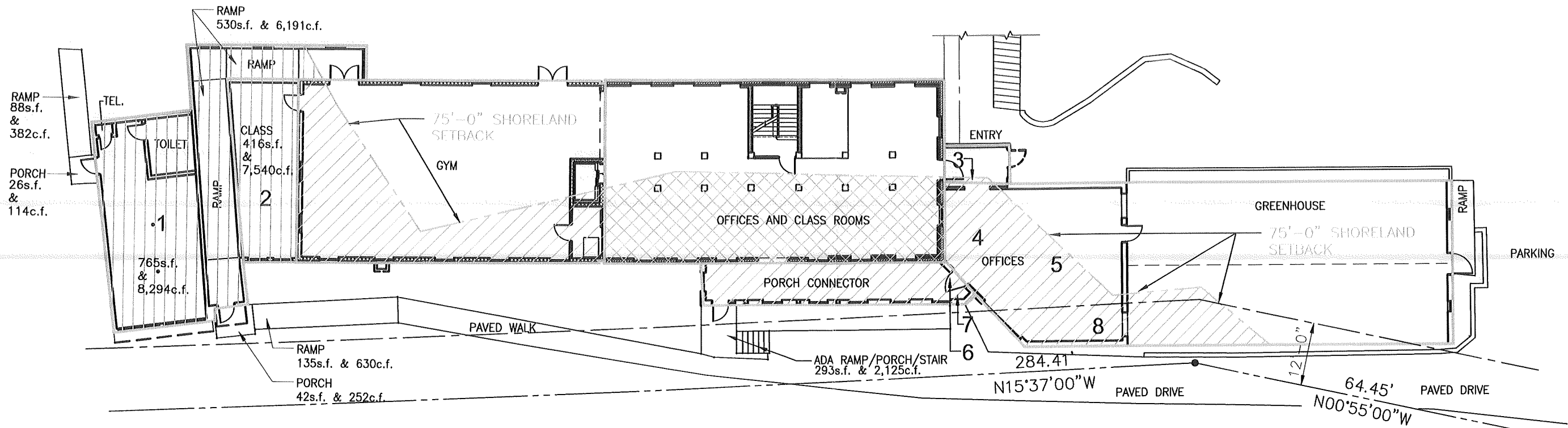
[SQ FT] Volume
 "F" 1295 14485
 "G" 416 7540
 1711 22025

LOCATION MAP
 N.T.S.

MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE

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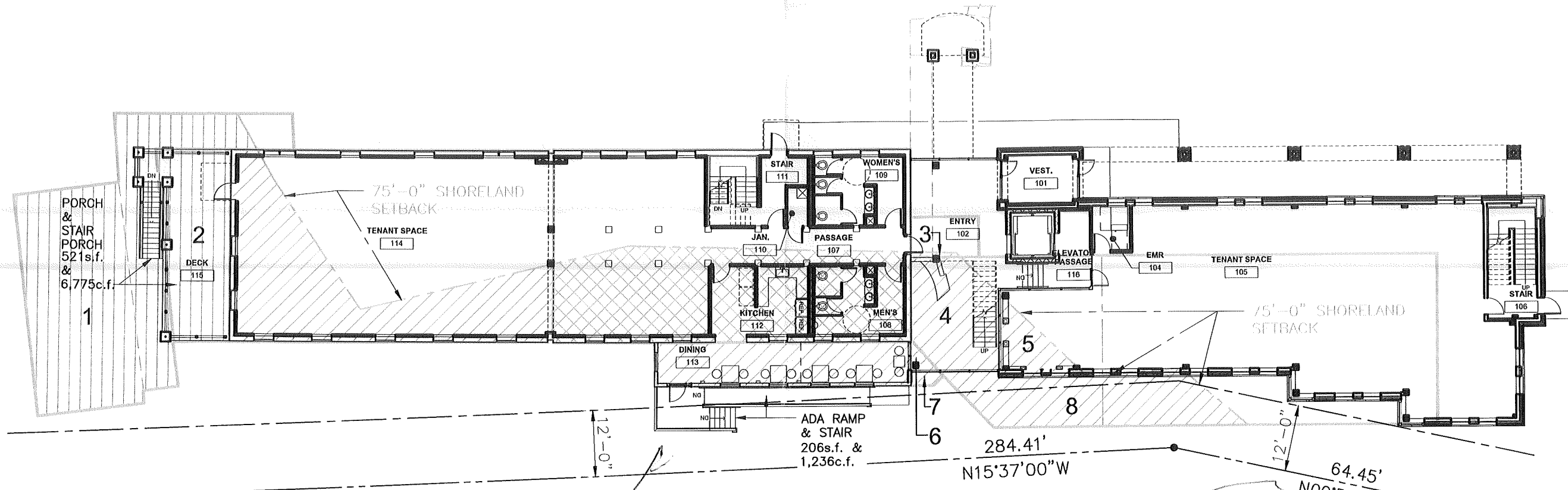




DEPT. OF BUILDING & CONSTRUCTION
 CITY OF PORTLAND, MAINE
 JUN - 5 2012

MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE
 SHEET 2A - BUILDING ZONING - SHORELAND ZONING ANALYSIS - EXIST. BLDG. FLOOR PLAN
 June 5, 2012

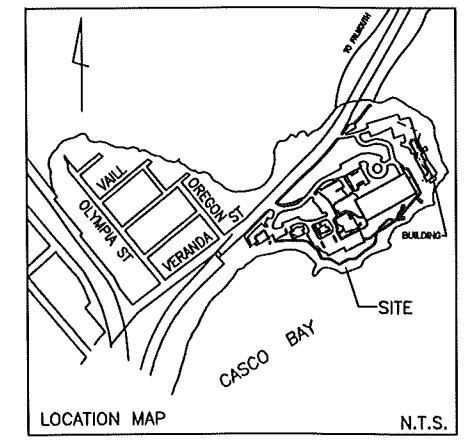
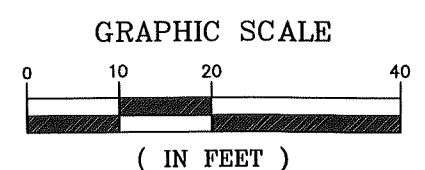




Ramp was 395
 New 206
 Volume 5,500
 1,236 #3

PORTION OF BUILDING	NON-COMPLIANT SQUARE FOOTAGE	NON-COMPLIANT VOLUME (C.F.)
1	-1,295	-15,540
2	+1,042	+7,033
3	+8	+170
4	+295	+6,268
5	+280	+3,861
6	+19	+404
7	-12	-120
8	-415	-446
TOTAL	-78	+1,630

SQFT
 112 521 #
 112 6,775
 previous was 1711 #
 Volume
 6,775 #3
 less
 WAS 22025 #3



DEPT. OF PERMITTING
 CITY OF PORTLAND
 JUN - 5 2012

MARTIN'S POINT HEALTHCARE
PORTLAND, MAINE



**Martin's Point Building 7
Expansion Summary – November 1, 2011**

Building History

The building was originally built in 1930(?) and later expanded several times. Below is a summary of the alterations and expansions:

date	description	area (sf)	remarks	total remaining area
1933	original structure	4,600		4,600
	porch	395		395
1933	multi-purpose	2,047		2,047
1976	bridge	150		
	trailer with connector	1,295	demolished	
1986	greenhouse and connector	2,968	to be removed	
1996	classroom infill	416	demolished	
	total area			7,042

Portions of the building have been constructed within the 75'-0" shoreland set-back. A waiver was granted in 1985 from the Portland Zoning Board of Appeals to allow the green house to be constructed with a 5-foot front yard setback and a 0-foot side yard setback.

Zoning Summary

Zoning – RP Residential Professional (abuts R-5 zone)

Set-backs:

Property Lines Set backs

- o Front yard: 20 foot
- o Rear Yard: 20 foot rear yard,
- o Side yard: 1 story = 10-feet
2 story = 12-feet
3-story = 14-feet

Shore-land set-back – 75'-0" from maximum spring high tide level.

Allowable building area and height –

Zoning – 45 feet high

Floor Area Ratio – 65% maximum allowable building area per site area, therefore the existing property of 43,453 square feet a maximum building size is 28,244 square feet.

Building Code – Type III Construction, 4 stories (40'-0") and 19,000 square feet.

Parking – One parking space per 400 square feet of building for office use. (there are currently 59 spaces adjacent to Building 7)

Impervious Surfaces – 80% maximum allowable, therefore the existing property of 43,453 square feet has a maximum allowable impervious surface area of 34,764 square feet

Existing Non-Conforming Area and Volume

Per Section 14.382 of the Portland Zoning Ordinance a non-conforming building is allowed to be increased by 30% in both volume and area as long as the nonconforming portion of the structure was built prior to January 1, 1989. Below is a summary of the building area and volume that was constructed within the 75'-0" set-back. The table below only accounts for the area of the building that is within the 75'-0" set-back.

date	description	non-compliant area	non-compliant volume	non compliant existing remaining area (not to be demolished)	non compliant existing remaining volume (not to be demolished)
1933	original structure	2,170	29,744	2,170	29,744
	porch	395	5,500	395	5,500
1933	multi-purpose	912	17,856	912	17,856
1976	bridge	n/a	n/a		
	trailer with connector	1,242	13,955		
1986	greenhouse and connector	859	12,172		
	total non-conforming area and volume	5,578	79,227		
	plus 30% increase	1,673	23,768		
1996	classroom infill (non-conforming but not subject to 30% increase)	416	7540		
	total allowable area/volume in set-back	7,667	110,535		
	total remaining non-conforming area / volume			3,477	53,100
	potential allowable increase of non-conforming area / volume			4,190	57,435
				(7,667-3,477)	(110,535-53,100)

Conclusion

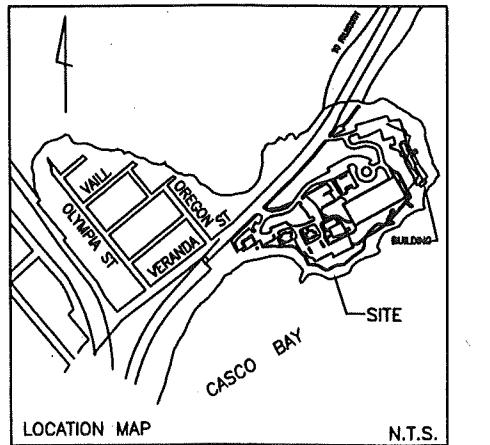
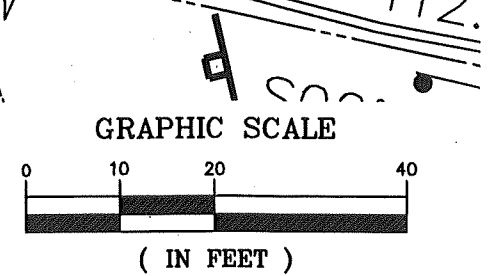
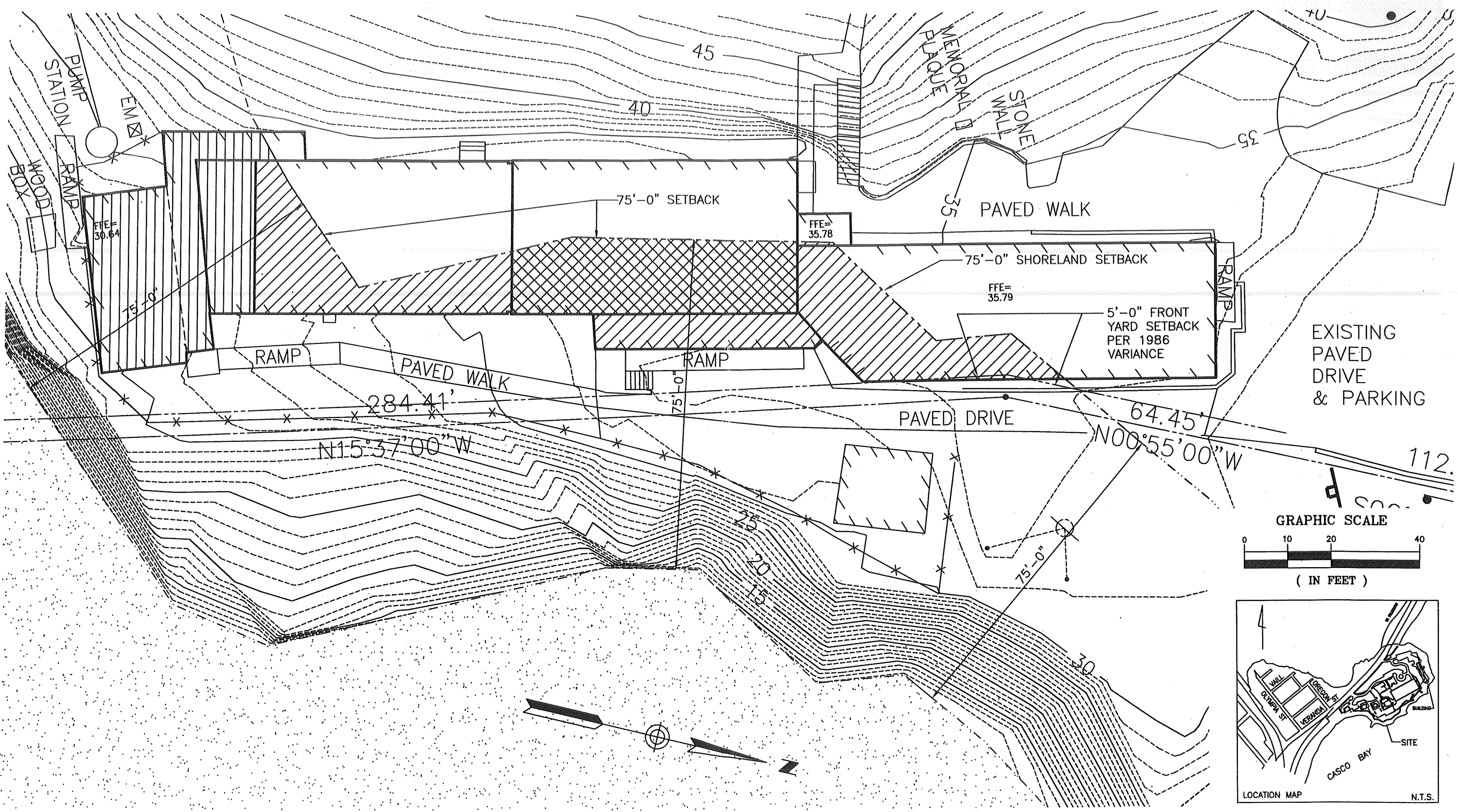
Our conclusion, which will need to be confirmed with the City of Portland, is that we can potentially build 4,190 square feet and 57,435 cubic feet within the shore-land setback limit.

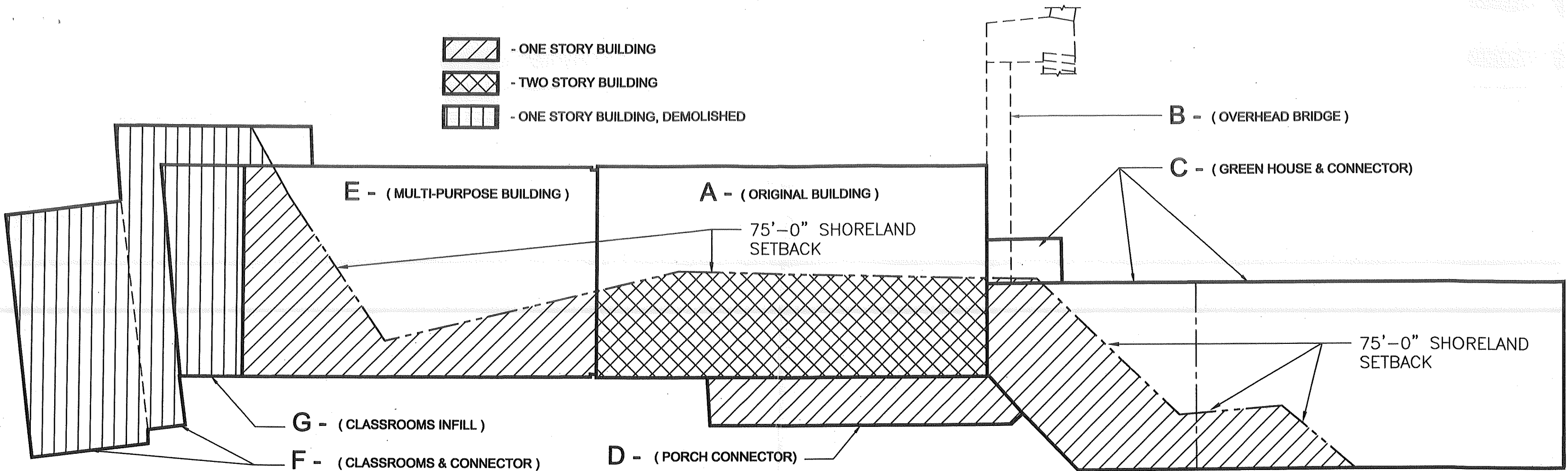
Recommendations

Harriman recommends that a 2-story addition with access to a central core on the west side be considered for the following reasons

- Move the building expansion as far from the slope as possible to provide views and ventilation for occupants and reduce mold
- Allow for central access to the core which will provide an elevator and ramps for pedestrian access and central mechanical system locations
- Build on existing east and north foot print of greenhouse
- Leave front of entry to facility in existing location

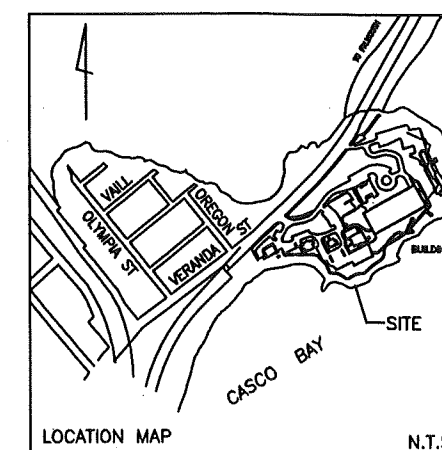
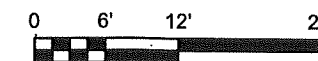
description	connector with 2-story addition and walkway on west (hill) side (approximate areas)
basement area at connector for utility and mechanical systems	720
walkway	445
first floor	2,800
second floor	2,800
first floor connector	720
second floor connector	720
egress stair on south	500
total new area	8,705
existing remaining building area	7,042
total potential combined building area	15,747
area within shore land set-back building egress stair (need to stay under 4,190 sf)	2,018 500
volume within shore land set-back building egress stair (need to stay under 57,435 cf)	26,839 5,000

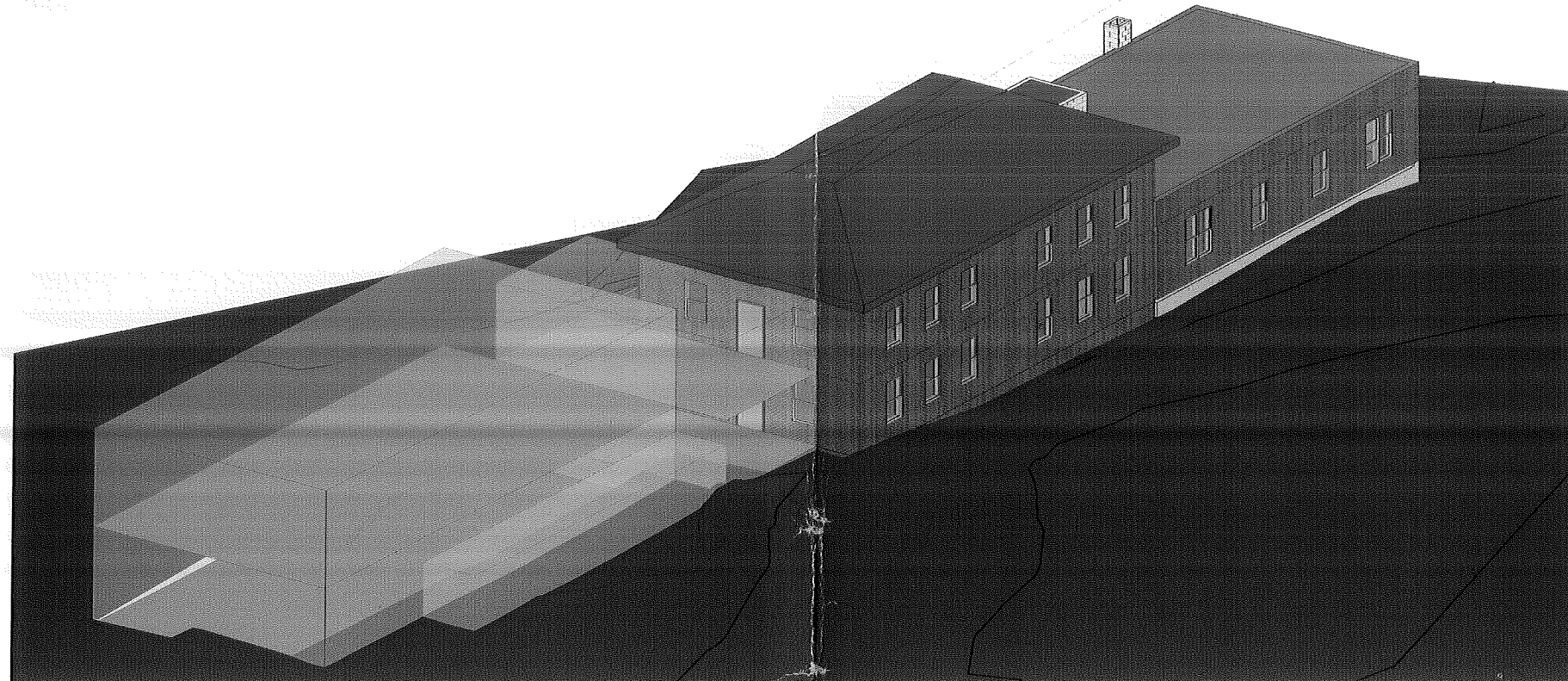




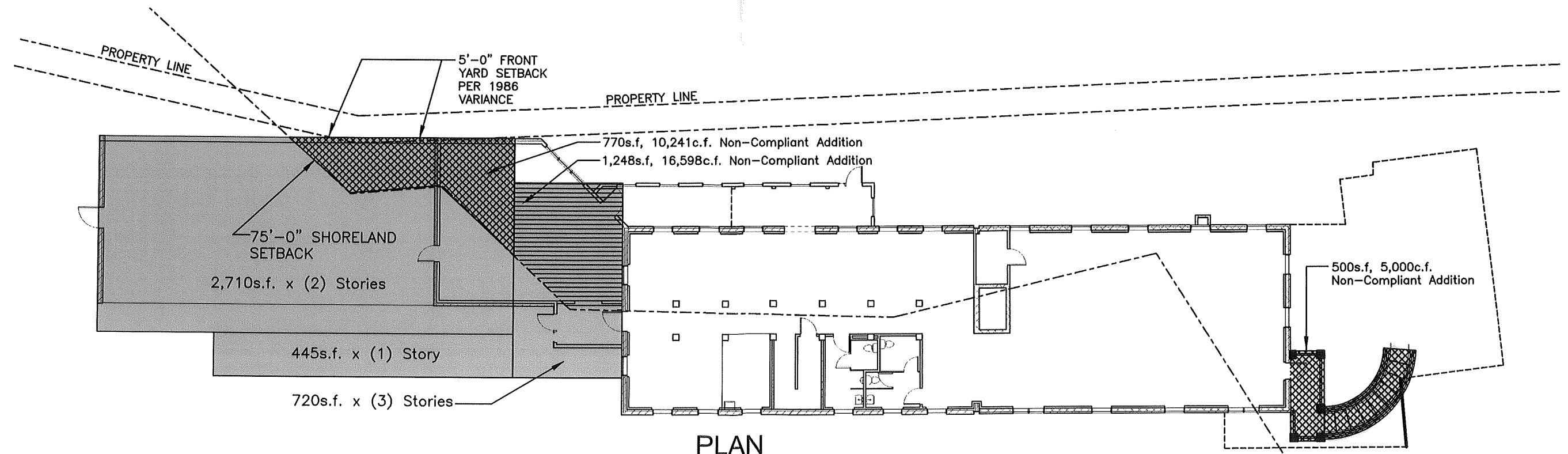
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TOTAL INCREASE TO NON-CONFORMING (30%)				1,673	23,768	

1/16" = 1'-0"

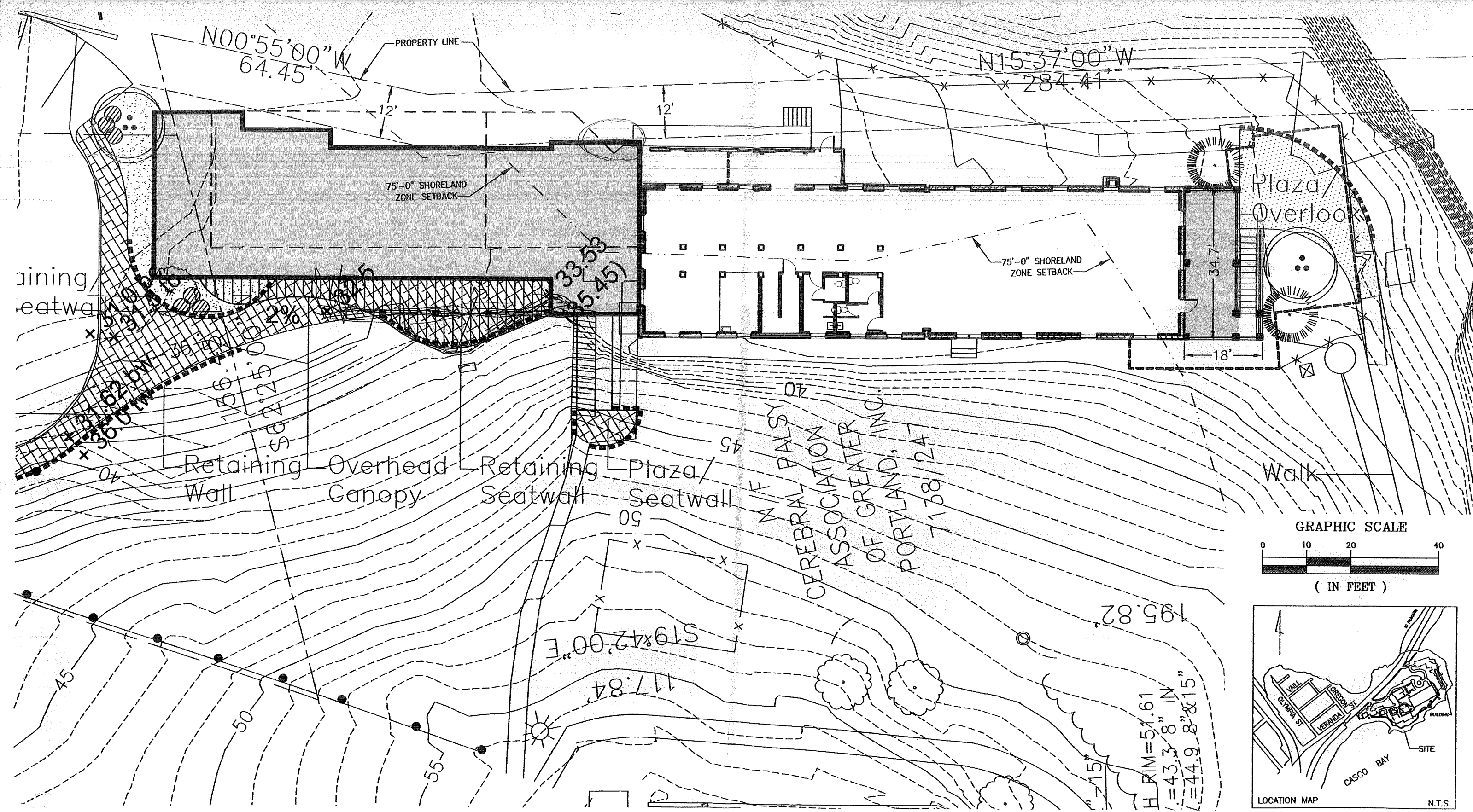




ISOMETRIC



MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE
 MASSING STUDY
 November 1, 2011



HARRIMAN

Architects + Engineers

MARTIN'S POINT HEALTHCARE
 PORTLAND, MAINE
 SITE MODIFICATIONS - 12'-0" SIDEYARD SETBACK
 December 6, 2011

