

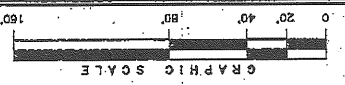
434-C-5

331 Veranda St.

Expansion

Martin's Pt.





UTILITY NOTE: THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA OTHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION ALTHOUGH FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-05SAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

UTILITY NOTE

- LEGEND:
- IRON PIPE OR ROD FOUND
 - HYDRANT
 - UTILITY POLE
 - LIGHT POLE
 - ELECTRIC METER
 - MANHOLE
 - CATCH BASIN
 - SIGN
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - FENCE
 - CURB
 - OVERHEAD WIRES
 - UNDERGROUND ELECTRIC
 - WATER LINE
 - SANITARY
 - STORM DRAIN
 - 1' CONTOUR
 - PROPERTY LINE
 - TEST PIT BY OTHERS

- PLAN REFERENCES:
1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON VERANDA STREET, PORTLAND, MAINE FOR MARTIN'S POINT HEALTH CARE CENTER, MAY 14, 1988, REV. 5/6/25/97 OWEN HASKELL, INC.
 2. DEPARTMENT OF SUBURB WORKS DATED JUNE 6, 1974 BY MORTON AND ROSE.
 3. TOPOGRAPHICAL SURVEY OF MARTIN'S POINT ON VERANDA STREET, PORTLAND, MAINE MADE FOR DELUCA-HOFFMAN ASSOC. DATED APRIL 7, 1994 BY OWEN HASKELL, INC.
 4. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR PENSCOTT BAY MEDICAL ASSOCIATES NOV. 23, 1981 BY MORTON AND ROSE ASSOC. RECORDED IN PLAN BOOK 133, PAGE 18.
 5. STANDARD BOUNDARY SURVEY AT MARTIN'S POINT ON VERANDA STREET, PORTLAND, MAINE MADE FOR PENSCOTT BAY MEDICAL ASSOCIATES PLAN NUMBER 22091 0008 B, EFFECTIVE DATE JULY 17, 1988.

- NOTES:
1. LOCUS IS SHOWN AS LOTS 1 & 2 BLOCK C ON CITY OF PORTLAND'S ASSESSORS MAP 434.
 2. BEARINGS ARE BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 4.
 3. PROPERTY LIES WITHIN THE 250 FOOT WIDE SHORELAND ZONE AND RESOURCE PROTECTION ZONE.
 4. BEIGN MARK, FINISHED FLOOR ELEVATION OF BRICK BUILDING TAKEN FROM PLAN REFERENCE 1.
 5. LOCUS IS SHOWN IN FLOOD ZONES C, X2 AND X2 ON FLOOD INSURANCE RATE MAP, CITY OF PORTLAND PANEL 8 OF 17, JULY 17, 1988.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF IT CONFORMS TO CURRENT STANDARDS OF PRACTICE.

JOHN W. SWAN, PLS #1038
DATE 12/07/05

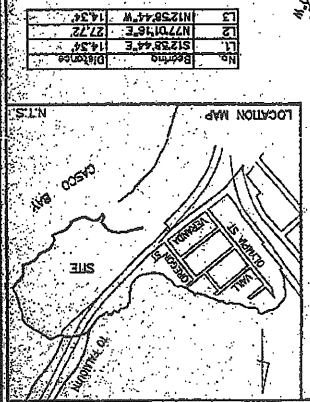
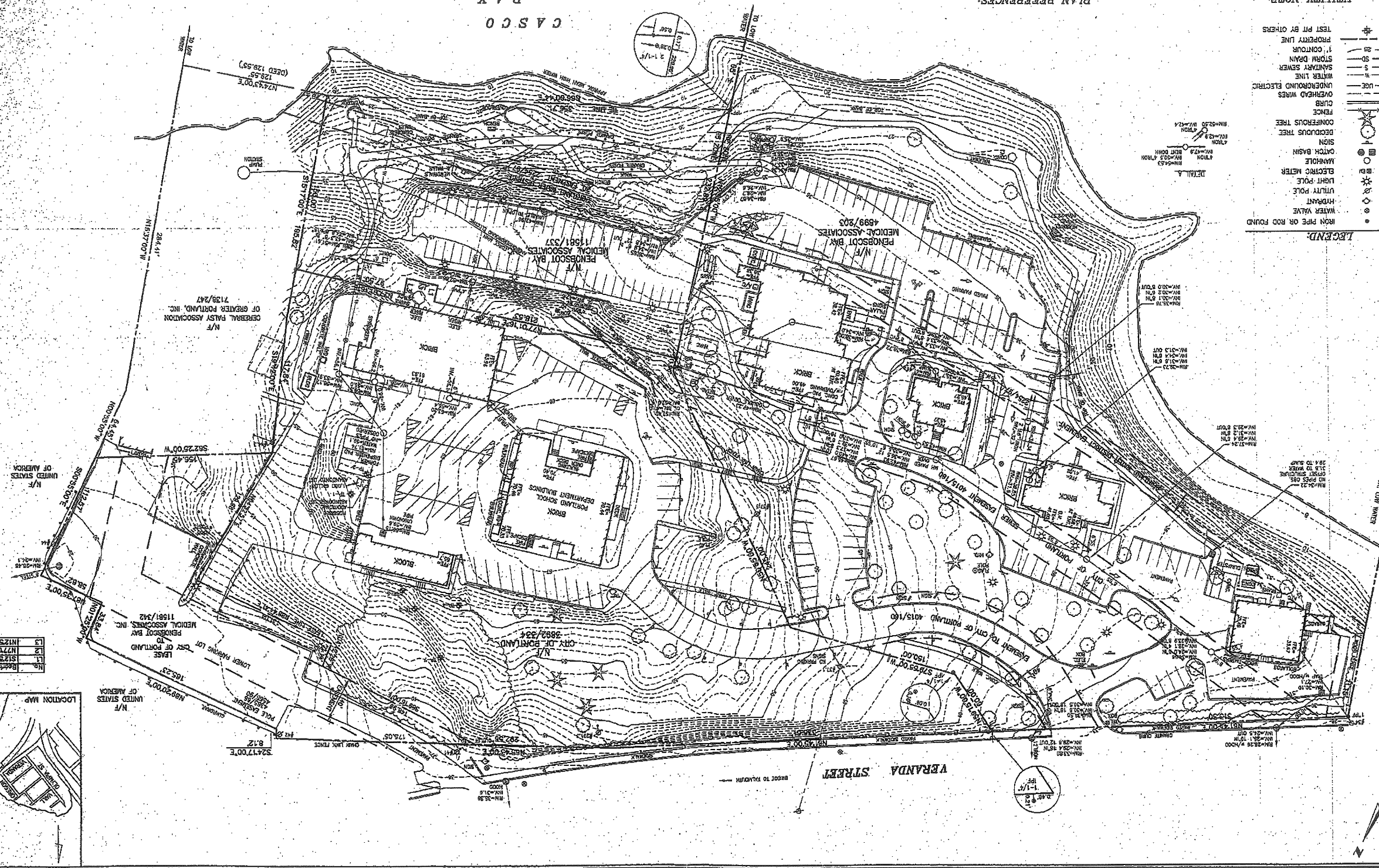


REV. 1 12-07-05 [AUGUSTED, FINISHED FLOORS]

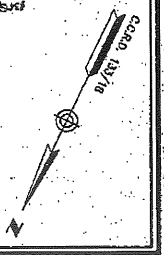
BOUNDARY & TOPOGRAPHIC SURVEY

MARTIN'S POINT HEALTH CARE CENTER
ON
VERANDA STREET, PORTLAND, MAINE
MADE FOR
OWEN HASKELL, INC.
18 CADWELL ST., PORTLAND, ME 04101 (707) 771-1111
TRADE BY: J.W.S.
CHECKED BY: J.W.S.
BOOK NO. 175

CASCO BAY



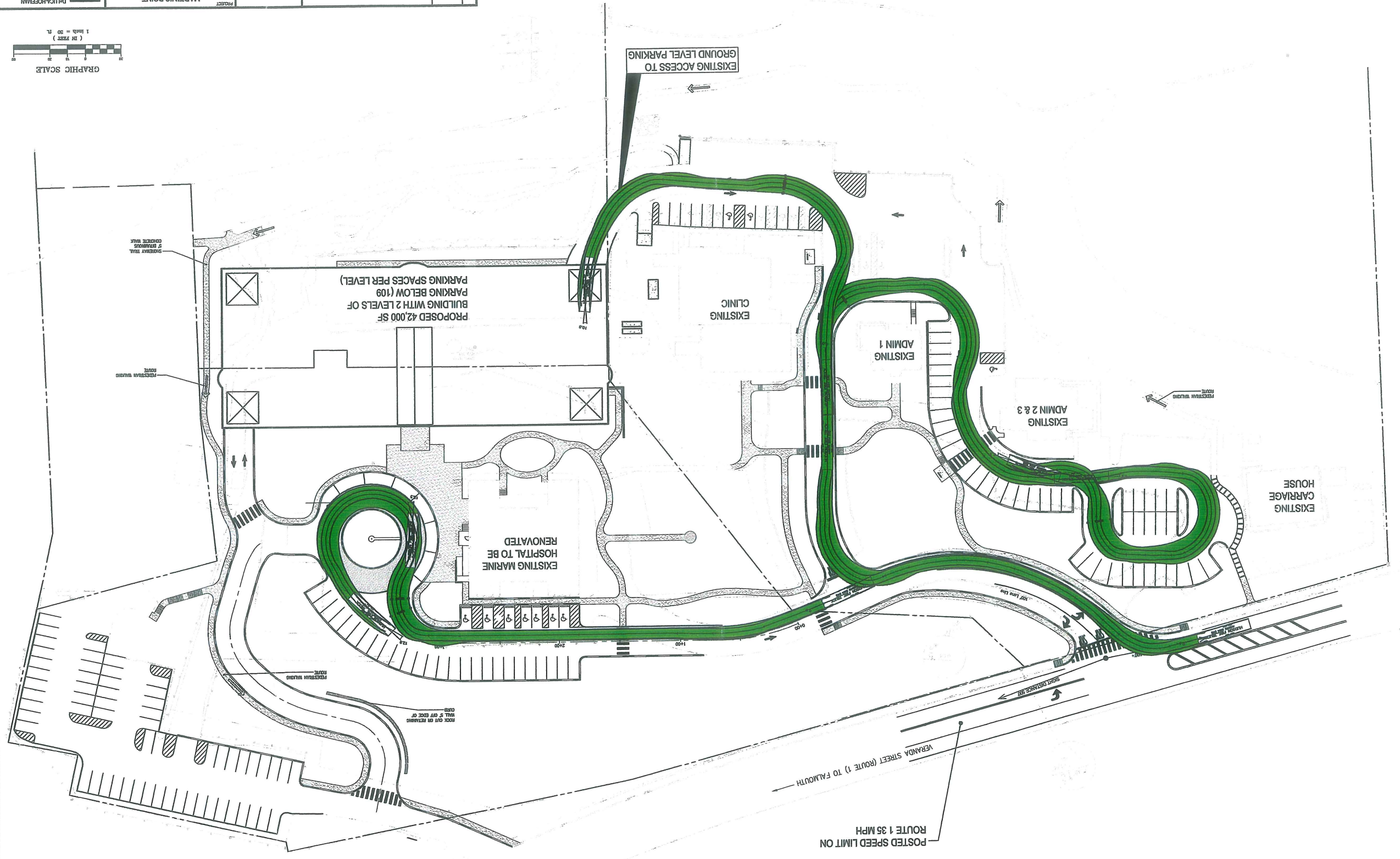
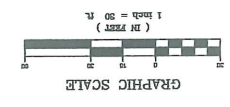
15	112°58'44" W	14.36
12	117°01'46" E	27.72
11	117°38'44" E	14.56
10	112°58'44" W	14.36



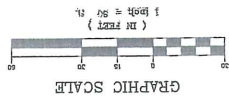
PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS		CLIENT	
REV	DATE	DESCRIPTION	REVISIONS

PROJECT		SHEET	
MARTIN'S POINT REDEVELOPMENT PROJECT		AUTO-TURN MOVEMENTS	
MARTIN'S POINT		FIRE TRUCK	
ASSOCIATES, INC.		AUTO-TURN MOVEMENTS	
7300 W. 10TH AVE. SUITE 100		DESIGNED: D.A.	
MINNEAPOLIS, MN 55425		CHECKED: D.A.	
		DATE: DEC 2009	
		SCALE: 1" = 20'	
		JOB NO. 21415	
		FILE NAME: AUTO-TURN/FIRE TRUCK.DWG	
		SHEET: AUTO-FIRE	

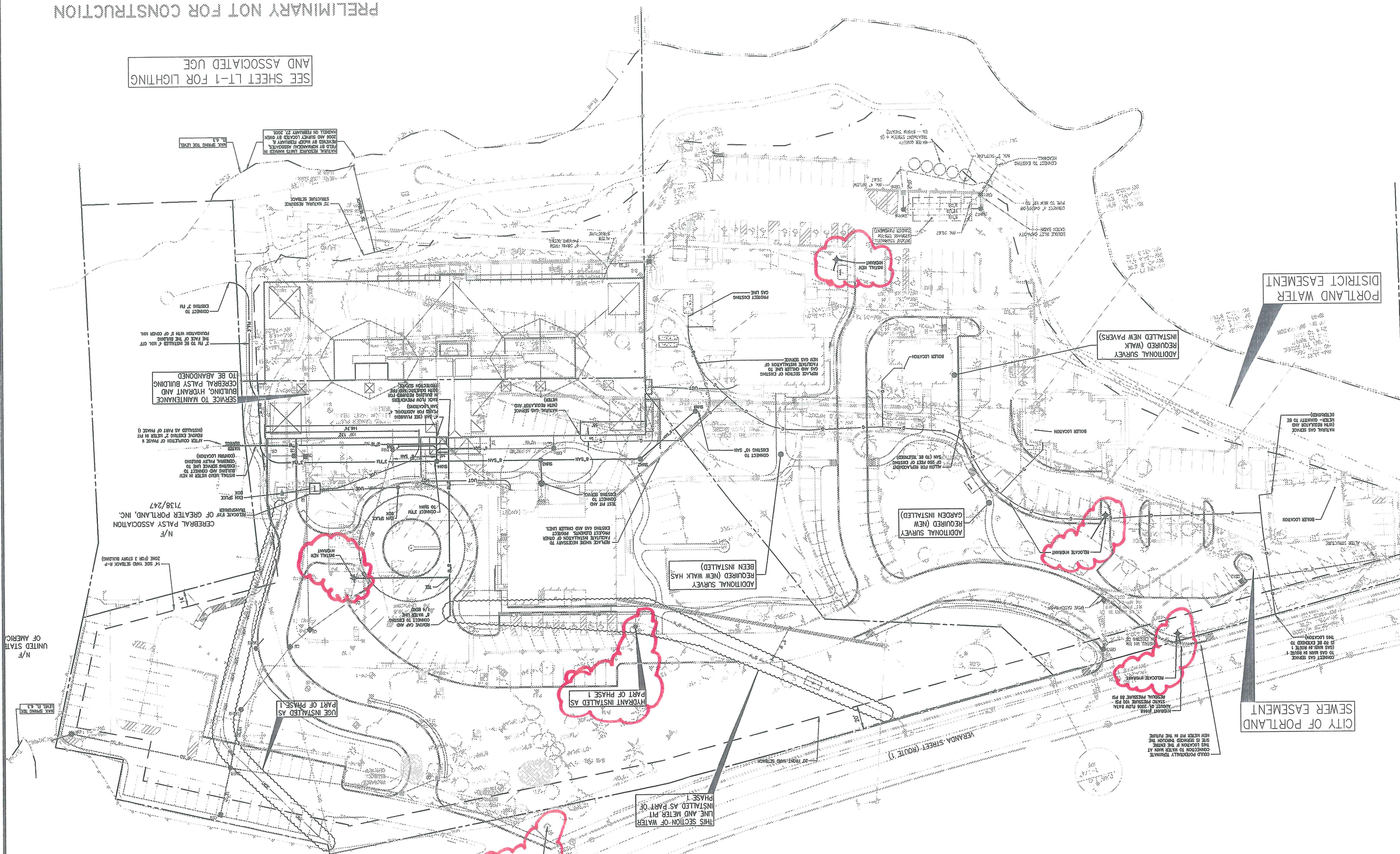


NO.	DATE	DESCRIPTION
10	12/22/09	SUBMITTED TO CLIENT FOR REVIEW
9	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
8	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
7	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
6	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
5	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
4	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
3	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
2	08/09/09	SUBMITTED TO CLIENT FOR REVIEW
1	11/17/09	SUBMITTED TO CLIENT FOR REVIEW



PRELIMINARY NOT FOR CONSTRUCTION

SEE SHEET LT-1 FOR LIGHTING AND ASSOCIATED UGE



PORTLAND WATER DISTRICT EASEMENT

CITY OF PORTLAND SEWER EASEMENT

ADDITIONAL SURVEY REQUIRED (WALK) INSTALLED NEW PIPES

ADDITIONAL SURVEY REQUIRED (NEW GARDEN INSTALLED)

ADDITIONAL SURVEY REQUIRED (NEW WALK HAS BEEN INSTALLED)

HYDRANT INSTALLED AS PART OF PHASE 1

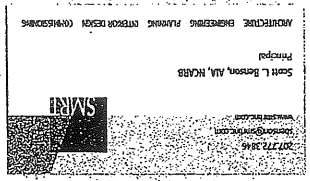
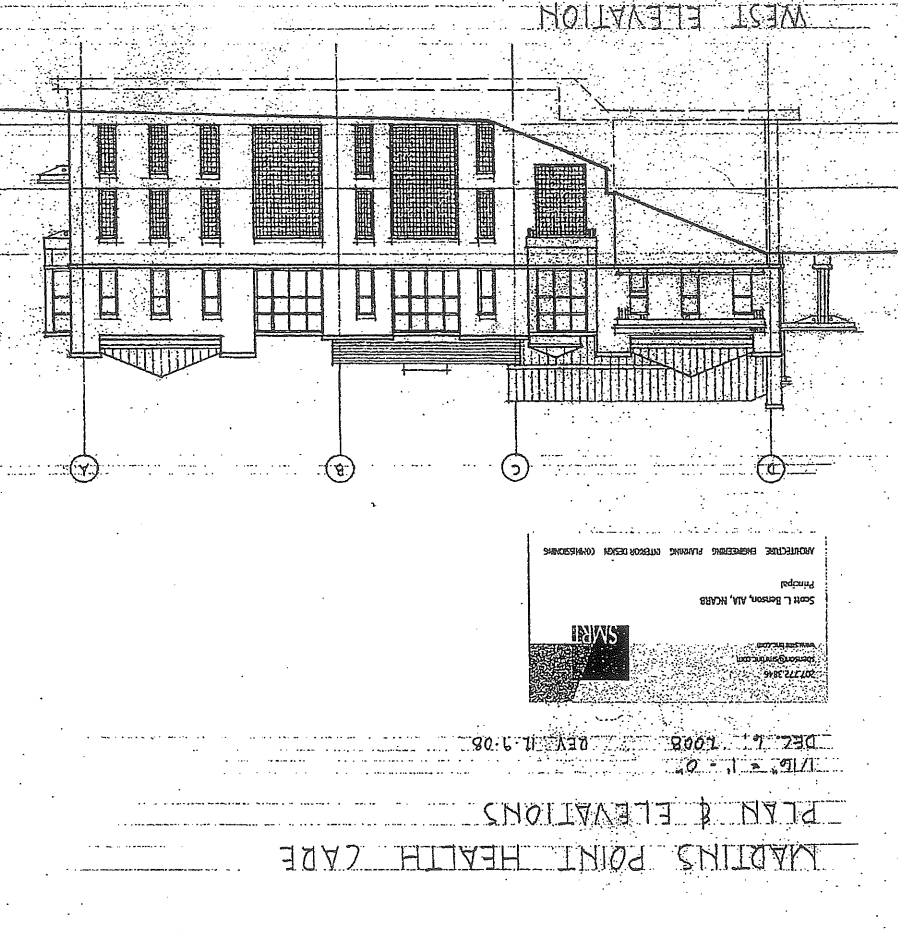
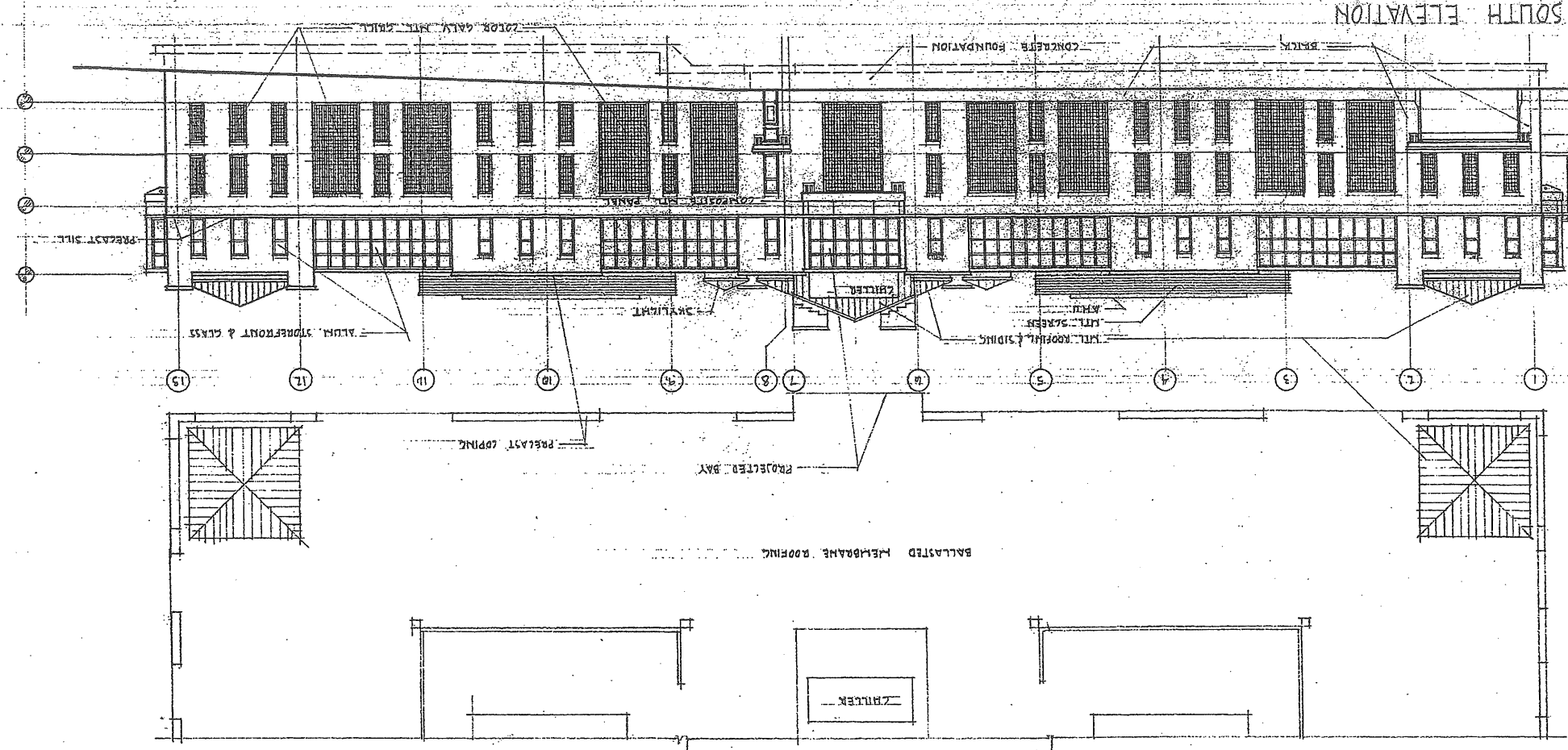
THIS SECTION OF WATER LINE AND WATER PIT INSTALLED AS PART OF PHASE 1

SERVICE TO MAINTENANCE BUILDING, HYDRANT AND CEREBRAL PALSY BUILDING TO BE ABANDONED

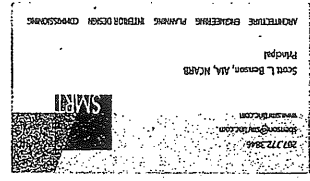
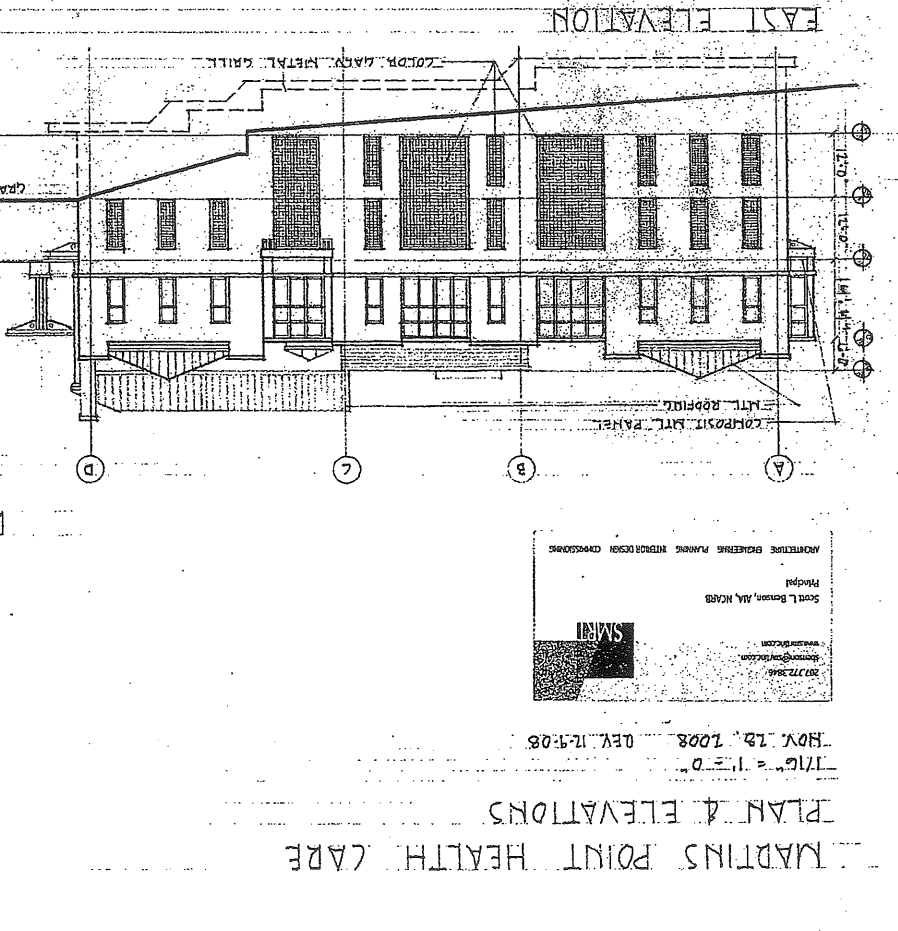
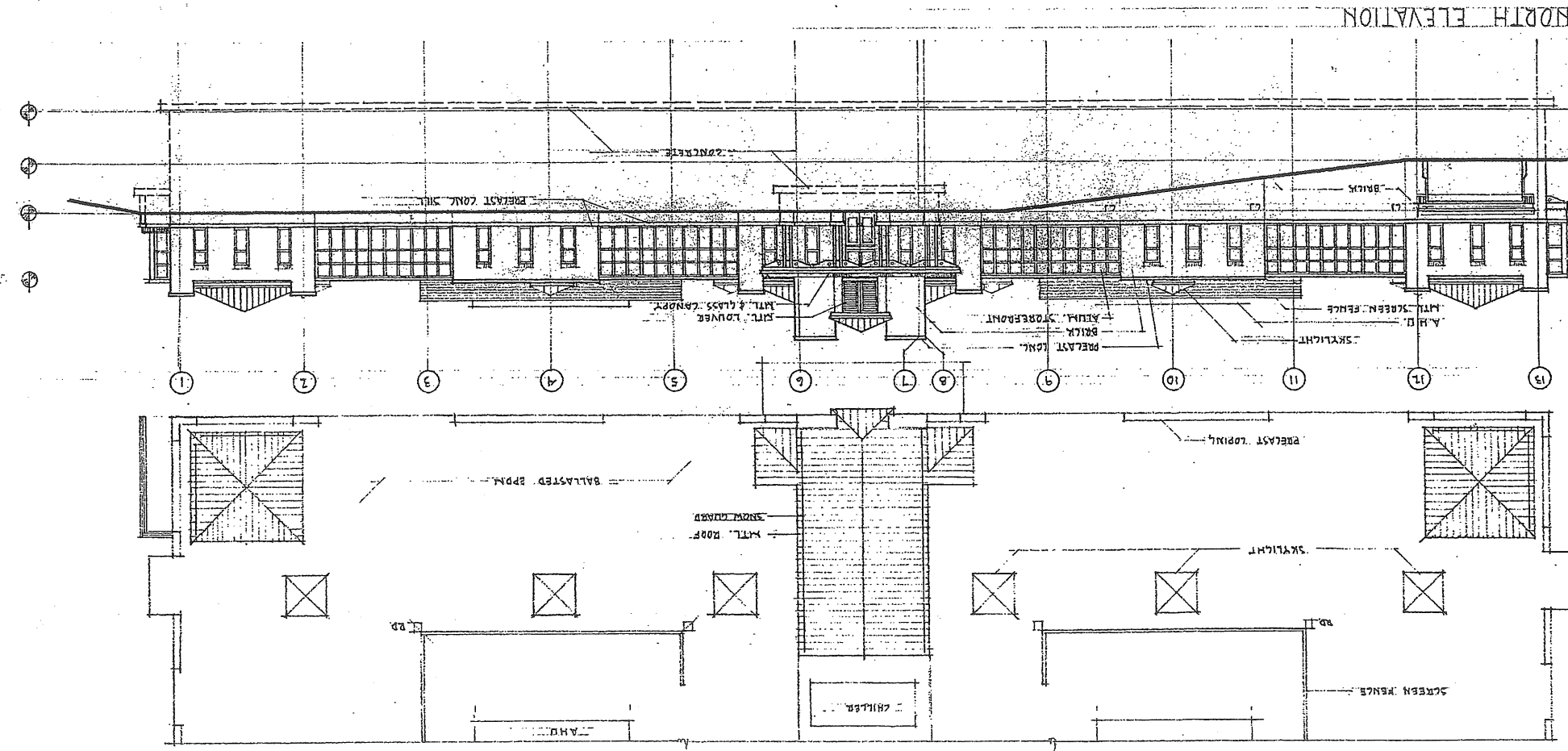
CEREBRAL PALSY ASSOCIATION OF GREATER PORTLAND, INC. 7138/247

Hydrant Locations





MADRID'S POINT HEALTH CARE
 PLAN & ELEVATIONS
 TITLE = 1.0
 DEC. 7, 1008 REV. 11.9.08



MADRID'S POINT HEALTH CARE
 PLAN & ELEVATIONS
 TITLE = 1.0
 NOV. 12, 1008 REV. 11.9.08

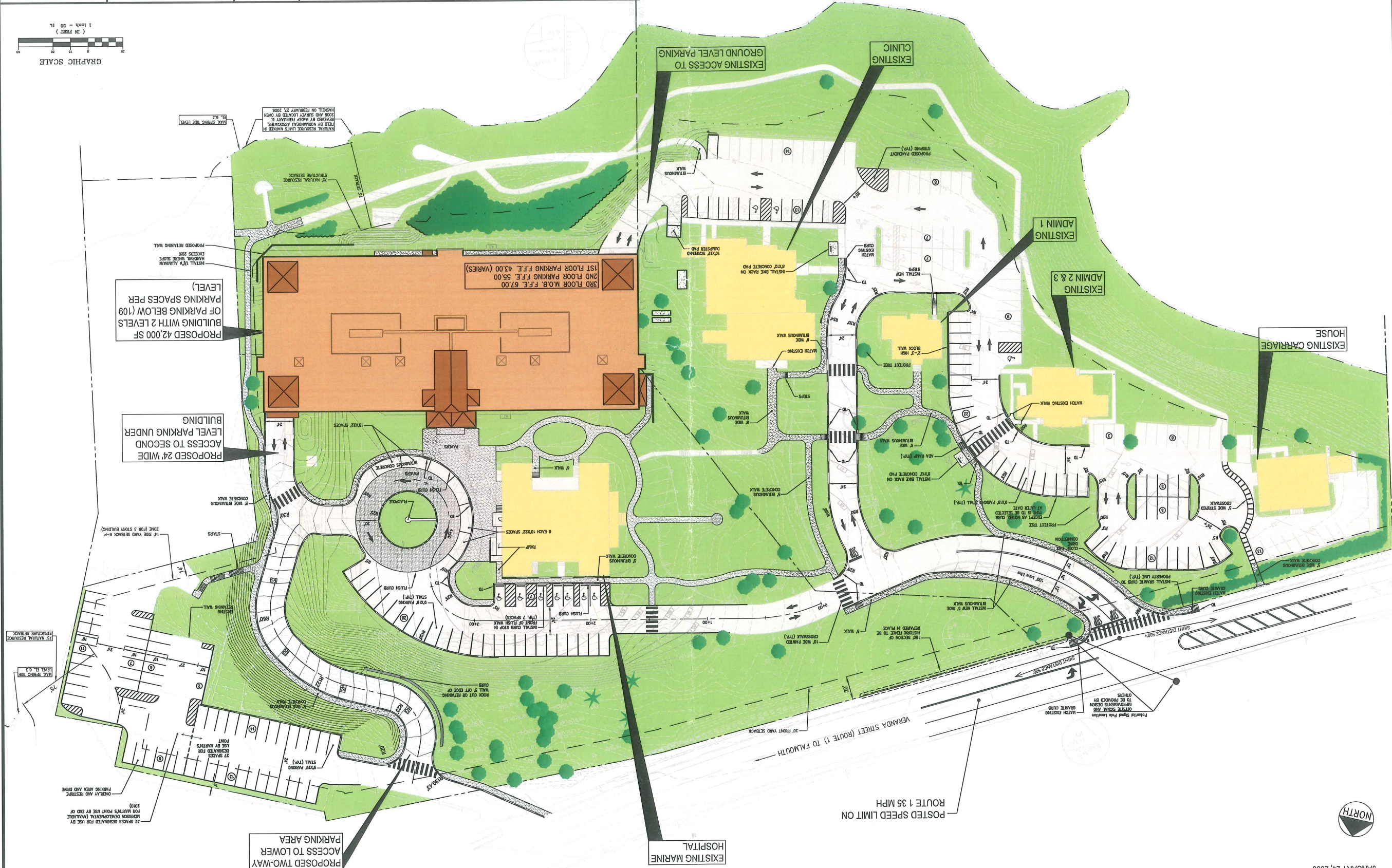
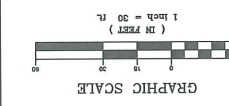
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 SHEET TITLE: SITE LAYOUT PLAN PHASE 2
 CLIENT: MARTINS POINT HEALTH CARE
 PROJECT NO.: 234458P
 SHEET: C-4B
 DATE: NOV. 2008
 DRAWN: MML/CLK/HOF/AM
 CHECKED: DDA
 SCALE: 1" = 30'
 FILE NAME: 234458P

REV	DATE	DESCRIPTION
1	11.03.05	ISSUED FOR PERMITS
2	11.17.05	PROCESS SET FOR REVIEW WITH ARCHITECT
3	12.22.05	ISSUED TO CLIENT FOR REVIEW
4	01.15.06	SUBMITTED SECTION PLAN TO CITY
5	01.17.06	APPROVAL FROM CITY COMPLETED
6	01.24.06	PROPOSED TO MAKE THE CORRECT FOR REPLICATION WITH
7	02.02.06	SUBMITTED TO PHASE
8	02.27.06	SUBMITTED TO PHASE
9	02.28.06	SECOND SECTION PLAN SUBMITTED TO CITY
10	04.03.06	SECOND SECTION PLAN SUBMITTED TO PHASE

REV	DATE	DESCRIPTION
11	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
12	05.05.06	SITE PLANS REVIEWED FOR CONDITIONS OF CITY APPROVAL
13	05.08.06	SUBMITTED TO PHASE
14	11.18.06	SUBMITTED SECTION PLAN TO CITY
15	12.20.06	APPROVED ACCESS TO LOWER PARKING AREA

MARTINS POINT PARKING SUMMARY
 PARKING PROVIDED = 442 SPACES
 (THIS TOTAL INCLUDES THE 32 SPACES DESIGNATED FOR USE BY THE MORRISON DEVELOPMENTAL BUILDING UNTIL THE END OF 2010 AT THE EAST END OF THE SITE AND INCLUDES THE 8 DROP OFF SPACES AT THE PROPOSED DROP OFF LOOP)

PRELIMINARY NOT FOR CONSTRUCTION

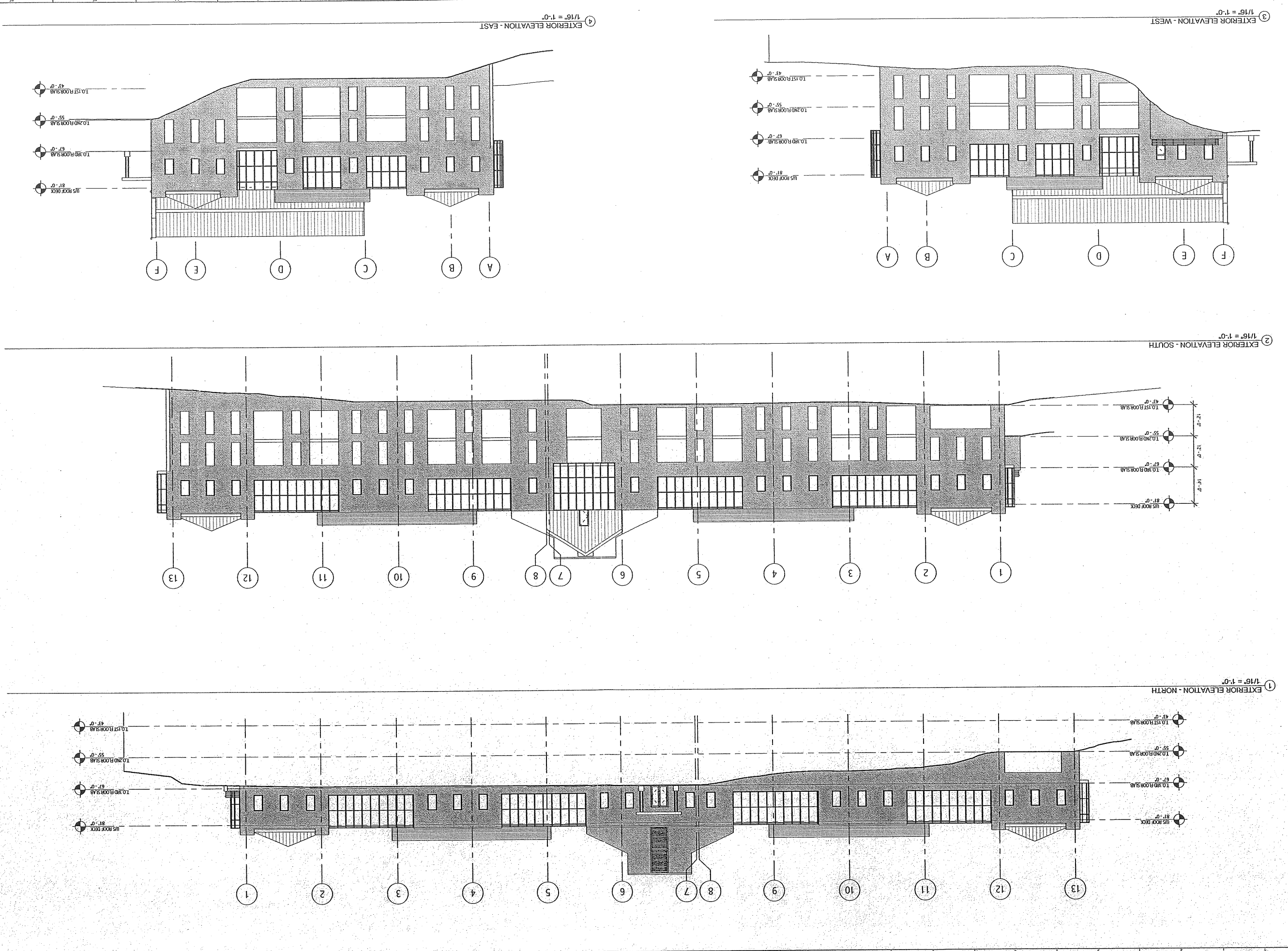


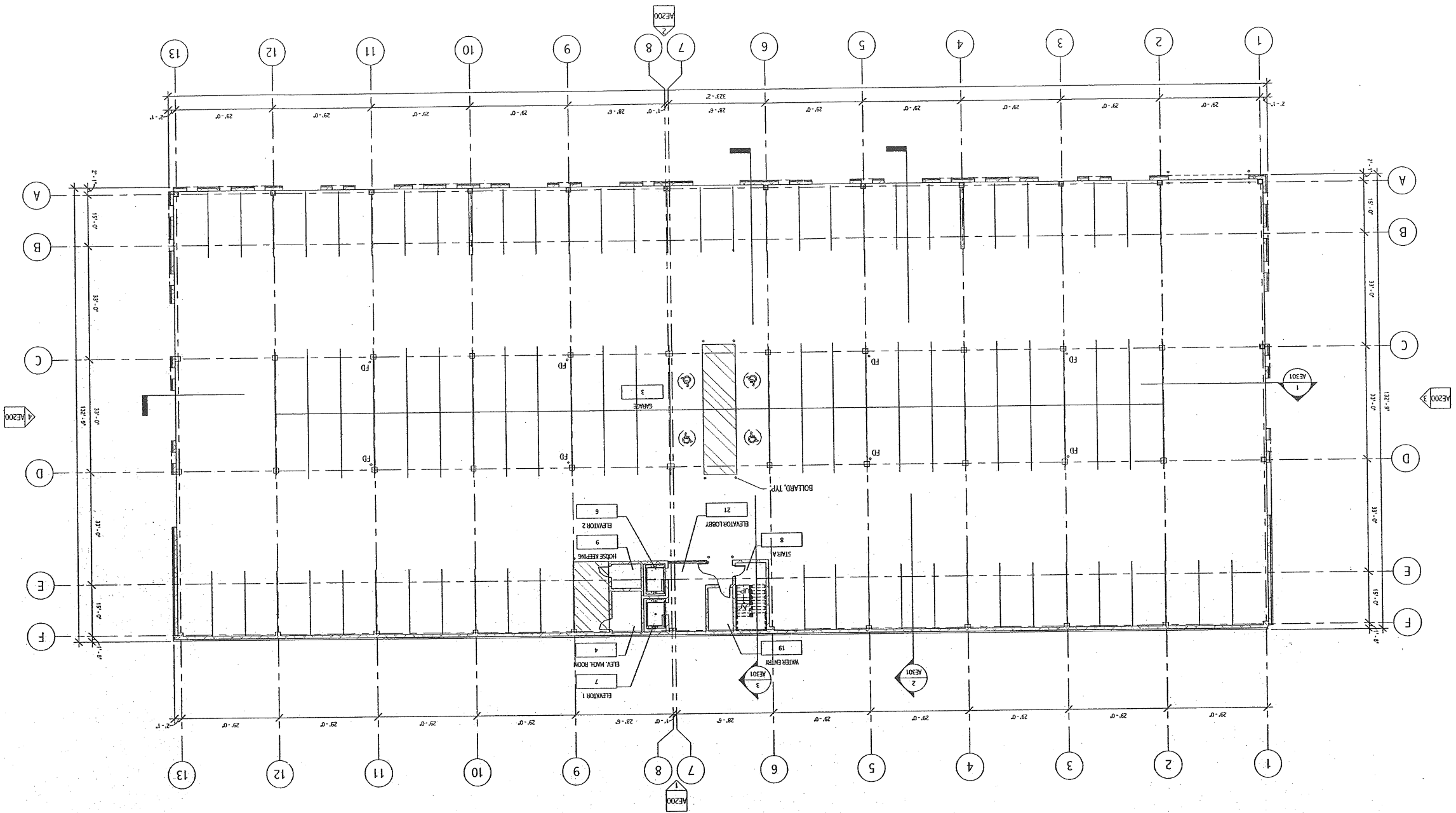
NOTE:
 PROVIDED BY CASEY & GODFREY ENGINEERS ON
 JANUARY 24, 2008

AE200
 SHEET NO.
ELEVATIONS
 SHEET TITLE
 DATE: _____
 PROJECT NO.: _____
 AS OF RECORD: _____
 TOWN: _____
 COUNTY: _____
 SLAB: _____
 PROJECT MANAGER: _____
 SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE:
 0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10'

Martins Point Medical Office Building
 100% SCHEMATIC DESIGN - CORE AND SHELL
 10-24-08
 CURRENT ISSUE STATUS: _____
 DATE: _____
 DESCRIPTION: _____

SMRT
 ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIOR DESIGN
 CONSTRUCTION
 144 Fox Street, 6th Fl
 Martins Point, Ohio 44869
 Tel: (419) 773-2400
 Fax: (419) 773-2400
 www.smrtinc.com





PROJECT INFORMATION

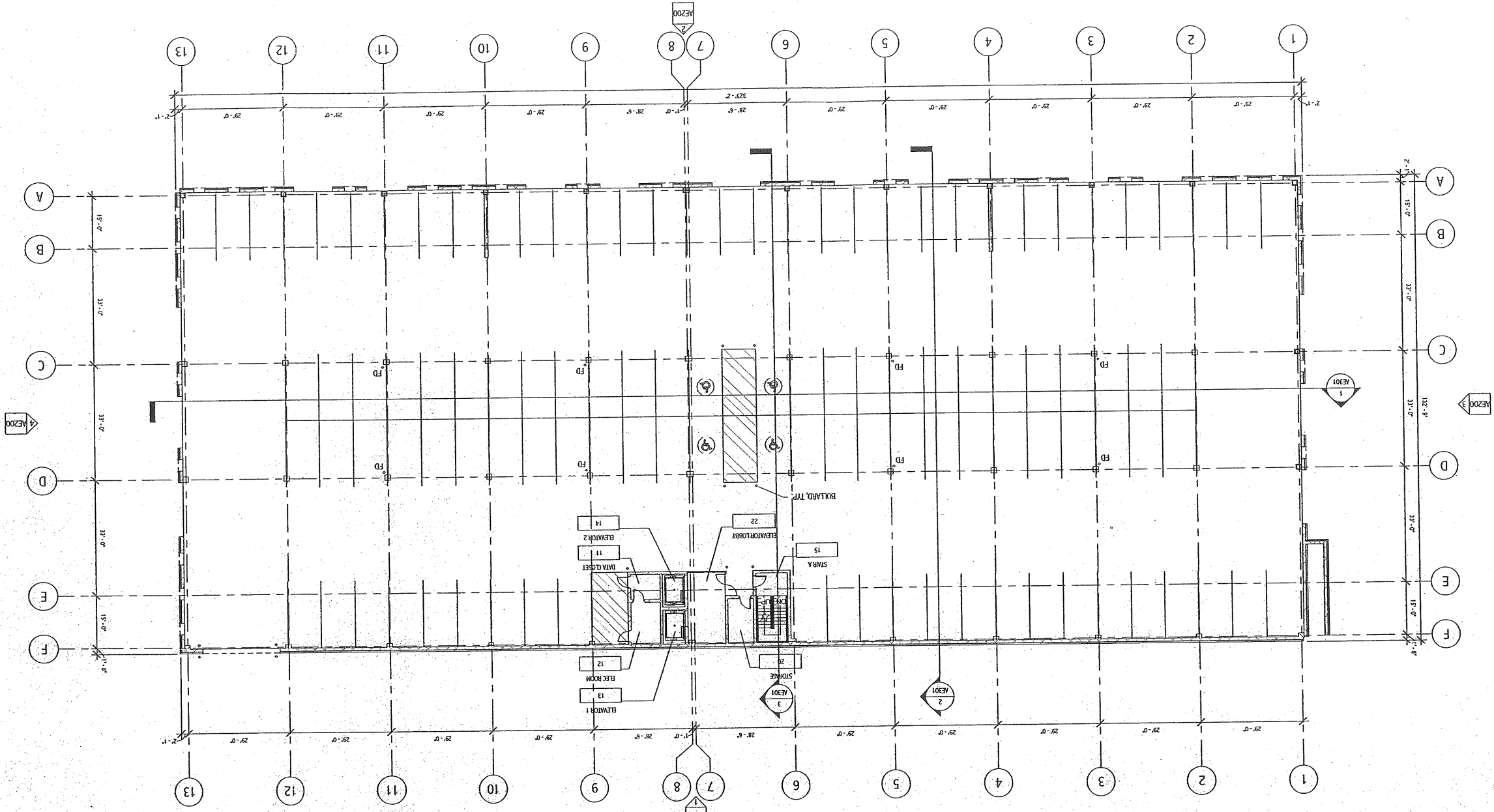
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PROJECT NO.:	08139
DATE OF RECORD:	1/11
PROGRAM NO.:	104
PROJECT NUMBER:	SLB
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GRAPHIC SCALE:	1" = 10'-0"
REV:	
DESCRIPTION:	
DATE:	
DESCRIPTION:	
DATE:	
DESCRIPTION:	
DATE:	
DESCRIPTION:	

Martins Point Medical Office Building
100% SCHEMATIC DESIGN - CORE AND SHELL
10-24-08

SMART
ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN
COMMISSIONING

144 Erie Street, 8th Floor
Piquette, Michigan 48675
Tel: (501) 775-3446
Fax: (501) 775-0075
www.smartinc.com

LEVEL TWO FACILITY PLAN
1/16" = 1'-0"



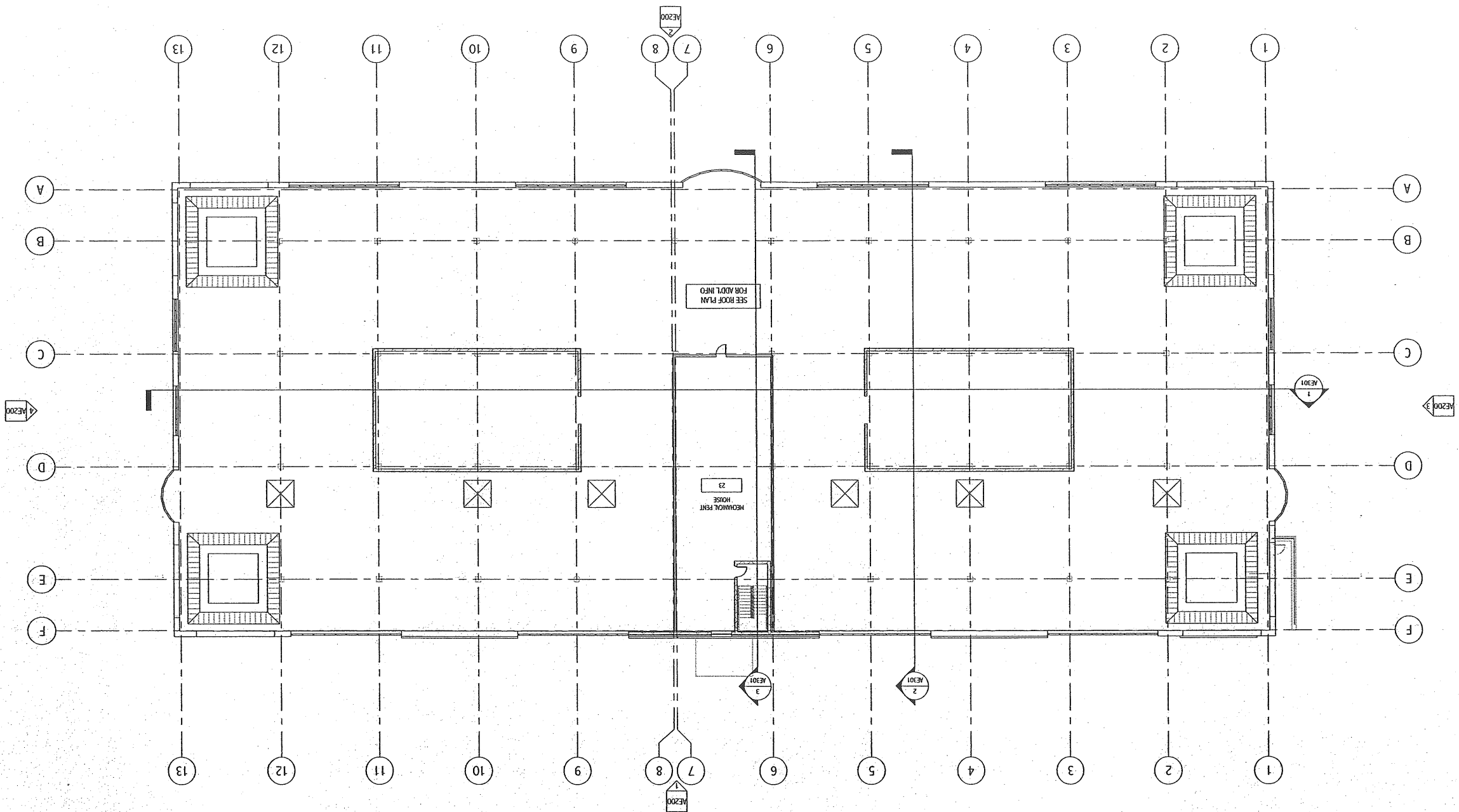
SHEET NO. AE002
 PROJECT NO. 08139
 DATE 08/19
 ARCHITECT SMRT
 PROJECT MANAGER
 SCALE 1/16" = 1'-0"
 GRAPHIC SCALE
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Martin's Point Medical Office Building
 100% SCHEMATIC DESIGN - CORE AND SHELL
 10-24-08

ARCHITECTURE
 PLANNING
 INTERIOR DESIGN
 COMMISSIONING
 144 East Street, 3rd Floor
 Providence, Rhode Island 02902
 Tel: (401) 773-9446
 Fax: (401) 773-9400
 www.smrt.com

SMRT

LEVEL 04
1/16" = 1'-0"

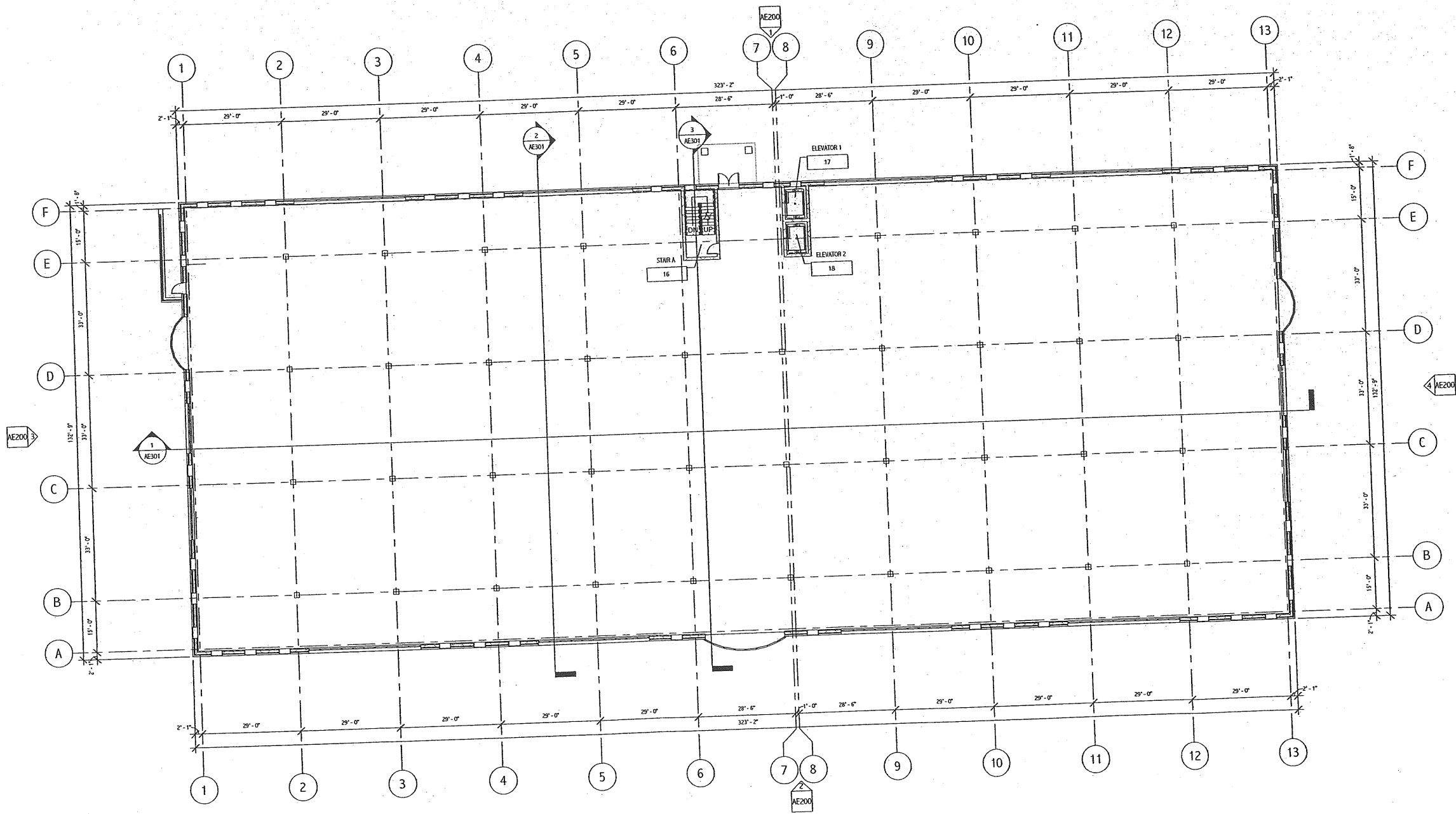


SHEET NO.	A-E004
SHEET TITLE	LEVEL FOUR FACILITY PLAN
DATE:	
PROJECT NO.	08139
A/E OF RECORD:	
ARCHITECT:	
PROGRAM MANAGER:	
SCALE:	1/16" = 1'-0"
GRAPHIC SCALE:	
REV.	
DESCRIPTION	
DATE	

Martinez Point Medical Office Building
100% SCHEMATIC DESIGN - CORE AND SHELL
10-24-08

SMRT
ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN
CONSTRUCTION

144 Fort Street, Suite 418
Portland, Maine 04104
Tel: (207) 775-2004
Fax: (207) 775-1000
www.smrt.com



① LEVEL THREE FACILITY PLAN
1/16" = 1'-0"

Martins Point Medical Office Building

100% SCHEMATIC DESIGN - CORE AND SHELL
10-24-08

NO.	DESCRIPTION	DATE

GRAPHIC SCALE
0" 1"

SCALE: 1/16" = 1'-0"

PROJECT MANAGER: SLD
DRAWN BY: TCH
A/E OF RECORD: JH
PROJECT NO.: 08199
DATE: 10/24/08
SHEET TITLE:
LEVEL THREE FACILITY PLAN

SHEET No. **AE003**

Section 3

Drawings
Location Plans

Entry Sign G1 v1 to come

paulus | design | group |

12 Court Street
Suite 201
Bath, Maine 04530

202.460.5315
www.paulusdesign.com

Prepared for:
Martin's Point Health Care

Project:
Campus Wayfinding

Sheet Description:
Section 3
Drawings
Sign Type G1 V1
Gateway

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All copy shall be proofread by the client and
legal requirements checked by their legal counsel.

Project Number: PD1001
Page: 3.1
Date: August 2008

Entry Sign G1 v2 to come

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12 Court Street
Suite 201
Bath, Maine 04530

202.460.5315
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Martin's Point Health Care

Project:

Campus Wayfinding

Sheet Description:

Section 3
Drawings
Sign Type G1 V2
Gateway

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Project Number:

PD1001

Page:

3.2

Date:

August 2008

1 Specs to Come...

paulus | design | group |

12 Court Street
Suite 201
Bath, Maine 04530
202.460.5315
www.paulusdesign.com

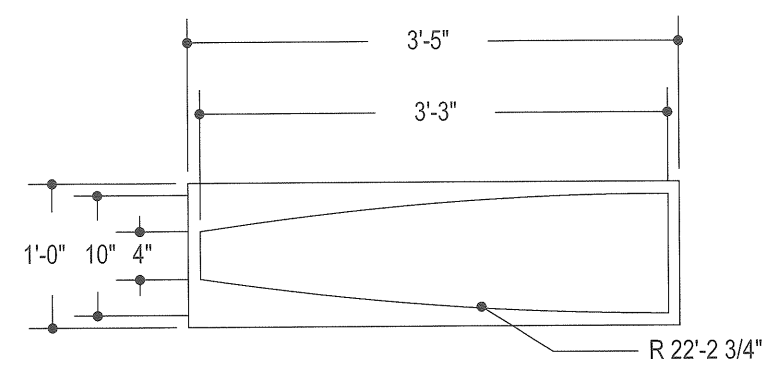
Prepared for:
Martin's Point Health Care

Project:
Campus Wayfinding

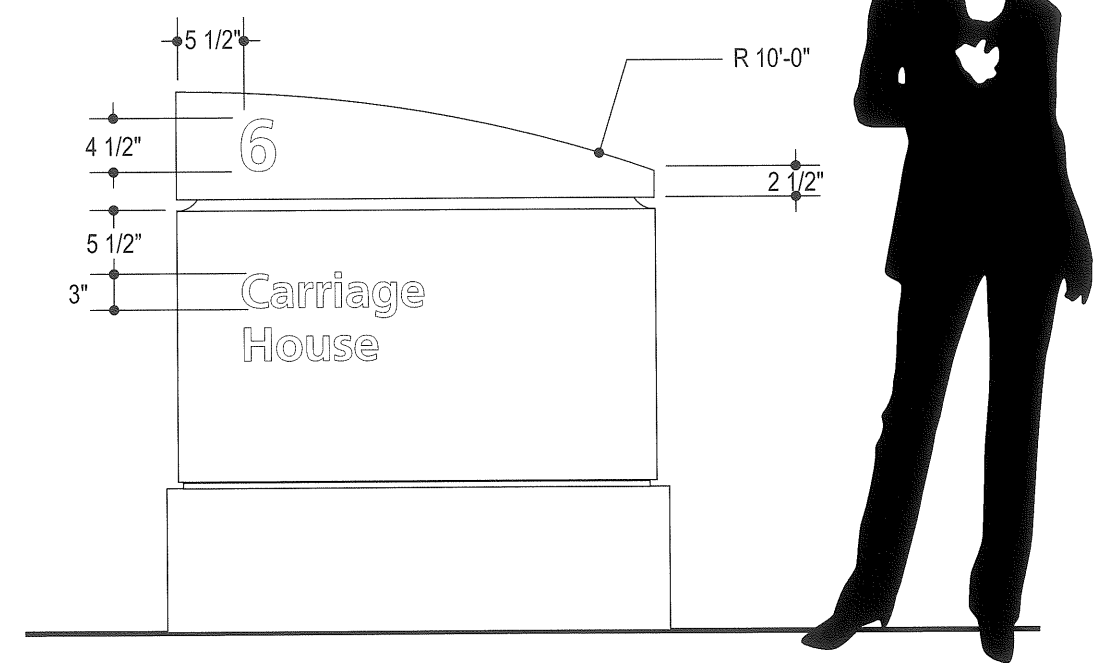
Sheet Description:
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Drawings
Sign Types A1 v1
Identity

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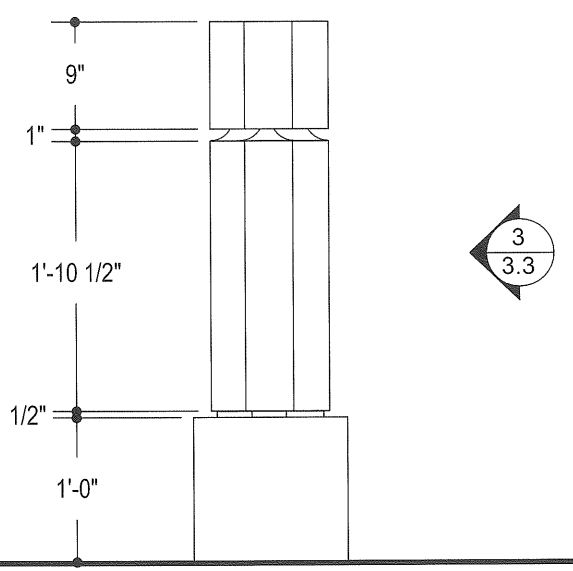
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Page: 3.3
Date: August 2008



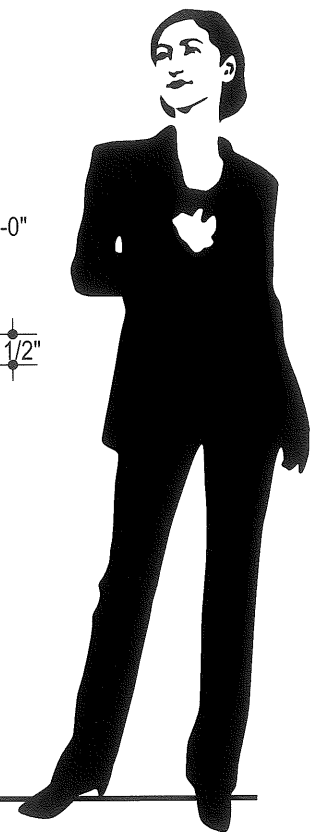
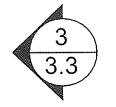
2 PLAN VIEW
SCALE: 3/4"=1'-0"



3 FRONT ELEVATION
SCALE: 3/4"=1'-0"



1 SIDE ELEVATION
SCALE: 3/4"=1'-0"



1 Specs to Come...

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Suite 201
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www.paulusdesign.com

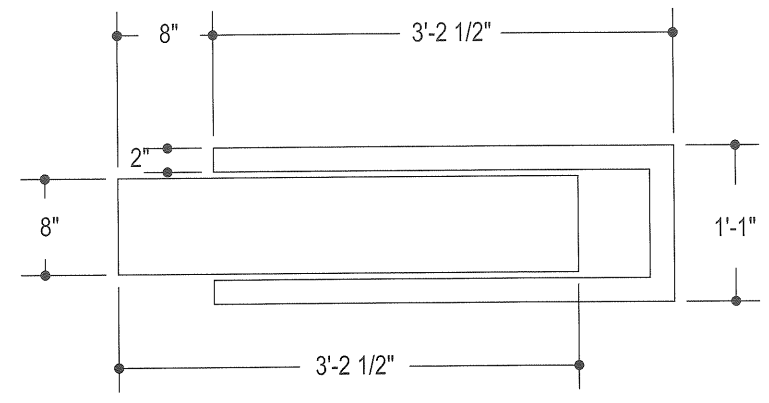
Prepared for:
Martin's Point Health Care

Project:
Campus Wayfinding

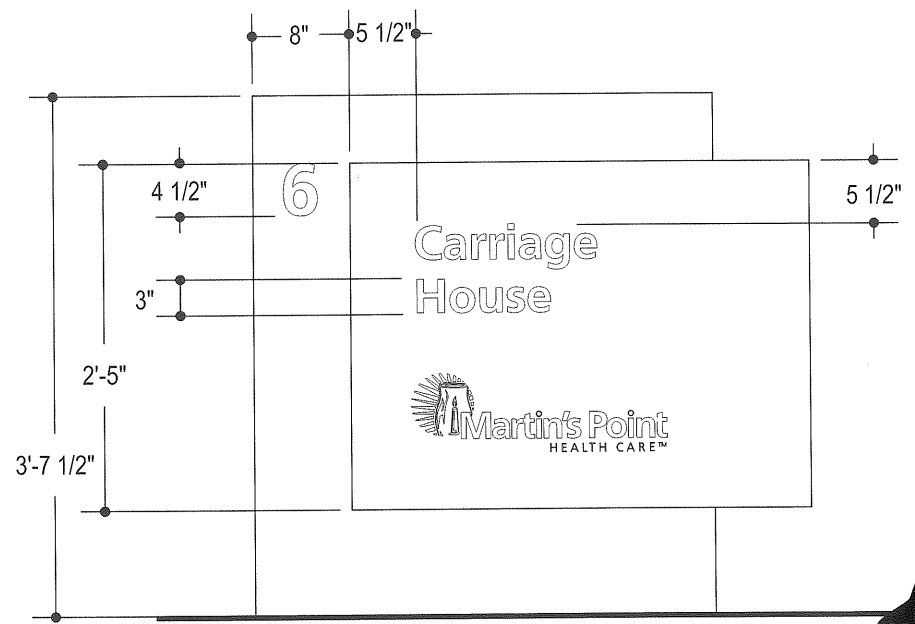
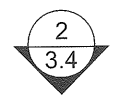
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Section 3
Drawings
Sign Types A1 v2
Identity

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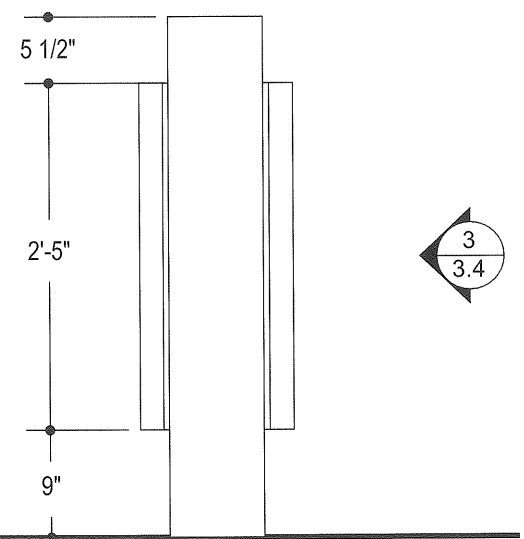
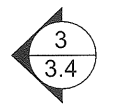
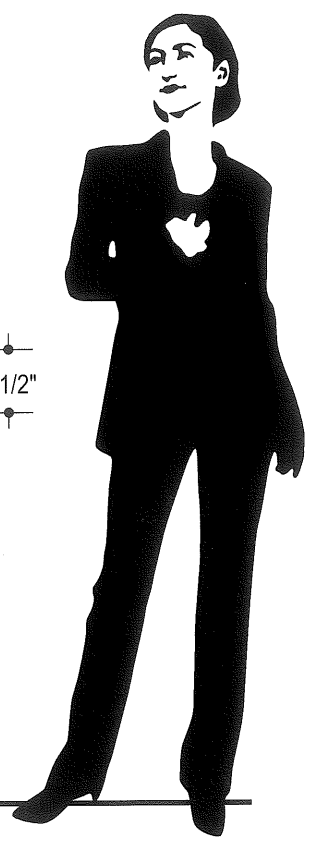
Project Number: PD1001
Page: 3.4
Date: August 2008



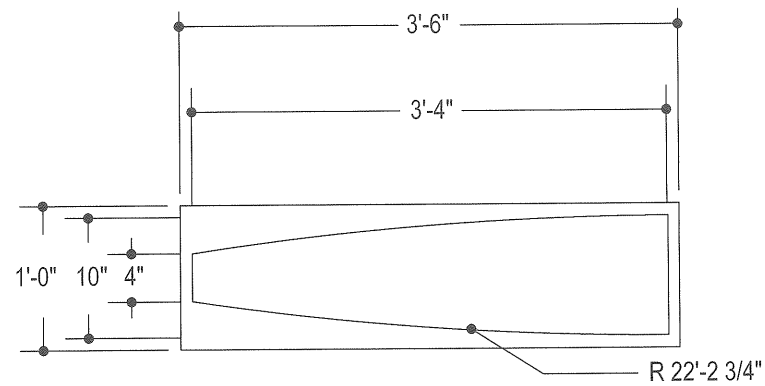
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SCALE: 3/4"=1'-0"



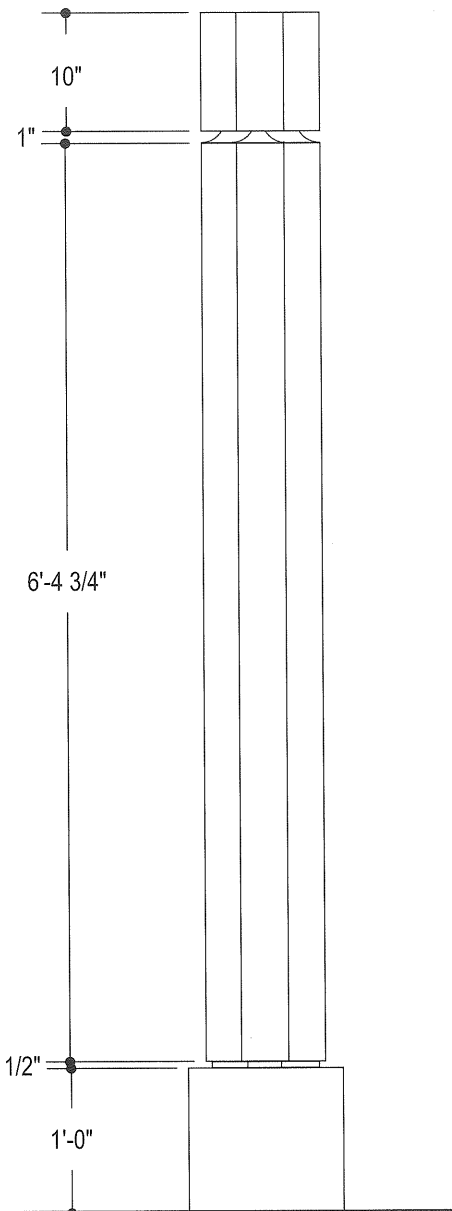
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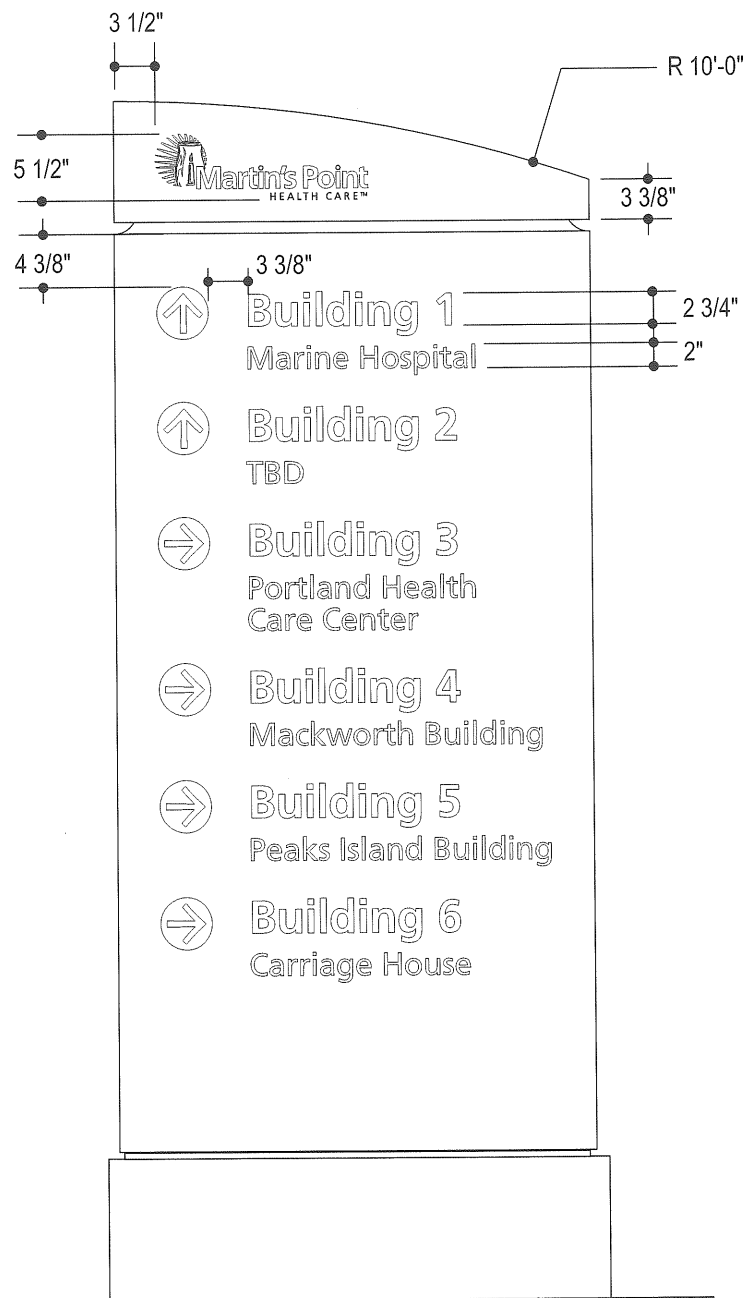
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SCALE: 3/4"=1'-0"



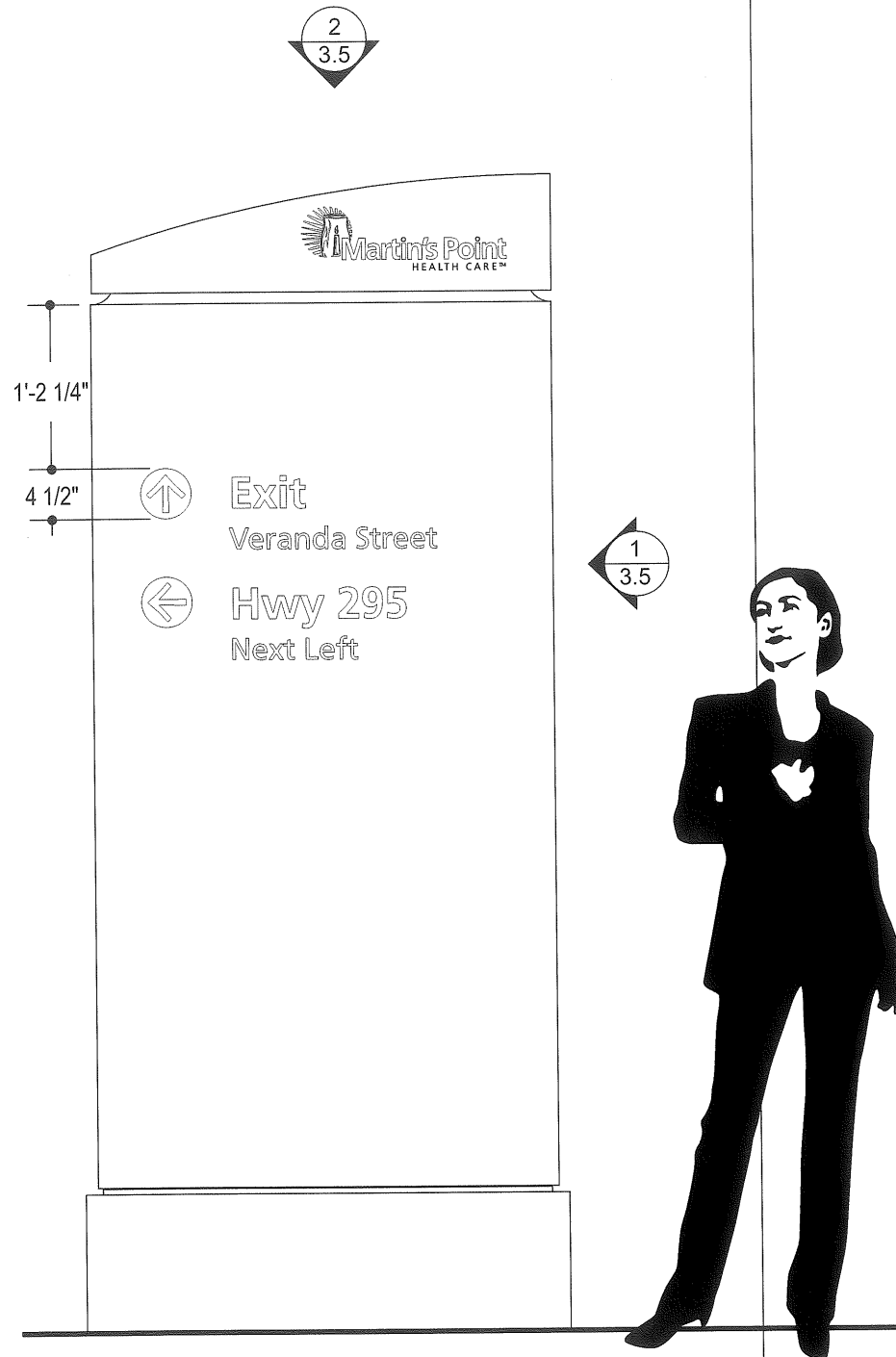
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SCALE: 3/4"=1'-0"



1 SIDE ELEVATION
SCALE: 3/4"=1'-0"



3 FRONT ELEVATION
SCALE: 3/4"=1'-0"



4 REAR ELEVATION
SCALE: 3/4"=1'-0"

Prepared for:
Martin's Point Health Care

Project:
Campus Wayfinding

Sheet Description:
Section 3
Drawings
Sign Types V1 v1
Identity

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Project Number:

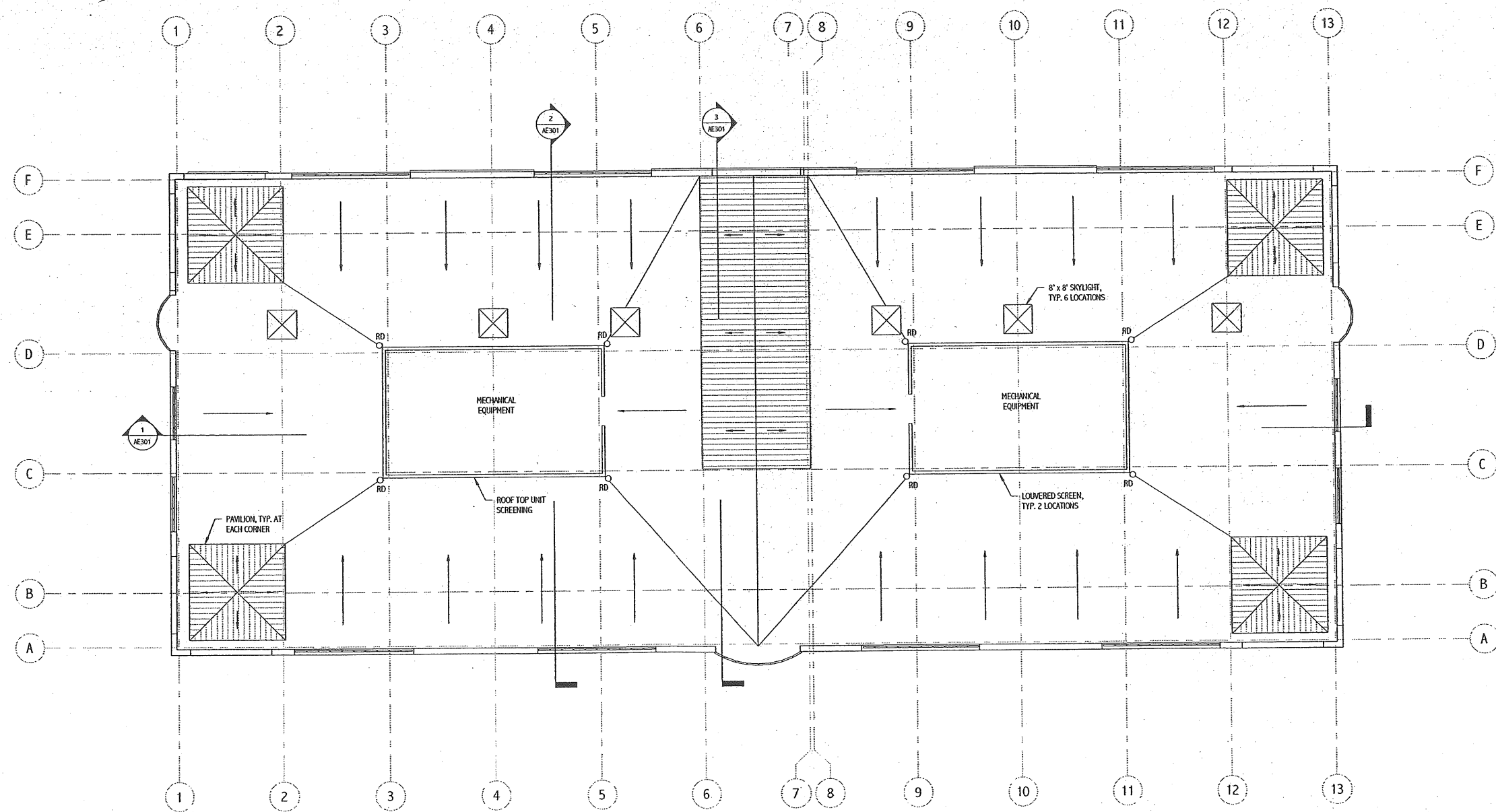
PD1001

Page:

3.5

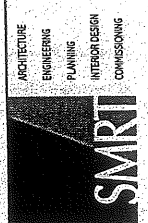
Date:

August 2008



① ROOF PLAN
1/16" = 1'-0"

144 Eva Street, P.O. Box 618
Portland, Maine 04104
Tel: (207) 775-3445
Fax: (207) 775-0070
www.smrtinc.com



Martins Point Medical Office Building
Portland, Maine

100% SCHEMATIC DESIGN - CORE AND SHELL
10-24-08
CURRENT ISSUE STATUS:

REV	DESCRIPTION	DATE

GRAPHIC SCALE:
0' 1'

SCALE: 1/16" = 1'-0"
PROJECT MANAGER: SLB
DRAWN BY: TCM
A/E OF RECORD: ALH
PROJECT NO: 08139
DATE:

SHEET TITLE:
ROOF PLAN

SHEET No.
AE005



TOTAL 1975 EXISTING IMPERVIOUS AREAS ON MARTIN'S POINT AND CITY PARCELS 2.78 ACRES

PROPERTY CURRENTLY OWNED BY THE CITY OF PORTLAND, UNDER CONTRACT TO PENOBSCOT BAY MEDICAL ASSOCIATES 4.6 ACRES

PARCEL BOUNDARY

EXISTING MARINE HOSPITAL

EXISTING MAINTENANCE BUILDING

N/F CITY OF PORTLAND 3892/334

N/F UNITED STATES OF AMERICA

N/F CEREBRAL PALSY ASSOCIATION OF GREATER PORTLAND, INC. 7138/247

EXISTING CARRIAGE HOUSE

EXISTING ADMIN 2 & 3

EXISTING ADMIN 1

EXISTING CLINIC

N/F PENOBSCOT BAY MEDICAL ASSOCIATES 4899/203

N/F PENOBSCOT BAY MEDICAL ASSOCIATES, INC. 11581/337

EXISTING MAINTENANCE BUILDING

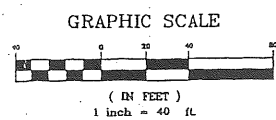
PROPERTY CURRENTLY OWNED BY PENOBSCOT BAY MEDICAL ASSOCIATES 7.0 ACRES

TOTAL 1975 EXISTING IMPERVIOUS AREA FOR BOTH THE CITY AND PENOBSCOT BAY MEDICAL ASSOCIATES PROPERTIES: 2.78 ACRES

PARCEL BOUNDARY

PRELIMINARY NOT FOR CONSTRUCTION

- REFERENCES:
1. 1933 TREASURY DEPARTMENT PLAN OF U.S. MARINE HOSPITAL LAST DATED 05.09.33, TRACED IN 1977 AND RETRACED IN 1980.
 2. 1976 AERIAL PHOTOGRAPH FROM THE GREATER PORTLAND COUNCIL OF GOVERNMENTS USED TO VERIFY ACCURACY OF 1933 PLAN.



PROJECT		MARTIN'S POINT REDEVELOPMENT PROJECT		DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 202.751.9191 WWW.DELOUCAHOFFMAN.COM
SHEET TITLE		1975 IMPERVIOUS AREA		
CLIENT		MARTIN'S POINT HEALTH CARE		DRAWN: LECJ DATE: NOV. 2005 DESIGNED: DDA SCALE: 1" = 40' CHECKED: DDA JOB NO. 2344.01 FILE NAME: 234401-SP SHEET: I-1
REV	DATE	DESCRIPTION	REVISIONS	P.E. DWIGHT D. ANDERSON L.C. #9275
2	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY		
1	01.25.06	SUBMITTED TO W/REP WITH REQUEST FOR PREAPPLICATION MTG.		



PROPERTY CURRENTLY OWNED BY THE CITY OF PORTLAND, UNDER CONTRACT TO PENOBSCOT BAY MEDICAL ASSOCIATES 4.6 ACRES

EXISTING MARINE HOSPITAL TO BE RENOVATED

N/F CITY OF PORTLAND 3892/334

N/F UNITED STATES OF AMERICA

LEASE CITY OF PORTLAND TO PENOBSCOT BAY MEDICAL ASSOCIATES, INC. 11581/342

N/F CEREBRAL PALSY ASSOCIATION OF GREATER PORTLAND, INC. 7138/247

PENOBSCOT BAY MEDICAL ASSOCIATES 859/203

N/F PENOBSCOT BAY MEDICAL ASSOCIATES, INC. 11581/342

CHANGE IN USE AREA 1
PAVEMENT TO ROOF = 2,000 SF

CHANGE IN USE AREA 2
ROOF TO PAVEMENT = 480 SF

CHANGE IN USE AREA 3
PAVEMENT TO ROOF = 43,840 SF

PROPOSED 42,000 SF BUILDING

EXISTING ADMIN 2 & 3

EXISTING ADMIN 1

EXISTING CARRIAGE HOUSE

POST 1975 EXISTING IMPERVIOUS AREA (2005) TO BE REMOVED

EXISTING CLINIC

PROPERTY CURRENTLY OWNED BY PENOBSCOT BAY MEDICAL ASSOCIATES 7.0 ACRES

IMPERVIOUS AREA SUMMARY	
EXISTING IMPERVIOUS AREA TO REMAIN	3.15 ACRES
ADDED IMPERVIOUS	0.48 ACRES
REMOVED IMPERVIOUS	2.49 ACRES
NET GAIN	1.14 ACRES
TOTAL POSTDEVELOPMENT IMPERVIOUS AREA	4.29 ACRES

IMPERVIOUS AREA SUMMARY	
NET IMPERVIOUS AREA GAIN	2.67 ACRES
CHANGE IN USE AREAS	0.25 ACRES
TOTAL OF ABOVE AREAS	2.92 ACRES

NOTE:
1. THIS IMPERVIOUS AREA SUMMARY COMPARES 1975 CONDITIONS TO THE PROPOSED CONDITIONS. THERE IS A LIMITED AMOUNT OF IMPERVIOUS AREA CONSTRUCTED BETWEEN 1975 AND THE PRESENT WHICH WILL BE REMOVED AS PART OF THE PROPOSED PROJECT.

LEGEND

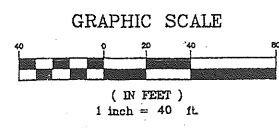
- 0.11 1975 EXISTING IMPERVIOUS AREA TO REMAIN
- 0.29 NEW AND PROPOSED IMPERVIOUS AREA SINCE 1975
- 0.07 EXISTING 1975 IMPERVIOUS AREA REMOVED
- 0.65 NOTHING

Just here to Help Drafting Above

CHANGE IN USE AREA 4
PAVEMENT TO ROOF = 4,352 SF

PARCEL BOUNDARY

- REFERENCES:**
- 1933 TREASURY DEPARTMENT PLAN OF U.S. MARINE HOSPITAL LAST DATED 05.09.33, TRACED IN 1977 AND RETRACED IN 1980.
 - 1976 AERIAL PHOTOGRAPH FROM THE GREATER PORTLAND COUNCIL OF GOVERNMENTS USED TO VERIFY ACCURACY OF 1933 PLAN.



PRELIMINARY NOT FOR CONSTRUCTION

PROJECT MARTIN'S POINT REDEVELOPMENT PROJECT		DELUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 6 SOUTH PORTLAND, ME 04106 207.764.4101 WWW.DELUCAHOFFMAN.COM	
SHEET TITLE PROPOSED IMPERVIOUS AREA			
CLIENT MARTIN'S POINT HEALTH CARE		DRAWN: LECJ DATE: NOV. 2005 DESIGNED: DDA SCALE: 1"=40' CHECKED: DDA JOB NO.: 2344.01 FILE NAME: 234401-SP SHEET: 1-2	
REV	DATE	DESCRIPTION	P.E. DWIGHT D. ANDERSON LIC. #9275
REVISIONS			
3	02.03.09	Final Site Plan Submission to City	
2	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY	
1	01.25.06	SUBMITTED TO MADEP WITH REQUEST FOR PREAPPLICATION MTC.	

G:\2344.01\DWG\PERMIT SET\234401-SP.dwg, IMPERVIOUS PROPOSED, 2/27/2009 5:25:35 PM, Jordan

A44.145

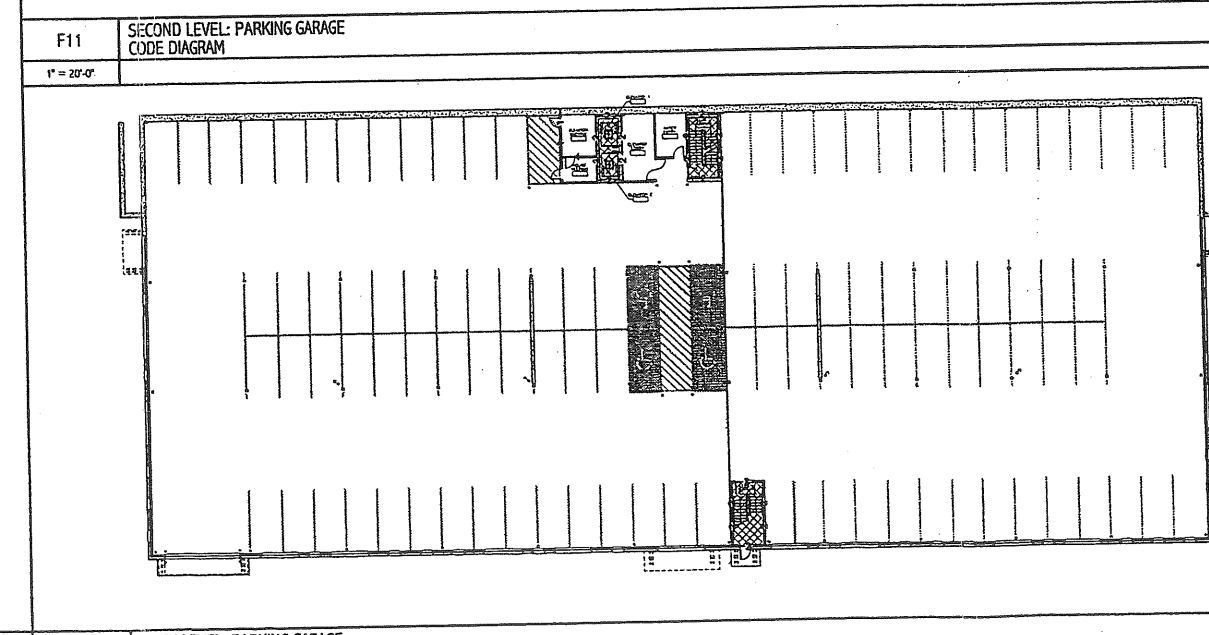
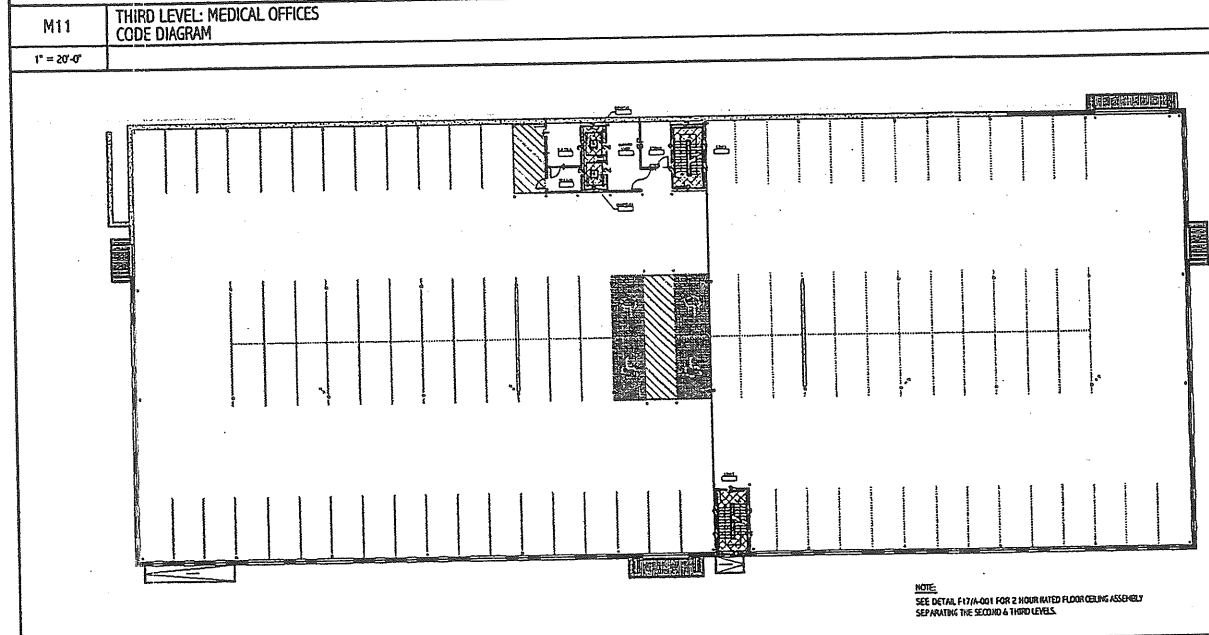
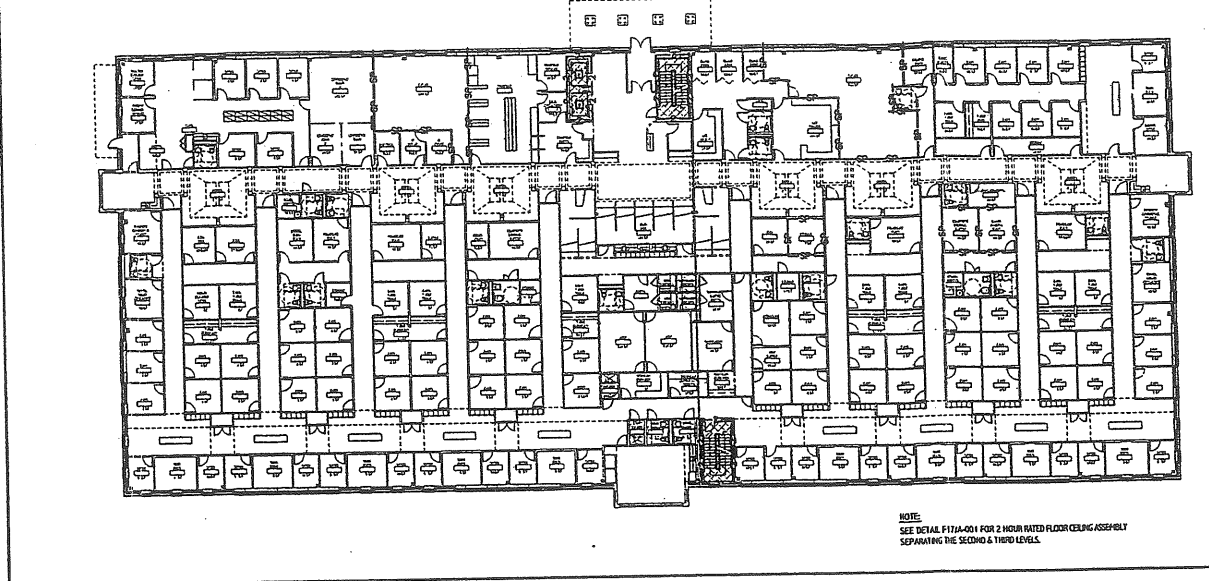
CODES AND STANDARDS APPLICABLE TO SCOPE OF PROFESSIONAL SERVICES REQUESTED

USE NOTE: 101 LIFE SAFETY CODE, 2006 EDITION... BUILDING CODE, 2009 EDITION... UNDEVELOPED ACCESSIBILITY STANDARDS...

BASIC LIFE SAFETY AND BUILDING CODE CRITERIA

DESCRIPTION OF BUILDING FUNCTION: NEW 3 STORY BUILDING... OCCUPANCY CLASSIFICATION: CHAPTER 10 - NEW BUSINESS... SPECIAL PROVISIONS FOR PARKING STRUCTURES... 424.1.1 DEFINITION - OPEN PARKING STRUCTURE... 424.1.2 MINIMUM CONSTRUCTION REQUIREMENTS... 424.1.3 DOORS... 38.1.2.1 THE FIRE BARRIER SEPARATING PARKING STRUCTURES... 406.2.3 GUARDS REQUIRED AT EXTERIOR AND INTERIOR FLOOR OPENINGS... 406.2.4 VEHICLE BARRIERS IN CONFORMANCE WITH 1607.7... 406.2.5 FLOOR SURFACE SHALL BE CONCRETE OR SIMILAR NONCOMBUSTIBLE... 406.2.7 MIXED SEPARATION. PARKING GARAGE REQUIRES A MINIMUM OF 1 HR. FIRE SEPARATION... 406.3.1 OPEN PARKING GARAGE DEFINED. STORAGE FOR PRIVATE VEHICLES WITH OPENINGS AS FOLLOWS... 406.3.2 MIN. CLEAR HEIGHT. 7'-0" TO ACCOMMODATE VAN ACCESSIBLE PARKING... 406.3.3 AREA & HEIGHT IN ACCORDANCE WITH TABLE 503 AND AS FURTHER PROVIDED IN 508.3... 406.3.4 FLOOR SURFACE SHALL BE CONCRETE OR SIMILAR NONCOMBUSTIBLE... 406.3.5 MEANS OF EGRESS. SHALL MEET THE REQUIREMENTS OF CHAPTER 10... 406.3.6 SPRINKLER SYSTEMS. WHERE REQUIRED BY OTHER CODE PROVISIONS... 406.3.7 ENCLOSURE OF VERTICAL OPENINGS. ENCLOSURE NOT REQUIRED EXCEPT TO EXTENT NECESSARY TO MAINTAIN SEPARATION FROM BUSINESS USE... 406.3.8 VENTILATION. NOT REQUIRED... INDIVIDUAL USE AREAS & SPECIAL HAZARD PROTECTION AREAS... OTHER PORTIONS OF THE BUILDING TO BESEEN FROM SEPARATION/PROTECTION MEASURES... ACCESSORY USE AREAS...

TYPE OF CONSTRUCTION: NARRATIVE DESCRIPTION OF PROPOSED SYSTEM(S): CAST-IN-PLACE CONCRETE FOUNDATION WITH LIMITED AREAS OF CAST-IN-PLACE SLAB-ON-GRADE... MINIMUM REQUIREMENTS: NFPA 101; NO MINIMUM REQUIREMENTS... PROPOSED: NFPA 220; TYPE 5 (003) THE INTERNATIONAL BUILDING CODE; TYPE 2B... MINIMUM FIRE RESISTANCE RATINGS OF BUILDING ELEMENTS: (THE INTERNATIONAL BUILDING CODE, TABLE 602 & NFPA 220, TABLE 3-1) 2R/(000) ELEMENT 2R/(000) STRUCTURAL FRAME 0 HR. COL., GIRDERS & TRUSSES 0 HR. LOADBEARING EXTERIOR WALLS 0 HR. NONLOADBEARING EXTERIOR WALLS AND PARTITIONS 0 HR. NONLOADBEARING INTERIOR WALLS AND PARTITIONS 0 HR. FLOOR CONSTRUCTION INCLUDING BEAMS AND JOISTS 0 HR. ROOF CONSTRUCTION INCLUDING BEAMS AND JOISTS 0 HR. FIRE SEPARATION ASSEMBLIES: EXIT ENCLOSURES 2 HR. (508.7) SHUTTERS & ELEV. HOISTWAYS 2 HR. MIXED USE SEPARATORS AT GARAGE 2 HR. (TABLE 1017.1) EXIT ACCESS CORRIDORS 0 HR. (TABLE 1017.1) *STRUCTURAL FRAME AND LOADBEARING WALLS MUST BE 2 HR. FIRE RATED WHERE SUPPORTING 2 HR. HORIZONTAL FIRE SEPARATION (FLOOR/CEILING) ASSEMBLY REQUIRED FOR SEPARATION OF OCCUPANCIES. (711.4)



GENERAL NOTES: 1. SEE 0001 FOR PROJECT GENERAL NOTES.

LEGEND: HATCH INDICATES AREAS OF 2 HOUR SEPARATION ASSEMBLIES AT SHUTTERS & HOISTWAYS... -SP- SHOVE PARTITION... -1- 1 HOUR FIRE-RATED SEPARATION... -2- 2 HOUR FIRE-RATED SEPARATION

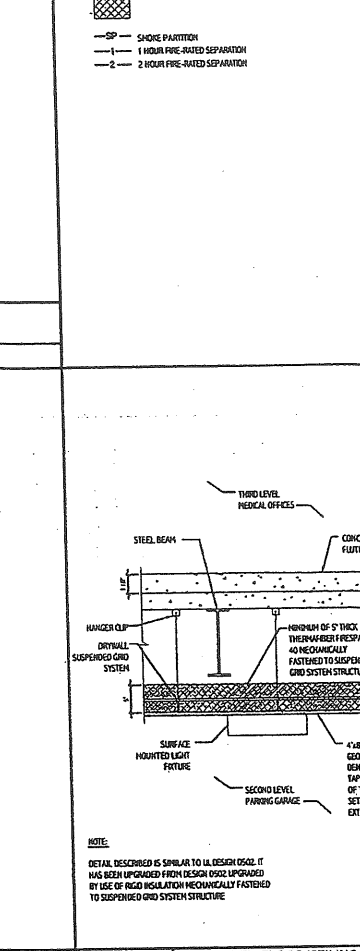
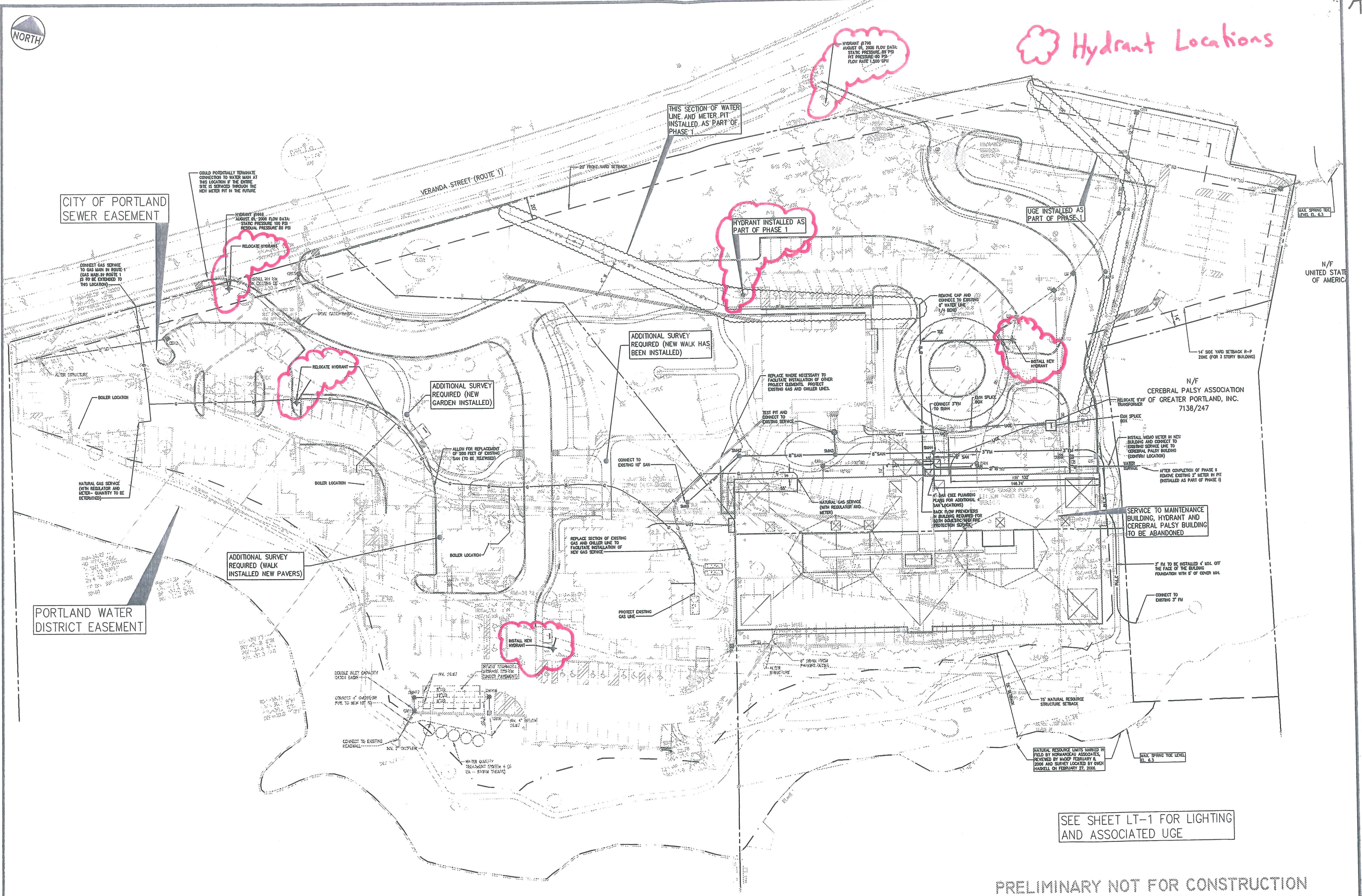


Table with 2 columns: Code (F17) and Description (2HR RATED FLOOR/CEILING ASSEMBLY). Scale: 1" = 1'-0".

PROJECT INFORMATION: PROJECT NORTH, ARCHITECTURE, ENGINEERING, PLANNING, INTERIOR DESIGN, COMMISSIONING. SMRT MARTIN'S POINT HEALTH CARE MEDICAL OFFICE BUILDING PORTLAND, MAINE. CODE COMPLIANCE FLOOR PLANS & STRATEGY REPORT. SHEET TITLE: SCALE: AS NOTED. DATE: INFORMATION. PROJECT MANAGERS: SLB GRAPHIC SCALE: JOB CAP/DRAWN: TOMP/LE. DATE OF RECORD: 8/11 SHEET No. SHRT CAD FILE: AE103-08139. PROJECT No. 08139. AEO01. PROGRESS PRINT.

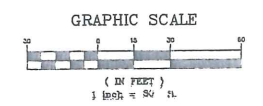


Hydrant Locations

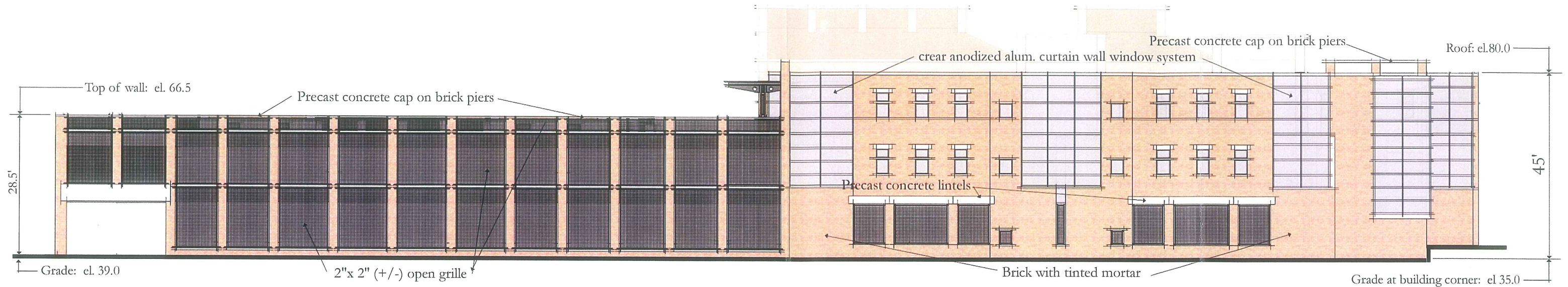


SEE SHEET LT-1 FOR LIGHTING AND ASSOCIATED UGE

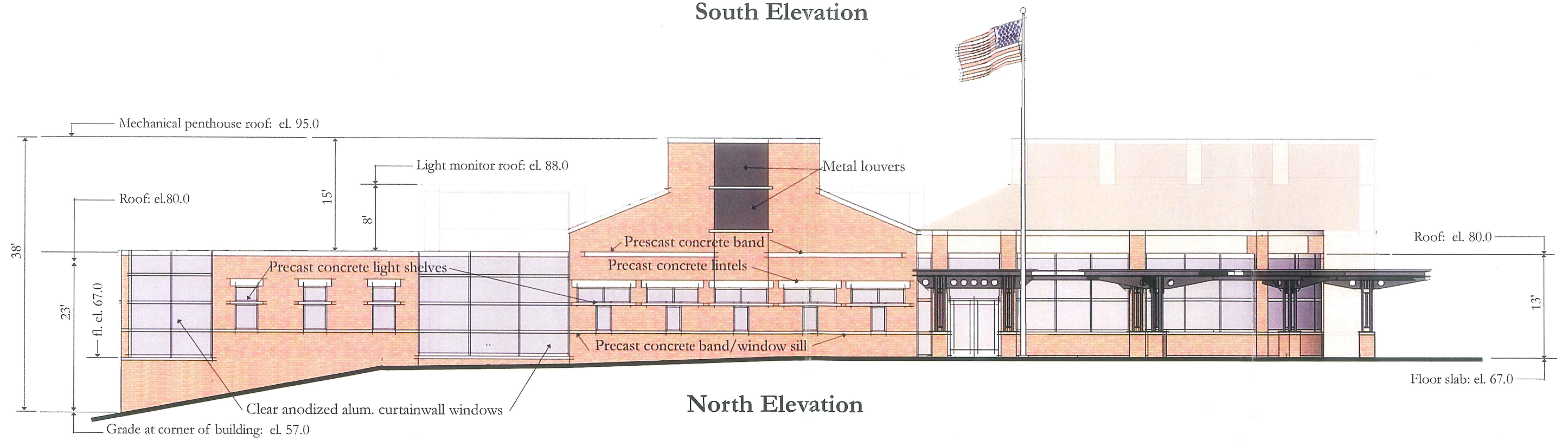
PRELIMINARY NOT FOR CONSTRUCTION



10	12.02.08	SUBMITTED TO CLIENT FOR REVIEW	PROJECT	MARTIN'S POINT REDEVELOPMENT PROJECT	D&LUCIA-HOFFMAN ASSOCIATES, INC. 770 MAIN STREET, SUITE 200 SOUTH PORTLAND, ME 04106 603.763.1100 WWW.D&LUCIAHOFFMAN.COM
9	08.09.08	SUBMITTED TO MDCP	SHEET TITLE	UTILITY PLAN	
8	05.28.08	SITE PLANS REVISED PER CONDITIONS OF CITY APPROVAL	CLIENT	MARTIN'S POINT PARTNERS	DRAWN: LECJ DATE: NOV. 2008 DESIGNED: DDA SCALE: 1" = 30' CHECKED: DDA JOB NO. 234436 FILE NAME: 234436.dwg SHEET: 14
7	04.11.08	FINAL SITE PLAN SUBMISSION TO CITY			
6	03.28.08	SECOND SKETCH PLAN SUBMISSION TO CITY			
5	02.03.08	SUBMITTED WITH ABILITY TO SERVE REQUEST			
4	01.11.08	INFORMATION REQUEST FOR CITY COMMENTS			
3	01.03.08	SKETCH PLAN SUBMISSION TO CITY			
2	12.22.07	ISSUED TO CLIENT FOR REVIEW			
1	11.17.07	PROPOSED SET FOR REVIEW WITH ARCHITECT			

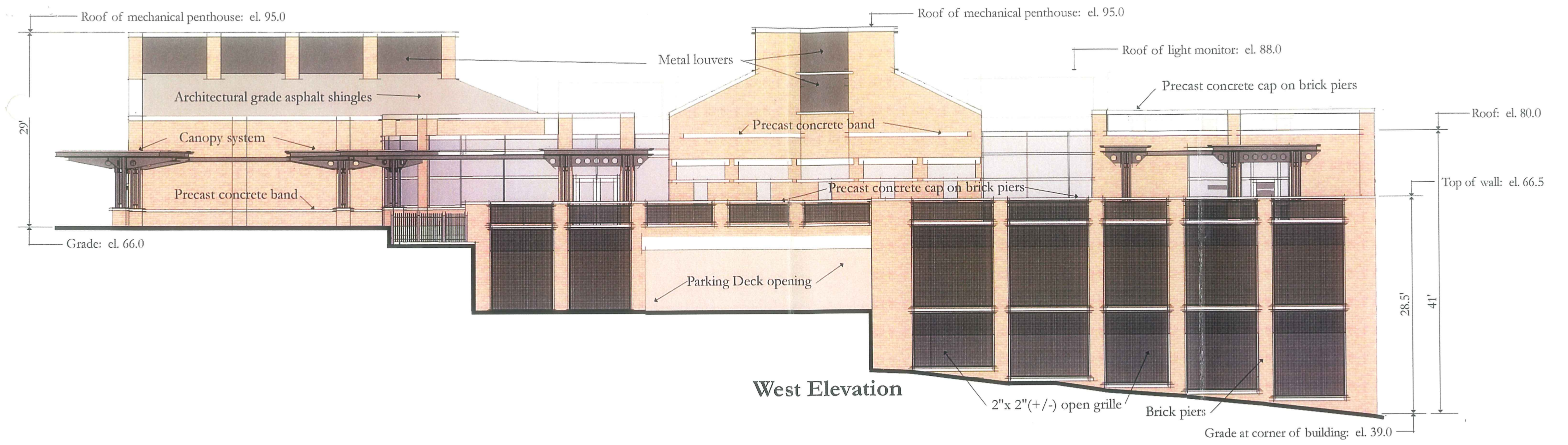


South Elevation

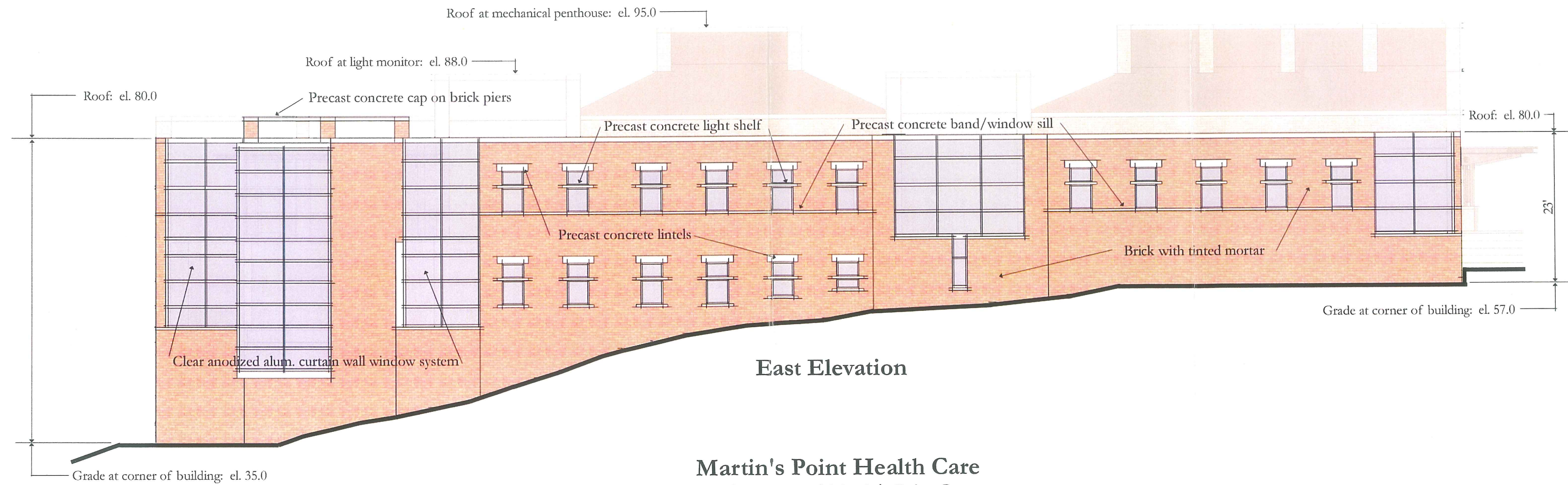


North Elevation

Martin's Point Health Care
 Redevelopment of Marthin's Point Campus



West Elevation



East Elevation

Martin's Point Health Care
 Redevelopment of Martin's Point Campus



**Martin's Point Health Care
Camps Wayfinding**

PD1001

Design Intent

August 29, 2008

paulus|design|group|

12 Court Street
Suite 201
Bath, Maine 04530

202.460.5315 main

nora@paulusdesign.com
www.paulusdesign.com

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Section 1 Summary

Project Summary

Martin's Point Health Care Campus is an integrated health care organization that provides health care services and health plan administration throughout New England. These offerings include providing health care services to nearly 40,000 patients in Maine and New Hampshire, administering the US Family Health Plan for military beneficiaries over a four state region.

Martin's Point Campus signage program should be unique to the campus. The architectural graphics and signage should help the campus create a unique, visual identity, provide pertinent information and direction with the appearance of permanence, and assist in integrating present and future campus facilities in New Hampshire.

The overall goal of the new Martin's Point signage program is to provide a harmonious and integrated resolution in the following three areas of design.

Communication: Maximize use fullness and effectiveness of message to viewer, achieved through choice messages, format sign placement and empathy for user.

Graphic Design: Overall graphic format/style fulfilling functional and aesthetic needs. Includes: typography/spacing; color; size; relationship of sign to setting.

Hardware Design: Achieve highest level of durability within economic constraints. Concerns include: fabrication, installation, maintenance and repair.

paulus | design | group |

12 Court Street
Suite 201
Bath, Maine 04530

202.460.5315
www.paulusdesign.com

Prepared for:

Martin's Point Health Care

Project:

Campus Wayfinding

Sheet Description:

Section 1
Summary

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Project Number:

PD1001

Page:

1.1

Date:

August 2008