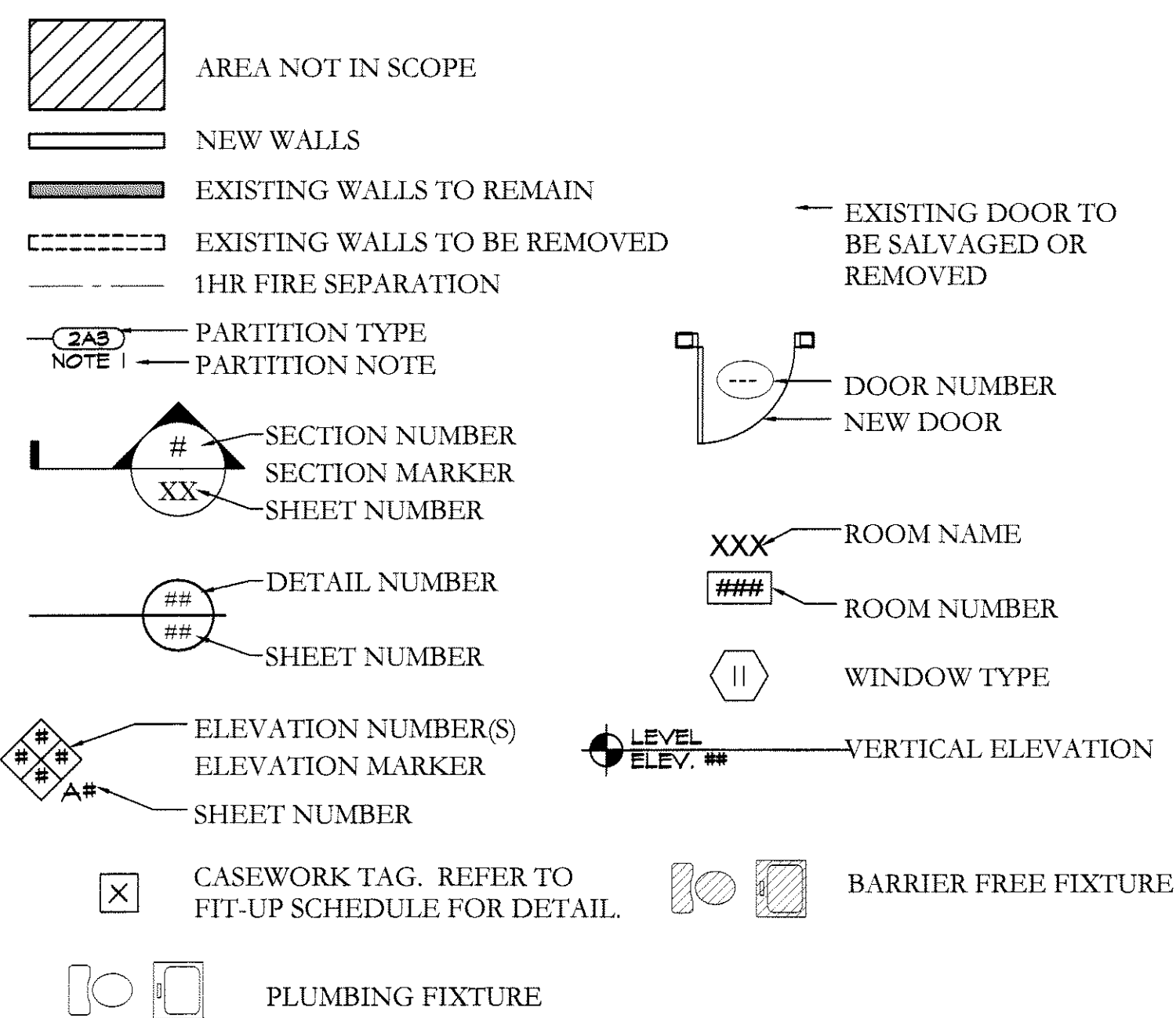


ARCHITECTURE
INTERIOR DESIGN
PLANNING

MARINE HOSPITAL-FIRST FLOOR MARTIN'S POINT HEALTH CARE HEALTH EDUCATION

331 VERANDA STREET
PORTLAND, MAINE

DRAWING SYMBOLS



ABBREVIATIONS

ADJ	ADJUSTABLE	MAX	MAXIMUM
AFF	ABOVE FINISH FLOOR	MTL	METAL
BLDG	BUILDING	MIN	MINIMUM
BO	BOTTOM OF	MISC	MISCELLANEOUS
CFMF	COLD FORMED METAL FRAMING	MR	MOISTURE RESISTANT
CG	CORNER GUARD	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	OC	ON CENTER
CLG	CEILING	PT	PRESSURE TREATED
CL	CENTER LINE	R, RAD	RADIUS
CL	CLOSET	RB	RESILIENT BASE
COL	COLUMN	REF	REFRIGERATOR
CONC	CONCRETE	REQD	REQUIRED
CONST	CONSTRUCTION	REV	REVISION
CONT	CONTINUOUS	RO	ROUGH OPENING
DIA	DIAMETER	SAT	SUSPENDED ACOUSTICAL CEILING TILE
DIM	DIMENSION	SIM	SIMILAR
DW	DISHWASHER	SFRM	SPRAY-APPLIED FIRE RESISTANT MATERIAL
DWG	DRAWING	SPEC	SPECIFICATION
EJ	EXPANSION JOINT	SQ	SQUARE
ELEV	ELEVATION	SS	STAINLESS STEEL
EXIST	EXISTING	STL	STEEL
EXT	EXTERIOR	STD	STANDARD
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FBO	FURNISHED BY OWNER	SV	SHEET VINYL
FDN	FOUNDATION	TO	TOP OF
FT	FEET	TYP	TYPICAL
GA	GAUGE	UNO	UNLESS NOTED OTHERWISE
GC	GENERAL CONTRACTOR	VERT	VERTICAL
GL	GLASS	VIF	VERIFY IN FIELD
GWB	GYPSUM WALL BOARD	W/	WITH
HM	HOLLOW METAL	W/O	WITHOUT
H, HGT	HEIGHT	WD	WOOD
HOR	HORIZONTAL	WP	WALL PROTECTION
INSUL	INSULATION		
MECH	MECHANICAL		
MED	MEDIUM		
MFR	MANUFACTURER		

DRAWING LIST

- ARCHITECTURAL
- COVER SHEET DEMO PLAN, CODE SUMMARY, NOTES AND LEGENDS
- A1.1 DEMOLITION PLAN, FLOOR PLAN, PARTITION TYPES, PHASING PLAN AND NOTES
- A1.2 ENLARGED PLAN, ELEVATIONS & DETAILS
- UNDER SEPARATE COVER
OUTLINE SPECIFICATION, FIT-UP SCHEDULE, AND MATERIALS LEGEND



Project No. 10-082
March 11, 2011

CODE SUMMARY

HISTORIC BUILDING ON NATIONAL REGISTER

EXISTING CONSTRUCTION, FULLY SUPERVISED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THREE STORIES (TOTAL BUILDING IS 21,100 MEASURED AT INTERIOR WALLS - APPROXIMATE SQUARE FOOTAGE PER FLOOR IS: BASEMENT - 6,200 S.F., FIRST - 6,700 S.F., SECOND AND THIRD - 7,100 S.F. EACH).

DESIGN PARAMETERS:

- CODE COMPLIANCE: 2006 CORE AND SHELL RENOVATION
NFPA 101-LIFE SAFETY CODE 2009 EDITION
IBC 2009 EDITION
EXISTING BUILDING-HISTORIC BUILDING
MAINE STATE PLUMBING CODE
CODE COMPLIANCE: CURRENT INTERIOR FIT-UP
NFPA 101-LIFE SAFETY CODE 2006 EDITION
IBC 2009 EDITION
NFPA 96

2. CONSTRUCTION TYPE:

- OCCUPANCY:
NFPA CLASSIFICATION OF OCCUPANCY
EXISTING BUSINESS
IBC USE OR OCCUPANCY
BUSINESS "B"

4. ALLOWABLE HEIGHT AND BUILDING AREA (IBC)
ALLOWABLE TABULAR AREA PER FOOT
AREA INCREASE DUE TO SPRINKLER COVERAGE
AREA INCREASE DUE TO 85% FRONTAGE

= 29,000 S.F.
= 46,000 S.F.
= 8,278 S.F.

TOTAL ALLOWABLE = 77,878 S.F.

BUILDING HEIGHT = 4 STORIES
AUTOMATIC SPRINKLER SYSTEM = 5 STORIES

5. OCCUPANT LOAD FACTOR USED:
100 GROSS SF/PERSON

6. CALCULATED OCCUPANT LOAD:
67 1ST
71 2ND
71 3RD

- REQUIRED SEPARATORS
IBC INCIDENTAL USE AREAS
BOILER ROOMS + FULL HEIGHT SMOKE PARTITIONS
(1 HOUR PROVIDES), DOOR CLOSERS

ELEVATOR HOISTWAY
1 HOUR FIRE SEPARATION ASSEMBLY
ELEVATOR MECHANICAL ROOM
1 HOUR FIRE SEPARATION ASSEMBLY
STAIR ENCLOSURE
1 HOUR FIRE SEPARATION ASSEMBLY
EXIT ACCESS PASSAGEWAY
1 HOUR FIRE SEPARATION ASSEMBLY
CORRIDORS
SMOKE PARTITIONS
ELECTRICAL ROOMS
FULL HEIGHT SMOKE PARTITIONS
MECHANICAL SHAFTS
1 HOUR

SEPERATION OF USES IN FULLY SPRINKLERED BUILDING
1 HOUR

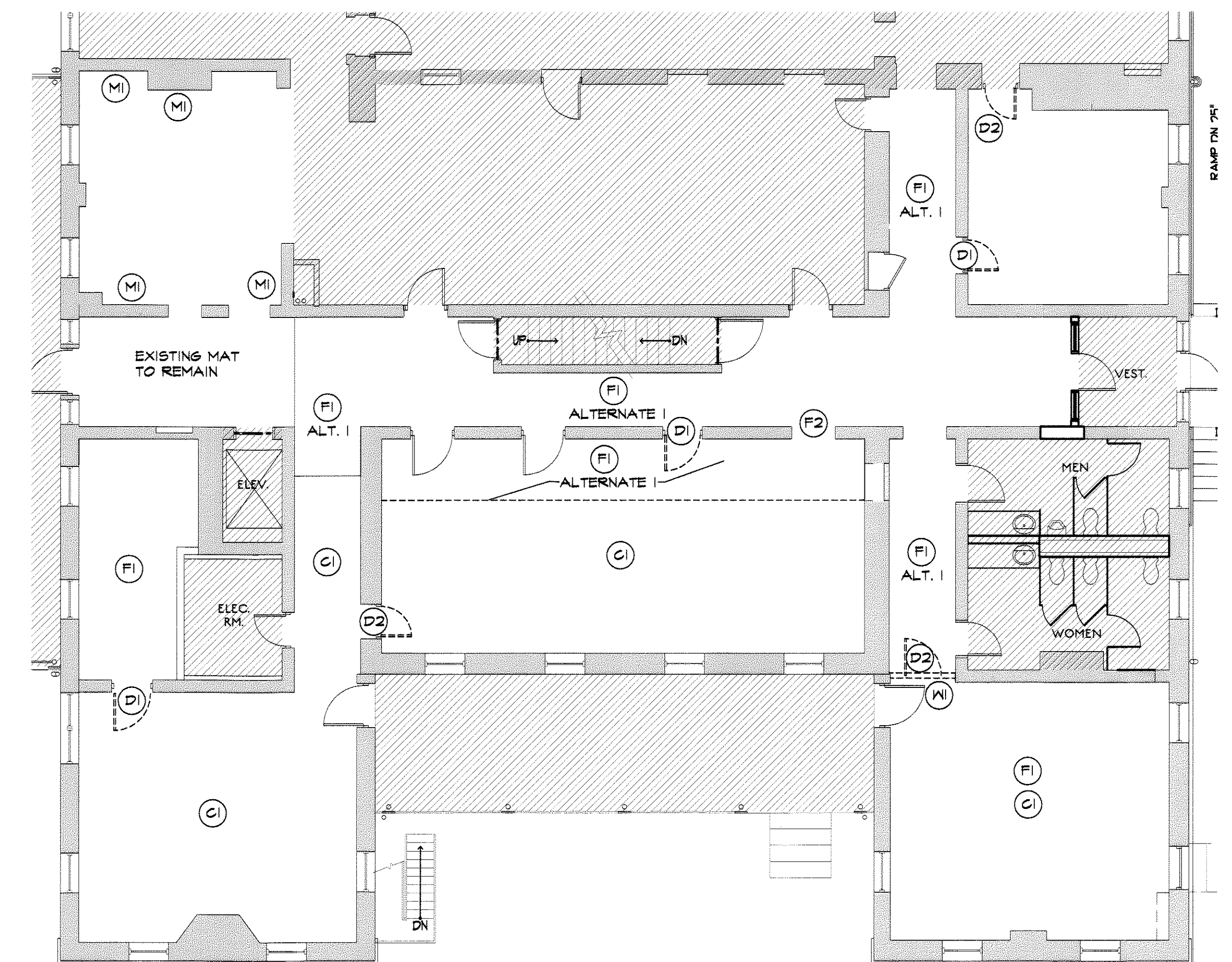
- FIRE PROTECTION SYSTEMS
PORTABLE FIRE EXTINGUISHER DISRUPTION PER NFPA 90
AUTOMATIC SPRINKLER SYSTEM PER NFPA 13

2. MEANS OF EGRESS PARAMETERS
2 EXITS PER FLOOR REQUIRED
(USE OF EXISTING FIRE ESCAPE PERMITTED PER IBC)
MAXIMUM DEAD END CORRIDORS - 50 FEET
MAXIMUM TRAVEL DISTANCE TO EXIT - 300 FEET
MAXIMUM COMMON PATH OF TRAVEL - 100 FEET
CORRIDOR WIDTH (-2 IN/PERSON), MINIMUM 44"
STAIR WIDTH (-3 IN/PERSON), MINIMUM 44"

- IBC 2009 FIRE ESCAPE:
3404.1.2 ALLOWED IN EXISTING BUILDINGS
3404.9 CONSTRUCTION SHALL
SUPPORT A LIVE LOAD OF 100#/SF
AND CONSTRUCTED OF STEEL
OR NON-COMBUSTIBLE
DIMENSIONS STAIRS
> 22" TREAD WIDTH
NOT < 8" TREADS; NOT > 8" RISERS
LANDINGS SHALL BE 40" WIDE BY 36" LONG

GENERAL DEMOLITION AND REMOVAL NOTES

- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. IN INSTANCES WHERE WALLS ARE INDICATED FOR REMOVAL, REMOVE ALL DOORS, WINDOWS, AND MISCELLANEOUS HARDWARE, ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH LOGICALLY IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION SHOWN ON THE ARCHITECTURAL DRAWINGS.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
- COORDINATE AND SCHEDULE ALL WORK IN EXISTING OCCUPIED PORTIONS OF THE BUILDING WITH THE THE OWNER.
- FLOOR PENETRATIONS OR REMOVALS MAY BE REQUIRED THROUGHOUT THE EXISTING BUILDING AND MAY NOT BE SHOWN ON THE DEMOLITION DRAWINGS. COORDINATE THE EXTENT OF DEMOLITION WITH MECHANICAL, PLUMBING AND ELECTRICAL PLANS.
- REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITH MINIMUM DISTURBANCE OF ADJACENT SURFACES TO REMAIN OR THE CURRENT CONDITION OF THE BUILDING ELEMENTS. SEE GENERAL PATCHING & REPAIR NOTES.
- THE OWNER SHALL REMOVE FURNITURE AND OTHER MOVABLE AND/OR FIXED EQUIPMENT PRIOR TO NEW WORK IN ANY AREA, EXCEPT FOR MECHANICAL, ELECTRICAL OR MINOR WORK NOT REQUIRING THE OWNER TO COMPLETELY VACATE THE PREMISES. NOTIFY THE OWNER OF SCHEDULE FOR NEW WORK AND EXTENT OF OWNER REMOVALS NECESSARY.
- REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING OR SEALING-OFF, THE CONTRACTOR SHALL ALLOW FOR AN INSPECTION OF COMPONENTS WHICH WILL NOT BE VISIBLE WHEN THE SPACES HAVE BEEN SEALED.
- ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS FOR PATCH AND REPAIR AS INDICATED.
- THE CONTRACTOR MAY REPLACE SALVAGED ITEMS WITH NEW AND IDENTICAL MATERIALS ONLY WITH THE OWNER'S PRIOR APPROVAL.
- LOCATIONS OF ALL TEMPORARY PARTITIONS SHALL BE COORDINATED WITH OWNER. AREAS OF WORK WITHIN TEMPORARY PARTITIONS SHALL BE SEALED OFF BY PLASTIC PARTITIONS FOR DURATION OF WORK.



1 DEMOLITION FLOOR PLAN
1/8" = 1'-0"

GENERAL DEMOLITION NOTES:

-REMOVE AND STORE ALL WINDOW SHADES. REINSTALL AT COMPLETION OF PROJECT.

DEMOLITION KEY NOTES:

FLOOR NOTES

F1 REMOVE EXISTING FLOORING AND ADHESIVE
F2 REMOVE EXISTING WOOD THRESHOLD

WALL NOTES

W1 REMOVE STUD WALL AND FINISH

CEILING NOTES

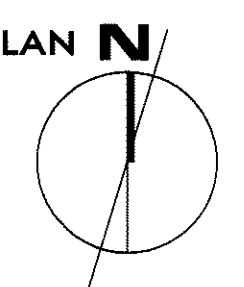
C1 REMOVE CEILING GRID, TILES AND LIGHTING

DOOR NOTES

D1 REMOVE DOOR & HARDWARE, FRAME TO REMAIN
D2 REMOVE DOOR, FRAME, HARDWARE & ALL RELATED ITEMS

MISCELLANEOUS DEMOLITION NOTES

M1 REMOVE WOOD BASE



CEILING PLAN NOTES:

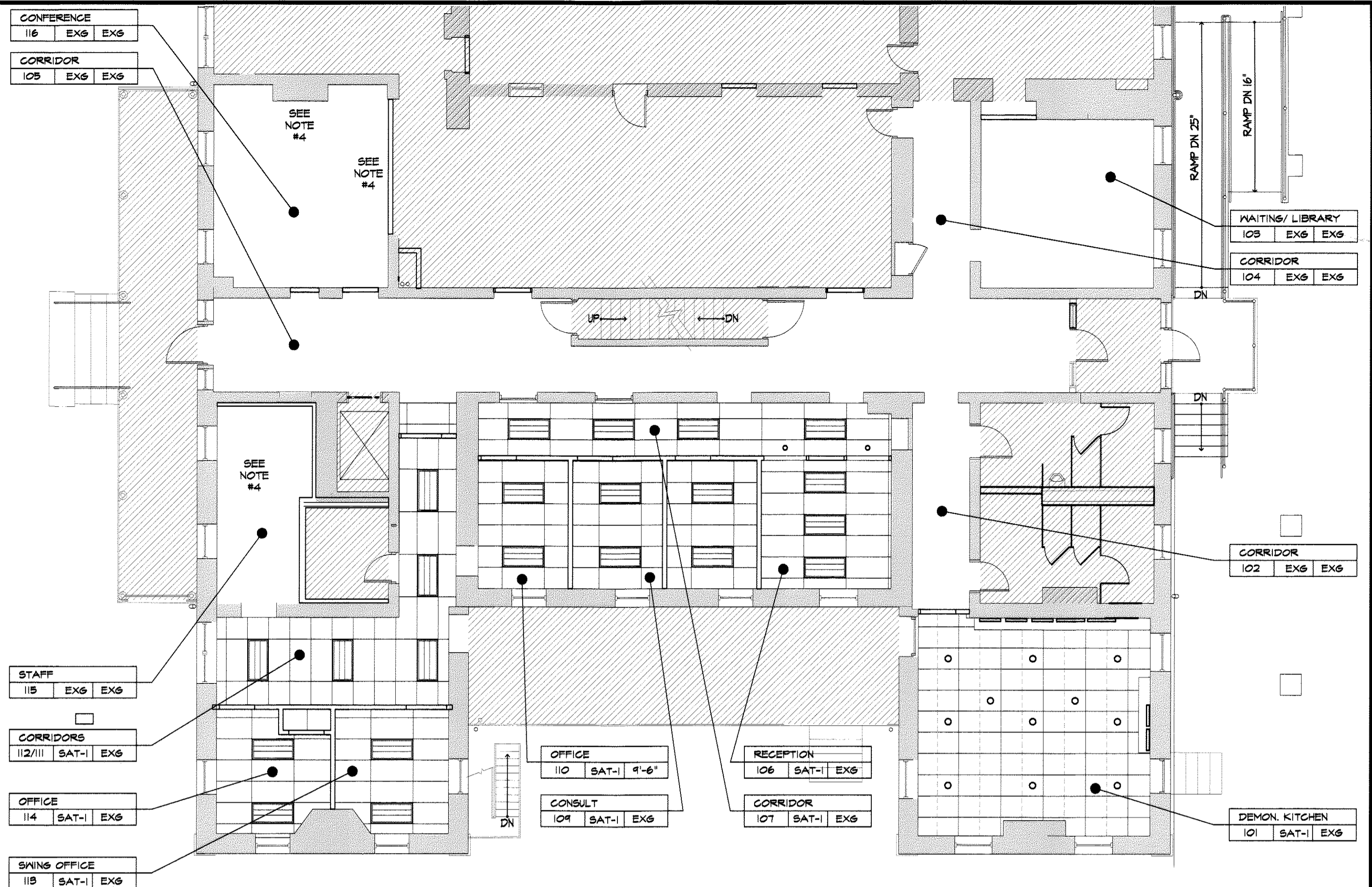
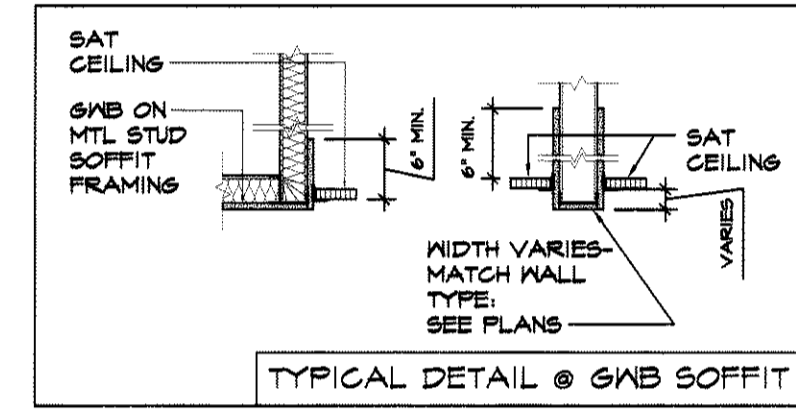
1. PAINT ALL NEW AND EXISTING GAB SOFFITS AND CEILINGS.
2. NEW CEILINGS WILL MATCH HEIGHT OF FORMER EXISTING
3. NEW GAB SOFFITS TO PROJECT 1" BEYOND FRONT & SIDES OF WALL CABINETS (AT DEMONSTRATION KITCHEN ONLY)
4. MODIFY CEILING GRID AT NEW, FURRED OR REFACED PARTITIONS
5. EXISTING 2 X 4 INDIRECT FIXTURES TO BE REUSED

GRAPHIC LEGEND:

- | ROOM NAME | ROOM NO. | CEILING TYPE | HEIGHT |
|------------|----------|--------------|--------|
| CONFERENCE | 116 | EXG | EXG |
| CORRIDOR | 105 | EXG | EXG |
- NEW SUSPENDED ACOUSTICAL CEILING TILE AND SUSPENSION SYSTEM. CENTER ALL NEW SPRINKLER HEADS AND CEILING MOUNTED DEVICES IN TILE, U.N.O.
 - GYPSUM WALL BOARD
 - 2X4 INDIRECT LIGHT FIXTURE
 - RECESSED LIGHT FIXTURE
 - UNDERCABINET LIGHT
 - AREA NOT IN SCOPE OF WORK

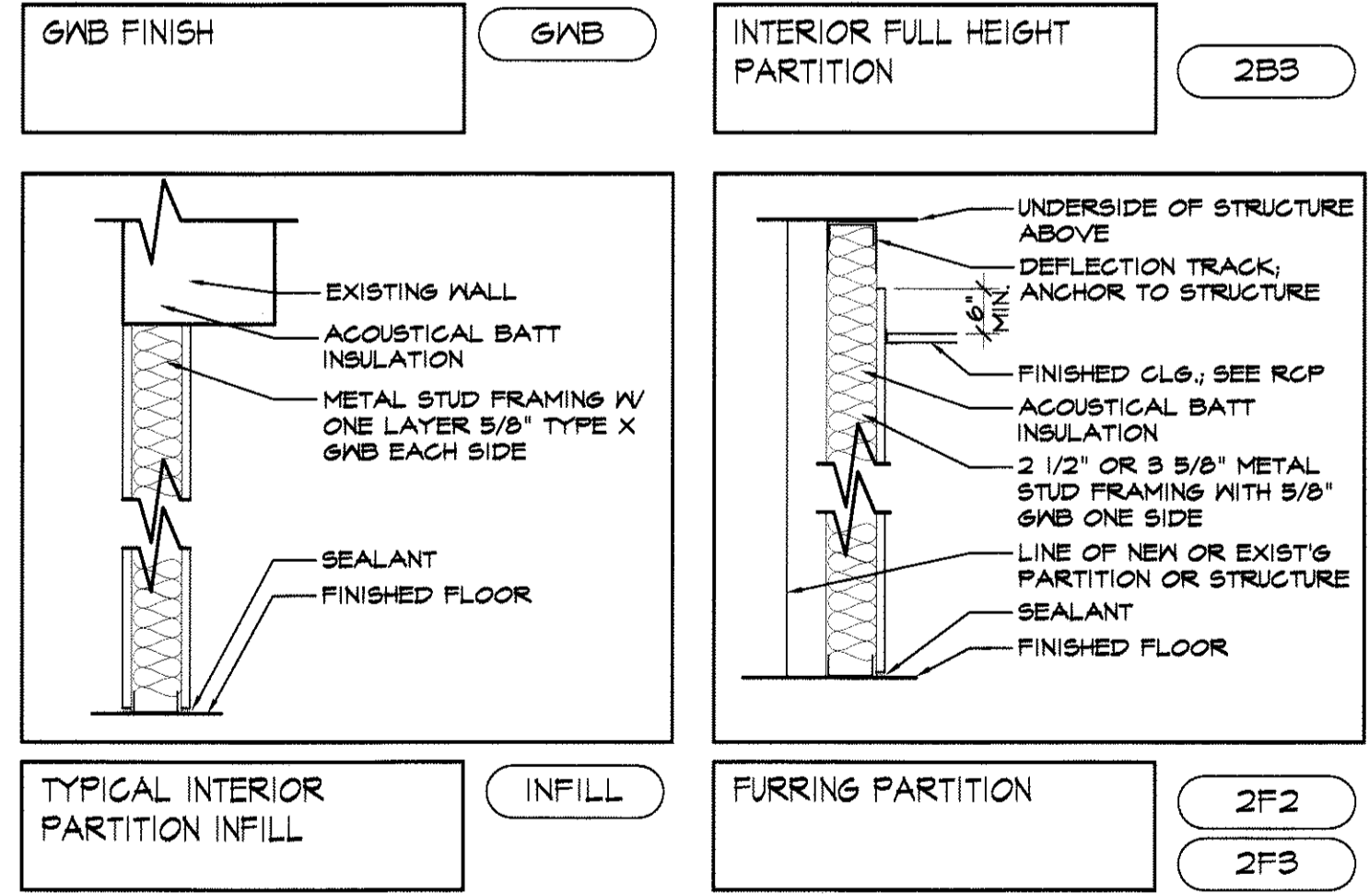
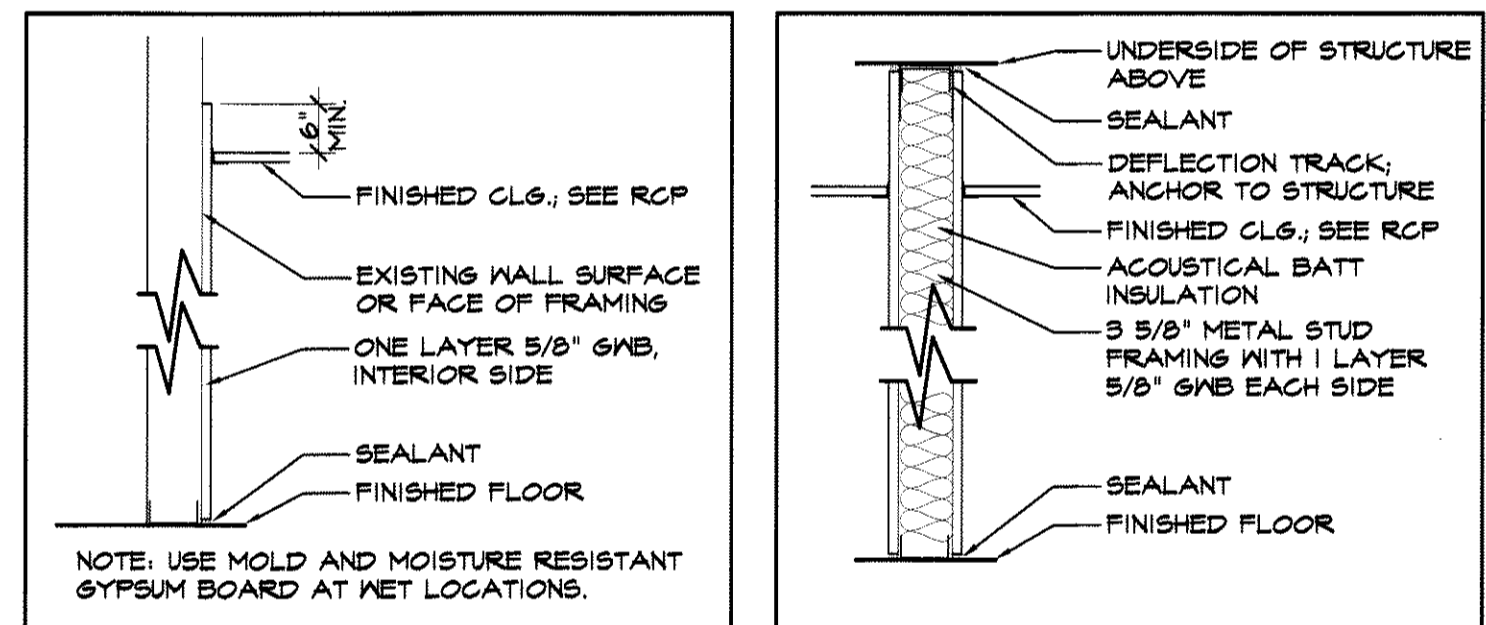
GENERAL PATCHING AND REPAIR NOTES

1. DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE OWNER.
2. PATCHING: AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE: LEVEL FLOORS AT WALL REMOVALS; PIECE-IN NEW PLASTER BACKING AND FINISH FLUSH; PIECE IN NEW CEILING SUSPENSION SYSTEM.
3. WHERE NEW CONSTRUCTION EITHER INFILLS OR ABUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
4. PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
5. AFTER REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED. MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.

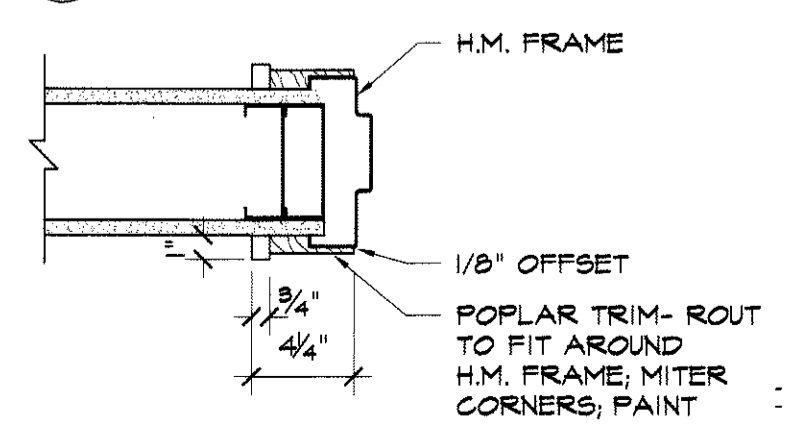


GENERAL NOTES:

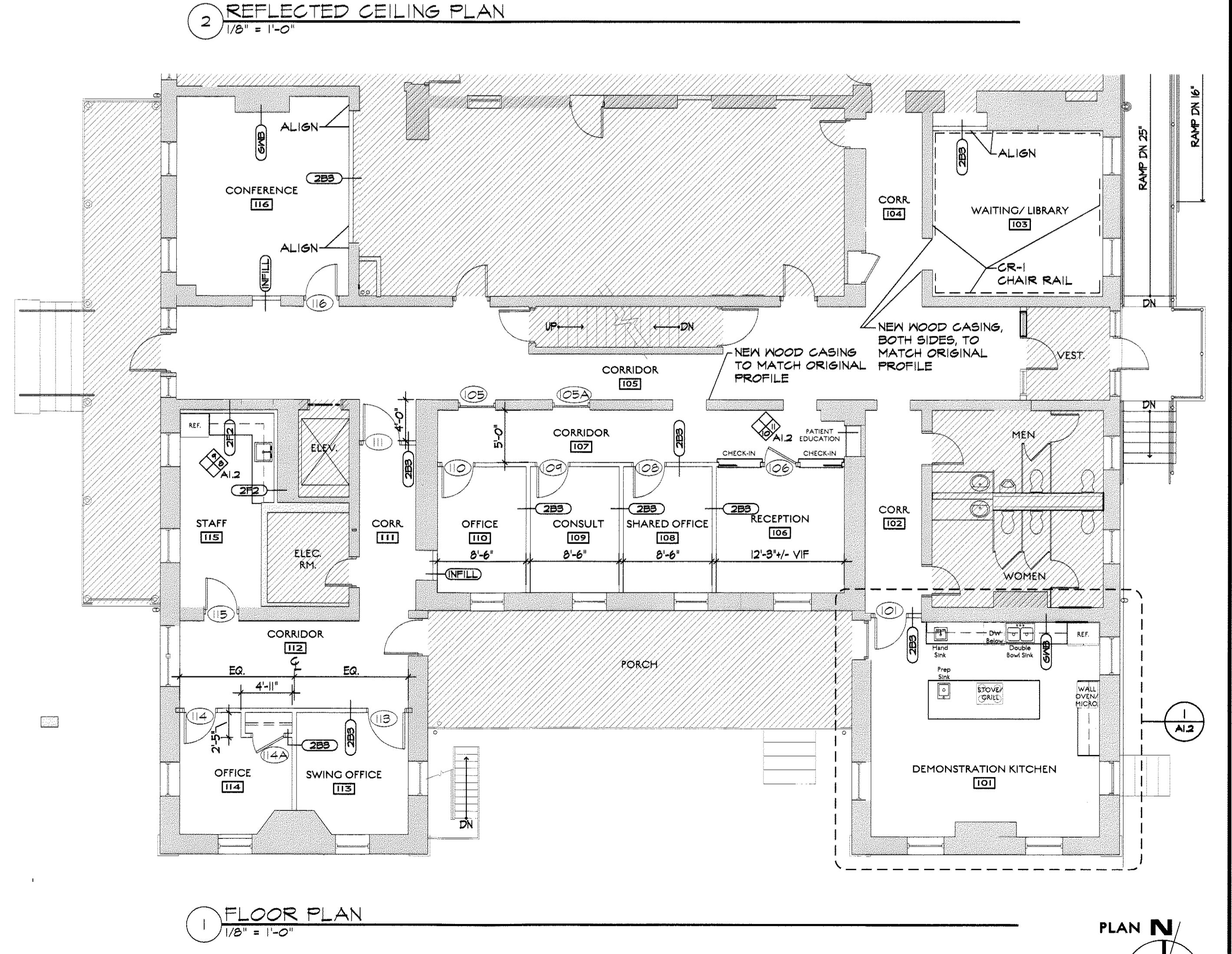
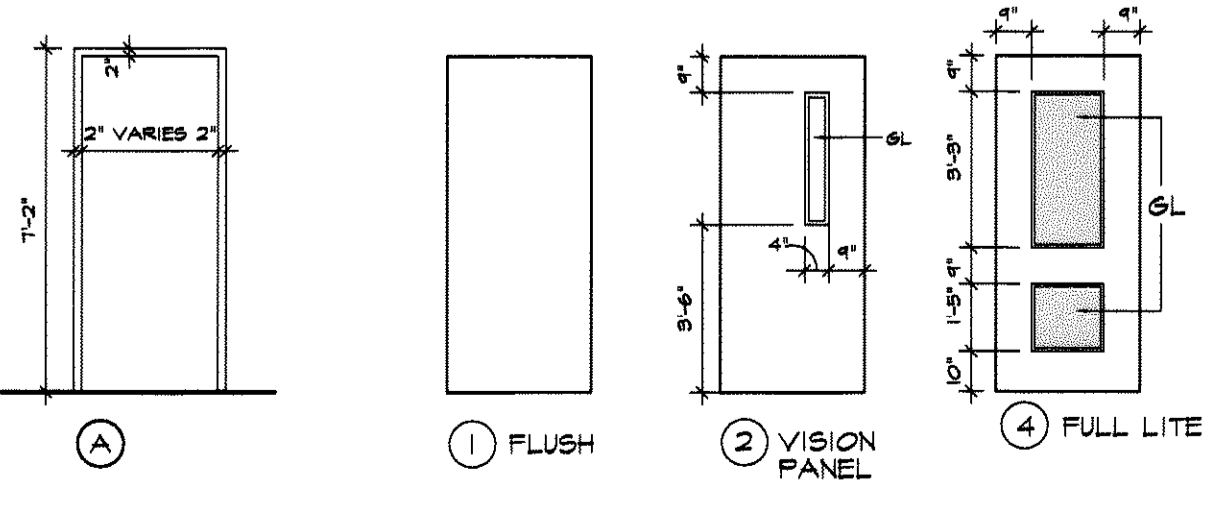
1. ALL DIMENSIONS ARE TO FACE FINISH
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER IMMEDIATELY IF FIELD CONDITIONS ARE DISCOVERED TO DIFFER FROM CONDITIONS DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
3. PATCH AND REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY DEMOLITION OR REMOVALS.
4. ALL PENETRATIONS THROUGH FIRE-RESISTANCE-RATED ASSEMBLIES SHALL BE SEALED WITH TESTED AND APPROVED FIRESTOP SYSTEMS.
5. CONTRACTOR SHALL INSTALL OWNER SUPPLIED ITEMS INCLUDING, BUT NOT LIMITED TO:
 - SOAP DISPENSERS; INSTALL AT ALL SINK LOCATIONS
 - PAPER TOWEL DISPENSERS; INSTALL AT ALL SINK LOCATIONS
 - LOCATIONS
 - NOTE: VERIFY QUANTITY AND LOCATIONS IN FIELD WITH OWNER
6. MAINTAIN 18" CLEAR AT FULL SIDE OF DOORS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING LOCATIONS OF POWER TEL/DATA WITH OWNER PRIOR TO COMMENCEMENT OF WORK.
8. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, CASEWORK AND MISC. ACCESSORIES.
9. INSTALL MOLD AND MOISTURE RESISTANT GAB AT ALL NET LOCATIONS WITHIN 8'-0" OF ANY PLUMBING FIXTURE.
10. CONTRACTOR TO VERIFY SINK LOCATIONS IN PLAN AND WITH CASEWORK SHOP DRAWINGS, REPORT DISCREPANCIES BEFORE PROCEEDING.



3 PARTITION TYPES

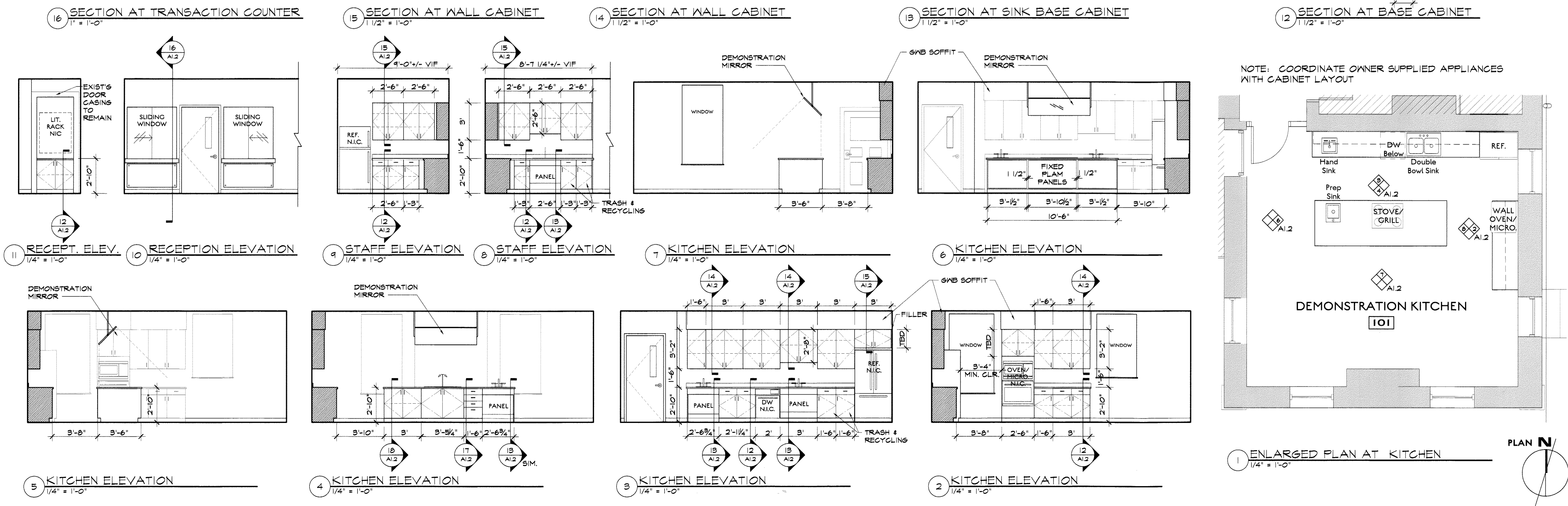
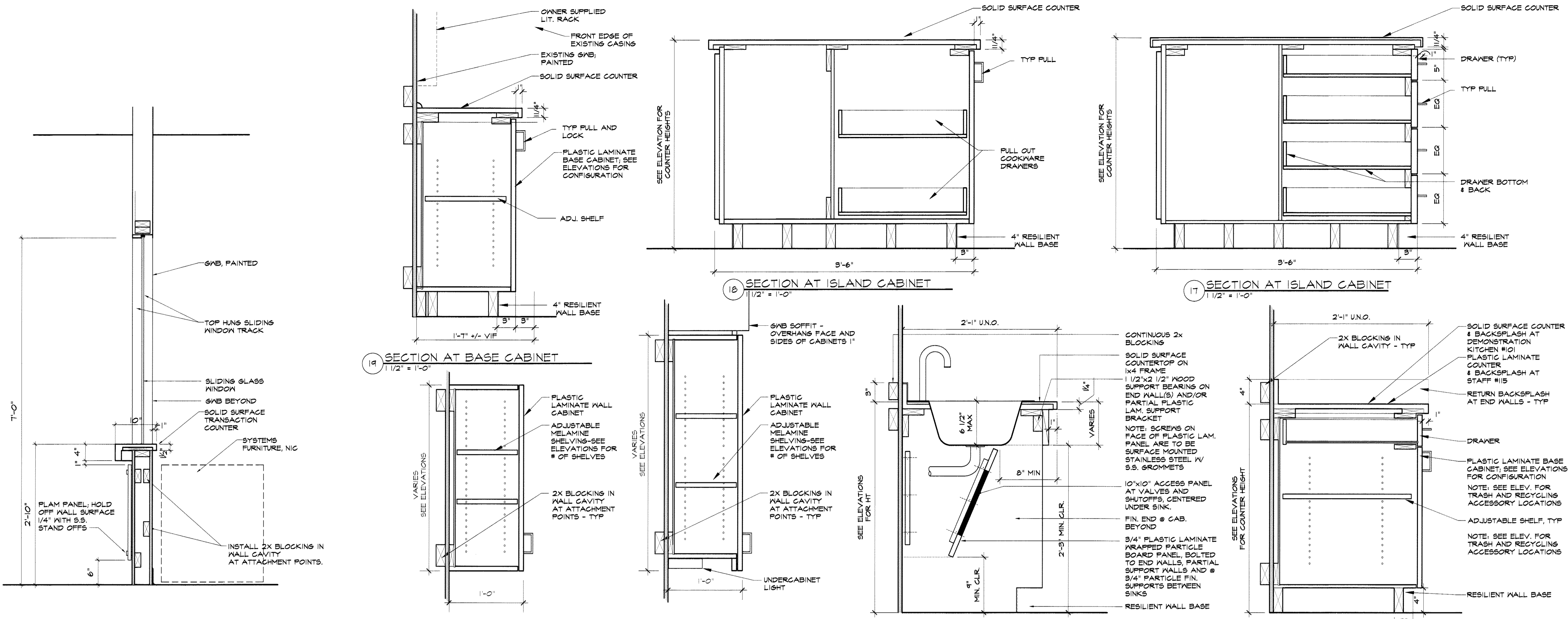


- GRAPHIC LEGEND**
- EXISTING WALLS
 - NEW WALLS
 - NOT IN SCOPE OF WORK



Monday, March 14, 2011 12:28:58 PM BRIDGTON ANN FISHER

H:\MASTER PROJ FILES\MPHC-10082-MARINE HOSPITAL-FIRST FLR\CAD\CAD-MPHC-MH-HED\MPHC-MH-HED-BASE-1.DWG



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MARTIN'S POINT HEALTH CARE
Marine Hospital - First Floor - Health Ed.
PORTLAND, MAINE

REGISTERED ARCHITECT
ANN M. FONTAINE-FISHER
NO 1439
STATE OF MAINE

JOB NO.
10-082

DRWN. CHK
GM AFF

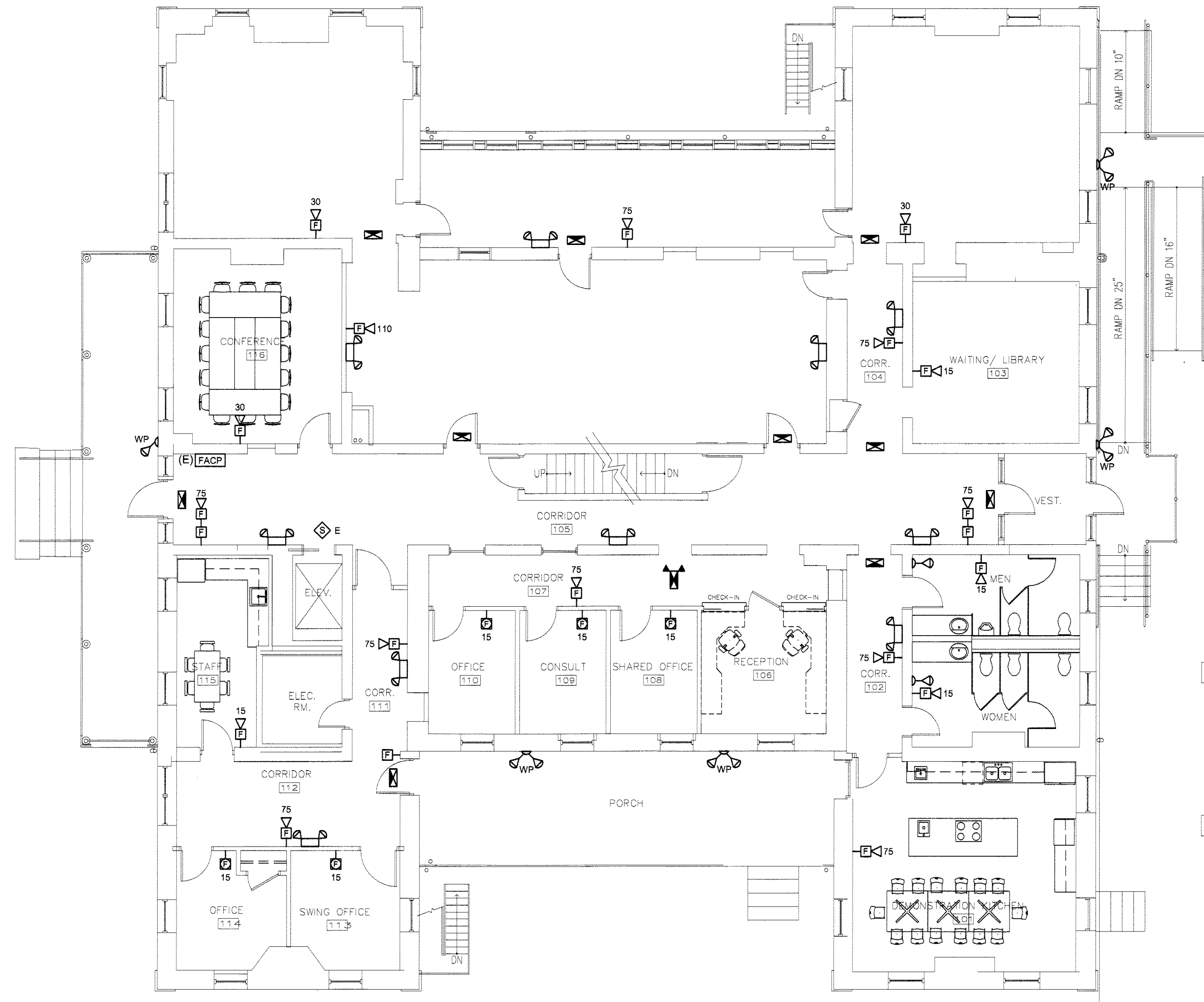
SCALE:
AS NOTED

ISSUE
MARCH 11, 2011

TITLE
ENLARGED PLAN,
ELEVATIONS,
& DETAILS

SHEET

A1.2



- FIRE ALARM CONTROL PANEL
- SMOKE DETECTOR, "E" INDICATES CONNECTION FOR ELEVATOR RECALL
- MANUAL PULL STATION, MOUNT 48" AFF, MUST BE INSTALLED A MAXIMUM OF 5' FROM EXIT
- AUDIO/VISUAL INDICATING APPLIANCE, CANDELA AS NOTED ON PLANS, MOUNT 80" AFF TO BOTTOM OR 6" BELOW CEILING WHICHEVER IS LOWER
- VISUAL INDICATING APPLIANCE, CANDELA AS NOTED ON PLANS, MOUNT 80" AFF TO BOTTOM OR 6" BELOW CEILING WHICHEVER IS LOWER
- AUDIO/VISUAL INDICATING APPLIANCE WITH PULL STATION DIRECTLY BELOW

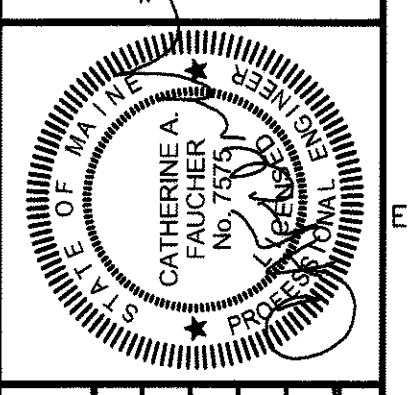
C9 FIRE ALARM SYSTEM

NO SCALE

- EMER BATTERY UNIT WITH INTEGRAL HEADS, MT 7'-6" AFF
BPH# INDICATES BATTERY UNIT DESIGNATION
- SINGLE REMOTE EMERGENCY LIGHT HEAD, MOUNT 7'-6" AFF,
BPH# INDICATES BATTERY UNIT CONNECTED TO
- DOUBLE REMOTE EMERGENCY LIGHT HEAD, MOUNT 7'-6" AFF,
BPH# INDICATES BATTERY UNIT CONNECTED TO
- DOUBLE REMOTE EMERGENCY LIGHT HEAD, CEILING MOUNTED,
BPH# INDICATES BATTERY UNIT CONNECTED TO
- EXIT SIGN, SELF-POWERED, CEILING MOUNTED, SHADING INDICATES FACE(S), ARROWHEAD INDICATES CHEVRON(S) REQUIRED, TYPICAL
- EXIT SIGN, SELF-POWERED, WALL MOUNTED, SHADING INDICATES FACE(S), MOUNT AT 7'-6" AFF OR OVER DOOR

NOTE:
EMERGENCY LIGHTING BASIS OF DESIGN: 12V, 10W HALOGEN MR16 LIGHT HEADS

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REVISIONS	
NUMBER	DESCRIPTION

Date: 03/21/2011
Drawn By: DLL
Checked By: CAF
Project Mgr: CAF
Project No: 11029
Cad File: 11029E.DWG
Graphic Scale: 0 1"

LIFE SAFETY PLAN
MARINE HOSPITAL ~ FIRST FLOOR ~ HEALTH ED
MARTIN'S POINT HEALTH CARE
PORTLAND, MAINE
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A1 FIRST FLOOR LIFE SAFETY PLAN
1/8"=1'-0"

A9 EMERGENCY LUMINAIRES
NO SCALE

LS1.1