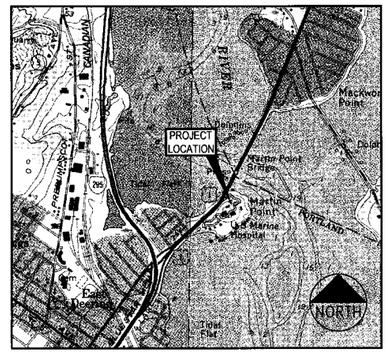
PROJECT PARCEL SITE

PORTLAND TAX ASSESSOR'S MAP & LOT NUMBERS

MAP	LOT
434	C-005
434	C-001

SITE DEVELOPMENT PLANS
FOR
MARTIN'S POINT REDEVELOPMENT PROJECT
PORTLAND, MAINE
APRIL 2006
RELEASED FOR BID - PHASE I ONLY



LOCATION MAP
N.T.S.

INDEX

* SHEETS NOT REQUIRED FOR PHASE I WORK

UTILITIES

WATER
ATTN: DAVE COFFIN
PORTLAND WATER DISTRICT
P.O. BOX 3553
PORTLAND, MAINE 04104
(207) 774-5961

SANITARY SEWER
ATTN: FRANK BRANCELEY
CITY OF PORTLAND
55 PORTLAND STREET
PORTLAND, MAINE 04101
(207) 874-8846

POWER
ATTN: PAUL DUPERRE
CENTRAL MAINE POWER COMPANY
162 CANCO ROAD
PORTLAND, MAINE 04103
(207) 828-2882

TELEPHONE
ATTN: SUE SURETTE
VERIZON
5 DAVIS FARM ROAD
PORTLAND, MAINE 04103
(207) 797-1842

DIGSAFE
1-888-344-7233

PERMITS

	GOVERNING BODY	STATUS
LOCAL		
MAJOR SITE PLAN PERMIT	CITY OF PORTLAND - PLANNING BOARD	PUBLIC HEARING SCHEDULED FOR APRIL 25, 2006
TRAFFIC MOVEMENT PERMIT	CITY OF PORTLAND	SUBMITTED JANUARY 20, 2006
STATE		
MAINE GENERAL CONSTRUCTION PERMIT	MeDEP	TO BE FILED PRIOR TO CONSTRUCTION
MeDEP SITE LOCATION OF DEVELOPMENT PERMIT	UNDER DELEGATED REVIEW BY THE CITY OF PORTLAND	PUBLIC HEARING SCHEDULED FOR APRIL 25, 2006
MeDEP STORMWATER PERMIT	MeDEP	TO BE SUBMITTED APRIL 2006
MeDEP NRPA PERMIT-BY-RULE	MeDEP	TO BE SUBMITTED APRIL 2006

ZONING DISTRICT: R-P RESIDENTIAL-PROFESSIONAL

SPACE AND BULK REQUIREMENTS:

	REQUIRED	PROVIDED
MINIMUM LOT SIZE:	6,000 SF	500,000+ SF
MINIMUM STREET FRONTAGE:	60 FEET	800+ FEET
[SETBACKS SHOWN ON SITE PLAN]		
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.80	0.51
MAXIMUM FLOOR AREA RATIO:	0.65	0.21

OWNER:
MARTIN'S POINT HEALTH CARE
331 VERANDA STREET
PORTLAND, ME 04103

APPLICANT:
MARTIN'S POINT HEALTH CARE
331 VERANDA STREET
PORTLNAD, ME 04103

PREPARED BY

CIVIL ENGINEER:
DeLuca-Hoffman Associates, Inc.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, MAINE 04106
207.775.1121

ARCHITECT:
PDT ARCHITECTS
49 DARTMOUTH STREET
PORTLAND, MAINE 04103
207.775.1059

SURVEYOR:
OWEN HASKELL, INC.
16 CASCO STREET
PORTLAND, MAINE 04101-2979
207.774.0424

ENVIRONMENTAL ENGINEER:
HOFFMAN ENGINEERING, INC.
640 TEN ROD ROAD
NORTH KINGSTOWN, RHODE ISLAND 02852
401.294.9032

NATURAL RESOURCES CONSULTANT:
NORMANDEAU ASSOCIATES, INC.
253 MAIN STREET
YARMOUTH, MAINE 04096
207.846.3598

GEOTECHNICAL ENGINEER:
S.W. COLE ENGINEERING
286 PORTLAND ROAD
GRAY, MAINE 04039
207.657.2866

TRAFFIC ENGINEER:
CASEY & GODFREY ENGINEERS
263 WATER STREET
GARDINER, MAINE 04345
207.582.4526

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

REV	DATE	DESCRIPTION
7	04.24.06	PHASE I - RELEASED FOR BID
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1	11.17.05	PROGRESS SET FOR REVIEW WITH ARCHITECT

REVISIONS

DAVID D. ANDERSON No. 9275 REGISTERED PROFESSIONAL ENGINEER
P.E. DAVID D. ANDERSON
LIC. #9275

PROJECT: MARTIN'S POINT REDEVELOPMENT PROJECT
SHEET TITLE: COVER SHEET
CLIENT: MARTIN'S POINT HEALTH CARE

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LECJ	DATE:	NOV. 2005
DESIGNED:	DOA	SCALE:	N.T.S.
CHECKED:	DOA	JOB NO.	234401
FILE NAME:	234401-COV		
SHEET	C-1		

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GENERAL NOTES

GENERAL NOTES:

1. OWNER:
   MARTIN'S POINT HEALTH CARE
   331 VERANDA STREET
   PORTLAND, ME 04103
2. CONSULTANTS USED FOR PLAN PREPARATION:
   (REFER TO COVER SHEET)
3. THE PROJECT IS SITUATED ON TWO LOTS WHICH HAVE THE FOLLOWING TAX ASSESSOR AND ACREAGE INFORMATION:

   PORTLAND TAX ASSESSOR

MAP	LOT NO.	APPROX. ACREAGE
434	C-005	4.6
434	C-001	7.0

4. THE PROJECT DRAWINGS PROVIDE ONLY A PORTION OF THE SITE WORK REQUIREMENTS. CONSTRUCTION SHALL OCCUR ONLY USING PROJECT SPECIFICATIONS PREPARED BY DELUCA-HOFFMAN ASSOCIATES, INC. OR THEIR SUBCONSULTANTS AND DRAWINGS WHICH HAVE A REVISION BLOCK INDICATING, "RELEASED FOR CONSTRUCTION". AT A MINIMUM, ALL WORK SHOULD COMPLY WITH THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. ALL MATERIALS PLACED AS PART OF THIS PROJECT SHALL BE COMPACTED TO 95 PERCENT OPTIMUM DENSITY PER ASTM 1557 UNLESS NOTED OR SPECIFIED OTHERWISE IN THE CONTRACT DRAWINGS.
5. THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR CONSTRUCTION SPECIFICATIONS AND BIDDING PROCEDURES.
6. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCE, PAVING, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE POINTS.
7. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

   THE UTILITIES INVOLVED WITH THIS PROJECT ARE LISTED BELOW:

UTILITY	OWNER
WATER	PORTLAND WATER DISTRICT ATTN: DAVE COFFIN P.O. BOX 3553 PORTLAND, MAINE 04104 (207) 774-5961
SANITARY SEWER	CITY OF PORTLAND ATTN: FRANK BRANGELEY 55 PORTLAND STREET PORTLAND, MAINE 04101 (207) 874-8845
POWER	CENTRAL MAINE POWER COMPANY ATTN: PAUL DUPERRE 162 CANCO ROAD PORTLAND, MAINE 04103 (207) 828-2882
TELEPHONE	VERIZON ATTN: SUE SURETTE 5 DAVIS FARM ROAD PORTLAND, MAINE 04103 (207) 797-1842
DIGSAFE	1-888-344-7233

9. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR REPRESENTATIVES OF THE CITY OF PORTLAND AT NO ADDITIONAL COST TO THE OWNER.
10. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.

LANDSCAPE NOTES:

1. ALL PLANT MATERIALS SHALL MEET THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES, SHRUB BEDS, ETC. ARE TO BE MULCHED WITH 4" OF SHREDDED HARDWOOD BARK MULCH.
2. ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.

GRADING & DRAINAGE NOTES:

1. ALL STORM DRAIN PIPE SHALL BE SDR-35 POLYVINYL CHLORIDE PIPE OR HDPE N-12 UNLESS EXPOSED TO SUNLIGHT, IN WHICH CASE HDPE N-12 SHALL BE USED.

EROSION CONTROL NOTES:

1. LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
2. PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERIMETER SILT FENCES AND THE CONSTRUCTION ENTRANCE.
3. ALL GROUND AREAS GRADED FOR CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDED AS SOON AS POSSIBLE.
4. PRIOR TO PAVING, THE CONTRACTOR SHALL FLUSH SILT FROM ALL STORM DRAIN LINES.
5. SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO ENSURE THAT IT WORKS AS PLANNED DURING CONSTRUCTION.
7. SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
8. THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION, EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.

DEMOLITION NOTES:

1. THE FOLLOWING ITEMS ARE TYPICAL OF THE MATERIALS WHICH WILL BE ENCOUNTERED DURING SITE CLEARING/DEMOLITION. THE BIDDER IS ADVISED TO VISIT THE SITE TO CONFIRM DEMOLITION ITEMS SINCE THE LIST IS NOT ALL-INCLUSIVE OF THE SITE CONDITIONS WHICH MAY BE ENCOUNTERED:
   - CONCRETE FOUNDATIONS/SLABS
   - BITUMINOUS ASPHALT PAVEMENT
   - CONCRETE PADS AND BLOCKS
   - UNDERGROUND UTILITY LINES (ELECTRIC, WATER, SEWER)
2. ALL EXCAVATION WORK SHALL BE SUBJECT TO THE CITY OF PORTLAND STREET OPENING ORDINANCE.

LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW LINE	
	CONSTRUCTION CENTERLINE	
	GRANITE BOLLARD	
	IRON PIPE/ROD FOUND	
	SURVEY CONTROL POINT	
	IRON ROD SET	
B-1	APPROX. TEST BORING LOCATION BY S.W. COLE	
P-1	APPROX. TEST PROBE LOCATION BY S.W. COLE	P-1
HA-1	HAND AUGER PROBES BY HEI 11/2005	
HEI-1	TEST PITS BY HEI 12/2005	
TW-1	TEST PITS BY TEMHEY ASSOC. 04/2005	
	TREELINE	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	SIGN	
	LIMIT OF WORK	
	LIGHT POST	
	UTILITY POLE	
	ELECTRIC METER	
100	GRADING CONTOUR LINE	100
× 90.03	GRADING SPOT GRADE	107.70
	SILT FENCE	
	CATCH BASIN SEDIMENT TRAP	
	BUILDING	
	EDGE OF PAVEMENT	
	PAVED ISLAND w/CURB	
	CURB	
	PAVEMENT STRIPING	
	FIRE HYDRANT	
CB	CATCH BASIN	CB1
DMH	MANHOLE	DMH1
GV	WATER GATE/VALVE	
x x	FENCE	
OHE	OVERHEAD WIRES	OHE
12"W	WATER LINE	2"W
10"SD	STORM DRAIN LINE	10"SD
12"SAN	SANITARY SEWER LINE	8"SAN
UGE	UNDERGROUND ELECTRIC	UGE
UGT	UNDERGROUND TELEPHONE	UGT
	SIDEWALK	

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REVISIONS

STATE OF MAINE — DWIGHT D. ANDERSON — 10475 — REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #10775

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

SHEET TITLE
GENERAL NOTES & LEGEND

CLIENT
MARTIN'S POINT HEALTH CARE

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LEGJ	DATE:	NOV. 2005
DESIGNED:	DDA	SCALE:	N.T.S.
CHECKED:	DDA	JOB NO.	234401
FILE NAME:	234401-GEN		
SHEET	C-2		

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NORTH

EXISTING MARINE HOSPITAL TO BE RENOVATED

EXISTING MAINTENANCE BUILDING TO BE REMOVED (INCLUDING ENTIRE FOUNDATION AND BASEMENT SLAB)

SHIM, OVERLAY AND RESTRIPE PAVED AREA AROUND MARINE HOSPITAL AFTER DEMOLITION OF MAINTENANCE BUILDINGS (PROVIDE 1 ½" MDOT TYPE C MIX)

CONTRACTOR RESPONSIBLE TO MAINTAIN WATER SERVICE TO MORRISON DEVELOPMENTAL BUILDING TO THE EAST

EXISTING MAINTENANCE BUILDING AND STACK TO BE REMOVED (INCLUDING ENTIRE FOUNDATION AND BASEMENT SLAB)

CONTRACTOR RESPONSIBLE FOR MAINTAINING SERVICE (USE AND CONTROL PANEL) TO PUMP STATION

PORTLAND WATER DISTRICT EASEMENT, MARTIN'S POINT HEALTH CARE TO REVIEW THE POSSIBILITY OF DISCONTINUING THIS EASEMENT WITH THE PORTLAND WATER DISTRICT

NOTES:

1. LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
2. THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION: TOPOGRAPHY; DRAINAGE; LANDSCAPING; RETENTION OF WOODED OR LAWN AREAS; ACCESS, SIZE, LOCATION AND SURFACING OF PARKING AREAS; AND LOCATION AND SIZE OF BUILDINGS.
3. ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
4. SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
5. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION. [NOTE: THE SITE PLAN SHOULD SPECIFY THE EROSION CONTROL DEVICE TO BE EMPLOYED (SILT FENCE, HAY BALE, ETC.) AS WELL AS THEIR LOCATION.]
6. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
7. ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES [SEE ABOVE.]
8. PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
9. EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL, GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

GRAPHIC SCALE

30 0 15 30 60

(IN FEET)

1 inch = 30 ft.

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2	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
1	02.27.06	SUBMISSION TO PHPB

REVISIONS

STATE OF MAINE DWIGHT D. ANDERSON No. 9275 REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON

LIC. #9275

PROJECT: MARTIN'S POINT REDEVELOPMENT PROJECT

SHEET TITLE: SITE LAYOUT AND UTILITY PLAN PHASE 1

CLIENT: MARTINS POINT HEALTH CARE

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LECJ	DATE:	NOV. 2005
DESIGNED:	DDA	SCALE:	1" = 30'
CHECKED:	DDA	JOB NO.	2344.01
FILE NAME:	234401-SP		
SHEET	C-4A		

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NORTH

EXISTING MARINE HOSPITAL TO BE RENOVATED

EXISTING MAINTENANCE BUILDING TO BE REMOVED

SHIM, OVERLAY AND RESTRIPE PAVED AREA AROUND MARINE HOSPITAL AFTER DEMOLITION OF MAINTENANCE BUILDINGS (PROVIDE 1½" 9.5mm SUPERPAVE OR 1½" MDOT TYPE C MIX)

EXISTING MAINTENANCE BUILDING AND STACK TO BE REMOVED

VERANDA STREET

EXISTING CLINIC

MARINE HOSPITAL

MAINTENANCE BUILDING

RENOBSCOT BAY MEDICAL ASSOCIATES

CASCO BAY

NATURAL RESOURCE LIMITS MARKED IN FIELD BY NORMANDEAU ASSOCIATES, REVIEWED BY MACDP FEBRUARY 6, 2006 AND SURVEY LOCATED BY OWEN HASKELL ON FEBRUARY 27, 2006.

MAX. SPRING TIDE LEVEL EL. 6.3

GRAPHIC SCALE

30 0 15 30 60

(IN FEET)
1 inch = 30 ft.

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REVISIONS

STATE OF MAINE
DWIGHT D. ANDERSON
No. 9275
REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

SHEET TITLE
SITE GRADING & EROSION CONTROL PLAN - PHASE 1

CLIENT
MARTIN'S POINT HEALTH CARE

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LECJ	DATE:	NOV. 2005
DESIGNED:	DDA	SCALE:	1" = 30'
CHECKED:	DDA	JOB NO.	2344.01
FILE NAME:	234401-SP		
SHEET	C-5A		

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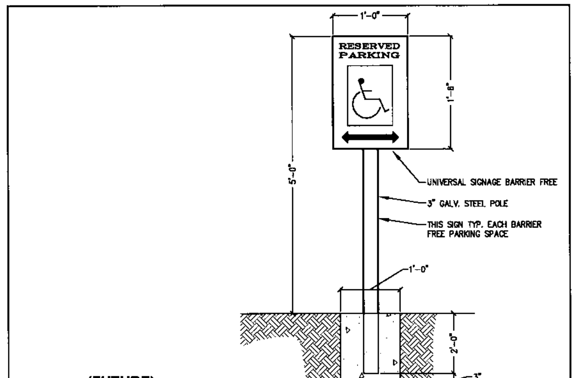

(FUTURE)
BARRIER FREE PARKING DETAIL
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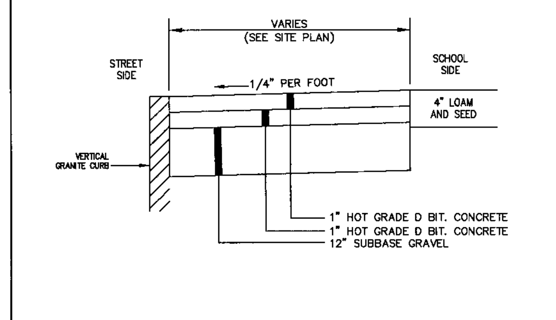
N.T.S.



BITUMINOUS SIDEWALK DETAIL
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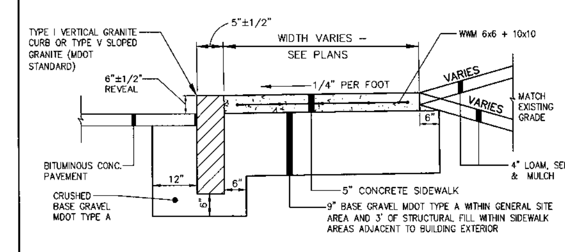
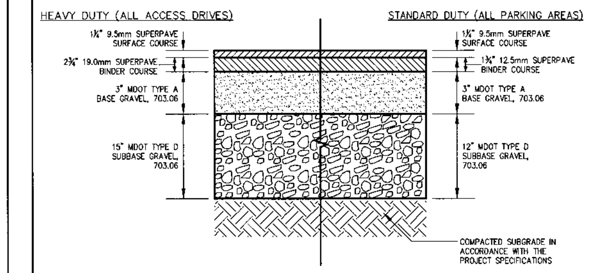
N.T.S.



NOTES:
1. INSTALL EXPANSION JOINTS AT 80' TO 120' SPACING.
2. INSTALL CONSTRUCTION JOINTS AT 12' SPACING.

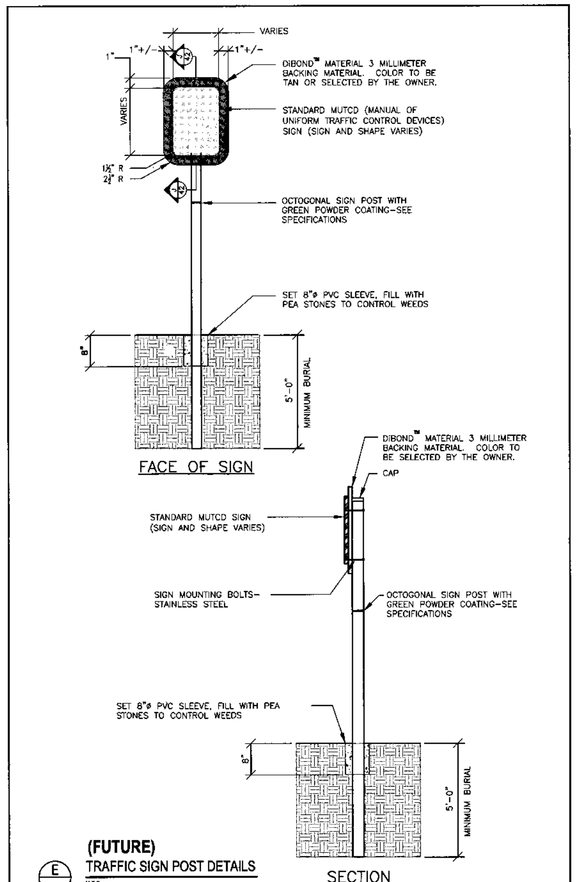
CONCRETE SIDEWALK DETAIL **(FUTURE)**
C
N.T.S.

NOTES:
1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES
2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION
3. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH SPECIFICATIONS.

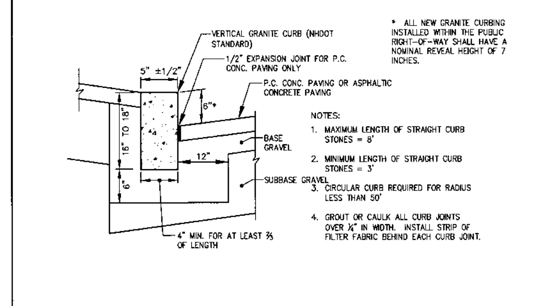


TYPICAL PAVEMENT SECTION
D
N.T.S.

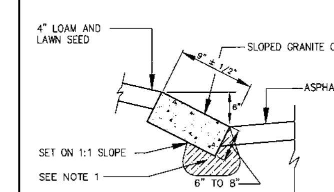
NOTE: STANDARD DUTY PAVEMENT SECTION TO BE USED FOR PHASE I WORK



(FUTURE)
TRAFFIC SIGN POST DETAILS
E
N.T.S.



(FUTURE)
VERTICAL GRANITE CURB DETAIL
F
N.T.S.

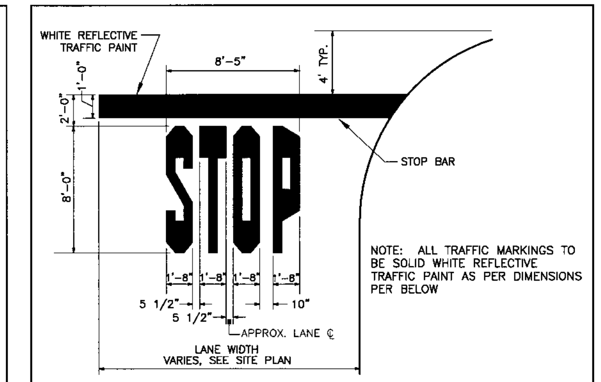


(SLOPED GRANITE CURB TO MEET NHDOT STANDARD SPECIFICATIONS FOR RADIUS LESS THAN 5' AND NHDOT STANDARD SPECIFICATIONS FOR RADII OVER 5')

NOTE 1:
ALL TYPE 5 CURB INSTALLED ON A CURVE WITH A RADIUS OF LESS THAN 55' SHALL BE INSTALLED ON A BEDDING OF DRY MORTAR OR LOW SLUMP CONCRETE.

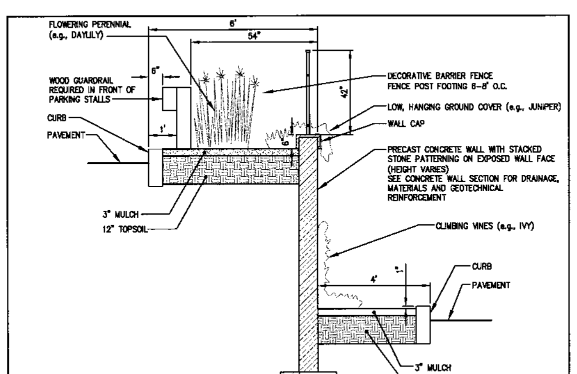
RADIUS FOR STONES WITH SQUARE JOINTS	MAXIMUM LENGTH
< 2.0 FT.	USE CURVED CURB
2 FT. – 15 FT.	USE RADIAL JOINTS
16 FT. – 28 FT.	1.6 FT.
29 FT. – 41 FT.	1.9 FT.
42 FT. – 68 FT.	2.9 FT.
56 FT. – 68 FT.	3.9 FT.
69 FT. – 82 FT.	4.9 FT.
83 FT. – 96 FT.	5.9 FT.
97 FT. – 110 FT.	6.8 FT.
OVER 110 FT.	7.8 FT.

(FUTURE)
SLOPED GRANITE CURB DETAIL
G
N.T.S.

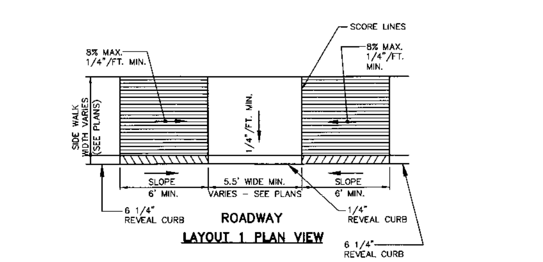
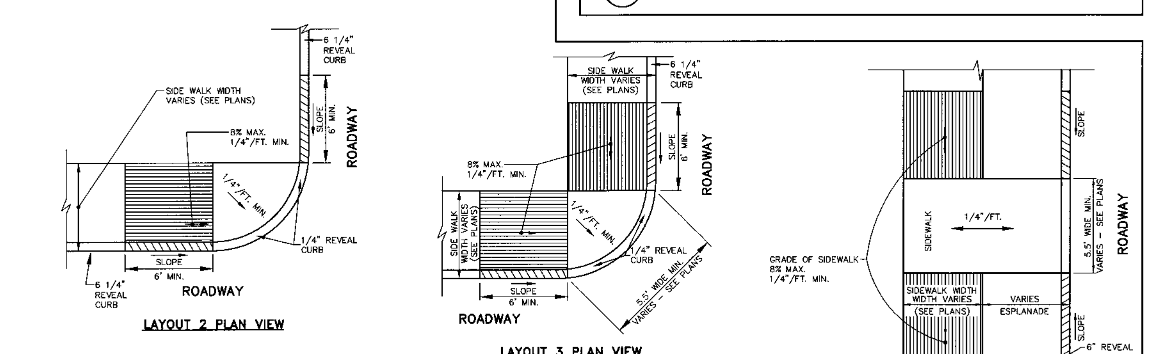


NOTE: ALL TRAFFIC MARKINGS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS PER BELOW

TYPICAL PAVEMENT MARKINGS **(FUTURE)**
H
N.T.S.

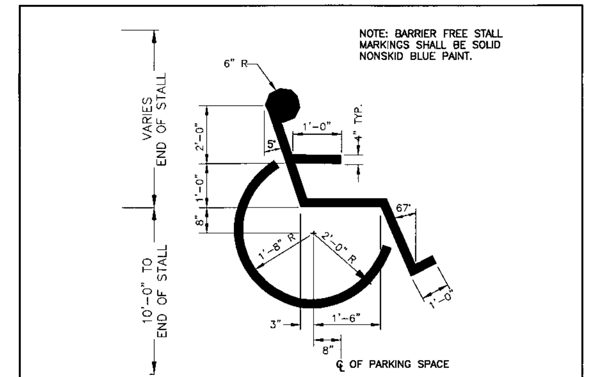


(FUTURE)
TYPICAL WALL SECTION BETWEEN UPPER AND LOWER PARKING
I
N.T.S.

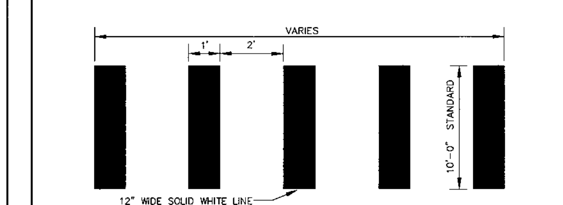



NOTE:
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA).
2. ALL RAMPS SHALL HAVE DETECTABLE WARNINGS THE FULL DEPTH AND WIDTH OF THE RAMP PER SECTION 4.29 OF THE ADA. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES A DIAMETER OF 0.90 INCHES, A HEIGHT OF NOMINAL 0.20 INCHES AND A SPACING OF 2.35 INCHES CENTER TO CENTER. THESE SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.

BARRIER FREE RAMP DETAILS **(FUTURE)**
J
N.T.S.

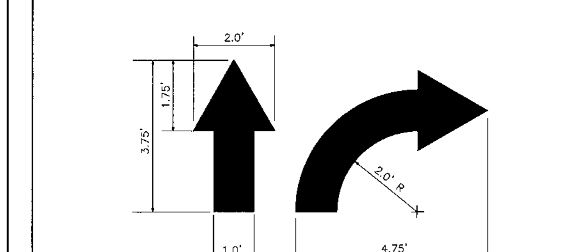


INTERNATIONAL BARRIER FREE SYMBOL **(FUTURE)**
K
N.T.S.



CROSSWALK STRIPING DETAIL **(FUTURE)**
L
N.T.S.

NOTE: ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT AS PER DIMENSIONS BELOW



TRAFFIC FLOW ARROW DETAIL **(FUTURE)**
M
N.T.S.

REV	DATE	DESCRIPTION
5	04.24.06	PHASE I – RELEASED FOR BID
4	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
3	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
2	01.03.06	SKETCH PLAN SUBMISSION TO CITY
1	12.22.05	ISSUED TO CLIENT FOR REVIEW

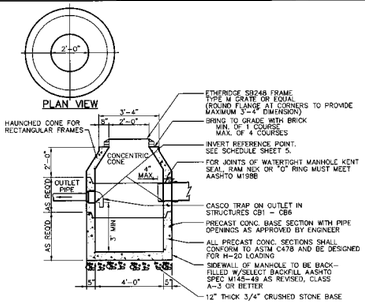
REVISIONS

STATE OF MAINE — DWIGHT D. ANDERSON — No. 9275 — REGISTERED PROFESSIONAL ENGINEER
P.E. DWIGHT D. ANDERSON
LIC. #9275

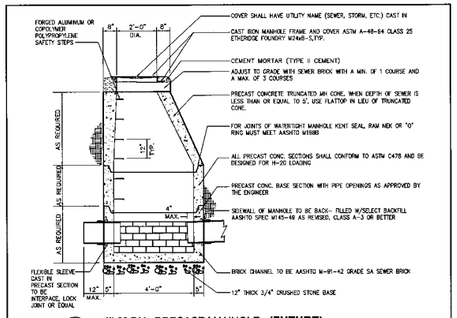
PROJECT: MARTIN'S POINT REDEVELOPMENT PROJECT
SHEET TITLE: SITE DETAILS
CLIENT: MARTINS POINT HEALTH CARE

DH DeLUCA–HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
WWW.DELUCA-HOFFMAN.COM

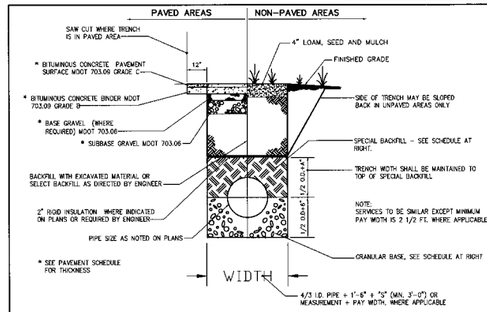
DRAWN:	LECJ	DATE:	NOV 2005
DESIGNED:	DDA	SCALE:	AS SHOWN
CHECKED:	DDA	JOB NO.	2344.01
FILE NAME:	234401-DET		
SHEET	C-9		



A — 4'-0" DIA. PRECAST CATCH BASIN **(FUTURE)**
N.T.S.



B — 4'-0" DIA. PRECAST MANHOLE **(FUTURE)**
N.T.S.

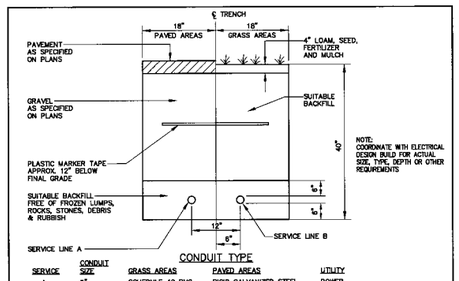


NOTE:
BRACING AND SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

SCHEDULE OF BASE BACKFILL

TYPE OF PIPE	BEDDING MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER
CMP	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER

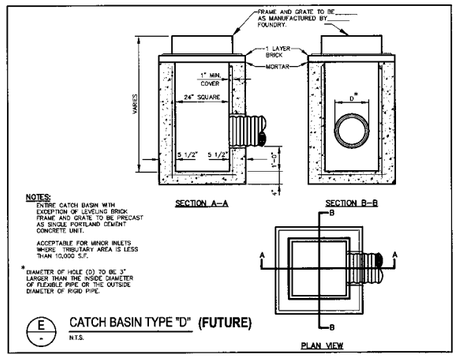
C — TYPICAL SEWER AND STORM DRAIN TRENCH SECTION **(FUTURE)**
N.T.S.



CONDUIT TYPE

SERVICE	CONDUIT SIZE	GRASS AREAS	PAVED AREAS	UTILITY
A	5"	SCHEDULE 40 PVC ELECTRICAL GRADE	RIGID GALVANIZED STEEL, ASTM A120	POWER
B	4"	SCHEDULE 40 PVC	RIGID GALVANIZED STEEL, ASTM A120	TELEPHONE

D — UTILITY TRENCH DETAIL
N.T.S.

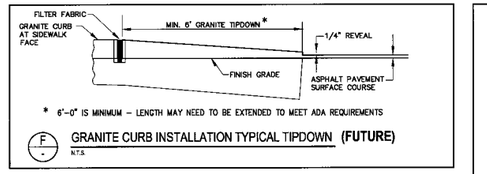


NOTES:
ENTIRE CATCH BASIN WITH EXCEPTION OF LEVELING BRICK FRAME AND GRATE TO BE PRECAST AS SINGLE PORTLAND CEMENT CONCRETE UNIT.

ACCEPTABLE FOR MINOR INLETS WHERE TRIBUTARY AREA IS LESS THAN 10,000 S.F.

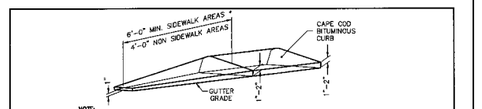
* DIAMETER OF HOLE (D) TO BE 3" LARGER THAN THE OUTSIDE DIAMETER OF FLEXIBLE PIPE OR THE OUTSIDE DIAMETER OF RIGID PIPE.

E — CATCH BASIN TYPE "D" **(FUTURE)**
N.T.S.



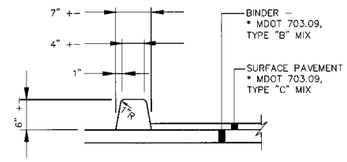
* 6'-0" IS MINIMUM – LENGTH MAY NEED TO BE EXTENDED TO MEET ADA REQUIREMENTS

F — GRANITE CURB INSTALLATION TYPICAL TIPDOWN **(FUTURE)**
N.T.S.



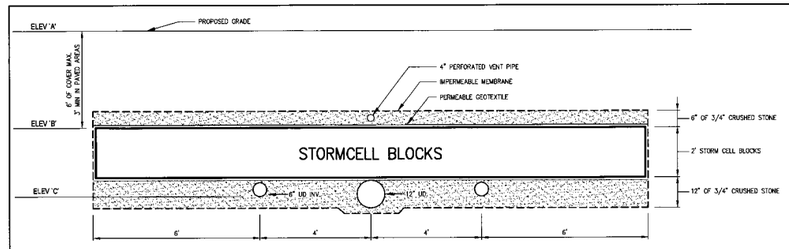
NOTE:
BITUMINOUS MIXTURE SHALL CONFORM TO MDOT SPECIFICATIONS, SECTION 600, CURBING.
* WHERE SIDEWALK IS BEHIND CURB, THE LENGTH OF THE TERMINUS CURB SHALL BE LENGTHED TO MEET ADA CRITERIA.

G — CAPE COD BITUMINOUS CURB TERMINOUS DETAIL **(FUTURE)**
N.T.S.



USE MOLD 1 WHEN ADJACENT TO SIDEWALK

H — TYPE 3A-1 BITUMINOUS CURB DETAIL - MDOT MOLD 1 **(FUTURE)**
N.T.S.



TYPICAL STORMCELL SECTION

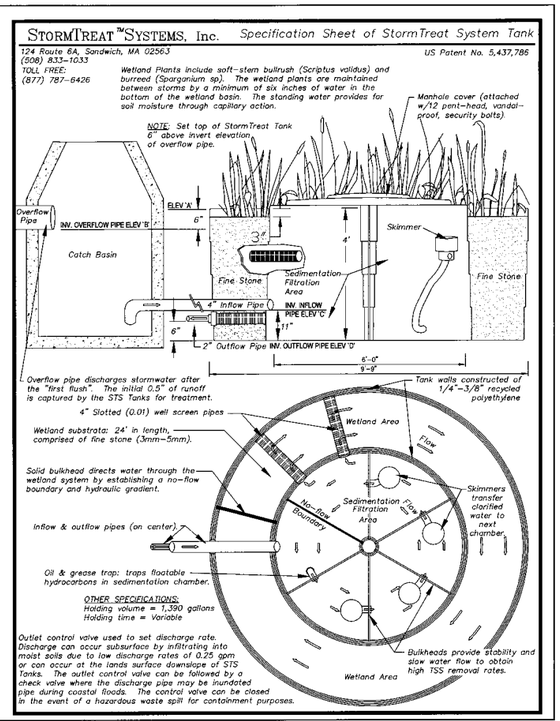
NOTES:
1. STORMCELL STORAGE SYSTEM TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND TO MEET H-20 LOADING IN PAVED AREAS
2. INSTALL 6" I.D. WITH PERFORATIONS FACING DOWN
3. SEE SCHEDULE BELOW FOR ELEVATIONS FOR STORMCELL SYSTEMS 1 THROUGH 4
4. INSTALL 12" I.D. WITH PERFORATIONS FACING UP

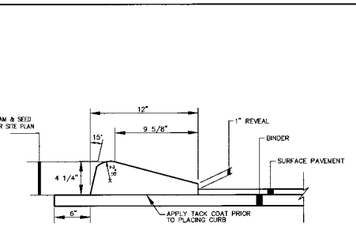
WATER QUALITY TREATMENT SYSTEM SCHEDULE

	STORMCELL ELEV 'A' (LOW)	STORMCELL ELEV 'A' (HIGH)	STORMCELL ELEV 'B'	STORMCELL ELEV 'C'	STORMCELL AREA (WxLxD)	STORMTREAT ELEV 'A'	STORMTREAT ELEV 'B'	STORMTREAT ELEV 'C'	STORMTREAT ELEV 'D'	QUANTITY
SYSTEM #1	35.00	38.50	32.00	29.42	20'x 40'x 2'	32.50	32.00	29.42	29.00	4
SYSTEM #2	62.00	64.50	58.50	55.92	20'x 25'x 2'	59.00	58.50	55.92	55.50	3
SYSTEM #3	27.50	31.00	25.90	23.32	20'x 50'x 2'	28.40	25.90	23.32	22.90	5
SYSTEM #4	33.50	35.25	29.25	26.67	20'x 50'x 2'	29.75	29.25	26.67	26.25	6
									TOTAL TB	

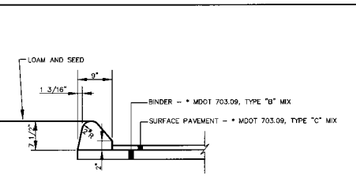
NOTES:
1. A 6" MANIFOLD HEADER PIPE IS TO BE INSTALLED TO CONNECT 4" INFLOW PIPES TO STORMTREATS FROM STORM CELLS.
2. A 4" MANIFOLD HEADER PIPE IS TO BE INSTALLED TO CONNECT 2" OUTFLOW PIPES FROM STORMTREATS.

I — WATER QUALITY SYSTEMS DETAIL **(FUTURE)**
N.T.S.





J — TYPE 3B CAPE COD BITUMINOUS CURB DETAIL **(FUTURE)**
N.T.S.



* REFER TO PAVEMENT DETAILS ON C-21.

NOTE: MOLD 2 IS NOT PERMITTED ADJACENT TO SIDEWALK.

K — TYPE 3A-2 BITUMINOUS CURB DETAIL MOLD 2 **(FUTURE)**
N.T.S.

REV.	DATE	DESCRIPTION
5	04.24.06	PHASE I – RELEASED FOR BID
4	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
3	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
2	01.03.06	SKETCH PLAN SUBMISSION TO CITY
1	12.22.05	ISSUED TO CLIENT FOR REVIEW

REVISIONS

STATE OF MAINE — DWIGHT D. ANDERSON No. 9275 — REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

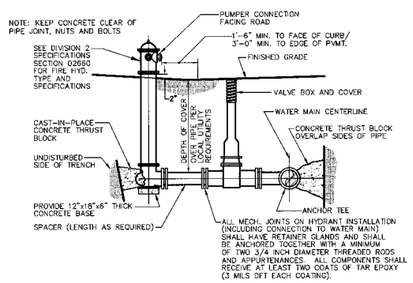
SHEET TITLE
UTILITY DETAILS

CLIENT
MARTINS POINT HEALTH CARE

DeLUCA–HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCA-HOFFMAN.COM

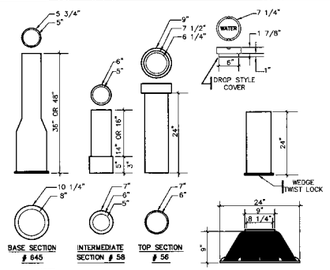
DRAWN:	LEC/
DESIGNED:	DDA
CHECKED:	DDA
FILE NAME:	23440I-DET
DATE:	NOV. 2005
SCALE:	AS SHOWN
JOB NO.	2344.01
SHEET	C-10

G:\2344-01\DWG\PERMIT SET\23440I-DET.dwg, SHEET TO UTIL, 4/26/2006 5:14:59 PM, DDavis



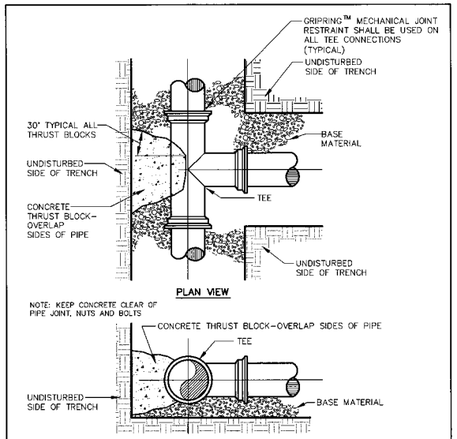
SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

A/00 FIRE HYDRANT INSTALLATION DETAIL
N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

B/00 TYPICAL VALVE BOXES
N.T.S.



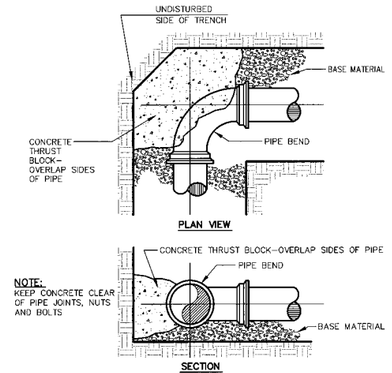
C/00 PLACEMENT ON TEES - TYPICAL THRUST BLOCK
N.T.S.

1. INSTALL POLY BARRIER BETWEEN PIPE AND ALL THRUST BLOCKS.
2. ANY MODIFICATION TO THRUST BLOCK SIZING OR PIPE RESTRAINT REVISIONS SHALL BE APPROVED IN WRITING BY THE ENGINEER PRIOR TO IMPLEMENTATION IN THE FIELD.
3. ANY WORK RELATING TO WATER PIPING OR DETAILS SHALL BE IN ACCORDANCE WITH THE BRIDGTON WATER DISTRICT SPECIFICATIONS.

BEARING SURFACE REQUIRED IN SQUARE FEET

PIPE SIZE	1/32 BEND	1/16 BEND	1/8 BEND	1/4 BEND	TEES/CAPS
6"/8"	5.0	5.0	5.0	6.5	5.0
12"	11.5	11.5	11.5	20.0	22.0

D/00 THRUST BLOCK NOTES
N.T.S.

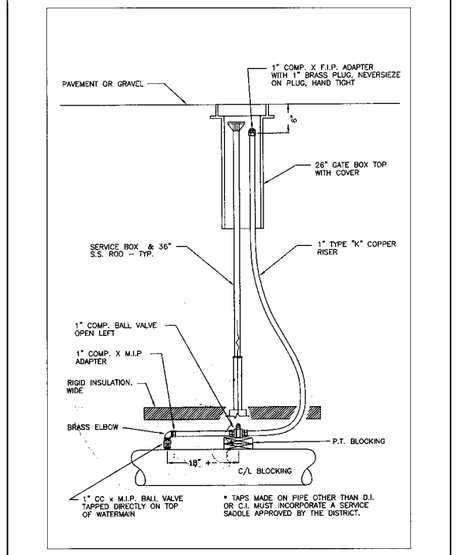


THRUST/RETAINER GLAND SCHEDULE		
1/4 BEND	(90°)	USE POURED-IN-PLACE THRUST BLOCK WITH GRIPRING™ MECHANICAL JOINT RESTRAINT
1/8 BEND	(45°)	THRUST BLOCK w/RETAINERS
1/16 BEND	(22 1/2°)	THRUST BLOCK
1/32 BEND	(11 1/4°)	THRUST BLOCK

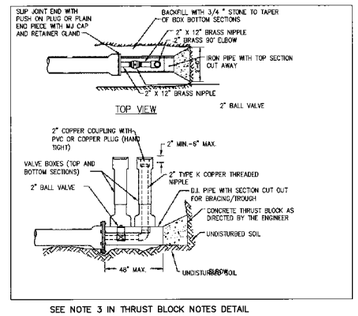
THE ABOVE SCHEDULE IS SUBJECT TO THE APPROVAL OF THE ON-SITE INSPECTOR DUE TO SOILS AND WORKING PRESSURES IN THE AREA.

SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

E/00 PLACEMENT ON BENDS - TYPICAL THRUST BLOCK
N.T.S.

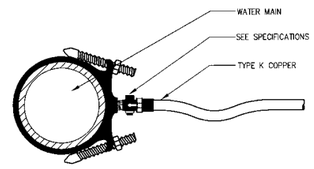


F/00 AIR RELEASE DETAIL
N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

G/00 WATER MAIN BLOWOFF DETAIL
N.T.S.

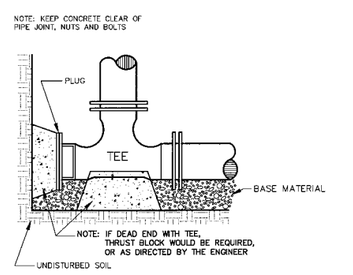


NOTE:

SERVICE CONNECTIONS (DIRECT TAPS AND SERVICE CLAMPS) WILL BE INSTALLED SO THAT THE OUTLET IS AT AN ANGLE OF NOT MORE THAN 45° ABOVE THE HORIZONTAL, ALWAYS PUT A BEND OR "GOOSENECK" IN THE SERVICE LINE PRIOR TO CONNECTING TO PROVIDE FLEXIBILITY AND "GIVE" TO COUNTERACT THE EFFECTS OF A LOAD DUE TO SETTLEMENT OR EXPANSION AND/OR CONTRACTION.

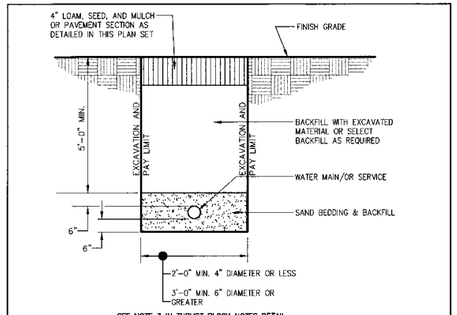
SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

H/00 WATER SERVICE DETAIL
N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

I/00 STANDARD TEE BLOCKING
N.T.S.



SEE NOTE 3 IN THRUST BLOCK NOTES DETAIL

J/00 WATER SERVICE TRENCH SECTION
N.T.S.

REV	DATE	DESCRIPTION
6	04.24.06	PHASE 1 - RELEASED FOR BID
5	04.14.06	100% REVIEW SET - PHASE 1
4	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
3	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
2	01.03.05	SKETCH PLAN SUBMISSION TO CITY
1	12.22.05	ISSUED TO CLIENT FOR REVIEW

REVISIONS

STATE OF MAINE DWIGHT D. ANDERSON No. 9275 REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

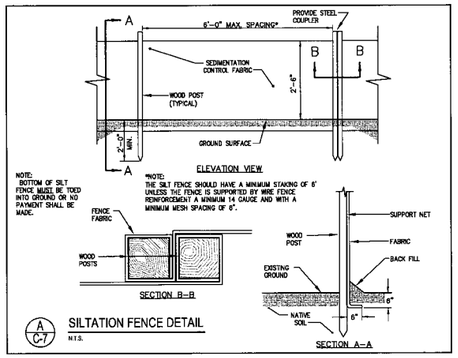
SHEET TITLE
WATER DETAILS

CLIENT
MARTINS POINT HEALTH CARE

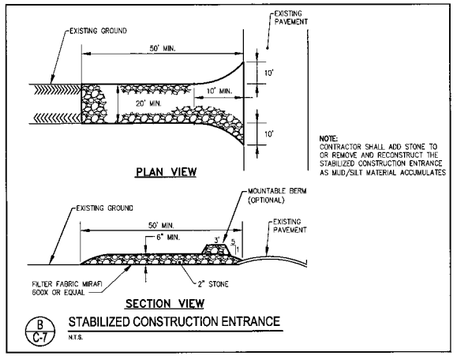
DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LEQ	DATE:	NOV. 2005
DESIGNED:	EDA	SCALE:	AS SHOWN
CHECKED:	EDA	JOB NO.	2344.01
FILE NAME:	2344D1-DET		

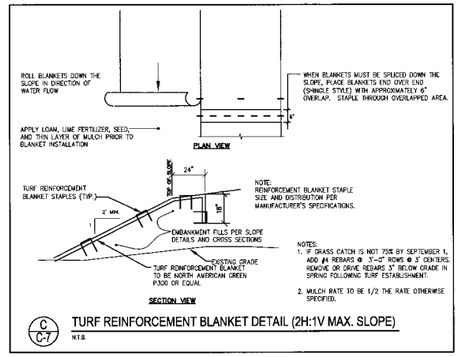
SHEET C-11



A C-7 SILTATION FENCE DETAIL
N.T.S.

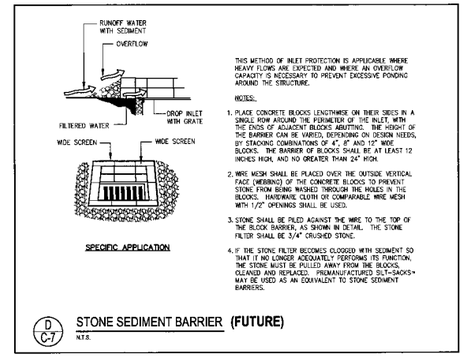


B C-7 STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



NOTES:
1. IF GRASS CATCH IS NOT 75% BY SEPTEMBER 1, ADD #4 REBARS @ 3'–0" ROWS @ 3' CENTERS. REMOVE OR DRIVE REBARS 3" BELOW GRADE IN SPRING FOLLOWING TURF ESTABLISHMENT.
2. MULCH RATE TO BE 1/2 THE RATE OTHERWISE SPECIFIED.

C C-7 TURF REINFORCEMENT BLANKET DETAIL (2H:1V MAX. SLOPE)
N.T.S.

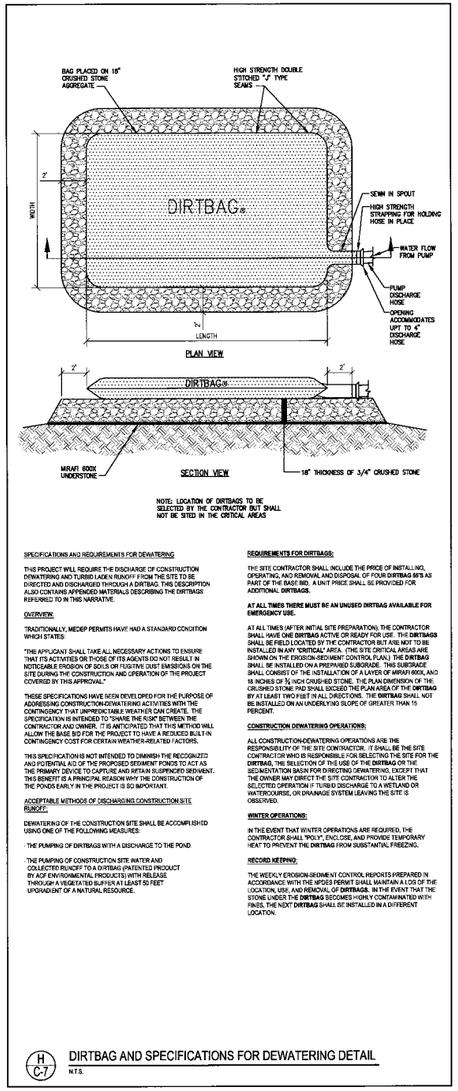


THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE HEAVY FLOWS ARE EXPECTED AND WHERE AN OVERFLOW CAPACITY IS NECESSARY TO PREVENT EXCESSIVE PONDING AROUND THE STRUCTURE.

NOTES:

1. PLACE CONCRETE BLOCKS LENGTHWISE ON THEIR SIDES IN A SINGLE ROW AROUND THE PERIMETER OF THE INLET, WITH THE ENDS OF ADJACENT BLOCKS ABUTTING. THE HEIGHT OF THE BARRIER CAN BE VARIED, DEPENDING ON DESIGN NEEDS, BY STACKING COMBINATIONS OF 4", 8" AND 12" WIDE BLOCKS. THE BARRIER OF BLOCKS SHALL BE AT LEAST 12 INCHES HIGH, AND NO GREATER THAN 24" HIGH.
2. WIRE MESH SHALL BE PLACED OVER THE OUTSIDE VERTICAL FACE (WEEPING) OF THE CONCRETE BLOCKS TO PREVENT STONE FROM BEING WASHED THROUGH THE VOIDS IN THE BLOCKS. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2" OPENINGS SHALL BE USED.
3. STONE SHALL BE PILED AGAINST THE WIRE TO THE TOP OF THE BLOCK BARRIER, AS SHOWN IN DETAIL. THE STONE FILTER SHALL BE 3/4" CRUSHED STONE.
4. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONE MUST BE PULLED AWAY FROM THE BLOCKS, CLEANED AND REPLACED. PROMANUFACTURED SILT-SACKS* MAY BE USED AS AN EQUIVALENT TO STONE SEDIMENT BARRIERS.

D C-7 STONE SEDIMENT BARRIER **(FUTURE)**
N.T.S.



NOTE: LOCATION OF DIRTBAGS TO BE SELECTED BY THE CONTRACTOR BUT SHALL NOT BE SITED IN THE CRITICAL AREAS

SPECIFICATIONS AND REQUIREMENTS FOR DEWATERING

THIS PROJECT WILL REQUIRE THE DISCHARGE OF CONSTRUCTION DEWATERING AND TURBID LADEN RUNOFF FROM THE SITE TO BE DIRECTED AND DISCHARGED THROUGH A DIRTBAG. THIS DESCRIPTION ALSO CONTAINS APPENDED MATERIALS DESCRIBING THE DIRTBAGS REFERRED TO IN THIS NARRATIVE.

OVERVIEW:

TRADITIONALLY, MEDEP PERMITS HAVE HAD A STANDARD CONDITION WHICH STATES:

"THE APPLICANT SHALL TAKE ALL NECESSARY ACTIONS TO ENSURE THAT ITS ACTIVITIES OR THOSE OF ITS AGENTS DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS ON THE SITE DURING THE CONSTRUCTION AND OPERATION OF THE PROJECT COVERED BY THIS APPROVAL."

THESE SPECIFICATIONS HAVE BEEN DEVELOPED FOR THE PURPOSE OF ADDRESSING CONSTRUCTION-DEWATERING ACTIVITIES WITH THE CONTINGENCY THAT (UNPREDICTABLE WEATHER) CAN CREATE. THE SPECIFICATION IS INTENDED TO "SHARE THE RISK" BETWEEN THE CONTRACTOR AND OWNER. IT IS ANTICIPATED THAT THIS METHOD WILL ALLOW THE BASE BID FOR THE PROJECT TO HAVE A REDUCED BUILT-IN CONTINGENCY COST FOR CERTAIN WEATHER-RELATED FACTORS.

THIS SPECIFICATION IS NOT INTENDED TO DIMINISH THE RECOGNIZED AND POTENTIAL ACE OF THE PROPOSED SEDIMENT PONDS TO ACT AS THE PRIMARY DEVICE TO CAPTURE AND RETAIN SUSPENDED SEDIMENT. THIS BENEFIT IS A PRINCIPAL REASON WHY THE CONSTRUCTION OF THE PONDS EARLY IN THE PROJECT IS SO IMPORTANT.

ACCEPTABLE METHODS OF DISCHARGING CONSTRUCTION SITE RUNOFF:

DEWATERING OF THE CONSTRUCTION SITE SHALL BE ACCOMPLISHED USING ONE OF THE FOLLOWING MEASURES:

- THE PUMPING OF DIRTBAGS WITH A DISCHARGE TO THE POND.

- THE PUMPING OF CONSTRUCTION SITE WATER AND COLLECTED RUNOFF TO A DIRTBAG (PATENTED) PRODUCT BY ACF ENVIRONMENTAL PRODUCTS) WITH RELEASE THROUGH A VEGETATED BUFFER AT LEAST 50 FEET UPGRADIENT OF A NATURAL RESOURCE.

REQUIREMENTS FOR DIRTBAGS:

THE SITE CONTRACTOR SHALL INCLUDE THE PRICE OF INSTALLING, OPERATING, AND REMOVAL AND DISPOSAL OF FOUR **DIRTBAG** SITS AS PART OF THE BASE BID. A UNIT PRICE SHALL BE PROVIDED FOR ADDITIONAL **DIRTBAGS.**

AT ALL TIMES THERE MUST BE AN UNUSED DIRTBAG AVAILABLE FOR EMERGENCY USE.

AT ALL TIMES (AFTER INITIAL SITE PREPARATION), THE CONTRACTOR SHALL HAVE ONE **DIRTBAG** ACTIVE OR READY FOR USE. THE **DIRTBAGS** SHALL BE FIELD LOCATED BY THE CONTRACTOR BUT ARE NOT TO BE INSTALLED IN ANY "CRITICAL" AREA. (THE SITE CRITICAL AREAS ARE SHOWN ON THE EROSION-SEDIMENT CONTROL PLAN.) THE **DIRTBAG** SHALL BE INSTALLED ON A PREPARED SUBGRADE. THIS SUBGRADE SHALL CONSIST OF THE INSTALLATION OF A LAYER OF MIRAFI 600X, AND 18 INCHES OF ¾ INCH CRUSHED STONE. THE PLAN DIMENSION OF THE CRUSHED STONE PAD SHALL EXCEED THE PLAN AREA OF THE **DIRTBAG** BY AT LEAST TWO FEET IN ALL DIRECTIONS. THE **DIRTBAG** SHALL NOT BE INSTALLED ON AN UNDERLYING SLOPE OF GREATER THAN 15 PERCENT.

CONSTRUCTION DEWATERING OPERATIONS:

ALL CONSTRUCTION-DEWATERING OPERATIONS ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR. IT SHALL BE THE SITE CONTRACTOR WHO IS RESPONSIBLE FOR SELECTING THE SITE FOR THE **DIRTBAG,** THE SELECTION OF THE USE OF THE **DIRTBAG** OR THE SEDIMENTATION BASIN FOR DIRECTING DEWATERING, EXCEPT THAT THE OWNER MAY DIRECT THE SITE CONTRACTOR TO ALTER THE SELECTED OPERATION IF TURBID DISCHARGE TO A WETLAND OR WATERCOURSE, OR DRAINAGE SYSTEM LEAVING THE SITE IS OBSERVED.

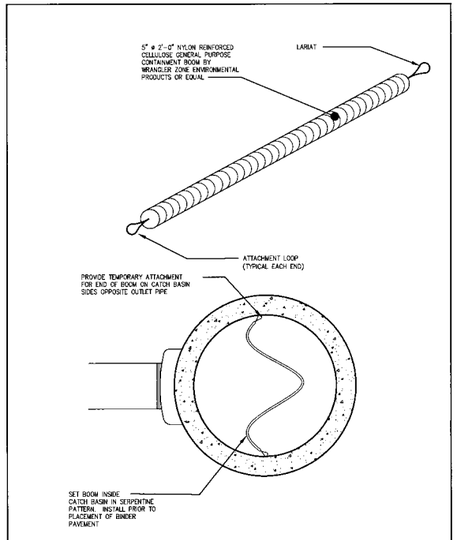
WINTER OPERATIONS:

IN THE EVENT THAT WINTER OPERATIONS ARE REQUIRED, THE CONTRACTOR SHALL "POOL", ENCLOSE AND PROVIDE TEMPORARY HEAT TO PREVENT THE **DIRTBAG** FROM SUBSTANTIAL FREEZING.

RECORD KEEPING:

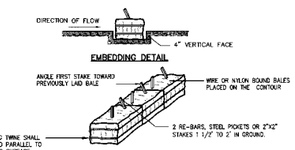
THE WEEKLY EROSION-SEDIMENT CONTROL REPORTS PREPARED IN ACCORDANCE WITH THE MDEP PERMIT SHALL MAINTAIN A LOG OF THE LOCATION, USE, AND REMOVAL OF **DIRTBAGS.** IN THE EVENT THAT THE STONE UNDER THE **DIRTBAG** BECOMES HIGHLY CONTAMINATED WITH FINES, THE NEXT **DIRTBAG** SHALL BE INSTALLED IN A DIFFERENT LOCATION.

H C-7 DIRTBAG AND SPECIFICATIONS FOR DEWATERING DETAIL
N.T.S.



NOTES:
1. REQUIRED FOR ALL CATCH BASINS WHICH RECEIVE RUNOFF FROM PAVED AREAS.
2. REFER TO EROSION CONTROL REPORT FOR ADDITIONAL INFORMATION.
3. CONTRACTOR MAY SELECT OTHER TYPE OF EQUIVALENT OIL ABSORBENT PRODUCTS.
4. SUBMITTALS ARE REQUIRED FOR THESE ITEMS.

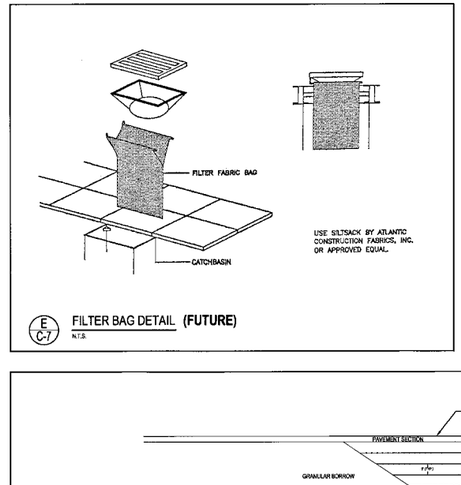
(FUTURE)
G C-7 TEMPORARY WATER QUALITY MEASURE INSIDE OF CATCH BASINS
N.T.S.



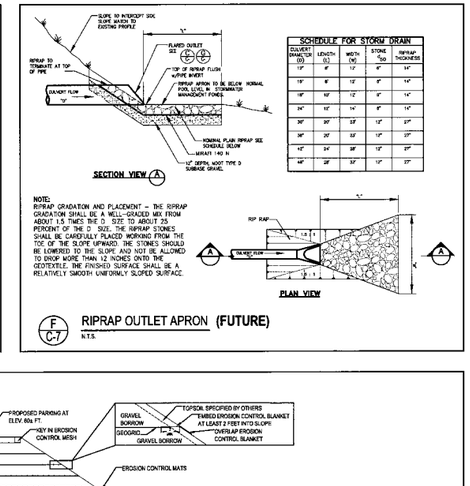
CONSTRUCTION SPECIFICATIONS

1. BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4".
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

I C-7 STRAW OR HAY BALE BARRIER
N.T.S.



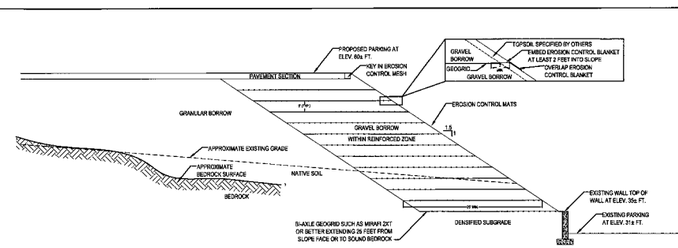
E C-7 FILTER BAG DETAIL **(FUTURE)**
N.T.S.

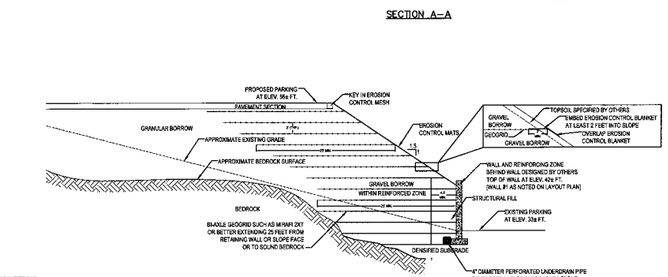


SCHEDULE FOR STORM DRAIN				
CULVERT DIAMETER (D)	LENGTH (L)	WIDTH (W)	STONE D_{50}	RIPRAP THICKNESS
12"	8'	12'	8"	14"
15"	8'	12'	8"	14"
18"	10'	12'	8"	14"
24"	10'	14'	8"	14"
30"	20'	22'	12"	22"
36"	20'	22'	12"	22"
42"	24'	26'	12"	22"
48"	28'	32'	12"	22"

NOTE:
RIPRAP GRADATION AND PLACEMENT – THE RIPRAP GRADATION SHALL BE A WELL-GRADED MIX FROM ABOUT 1.5 TIMES THE D 50 SIZE TO ABOUT 25 PERCENT OF THE D 50 SIZE. THE RIPRAP STONES SHALL BE CAREFULLY PLACED WORKING FROM THE TOE OF THE SLOPE UPWARD. THE STONES SHOULD BE LOWERED TO THE SLOPE AND NOT BE ALLOWED TO DROP MORE THAN 1-2 INCHES ONTO THE GEOTEXTILE. THE FINISHED SURFACE SHALL BE A RELATIVELY SMOOTH UNIFORMLY SLOPED SURFACE.

F C-7 RIPRAP OUTLET APRON **(FUTURE)**
N.T.S.





NOTES BY S.W. COLE ENGINEERING:
1.) CONCEPTUAL DETAIL ONLY - NOT FOR CONSTRUCTION
2.) WE UNDERSTAND THAT ALL SITE RETAINING WALLS AND REINFORCEMENT TO PROVIDE INTERNAL STABILITY WILL BE DESIGNED BY OTHERS.
3.) THE GEOGRIDS SHOWN ON THIS DETAIL ARE TO IMPROVE THE OVERALL FACTOR OF SAFETY OF GLOBAL STABILITY OF THE WALL AND EMBANKMENT. WE RECOMMEND THAT THE WALL DESIGNER PROVIDE S.W. COLE ENGINEERING, INC. WITH THE PROPOSED REINFORCED WALL SECTIONS SUCH THAT THE RECOMMENDED SOIL REINFORCING SHOWN HERE IN CAN BE DESIGNED TO AVOID CONFLICTS AND IMPROVE BUILDABILITY.
4.) MATERIAL GRADATION, COMPACTION, BACKFILL AND WALL SUBGRADE PREPARATION REQUIREMENTS ARE INCLUDED IN OUR GEOTECHNICAL REPORT DATED JANUARY 12, 2006.
5.) EROSION CONTROL MAT, TOPSOIL AND SEEDING DESIGNED BY OTHERS.
6.) ALL GEOGRID INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

J C-7 MECHANICALLY STABILIZED TURF SLOPE DETAIL **(FUTURE)** (1.5H:1V MAX. SLOPE)
N.T.S.

S.W. COLE ENGINEERING, INC.

MARTIN'S POINT HEALTHCARE

CONCEPTUAL EMBANKMENT DETAILS

Proposed Facility Expansion
130 Veranda Street
Portland, Maine

Job No. 05-0927.1 S | Scale 1" = 10'
Date : 03/29/06 | Sheet 1

REV.	DATE	DESCRIPTION
6	04.24.06	PHASE I – RELEASED FOR BID
5	04.14.06	100% REVIEW SET – PHASE I
4	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
3	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
2	01.03.05	SKETCH PLAN SUBMISSION TO CITY
1	12.22.05	ISSUED TO CLIENT FOR REVIEW

REVISIONS

STATE OF MAINE — DWIGHT D. ANDERSON — No. 9225 — REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

SHEET TITLE
EROSION CONTROL DETAILS

CLIENT
MARTINS POINT HEALTH CARE

DeLUCA–HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LEC	DATE:	NOV. 2005
DESIGNED:	DDA	SCALE:	AS SHOWN
CHECKED:	DDA	JOB NO.	2344.01
FILE NAME:	2344-01-DET		
SHEET	C-12		

Erosion and Sedimentation Control

Existing and Proposed Drainage Features
The site has steep topography sloping from Elevation 67 at the Marine Hospital building point to about elevation 30 at the lower parking area to the north. Drainage emanates from the site in all directions.

Limited existing formal drainage currently exists on the site.

The proposed drainage systems are not being designed to reduce peak discharge rates at or below existing levels. Instead, the flow will be conveyed in new storm drains to stable outfall points. The control of the peak runoff rates is discussed in more detail in the Stormwater Management Report provided as part of this application.

Critical Areas
The critical areas of the site are the steep slopes along the edge of the project and where grading will be required within the 75-foot setback from the resource boundary.

Erosion/Sedimentation Control Devices
The Contractor as part of the site development will implement the following erosion and sediment control devices. These devices shall be installed as indicated on the plans or as described within this report. For further reference, see the Maine Erosion and Sediment Control Handbook for Construction: Best Management Practices.

1. Siltation fence shall be installed downslope of any disturbed areas to trap runoff borne sediments until the site is revegetated. The silt fence shall be installed per the detail provided in the plan set and inspected immediately after each rainfall and at least daily during prolonged rainfall. Repairs shall be made immediately by the Contractor if there are any signs of erosion or sedimentation below the fence line. Proper placement of stakes and keying the bottom of the fabric into the ground is critical to the fence's effectiveness. If there are signs of undercutting at the center or the edges, or impounding of large volumes of water behind the fence, the barrier shall be replaced with a stone check dam.

   Silt fence is shown by three types depending upon the timing and intent as follows:

SCHEDULE OF SILT FENCE REQUIREMENTS		
Silt Fence	**Type Purpose**	**Time of Installation**
Type 1	To trap sediment along the grading edge where the new contours nearly parallel existing contours.	At initial site preparation, prior to other work.
Type 2	To trap sediment from the work area; install in short sections parallel to existing contour; typically occurs where proposed and existing contours form a "V" shape.	At initial site preparation, prior to other work or as fills are blended to existing grades along the contour.
Type 3	To trap sediment along the base of proposed contours, typically in cut areas.	During construction after new grade is shaped. Time between work in area and shaping new grade to allow silt fence to be installed shall be minimized.

2. Straw or hay mulch including hydroseeding is intended to provide cover for denuded or seeded areas until revegetation is established. Mulch placed on slopes of less than 10 percent shall be anchored by applying water; mulch placed on slopes steeper than 10 percent shall be covered with a fabric netting and anchored with staples in accordance with the manufacturer's recommendations. Proposed drainage channels, which are to be revegetated, shall receive Curlex blankets by American Excelsior or equal. Mulch application rates are provided in Attachment A of this section. Hay mulch shall be available on site at all times in order to provide immediate temporary stabilization when necessary. Where necessary for concentrated runoff to be conveyed down a slope, a temporary stone channel or pipe sluice shall be used to convey runoff down the slope.

3. Water quality systems will be required to provide water quality enhancement and sedimentation control for stormwater runoff from the parking and drive areas after construction.

4. Riprap slopes, ditch linings, stone check dams, hay bale barriers, and culvert outlet aprons are intended to reduce runoff velocities and protect denuded soil surfaces from concentrated flows. Installation details and stone sizes are provided in the construction plan set on the erosion control detail sheets.

5. A construction entrance will be constructed at all access points onto the site to prevent tracking of soil onto Veranda Street.

6. Stone sediment traps or a premanufactured SiltSack™ will be installed at catch basin inlets to prevent silt from entering the storm drain system. Installation details are provided in the plan set on the erosion control detail sheets.

7. Reinforced turf and mechanically stabilized turf slopes will be used on extremely steep slopes in areas designated on the drawings.

8. Dirtbags™ will be required to be on site and available for construction dewatering. The Contractor will be required to provide four Dirtbags ™ with one prepared for operation prior to commencing any trenching operations.

9. Loam and seed is intended to serve as the primary permanent revegetative measure for all denuded areas not provided with other erosion control measures, such as riprap. Specific areas as shown on the landscape plan will receive sod. Application rates are provided in Attachment A of this section for temporary and permanent seeding.

10. Sorbent oil bags will be required in catch basins which receive runoff from paved areas. The sorbent bags shall be places in the basin immediately prior to paving and remain in place for 60 days after paving operations are complete. After this time, the sorbent bags shall be removed and disposed of at an appropriate facility. The Contractor shall notify the Owner of the disposition location for the sorbent bags.

11. Water will be the principal means to control fugitive dust.

Temporary Erosion/Sedimentation Control Measures
The following are planned as temporary erosion/sedimentation control measures during construction:

1. A crushed stone-stabilized construction entrance shall be placed at any construction access points from Veranda Street.

2. Type 1 and 2 siltation fence shall be installed along the downgradient side of the proposed improvement areas prior to work in these areas. Type 2 and 3 siltation fence shall be installed as work progresses. The siltation fence will remain in place and properly maintained until the site is acceptably revegetated.

3. Dirtbags™ shall be installed in accordance with the details in the plan set. The Dirtbags' ™ function on the project is to receive any water pumped from excavations during construction. A Dirtbag™ shall be installed any prepared for operation prior to any trenching on site. When Dirtbags™ are observed to be at 50% capacity, they shall be cleaned or replaced. Stone under the Dirtbag ™ shall be removed and replaced concurrently.

4. Temporary stockpiles of stumps, grubbings, or common excavation will be protected as follows:

   a. Temporary stockpiles shall not be located within 100 feet of the resource limits and at least 50 feet upgradient of the perimeter silt fence.

   b. Inactive stockpiles shall be stabilized within 5 days by either temporarily seeding the stockpile with a hydroseed method containing an emulsified mulch tackifier or by covering the stockpile with mulch. If necessary, mesh shall be installed to prevent wind from removing the mulch.

5. All denuded areas, which have been rough graded, shall receive mulch or erosion control mesh fabric within 14 days of initial disturbance of soil.

6. All soils disturbed between November 1 and April 1 will be covered with mulch within 5 days of disturbance, prior to any predicted storm event of the equivalent of ½" of equivalent rainfall in a 24-hour period, or prior to any work shutdown lasting more than 35 hours (including weekends and holidays). The mulch rate shall be double the normal rate.

7. For work which is conducted between November 1 and April 15 of any calendar year, all denuded areas will be covered with hay mulch, applied at twice the normal application rate and (in areas over 10% grade) anchored with a fabric netting. The time period for applying mulch shall be limited to 5 days for all areas or immediately in advance of a predicted rainfall event.

8. Offsite roadways shall be swept to control mud and dust as necessary. A street sweeper shall be available from the Contractor on immediate notice or request from the Owner, City or regulatory agency. A water truck shall be used to control dust both on the site and along points of ingress and egress.

9. During grubbing operations stone check dams or hay bale barriers shall be installed at any evident concentrated flow discharge points.

10. Silt fencing with a maximum stake spacing of 6 feet should be used, unless the fence is supported by wire fence reinforcement of minimum 14 gauge and with a maximum mesh spacing of 6 inches, in which case stakes may be spaced a maximum of 10 feet apart. The bottom of the fence should be properly anchored a minimum of 6" per the plan detail and backfilled. Any silt fence identified by the owner or reviewing agencies, as not being properly installed during construction shall be immediately repaired in accordance with the installation details.

11. Storm drain catch basin inlet protection shall be provided through the use of stone sediment barriers or a premanufactured SiltSack™ as distributed by A. H. Harris Company, Portland, Maine. Stone sediment barrier installation details are provided in the plan set. The barriers or SiltSacks™ shall be inspected after each rainfall and repairs made as necessary, including the removal of sediment. Sediment shall be removed and the barrier or SiltSack ™ restored to its original dimensions when the sediment has accumulated to ½ the design depth of the barrier. Sediment shall be removed from SiltSacksTM as necessary. Inlet protection shall be removed when the tributary drainage area has been stabilized.

12. All slopes over 4:1 shall receive erosion control mesh.

13. Slopes steeper than 3:1 shall receive reinforced turf unless rip rap or other nonvegetative stabilization measures are required by the contract.

14. Type 2 and 3 silt fence shall be installed as construction progresses.

15. Areas of visible erosion shall be stabilized with crushed stone. The Owner's representative in consultation with the engineer shall determine the size of the stone.

16. Catch basins shall all be installed with an opening 2'-6" below finish grade to receive a 4" underdrain with an end cap. A 3'-0" stub of underdrain surrounded by 6" of ¾" crushed stone and filter fabric shall be installed.

17. All catch basins which receive parking lot runoff shall have a sorbent bag installed as described in section 14.5 of this narrative.

Standards for Stabilizing Sites for the Winter

1. Standard for the timely stabilization of ditches and channels : The contractor shall construct and stabilize all stone-lined ditches and channels on the site by November 15. The contractor shall construct and stabilize all grass-lined ditches and channels on the site by September 15. If the contractor fails to stabilize a ditch or channel to be grass-lined by September 15, then the contractor shall take one of the following actions to stabilize the ditch for late fall and winter.

   i. Install a sod lining in the ditch. The contractor shall line the ditch with properly installed sod by October 1. Proper installation includes the applicant pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, watering the sod to promote root growth into the disturbed soil, and anchoring the sod with jute or plastic mesh to prevent the sod strips from sloughing during flow conditions.

   ii. Install a stone lining in the ditch. The contractor shall line the ditch with stone riprap by November 15. The contractor shall hire a registered professional engineer to determine the stone size and lining thickness needed to withstand the anticipated flow velocities and flow depths within the ditch. If necessary, the contractor shall regrade the ditch prior to placing the stone lining so as to prevent the stone lining from reducing the ditch's cross-sectional area.

2. Standard for the timely stabilization of disturbed slopes : The contractor shall construct and stabilize stone-covered slopes by November 15. The contractor shall seed and mulch all slopes to be vegetated by September 15. The department will consider any area having a grade greater than 15% (10H: 1V) to be a slope. If the contractor fails to stabilize any slope to be vegetated by September 15, then the contractor shall take one of the following actions to stabilize the slope for late fall and winter.

   i. Stabilize the soil with temporary vegetation and erosion control mesh. By October 1 the contractor shall seed the disturbed slope with winter rye at a seeding rate of 3 pounds per 1000 square feet and apply erosion control mats over the mulched slope. The contractor shall monitor growth of the rye over the next 45 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed slope by November 15, then the contractor shall cover the slope with a layer of woodwaste compost as described in item iii of this standard or with stone rip rap as described in item iv of this standard.

   ii. Stabilize the slope with sod. The contractor shall stabilize the disturbed slope with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the slope with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil. The contractor shall not use late-season sod installation to stabilize slopes having a grade greater than 33% (3H: 1V) or having groundwater seeps on the slope face.

   iii. Stabilize the slope with woodwaste compost. The contractor shall place a six-inch layer of woodwaste compost on the slope by November 15. Prior to placing the woodwaste compost, the contractor shall remove any snow accumulation on the disturbed slope. The contractor shall not use woodwaste compost to stabilize slopes having grades greater than 50% (2H: 1V) or having groundwater seeps on the slope face.

   iv. Stabilize the slope with stone rip rap. The contractor shall place a layer of stone riprap on the slope by November 15. The contractor shall hire a registered professional engineer to determine the stone size needed for stability and to design a filter layer for underneath the riprap.

3. Standard for the timely stabilization of disturbed soil : By September 15, the contractor shall seed and mulch all disturbed soils on areas having a slope less than 15%. If the contractor fails to stabilize these soils by this date, then the contractor shall take one of the following actions to stabilize the soil for late fall and winter.

   i. Stabilize the soil with temporary vegetation. By October 1, the contractor shall seed the disturbed soil with winter rye at a seeding rate of 3 pounds per 1000 square feet, lightly mulch the seeded soil with hay or straw at 75 pounds per 1000 square feet, and anchor the mulch with plastic netting. The contractor shall monitor the growth of the rye over the 45 days. If the rye fails to grow at least three inches or fails to cover at least 75% of the disturbed soil before November 15, then the contractor shall mulch the area for over-winter protection as described in item iii of this standard.

   ii. Stabilize the soil with sod. The contractor shall stabilize the disturbed soil with properly installed sod by October 1. Proper installation includes the contractor pinning the sod onto the soil with wire pins, rolling the sod to guarantee contact between the sod and underlying soil, and watering the sod to promote root growth into the disturbed soil.

   iii. Stabilize the soil with mulch. By November 15, the contractor shall mulch the disturbed soil by spreading hay or straw at a rate of at least 150 pounds per 1000 square feet on the area so that no soil is visible through the mulch. Prior to applying the mulch, the contractor shall remove any snow accumulation on the disturbed area. Immediately after applying the mulch, the contractor shall anchor the mulch with plastic netting to prevent wind from moving the mulch off the disturbed soil.

Sedimentation Sumps
The use of shallow sediment sumps on the downgradient side of erodible stockpiles and areas where denuded conditions will be prolonged is encouraged. The sediment sumps may be installed and used in conjunction with the underdrain inlets at catch basins.

Permanent Erosion Control Measures
The following permanent erosion control measures have been designed as part of the Erosion/Sedimentation Control Plan:

1. All storm drain pipes which are not connected to a formal inlet or outlet shall have riprap aprons at their outlet to protect the outlet and receiving channel from scour and deterioration. Installation details are provided in the plan set. The aprons shall be installed and stabilized prior to directing runoff to the tributary pipe or culvert. It is noted that all inlets and outlets over 18" in diameter are to have a flared concrete inlet and an aluminum bar rack. Pipes less than 18 inches in diameter are to have an HDPE flare. Riprap shall not be extended above the area shown on the plans.

2. All areas disturbed during construction, but not subject to other restoration (paving, riprap, etc.) will be loamed, limed, fertilized, mulched, and seeded. Fabric netting, anchored with staples, shall be placed over the mulch in areas where the finish grade slope is greater than 10 percent except in the areas with over 3:1 slopes where reinforced turf is required. Native topsoil shall be stockpiled and temporarily stabilized with seed and mulch and reused for final restoration when it is of sufficient quality. Where necessary, compost shall be added and blended to increase the organic content of the soil.

3. Catch basins shall be provided with sediment sumps for all outlet pipes that are 12" in diameter or greater.

4. Permanent water quality measures will be installed.

Timing and Sequence of Erosion/Sedimentation Control Measures
The following construction sequence shall be required to insure the effectiveness of the erosion and sedimentation control measures are optimized. These measures are separate from the separate requirements to be employed during the building demolition phase of the project.

Note: For all grading activities, the Contractor shall exercise extreme caution not to overexpose the site by limiting the disturbed area.

1. Install crushed stone-stabilized construction entrances from Veranda Street the as shown on the Erosion and Sedimentation Control Drawing.

2. Install Type 1 and appropriate Type 2 siltation.

3. Establish and prepare Dirtbag™ area.

4. Perform demolition activities and major site cuts and fills and blasting.

5. Install water quality systems and the storm drain system.

6. Construct diversion and drainage channels to direct flow to new storm drain and inlets where grades permit.

7. Install stone and hay bale check dams at any concentrated flow discharge points.

8. Prepare the subgrade, parking areas, building, and drive loop.

9. Install storm drain, underground electric, foundations and other utility work. Install inlet and outlet protection immediately after the installation of any inlets. Pump any accumulated water to the Dirtbag™

10. Bring initial site work area to subgrade including binder pavement, stabilization of all slopes, and loam seeding of areas.

11. Construct other site improvements and utilities.

12. Raise catch basins to grade and install inlet protection devices.

13. Install sorbent bags in catch basins which will receive runoff from pavement.

14. Install final pavement as detailed on the site plans.

15. Loam, lime, fertilize, seed and mulch all remaining disturbed and denuded areas.

16. Remove all accumulated sediment from silt barriers.

17. Review stability of the site. If a 75% catch of grass is achieved, remove all other temporary erosion control devices.

Soil will be considered disturbed if it does not have an established stand of vegetation covering at least 75% of the soil surface or has not been mulched with hay applied at a rate of 230 lb./1000 sq. ft.

It is anticipated that site work may be suspended prior to winter. If so, the General Contractor shall schedule a meeting with the City, Owner, and Owner's representatives to review the site for conformance with the plan. This meeting shall be scheduled at least 10 days prior to winter shutdown. The Owner may elect to provide the Contractor with a punch list for measures to be complete before the interim shutdown. The Owner's punch list shall not obviate the Contractor's responsibility for compliance with the erosion control requirements of the project or permits.

Construction of Improvements at Veranda Street may be conducted concurrently or following site work.

Contracting Procedure
A General Contractor under contract to Martin's Point will construct the project. The Contractor shall submit a schedule for the completion of the work which will satisfy the following criteria:

1. The above construction sequence should generally be completed in the specified order; however, several separate items may be constructed simultaneously. Work must also be scheduled or phased to prevent the extent of the exposed areas as specified below. The intent of this sequence is to provide for erosion control and to have structural measures such as silt fence and construction entrances in place before large areas of land are denuded.

2. The work shall be conducted in sections which will:

   a. Limit the amount of exposed area to those areas in which work is expected to be undertaken during the proceeding 30 days.

   b. Revegetate disturbed areas as rapidly as possible. All areas shall be permanently stabilized within 7 days of final grading or before a predicted storm event; or temporarily stabilized within 7 days of initial disturbance of soil for areas identified as critical (refer to paragraph 14.4.A) and 14 days for all other areas.

   c. Incorporate planned inlets and drainage system as early as possible into the construction phase. The ditches shall be immediately lined or revegetated as soon as their installation is complete.

3. Once final grade has been established, the Contractor may choose to dormant seed the disturbed areas prior to placement of mulch and placement of fabric netting anchored with staples.

   a. If dormant seeding is used for the site, all disturbed areas shall receive 4" of loam and seed at an application rate of 5#/1000 s.f.

      All areas seeded during the winter months will be inspected in the spring for adequate catch. All areas insufficiently vegetated (less than 75 percent catch) shall be revegetated by replacing loam, seed and mulch.

   b. If dormant seeding is not used for the site, all disturbed areas shall be revegetated in the spring.

4. The area of denuded non-stabilized construction shall be limited to the minimum area practicable. An area shall be considered to be denuded until the subbase gravel is installed in parking areas or the areas of future loam and seed have been loamed, seeded, and mulched. The mulch rate shall be twice the rate specified in the seeding plan. [For example, 115#/1,000 s.f. x 2 = 230#/1,000s.f.]

5. Within the exposed work area, temporary sedimentation sumps shall be provided at the interface between parking areas and graded slopes (refer to paragraph 14.7). This shall be accomplished by creating an area 18" below adjacent temporary grades. The sedimentation area shall have a bottom width of 3' and 3:1 side slopes. Culverts to allow access shall be installed by the Contractor. Along the sedimentation sumps, barriers shall be provided at sufficient intervals to permit runoff to be accumulated to a minimum depth of 12" before overflowing.

6. The schedule shall be subject to the approval of the Owner.

The Contractor must install any added measures, which may be necessary to control erosion/sedimentation from the site and fugitive dust emissions dependent upon the actual site and weather conditions.

The applicant may be required to retain a third party inspector. The Contractor shall cooperate with the third party inspector and permit access to the site by the inspector at all times.

The Contractor shall note that no area within 50 feet of a slope with a vertical drop of more than 3' in 50 feet shall remain denuded for a period of over 5 days before it is temporarily stabilized. Temporary stabilization shall be the installation of mulching. All other areas shall be stabilized within 14 days. For construction between November 1 and April 15 of any calendar year, all areas shall be temporarily stabilized at the earlier time frames specified above.

Provisions for Maintenance of the Erosion/Sedimentation Control Features
The Owner will contract the project. The project is subject to the requirement of a MeDEP Site Location of Development Permit administered through the City of Portland and a MeDEP Permit for Stormwater Pollution Prevention Plan during Construction. These permits require the Contractor to prepare a list and designate by name, address and telephone number all individuals who will be responsible for implementation, inspection and maintenance of all erosion control measures identified within this section and as contained in the Erosion and Sedimentation Control Plan of the contract drawings. Specific responsibilities of the inspector(s) will include:

1. Execution of the Contractor/Subcontractor Certification contained in Attachment B by any and all parties responsible for erosion control measures on the site as required by the MeDEP.

2. Assuring and certifying the Owner's construction sequence is in conformance with the specified schedule of this section. A weekly certification stating compliance, any deviations, and corrective measures necessary to comply with the erosion control requirements of this section shall be prepared and signed by the inspector(s).

3. In addition to the weekly certifications, the inspector(s) shall maintain written reports recording construction activities on site which include:

   - Dates when major grading activities occur in a particular areas.
   - Dates when major construction activities cease in a particular area, either temporarily or permanently.
   - Dates when an area is stabilized.

4. Inspection of this project work site on a weekly basis and after each significant rainfall event (0.5 inches or more within any consecutive 24 hour period) during construction until permanent erosion control measures have been properly installed and the site has been stabilized. Inspection of the project work site shall include:

   - Identification of proper erosion control measure installation in accordance with the erosion control detail sheet or as specified in this section.
   - Determine whether each erosion control measure is properly operating. If not, identify damage to the control device and determine remedial measures.
   - Identify areas that appear vulnerable to erosion and determine additional erosion control measures that should be used to improve conditions.
   - Inspect areas of recent seeding to determine percent catch of grass. A minimum catch of 75 percent is required prior to removal of erosion control measures.
   - Record date of installation of sorbent bags in catch basins, the dates of paving, the date of removal, and the disposal method and location.

   Accumulated silt/sediment should be removed when the depth of sediment reaches 50 percent of the barrier height. Accumulated silt/sediment should be removed from behind silt fencing when the depth of the sediment reaches 6 inches.

5. If inspection of the site indicates a change should be made to the erosion control plan, either to improve effectiveness or correct a site-specific deficiency, the inspector shall immediately implement the corrective measure and notify the owner of the change.

Once construction has been completed, long term maintenance of the detention pond and catch basins will be the responsibility of the applicant. The catch basin sumps shall be inspected in April and October of each year. Sediment shall be removed when the depth of sediment reaches one half the depth of the sump.

All certifications, inspection forms and written reports prepared by the inspector(s) shall be filed with the Owner, and the MeDEP General Construction Permit File contained on the project site. All written certifications, inspection forms, and written reports must be filed within one (1) week of the inspection date.

Preconstruction Conference
Prior to any construction at the site, representatives of the Contractor, and the site design engineer shall arrange for and meet with the Owner to discuss the scheduling of the site construction. On or before that meeting, the Contractor will prepare a detailed schedule and a marked-up site plan indicating areas and components of the work and key dates showing date of disturbance and completion of the work. Three copies of the schedule and marked-up site plan shall be provided to the Owner.

NOTE: THIS EROSION AND SEDIMENT CONTROL NARRATIVE APPLIES TO THE FULL DEVELOPMENT OF THE SITE BEYOND THE LIMITS OF PHASE I WORK. CONTRACTOR IS REQUIRED TO FOLLOW ALL EROSION AND SEDIMENT CONTROL REQUIREMENTS APPLICABLE TO PHASE I WORK.

REV.	DATE	DESCRIPTION
3	04.24.06	PHASE I – RELEASED FOR BID
2	04.14.06	100% REVIEW SET – PHASE I
1	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY

REVISIONS

STATE OF MAINE · DWIGHT D. ANDERSON · No. 9275 · REGISTERED PROFESSIONAL ENGINEER

P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT
MARTIN'S POINT REDEVELOPMENT PROJECT

SHEET TITLE
EROSION AND SEDIMENT CONTROL NARRATIVE

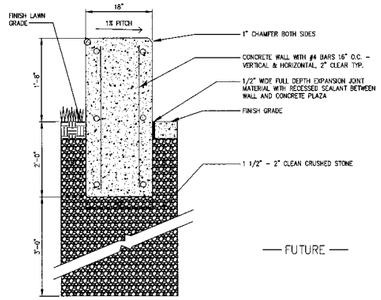
CLIENT
MARTINS POINT HEALTH CARE

DeLUCA–HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

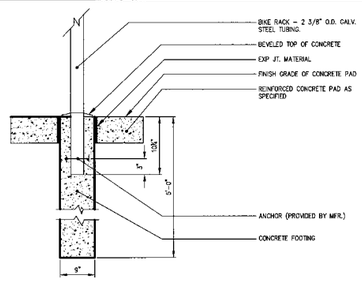
DRAWN:	LECJ
DESIGNED:	DDA
CHECKED:	DDA
FILE NAME:	2344011-DET
DATE:	NOV. 2005
SCALE:	AS SHOWN
JOB NO.	2344.01

SHEET C-13

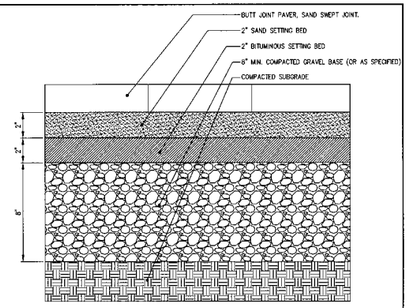
G:\2344\01\DWG\PERMIT SETS\2344011-DET.dwg, SHEET 13 E AND S NARRATIVE, 4/25/2006 12:13:56 PM, jbolan



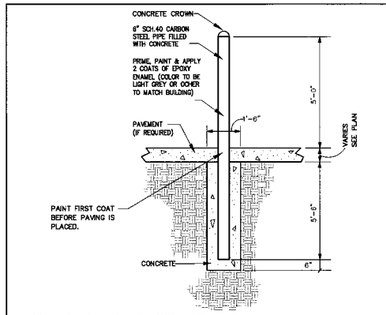
A — SEAT WALL SECTION **(FUTURE)**
N.T.S.



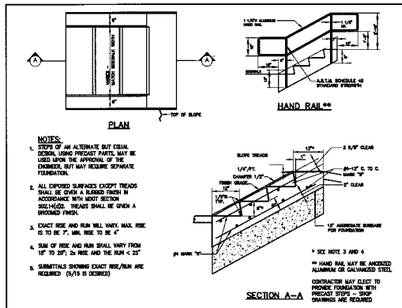
B — BIKE RACK MOUNTING DETAIL **(FUTURE)**
N.T.S.



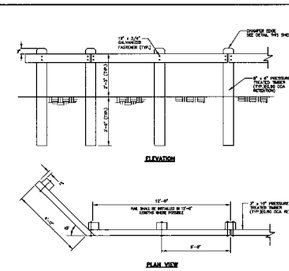
C — TYPICAL PAVER DETAIL **(FUTURE)**
N.T.S.



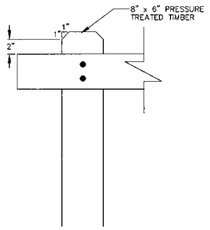
D — SINGLE GUARD POST (BOLLARD) DETAIL
N.T.S.



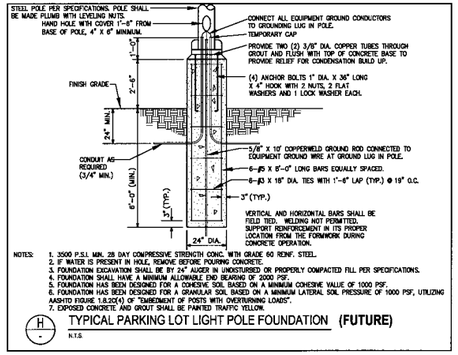
E — CAST-IN-PLACE CONCRETE STEPS DETAIL **(FUTURE)**
N.T.S.



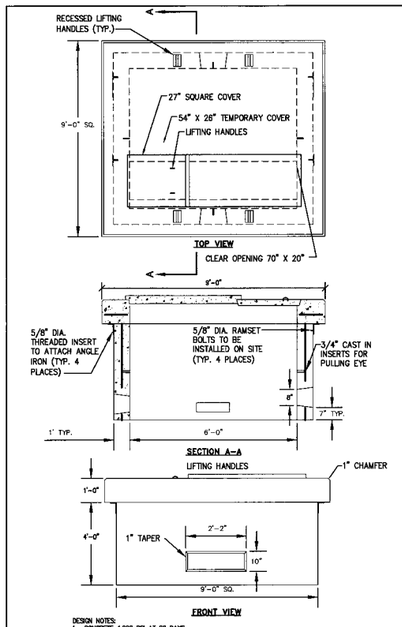
F — TIMBER GUARD RAIL DETAIL **(FUTURE)**
N.T.S.



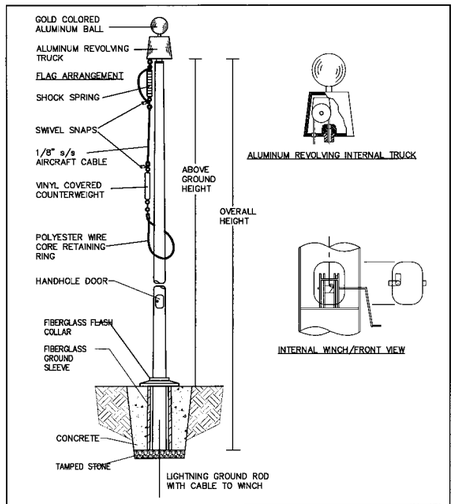
G — TOP TIMBER CHAMFER **(FUTURE)**
N.T.S.



H — TYPICAL PARKING LOT LIGHT POLE FOUNDATION **(FUTURE)**
N.T.S.



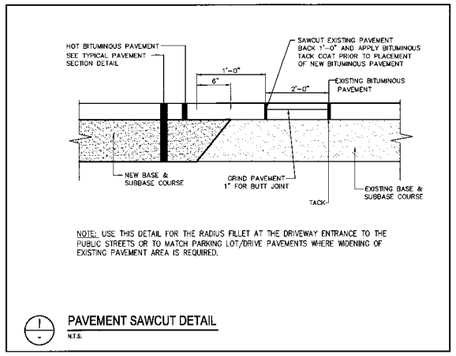
K — 9' x 9' THREE PHASE TRANSFORMER PAD (750-2000 KVA)
N.T.S.



MODEL NUMBER	PLP 50 1
ABOVE GROUND HEIGHT	50"
OVERALL HEIGHT	55"
BUTT DIAMETER	10"
TOP DIAMETER	4.4"
POLE WEIGHT (lbs.)	284
SHIPPING WEIGHT (lbs.)*	587
GROUND SLEEVE I.D.	14"
GROUND SLEEVE LENGTH	5'
BALL DIAMETER	10"
HALYARD	s/s CABLE
FLASH COLLAR	23"
TRUCK	REV. ALUMINUM
SNAPS	S/S SWIVEL
FLAG SIZE	15' x 25'
COLOR	DARK BRONZE

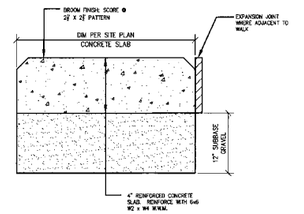
*SHIPPING WEIGHT INCLUDES WEIGHT OF PACKAGING AND FITTINGS.

(FUTURE)
TYPICAL FLAGPOLE DETAIL
N.T.S.

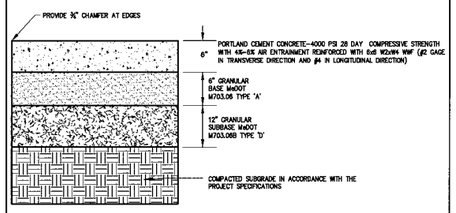


NOTE: USE THIS DETAIL FOR THE RADIUS FILLET AT THE DRIVEWAY ENTRANCE TO THE PUBLIC STREETS OR TO MATCH PARKING LOT/DRIVE PAVEMENTS WHERE WIDENING OF EXISTING PAVEMENT AREA IS REQUIRED.

I — PAVEMENT SAWCUT DETAIL
N.T.S.



J — BIKE RACK AND CONCRETE SLAB DETAIL **(FUTURE)**
N.T.S.



PORTLAND CEMENT CONCRETE SECTION FOR GAS AND COOLING TOWER PADS
N.T.S.

REV	DATE	DESCRIPTION
6	04.24.06	PHASE 1 - RELEASED FOR BID
5	04.14.06	100% REVIEW SET - PHASE 1
4	04.11.06	FINAL SITE PLAN SUBMISSION TO CITY
3	02.28.06	SECOND SKETCH PLAN SUBMISSION TO CITY
2	01.03.05	SKETCH PLAN SUBMISSION TO CITY
1	12.22.05	ISSUED TO CLIENT FOR REVIEW

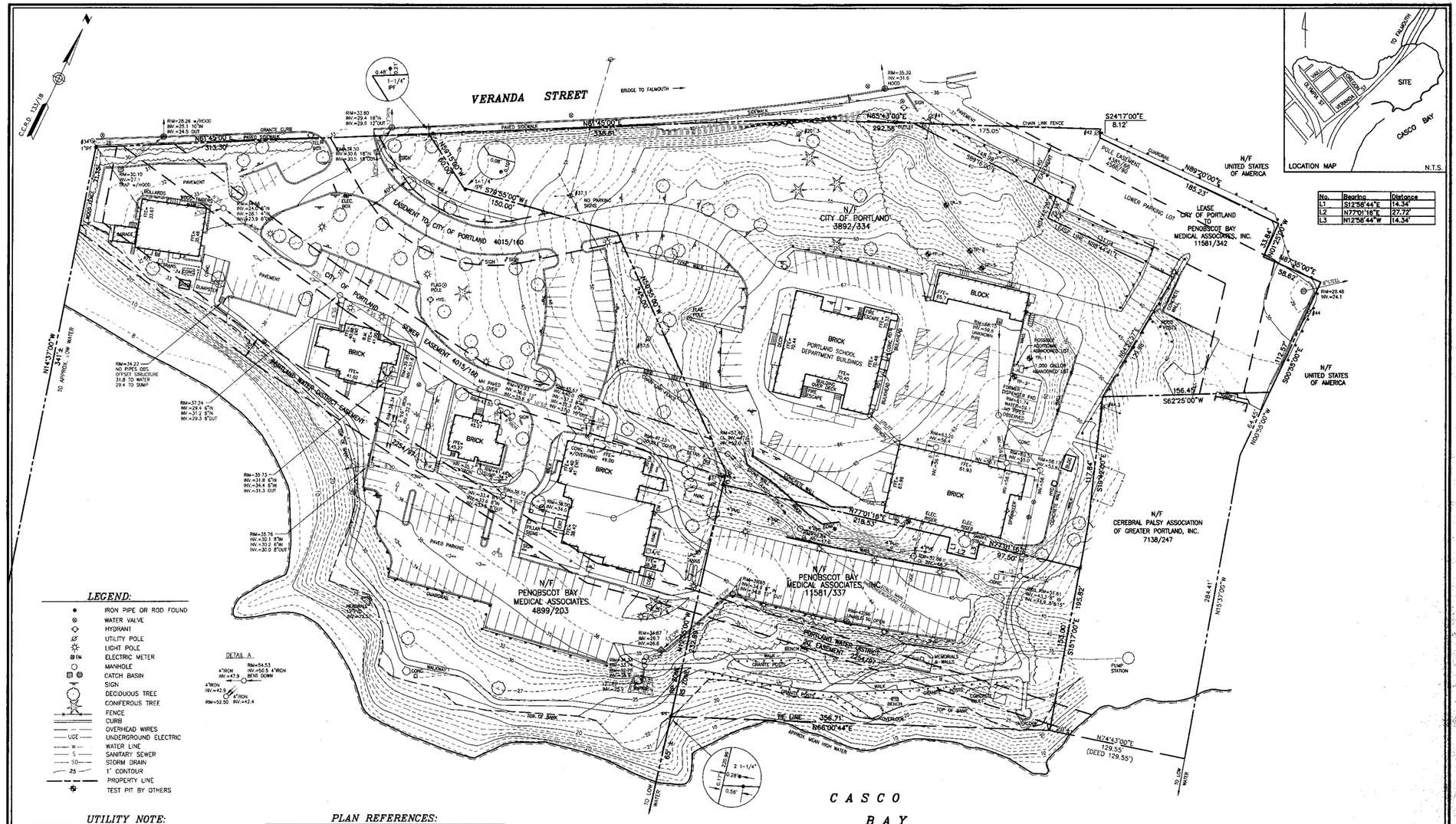
REVISIONS

STATE OF MAINE — DWIGHT D ANDERSON — 10275 — REGISTERED PROFESSIONAL ENGINEER
P.E. DWIGHT D. ANDERSON
LIC. #9275

PROJECT: MARTIN'S POINT REDEVELOPMENT PROJECT
SHEET TITLE: MISCELLANEOUS SITE DETAILS
CLIENT: MARTINS POINT HEALTH CARE

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN:	LECJ
DATE:	NOV. 2005
DESIGNED:	DDA
SCALE:	AS SHOWN
CHECKED:	DDA
JOB NO.	2344.01
FILE NAME:	234401-DET
SHEET	C-14



No.	Bearing	Distance
L1	S12°58'44"E	14.34'
L2	N77°01'16"E	27.72'
L3	N12°58'44"W	14.34'

LEGEND:

- IRON PIPE OR ROD FOUND
- WATER VALVE
- HYDRANT
- UTILITY POLE
- LIGHT POLE
- ELECTRIC METER
- MANHOLE
- CATCH BASIN
- SIGN
- DECIDUOUS TREE
- CONIFEROUS TREE
- FENCE
- CURB
- OVERHEAD WIRES
- UGE — UNDERGROUND ELECTRIC
- W — WATER LINE
- S — SANITARY SEWER
- SD — STORM DRAIN
- 25 — 1' CONTOUR
- PROPERTY LINE
- TEST PIT BY OTHERS

UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

GRAPHIC SCALE
0 20' 40' 80' 160'

PLAN REFERENCES:

1. "PLAN OF LAND STANDARD BOUNDARY SURVEY ON VERANDA STREET, PORTLAND, MAINE FOR MARTIN'S POINT HEALTH CARE CENTER" MAY 14, 1986, REV. 5 6/25/97 OWEN HASKELL, INC.
2. "SITE PLAN OF MARTIN'S POINT CITY OF PORTLAND MAINE DEPARTMENT OF PUBLIC WORKS DATED JUNE 6, 1974" BY MORTON AND ROSE.
3. "TOPOGRAPHICAL SURVEY OF MARTIN'S POINT ON VERANDA STREET, PORTLAND, MAINE. MADE FOR DELUCA-HOFFMAN ASSOC. DATED APRIL 7, 1994" BY OWEN HASKELL, INC.
4. "PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR PENOBSCOT BAY MEDICAL ASSOCIATES NOV. 23, 1981" BY MORTON AND ROSE ASSOC. RECORDED IN PLAN BOOK 133, PAGE 18.
5. "STANDARD BOUNDARY SURVEY AT MARTIN'S POINT ON VERANDA STREET, PORTLAND, MAINE MADE FOR PENOBSCOT BAY MEDICAL ASSOC." JUNE 7, 1994, REV. 6/20/97 BY OWEN HASKELL, INC.

NOTES:

1. LOCUS IS SHOWN AS LOTS 1 & 5 BLOCK C ON CITY OF PORTLAND'S ASSESSORS MAP 434.
2. BEARINGS ARE BASED ON MARKERS FOUND AS SHOWN ON PLAN REFERENCE 4.
3. PROPERTY LIES WITHIN THE 250 FOOT WIDE SHORELAND ZONE AND RESOURCE PROTECTION ZONE.
4. BENCH MARK: FINISHED FLOOR ELEVATION OF BRICK BUILDING TAKEN FROM PLAN REFERENCE 1.
5. LOCUS IS SHOWN IN FLOOD ZONES C, A2 AND V2 ON FLOOD INSURANCE RATE MAP, CITY OF PORTLAND PANEL 8 OF 17, COMMUNITY PANEL NUMBER 230051 0008 B, EFFECTIVE DATE JULY 17, 1986.

CERTIFICATION:

OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

12/07/05
DATE

JOHN W. SWAN, PLS #1038

STATE OF MAINE — JOHN W. SWAN No. 1038 — PROFESSIONAL LAND SURVEYOR

REV.	DATE	DESCRIPTION
1	12-07-05	ADJUSTED FINISHED FLOORS

BOUNDARY & TOPOGRAPHIC SURVEY

ON

VERANDA STREET, PORTLAND, MAINE

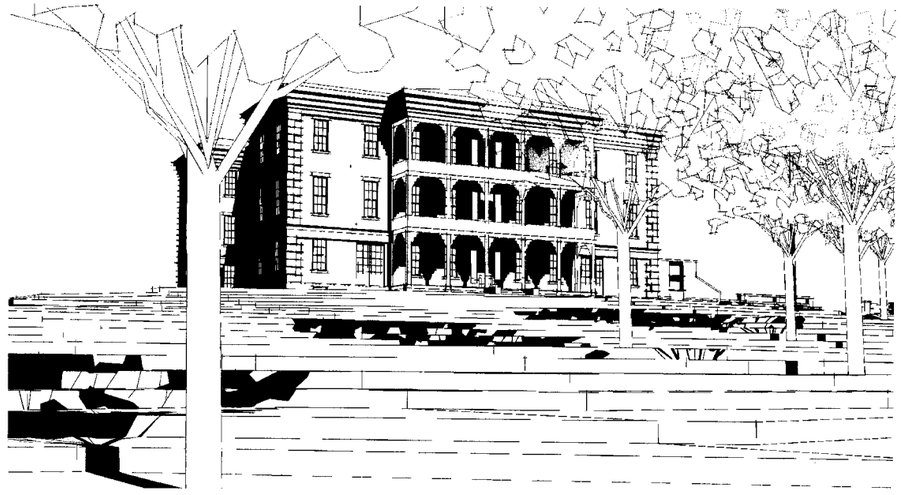
MADE FOR

MARTINS POINT HEALTH CARE CENTER

OWEN HASKELL, INC.
16 CASCO ST., PORTLAND, ME 04101 (207)774-0424
PROFESSIONAL LAND SURVEYORS

Drwn By	OHI	Date	Job No.
Trace By	JLW	DEC. 2, 2004	8644P
Check By	JWS	Scale	Dwg. No.
Book No.	FILE	1" = 40'	1

C:\8604\8644.dwg wed Dec 07 13:01:59 2005



MARTIN'S POINT - PHASE ONE
MARINE HOSPITAL RENOVATION
331 Veranda Street, Portland ME 04103

Project No. 05-108
April 24, 2006
Bid Documents

CLIENT:

MARTIN'S POINT HEALTH CARE
PORTLAND, MAINE

ARCHITECT:

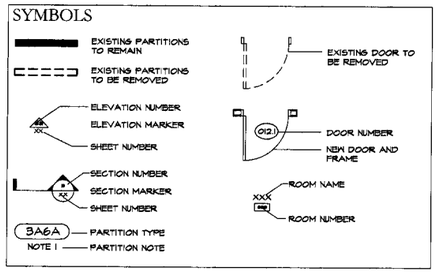
PDT ARCHITECTS
ARCHITECTURE
INTERIOR DESIGN
PLANNING

49 DARTMOUTH STREET
PORTLAND, ME 04101
207 775-1059
207 775-2694 FAX

CONSULTANTS:

- STRUCTURAL
  Becker Structural
  Portland, ME
- CIVIL
  DeLuca Hoffman Associates, Inc.
  South Portland, ME
- CONTRACTOR
  Ledgewood Construction
  South Portland, ME
- SPECIFICATIONS
  Lowell Specifications
  Freeport, ME

SYMBOLS



PROJECT GENERAL NOTES

1. THESE NOTES ARE INTENDED FOR GENERAL REFERENCE AND INFORMATION AND TO AUGMENT THE CONTRACT.

2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: HAZARDOUS MATERIAL REMOVAL, SOLID WASTE DISPOSAL, SEISMIC DESIGN, AND LIFE-SAFETY.

3. DEFINITIONS:

- NEW: MAY BE USED TO INDICATE ITEMS WHICH SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY BETWEEN VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION.
- EXISTING: EXISTING BUILDING OR SITE COMPONENTS WHICH ARE IN PLACE AT THE START OF CONSTRUCTION. NOT ALL ITEMS ARE LABELED AS "EXISTING" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT THE ARCHITECT FOR CLARIFICATION.
- REPAIR: RESTORE TO PROPER OPERATING AND AESTHETIC CONDITION.
- RESTORE: BRING BACK TO FORMER CONDITION, BY REPAIRING OR PATCHING AS REQUIRED.
- PATCH: RESTORE TO CONDITION MATCHING EXISTING ADJACENT CONSTRUCTION, SURFACE TEXTURE AND FINISH.
- N.I.C. (NOT IN CONTRACT): WORK WHICH IS NOT INCLUDED IN THIS CONTRACT, BUT WHICH MAY REQUIRE CONTRACTOR COORDINATION.
- REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
- REPLACE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE. PROVIDE NEW MATERIAL AS INDICATED.
- DEMOLISH: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
- SALVAGE: REMOVE AND REINSTALL OR REMOVE AND DELIVER TO THE OWNER, AS INDICATED.

4. COORDINATE THE WORK OF ALL SUBCONTRACTORS.

5. PROVIDE WORK HOLES AND ACCESS HOLES TO INSTALL NEW SYSTEMS IN CONCEALED SPACES, AS REQUIRED OR INDICATED. REPAIR THE OPENINGS AS INDICATED IN NOTES.

6. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT. FAILURE OF THE DRAWINGS OR SPECIFICATIONS TO INDICATE EACH INCIDENTAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE NECESSARY ITEMS AS PART OF THIS CONTRACT. THE DRAWINGS SHOW THE DESIGN AND LAYOUT, DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY. ALL DETAILS ARE TYPICAL. WHAT IS SHOWN IN ONE CONDITION APPLIES TO ALL OTHER SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.

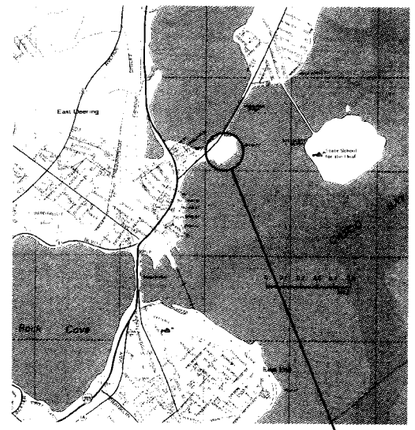
7. VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT:

- EXISTING CONDITIONS
- THE SIZE AND LOCATION OF ALL EXISTING UTILITIES.
- DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS.
- UNSUITABLE SOILS: REPORT THE LOCATION OF ALL UNSUITABLE SOIL MATERIALS BELOW ANTICIPATED LEVELS OF FOOTINGS OR SLABS PRIOR TO SETTING FORMS.
- MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION HAVING POTENTIAL IMPACT ON CEILING HEIGHTS OR BUILDING APPEARANCE
- DIMENSIONAL DISCREPANCIES

8. PROVIDE BOND-OUTS, BLOCKING, SLEEVES AND PIPES AS REQUIRED FOR ALL WALL, FLOOR, ROOF, AND CEILING PENETRATIONS THROUGH STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE ASSEMBLIES TO CONFORM TO U.L. RATED ASSEMBLIES AND ALL NFPA AND BOCA BUILDING CODE REQUIREMENTS. ALL PENETRATIONS SHALL ALSO COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY.

9. DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS.

DRAWING LIST



CODE COMPLIANCE OVERVIEW

HISTORIC BUILDING ON NATIONAL REGISTER

EXISTING CONSTRUCTION, FULLY SUPERVISED AUTOMATIC SPRINKLER SYSTEM THROUGHOUT, THREE STORIES (TOTAL BUILDING IS 27,100 MEASURED AT INTERIOR WALLS - APPROXIMATE SQUARE FOOTAGE PER FLOOR IS: BASMENT - 6,200 S.F., FIRST - 6,700 S.F., SECOND AND THIRD - 7,100 S.F. EACH).

DESIGN PARAMETERS:

1. CODE COMPLIANCE:
   NFPA 101-LIFE SAFETY CODE 2003 EDITION
   IBC 2003 EDITION
   EXISTING BUILDING-HISTORIC BUILDING
   MAINE STATE PLUMBING CODE

2. CONSTRUCTION TYPE

3. OCCUPANCY:
   NFPA CLASSIFICATION OF OCCUPANCY
   EXISTING BUSINESS
   IBC USE OR OCCUPANCY
   BUSINESS "B"

4. ALLOWABLE HEIGHT AND BUILDING AREA (IBC)

ALLOWABLE TABULAR AREA PER FOOT	= 23,000 S.F.
AREA INCREASE DUE TO SPRINKLER COVERAGE	= 46,000 S.F.
AREA INCREASE DUE TO 85% FRONTAGE	= 8,878 S.F.
TOTAL ALLOWABLE	= 77,878 S.F.
BUILDING HEIGHT	= 4 STORIES
AUTOMATIC SPRINKLER SYSTEM	= 1 STORY
TOTAL	5 STORIES

5. OCCUPANT LOAD FACTOR USED:
   100 GROSS SF/PERSON

6. CALCULATED OCCUPANT LOAD:
   67 1ST
   71 2ND
   71 3RD

7. REQUIRED SEPARATORS
   IBC INCIDENTAL USE AREAS
   BOILER ROOMS = FULL HEIGHT SMOKE PARTITIONS
   (1 HOUR PROVIDES), DOOR CLOSERS

   ELEVATOR HOISTWAY
   1 HOUR FIRE SEPARATION ASSEMBLY

   ELEVATOR MECHANICAL ROOM
   1 HOUR FIRE SEPARATION ASSEMBLY

   STAIR ENCLOSURE
   1 HOUR FIRE SEPARATION ASSEMBLY

   EXIT ACCESS PASSAGEWAY
   1 HOUR FIRE SEPARATION ASSEMBLY

   CORRIDORS
   SMOKE PARTITIONS

   ELECTRICAL ROOMS
   FULL HEIGHT SMOKE PARTITIONS

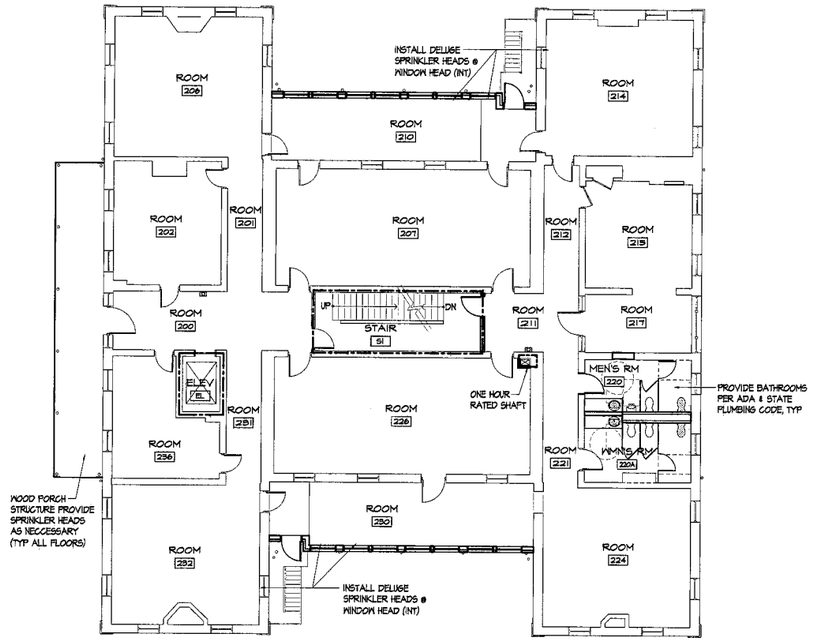
   MECHANICAL SHAFTS
   1 HOUR

8. FIRE PROTECTION SYSTEMS

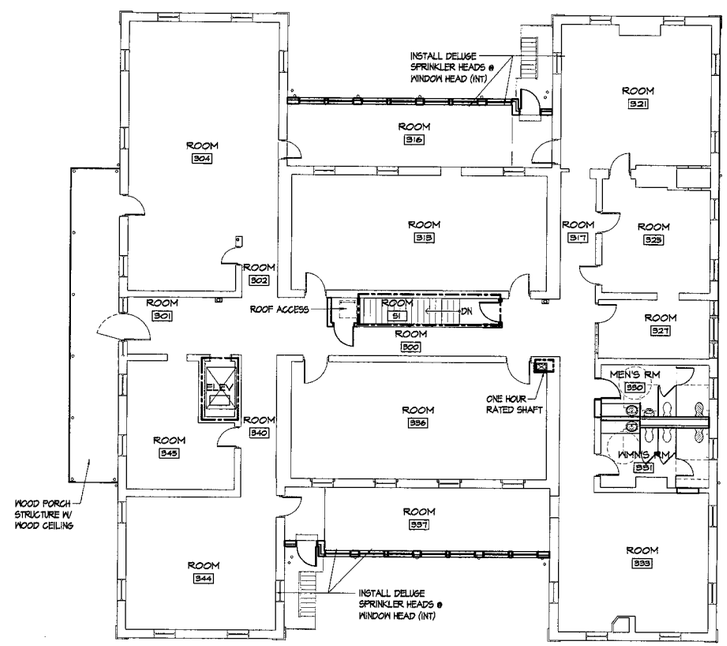
   PORTABLE FIRE EXTINGUISHER DISRUPTION PER NFPA 90
   AUTOMATIC SPRINKLER SYSTEM PER NFPA 13

9. MEANS OF EGRESS PARAMETERS
   2 EXITS PER FLOOR REQUIRED
   (USE OF EXISTING FIRE ESCAPE PERMITTED PER IBC)
   MAXIMUM DEAD END CORRIDORS - 50 FEET
   MAXIMUM TRAVEL DISTANCE TO EXIT - 300 FEET
   MAXIMUM COMMON PATH OF TRAVEL - 100 FEET
   CORRIDOR WIDTH (.2 IN/PERSON), MINIMUM 44"
   STAIR WIDTH (.3 IN/PERSON), MINIMUM 44"

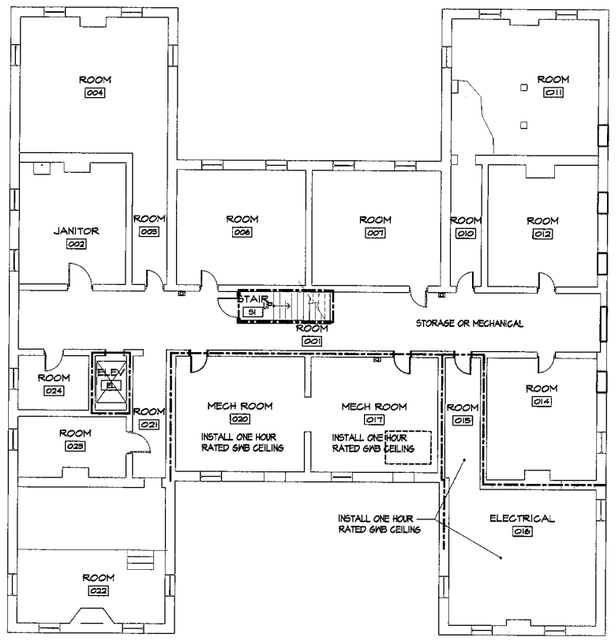
10. IBC 2003 FIRE ESCAPE:
    3404.1.2 ALLOWED IN EXISTING BUILDINGS
    3404.3 CONSTRUCTION SHALL SUPPORT A LIVE LOAD OF 100#/SF AND CONSTRUCTED OF STEEL OR NON-COMBUSTIBLE
    3404.4 DIMENSIONS STAIRS
    ≥ 22" TREAD WIDTH
    NOT < 8" TREADS; NOT > 8" RISERS
    LANDINGS SHALL BE 40" WIDE BY 36" LONG



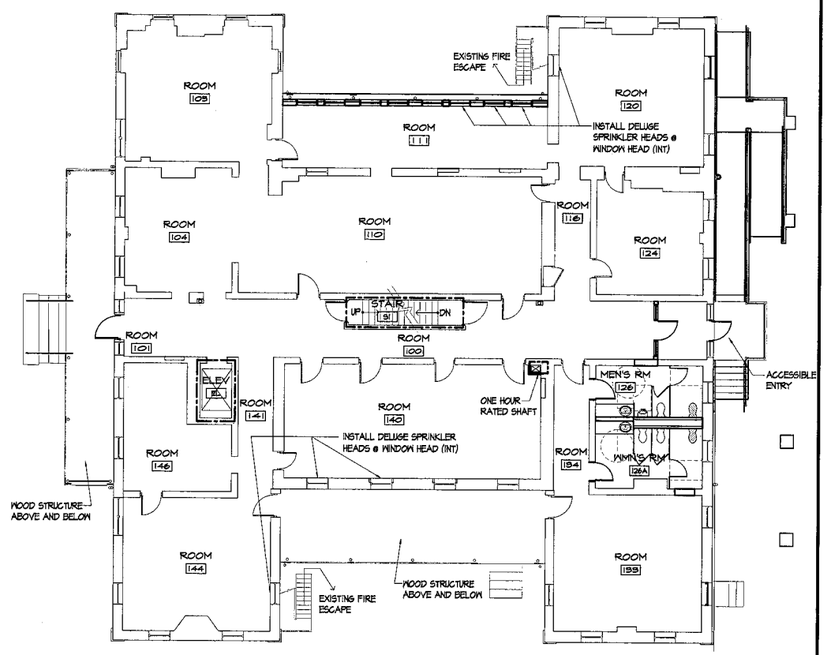
2 SECOND FLOOR
3/32"=1'-0"



1 THIRD FLOOR
3/32"=1'-0"



4 BASEMENT
3/32"=1'-0"



3 FIRST FLOOR
3/32"=1'-0"

NOTE: DO NOT LOCK ANY DOOR TO PREVENT ACCESSING FIRE ESCAPE PATHWAY. MAINTAIN ALL DOORS WITH FREE PASSAGE

SYMBOL LEGEND
ONE HOUR RATING

N

ARCHITECTURE
INTERIOR DESIGN
PLANNING

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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK.
tak

SCALE:
3/32"=1'-0"

ISSUE
Bid Documents
24 April 2006

TITLE
Code Plans

SHEET
A0.1

Apr 25, 2006 - 9:59am

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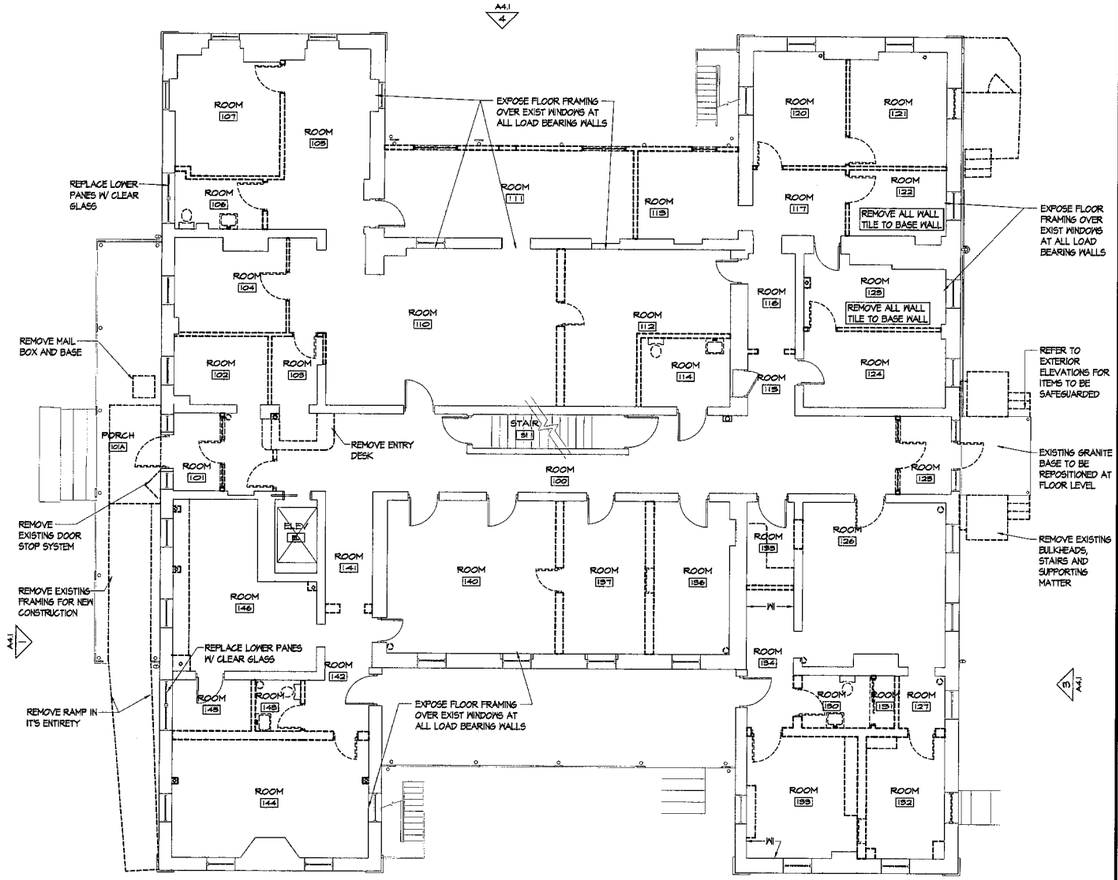
1 BASEMENT
1/8"=1'-0"



2 FIRST FLOOR
1/8"=1'-0"

LEGEND

EXISTING PARTITIONS TO REMAIN

EXISTING PARTITIONS TO BE REMOVED

GENERAL PATCHING AND REPAIR NOTES

1. DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
2. PATCHING: AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE: LEVEL FLOORS AT WALL REMOVALS; TOOTH-IN NEW CMU AT OPENINGS; PIECE-IN NEW PLASTER BACKING AND FINISH FLUSH; PIECE IN NEW CEILING SUSPENSION SYSTEM.
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4. PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
5. AFTER REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED. MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.
6. ALL WALL, AND FLOOR FINISHES TO BE REMOVED, ALL ACT & CEILING GRIDS.

DEMOLITION KEY NOTES:

WALL DEMO

REMOVE INDICATED WALLS IN THEIR ENTIRETY PATCH AND REPAIR TO MATCH ADJACENT SURFACES.
W1 - REMOVE WALL PANELS FINISH AND PREP SURFACE FOR PAINT

CEILINGS

REMOVE SUSPENDED CEILINGS ON ALL FLOORS.
C1 - REMOVE DROPPED SOFFIT

DOORS

D1 - REMOVE DOOR, DOOR FRAME AND THRESHOLD, IF ANY.

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2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
3. PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
4. SOME ASBESTOS-CONTAINING MATERIAL MAY BE ENCOUNTERED, AND SHOULD BE ANTICIPATED. THE CONTRACTOR MAY DISCOVER MISCELLANEOUS UNDISCOVERED PIECES OF ASBESTOS WHICH NEED TO BE REMOVED. NOTIFY THE ARCHITECT IMMEDIATELY UPON DISCOVERY OF POTENTIALLY ASBESTOS CONTAINING MATERIAL.
5. REMOVE ALL EXISTING PLUMBING AND MECHANICAL ITEMS NOT TO BE USED IN NEW CONSTRUCTION, AND REMOVE ENTIRE ELECTRICAL SYSTEM AND ALL COMPONENTS, USED OR UNUSED. COORDINATE THE INFORMATION ON DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
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8. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
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12. AT ALL EXISTING OPENINGS WHERE DOOR HAS ALREADY BEEN REMOVED, REMOVE HINGES, STRIKE PLATES AND ANY OTHER HARDWARE
13. PLUMBING AND HEATING SHAFT DEMOLITION NOT SHOWN ON DEMOLITION PLANS COORDINATE ADDITIONAL DEMOLITION TO ACCOMODATE MECHANICAL AND ELECTRICAL.

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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK
tak

SCALE:
1/8"=1'-0"

ISSUE
Bid Documents
24 April 2006

TITLE
Demolition
Basement and
First Floor

SHEET
D1.1

Apr 26, 2006 - 8:33am

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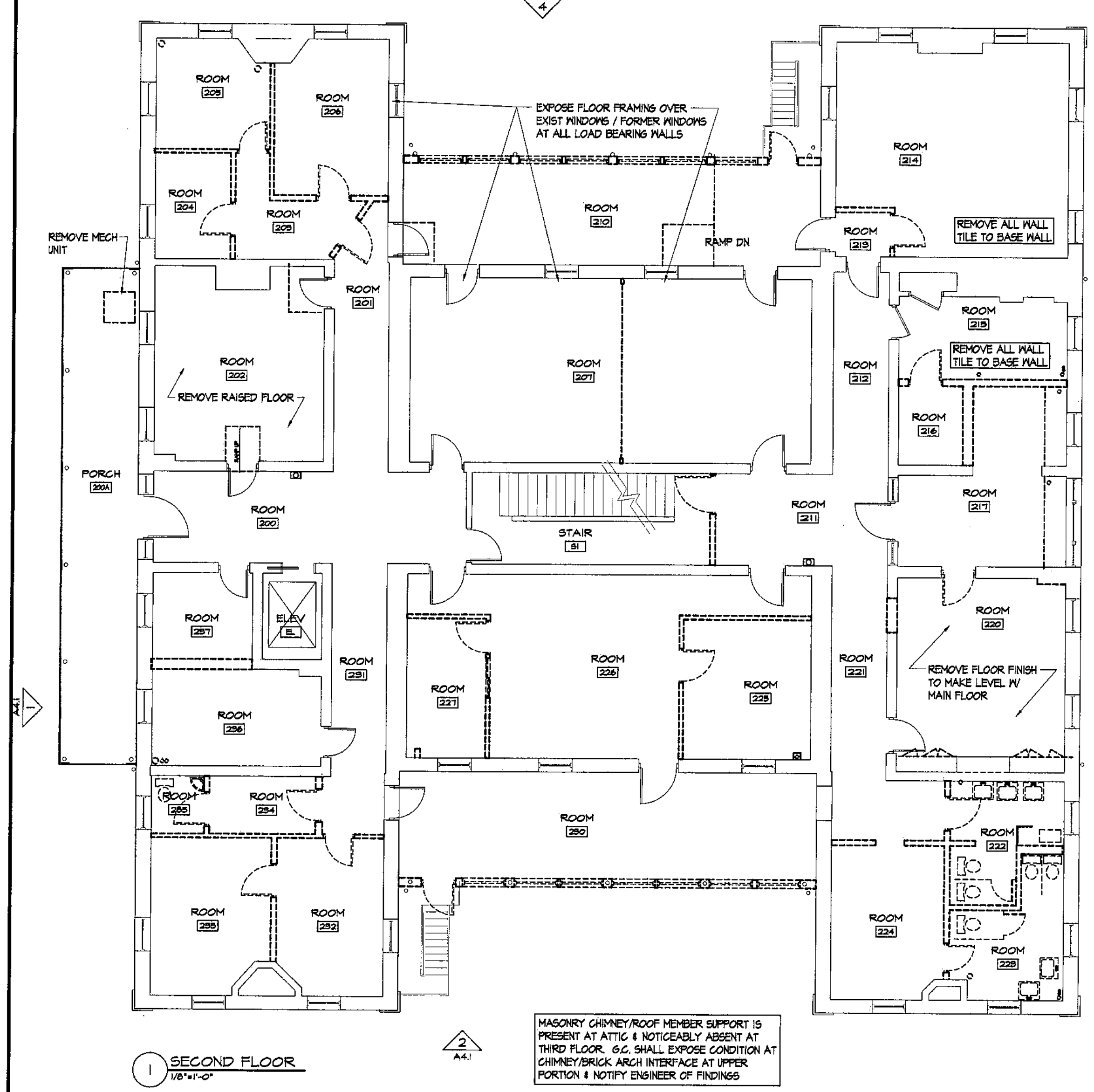
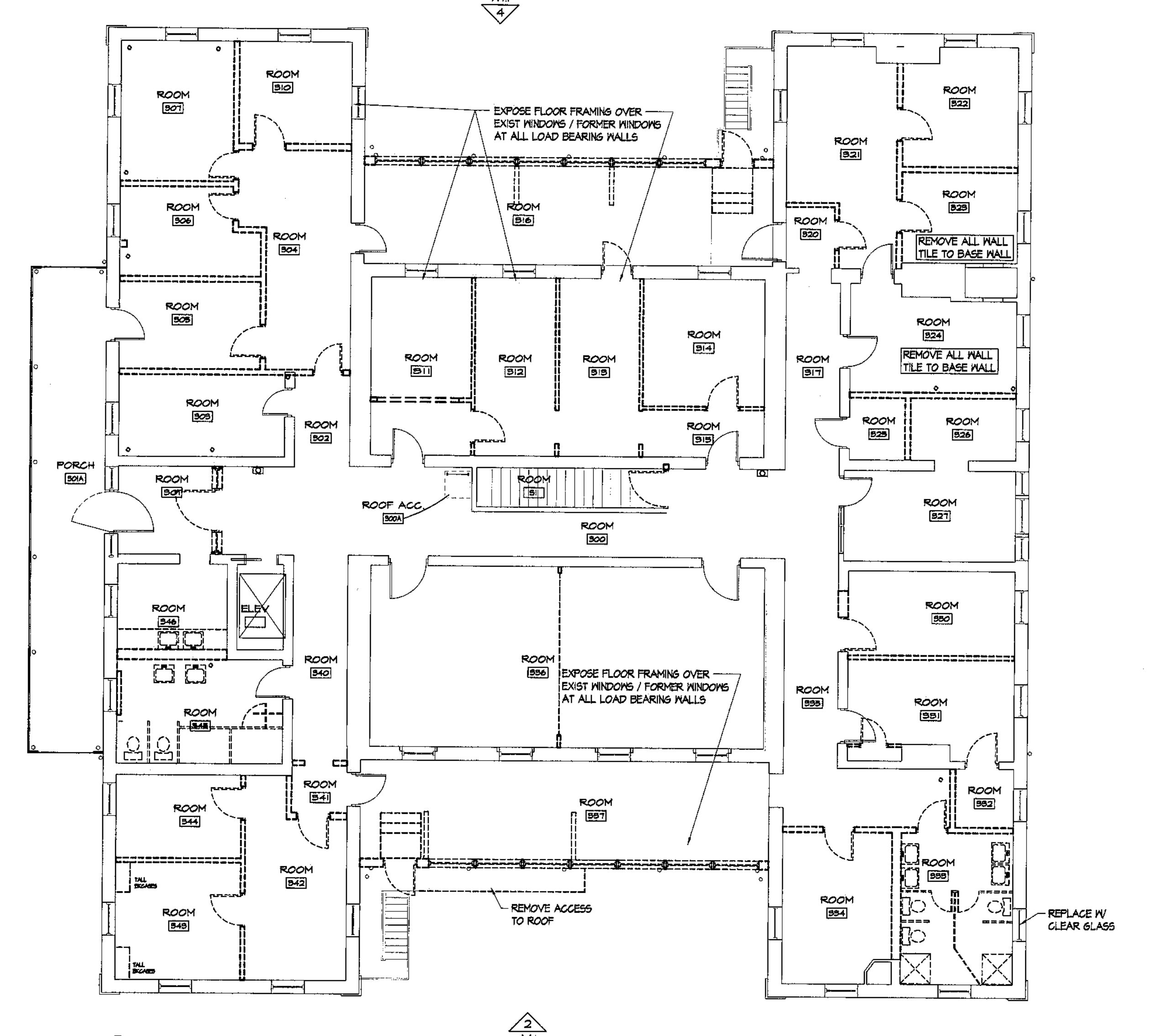


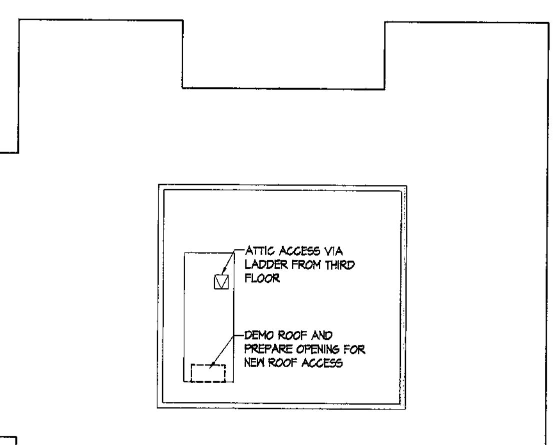
1 SECOND FLOOR
1/8"=1'-0"



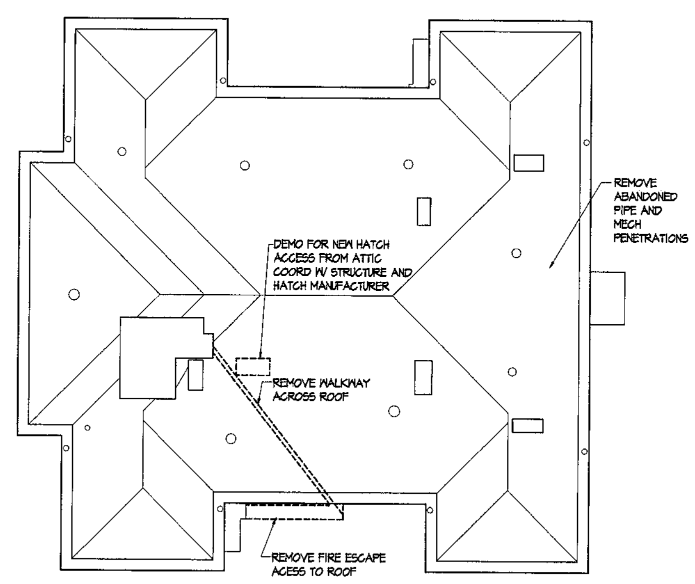
2 THIRD FLOOR
1/8"=1'-0"

LEGEND

(solid line)	EXISTING PARTITIONS TO REMAIN
(dashed line)	EXISTING PARTITIONS TO BE REMOVED



4 ATTIC PLAN
1/16"=1'-0"



3 ROOF PLAN
1/16"=1'-0"

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Marine Hospital Renovation
MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK
tak

SCALE:
AS NOTED

ISSUE
Bid Documents
24 April 2006

TITLE
Demolition
Second and
Third Floor Plans

SHEET
D1.2

Apr 25, 2006 - 11:00am

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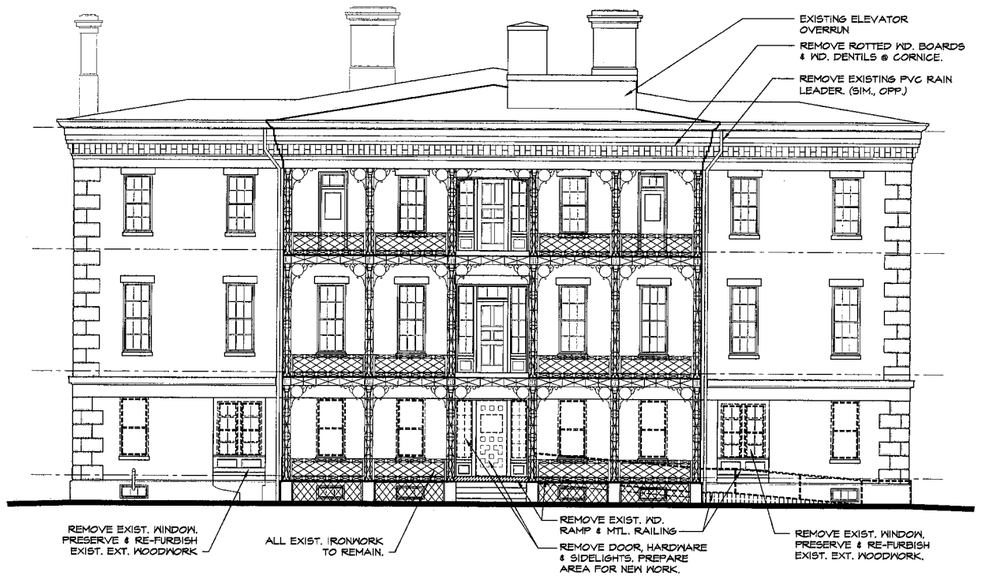
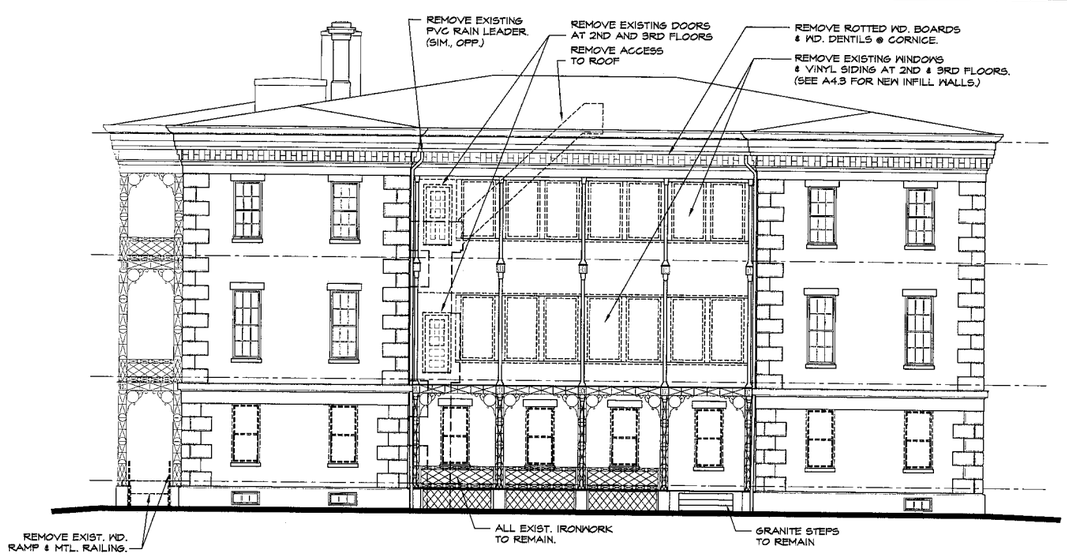
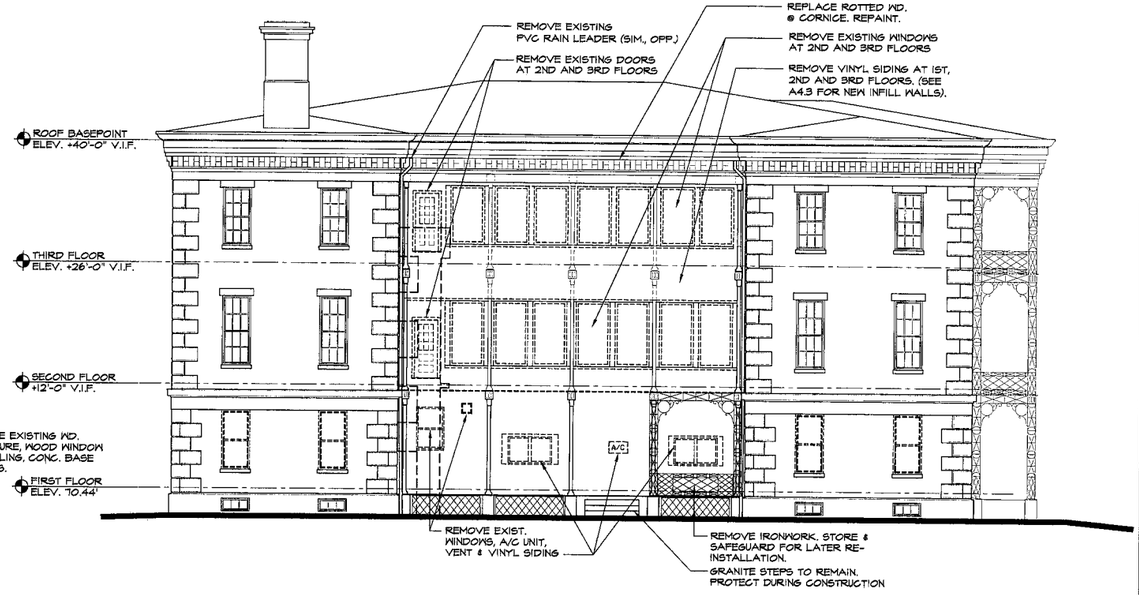


1 / A4.1 EXISTING WEST ELEVATION
1/8" = 1'-0"



2 / A4.1 EXISTING SOUTH ELEVATION
1/8" = 1'-0"

3 / A4.1 EXISTING EAST ELEVATION
1/8" = 1'-0"



4 / A4.1 EXISTING NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES:

1. REPAIR, REFURBISH & PAINT ALL EXISTING WINDOWS @ BASEMENT, 2ND AND 3RD FLOORS. REPLACE BROKEN GLASS.
2. REPAIR & REPOINT DAMAGED BRICK & MORTAR. SEE SPECIFICATIONS FOR EXTENT OF WORK.
3. PAINT ENTIRE CORNICE. COORDINATE NEW PAINTING WITH LEAD ABATEMENT PROCESS.
4. ALL EXISTING DECORATIVE IRONWORK TO REMAIN. SANDBLAST, CLEAN & REPAINT ANY DAMAGED ELEMENTS.
5. PRESERVE ORIGINAL DETAILS AND NOTIFY ARCHITECT BEFORE PROCEEDING WITH DEMOLITION WORK.
6. DEMOLISH EXISTING INFILL WALLS @ NORTH AND SOUTH PORCHES. SAFEGUARD IRON COLUMNS AND GRILLWORK AT THESE LOCATIONS.
7. ALL 1/1 FIRST FLOOR WINDOWS TO BE REPLACED WITH NEW REPLACEMENT 6/6 WOOD WINDOWS UNLESS OTHERWISE NOTED. SEE WINDOW TYPES ON A6.3.
8. WHERE REMOVAL OF EXISTING MATERIALS OCCURS, PREPARE SURFACES FOR NEW WORK.

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PLANNING

PDT ARCHITECTS

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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

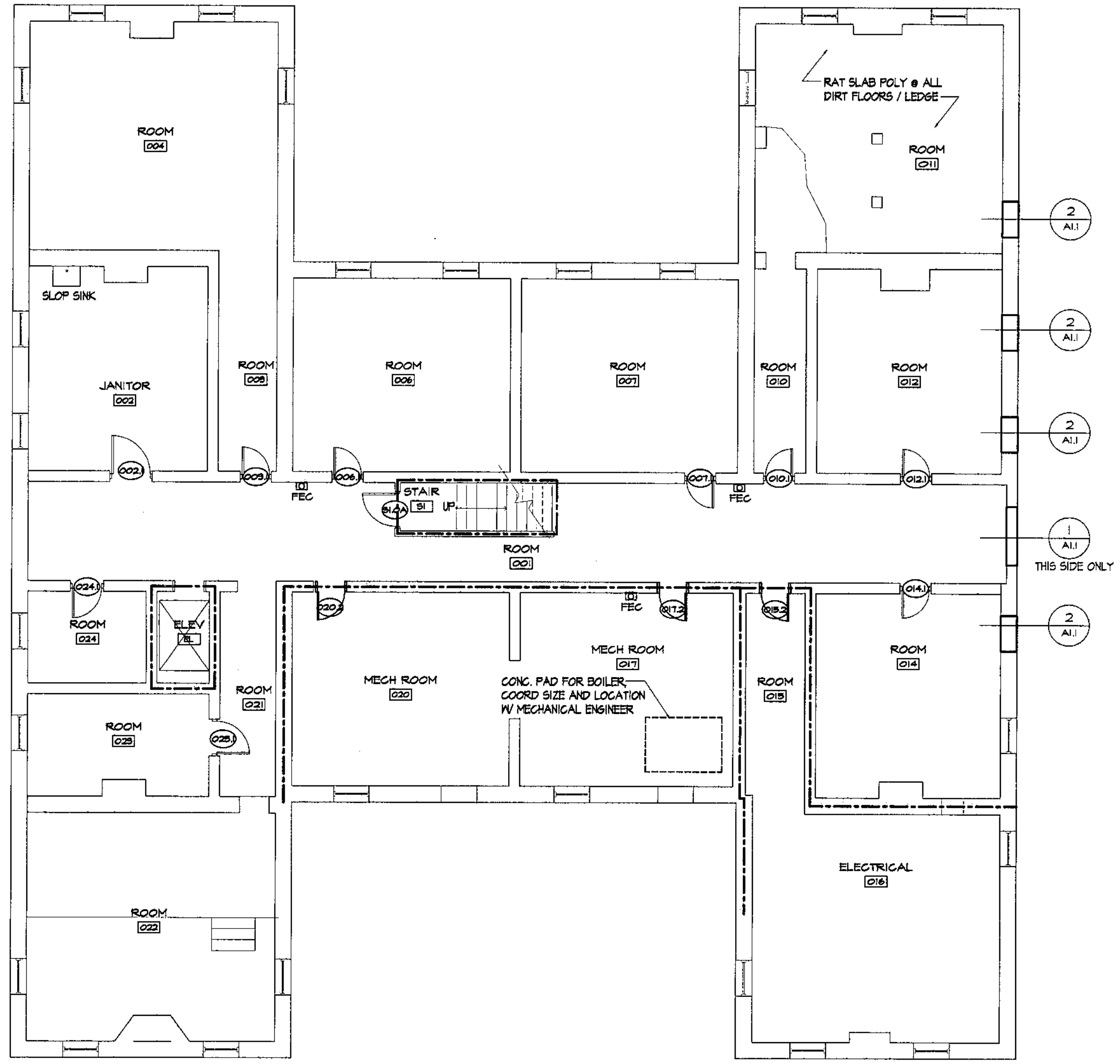
DRWN. CHK
EJR

SCALE:
AS NOTED

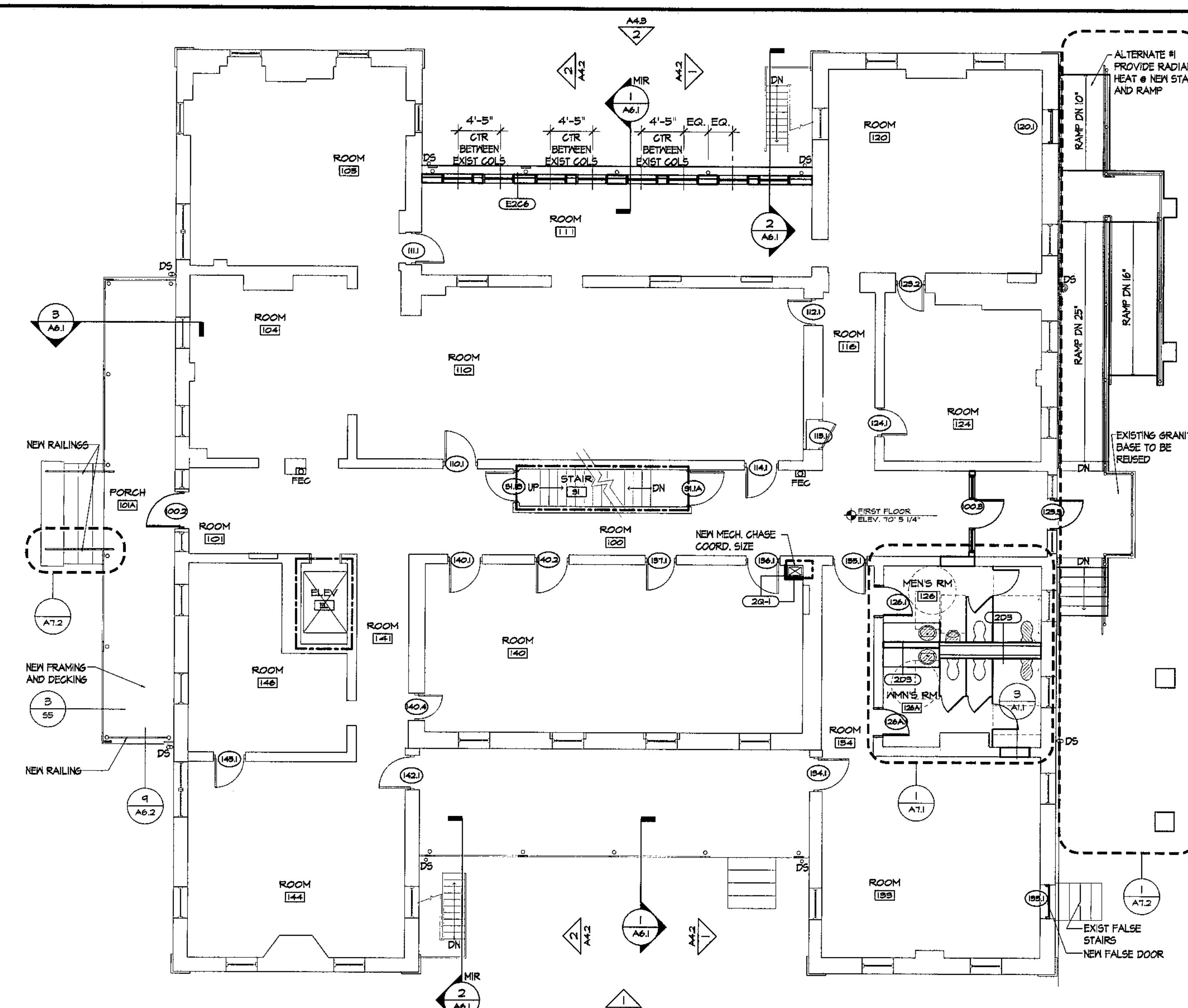
ISSUE
Bid Documents
24 April 2006

TITLE
DEMOLITION ELEVATIONS

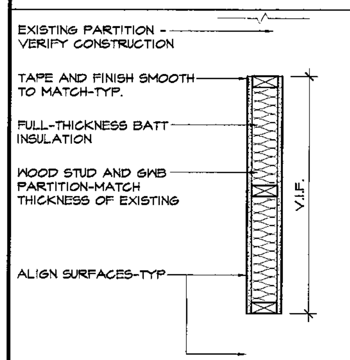
SHEET
D4.1



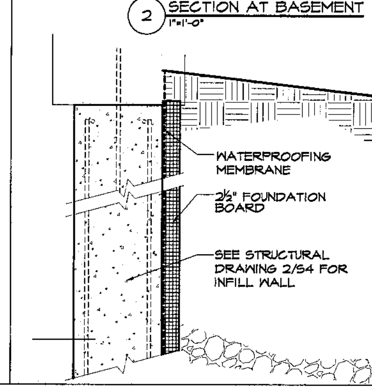
1 BASEMENT 1/8"=1'-0"



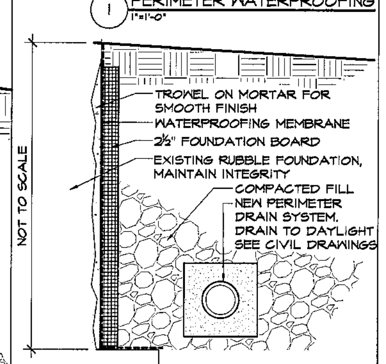
2 FIRST FLOOR 1/8"=1'-0"



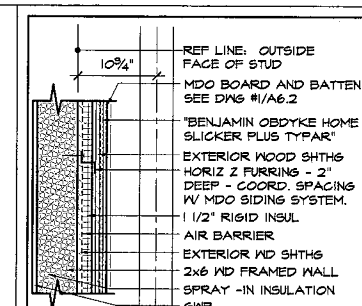
3 EXISTING WALL 1"=1'-0"



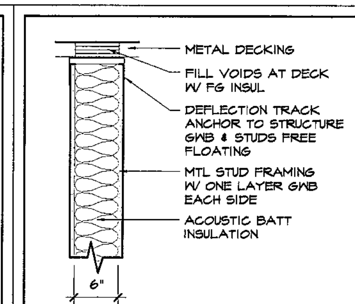
2 SECTION AT BASEMENT 1"=1'-0"



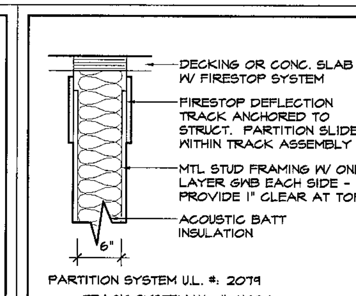
1 PERIMETER WATERPROOFING 1"=1'-0"



MDO BOARD AND BATTEN AT 6" WOOD WALL — E2C6

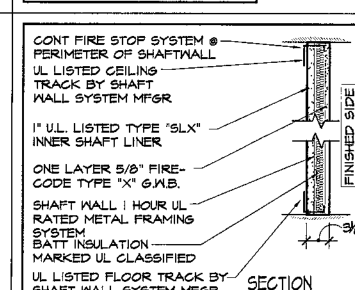


METAL STUD - FULL HGT - 1 LYR GWB — 2A6



METAL STUD- FULL HGT - 1 HR RATED — 2A6-1

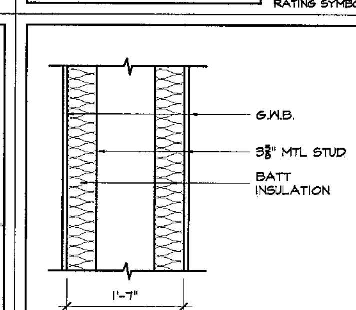
ONE HOUR RATING SYMBOL



U.L. DESIGN #: U415 (SYSTEM A)

SHAFT WALL-ONE HOUR RATED — 2Q-1

ONE HOUR RATING SYMBOL



METAL STUD - FULL HGT - CHASE WALL — 2D3

GENERAL PLAN NOTES

1. THE DRAWINGS USE A SYSTEM OF KEYED NOTES ON PLANS, ELEVATIONS AND DETAILS. INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYED TO THE DRAWINGS. BUILDING SYSTEMS (PARTITIONS, ROOF & FOUNDATION) ARE KEYED TO FLOOR PLANS, WALL SECTIONS, ROOF PLAN AND OTHER DETAILS AS APPROPRIATE.

2. WORK FROM GIVEN DIMENSIONS. IN GENERAL, LARGE-SCALE DETAILS TAKE PRECEDENCE OVER SMALLER SCALE PLANS, ELEVATIONS AND BUILDING SECTIONS. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES PRIOR TO COMMENCING THE WORK, AND DO NOT BEGIN WORK UNTIL SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS INDICATED AS "CLEAR" SHALL BE MAINTAINED IN CASES OF DISCREPANCY.

3. DIMENSIONAL CONTROL:
EXTERIOR DIMENSIONS ARE FROM:
- CENTERLINE OF COLUMN TO OUTSIDE FACE OF MASONRY
- FACE OF MASONRY TO FACE OF MASONRY
- FACE OF CONCRETE TO FACE OF CONCRETE
- CENTERLINE OF COLUMN TO CENTERLINE OF WINDOW OPENING
- MASONRY OPENING TO MASONRY OPENING
- CENTER LINE OF COLUMN TO FACE OF MASONRY

INTERIOR DIMENSIONS ARE FROM:
- FACE OF STUD TO FACE OF STUD
- FACE OF MASONRY TO FACE OF MASONRY
- FACE OF STUD TO FACE OF MASONRY
- CENTERLINE COLUMN TO FACE OF STUD OR MASONRY
- EXISTING DIMENSIONS ARE SHOWN ENCLOSED IN SQUARE BRACKETS [ ] AND SHALL BE VERIFIED.

4. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED WITH THE ARCHITECT.

5. MASONRY OPENING OR ROUGH OPENING DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS ONLY. COORDINATE ALL MASONRY OPENINGS OR ROUGH OPENINGS WITH ACTUAL WINDOW UNIT, DOORFRAME, OR CURTAIN WALL/STOREFRONT SIZES AND REQUIREMENTS.

6. ALL NEW OPENINGS INTO EXISTING MASONRY WALLS FOR MECHANICAL OR ELECTRICAL PENETRATIONS SHALL RECEIVE A LINTEL. REFER TO THE STRUCTURAL PLANS FOR LINTEL TYPE. REFER TO MECHANICAL PLANS FOR NUMBER, LOCATION, AND SIZE OF ALL PENETRATIONS.

7. FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.

ARCHITECTURE INTERIOR DESIGN PLANNING
P D T ARCHITECTS
49 DARTMOUTH STREET PORTLAND, ME 04101
207 775-1059
207 775-2694 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO. 05-108

DRWN. tak CHK

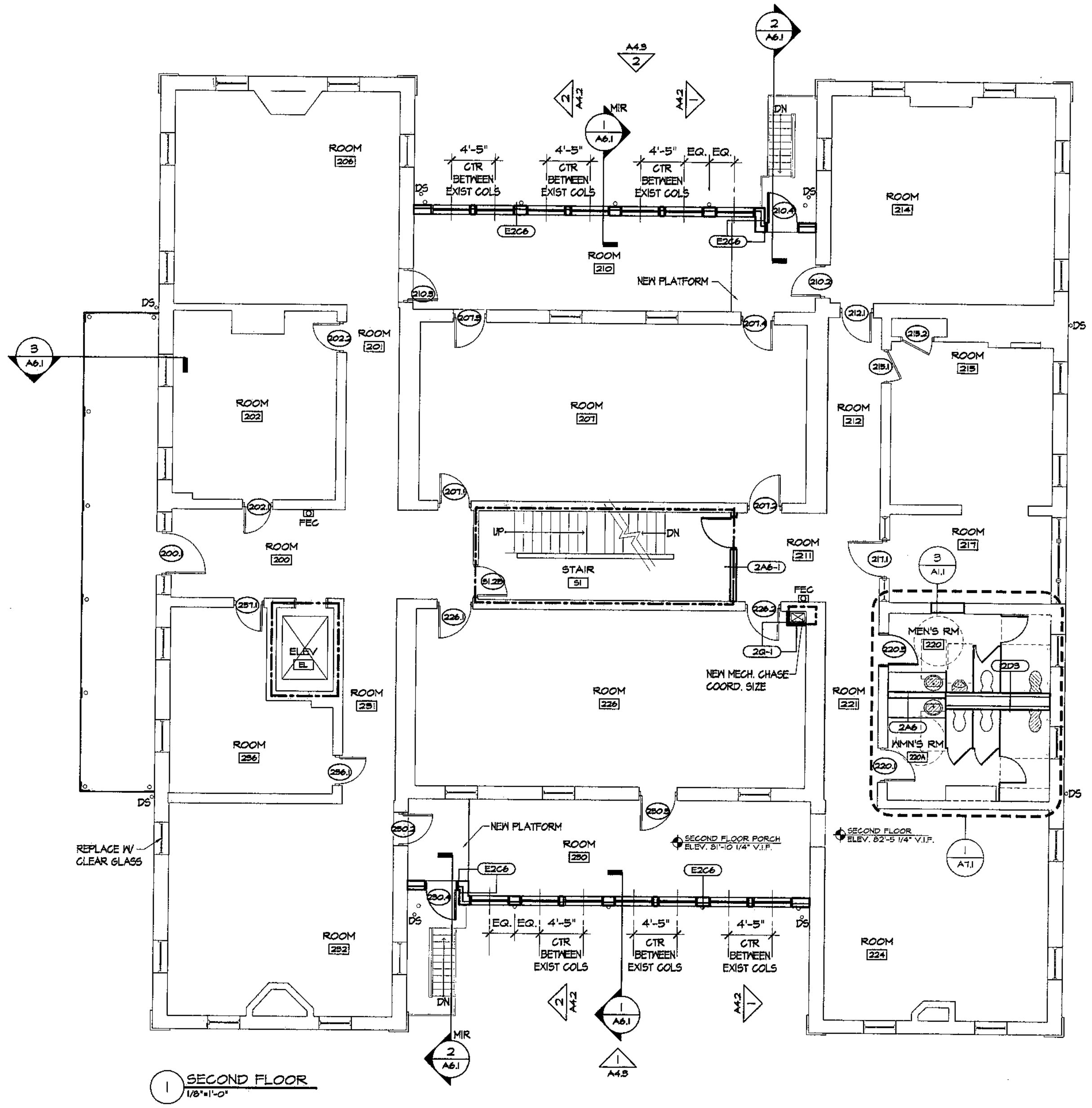
SCALE: 1/8"=1'-0"

ISSUE Bid Documents 24 April 2006

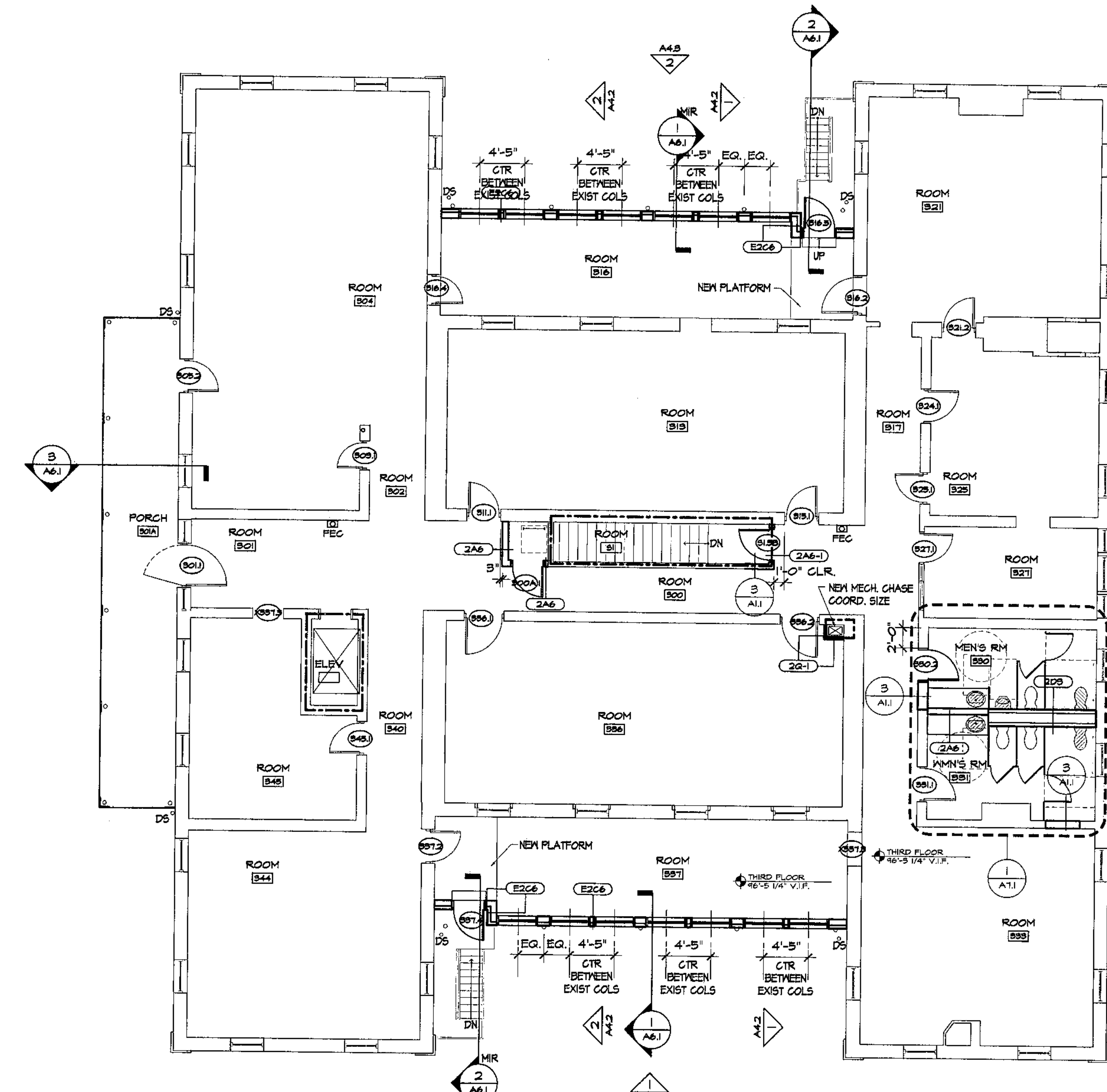
TITLE Lower Level and First Floor Plan

SHEET A1.1

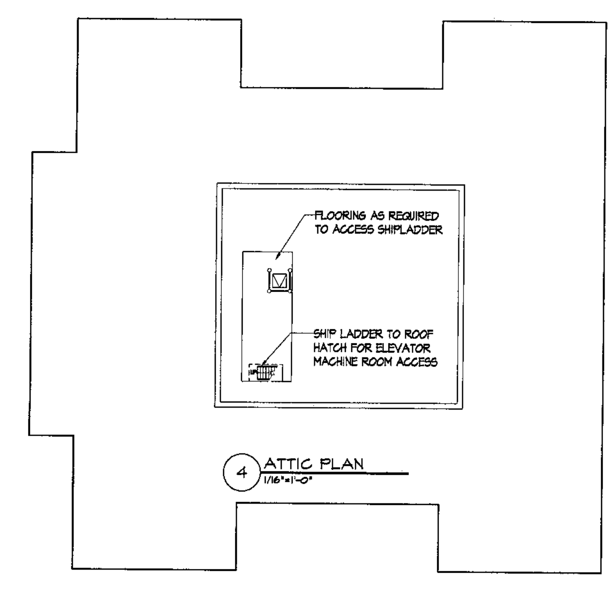
Apr 25, 2006 - 10:55am
H:\Master Proj Files2\Martin's Point- Marine Hospital\Existing Conditions\CAD\M1 exist plan.dwg



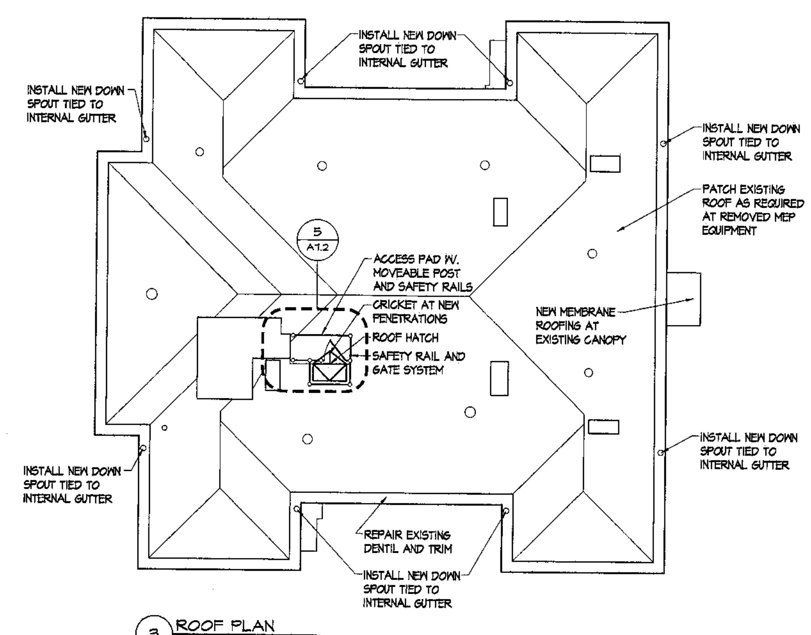
1 SECOND FLOOR
1/8"=1'-0"



2 THIRD FLOOR
1/8"=1'-0"



4 ATTIC PLAN
1/16"=1'-0"



3 ROOF PLAN
1/16"=1'-0"

GENERAL PLAN NOTES

1. THE DRAWINGS USE A SYSTEM OF KEYED NOTES ON PLANS, ELEVATIONS AND DETAILS. INSTRUCTIONS FOR SPECIFIC COMPONENTS OF THE WORK ARE KEYED TO THE DRAWINGS. BUILDING SYSTEMS (PARTITIONS, ROOF & FOUNDATION) ARE KEYED TO FLOOR PLANS, WALL SECTIONS, ROOF PLAN AND OTHER DETAILS AS APPROPRIATE.

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- FACE OF MASONRY TO FACE OF MASONRY
- FACE OF CONCRETE TO FACE OF CONCRETE
- CENTERLINE OF COLUMN TO CENTERLINE OF WINDOW OPENING
- MASONRY OPENING TO MASONRY OPENING
- CENTER LINE OF COLUMN TO FACE OF MASONRY

INTERIOR DIMENSIONS ARE FROM:
- FACE OF STUD TO FACE OF STUD
- FACE OF MASONRY TO FACE OF MASONRY
- FACE OF STUD TO FACE OF MASONRY
- CENTERLINE COLUMN TO FACE OF STUD OR MASONRY
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PDT ARCHITECTS
ARCHITECTURE
INTERIOR DESIGN
PLANNING
49 DARTMOUTH STREET
PORTLAND, ME 04101
207 775-1059
207 775-2694 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK
tak

SCALE:
AS NOTED

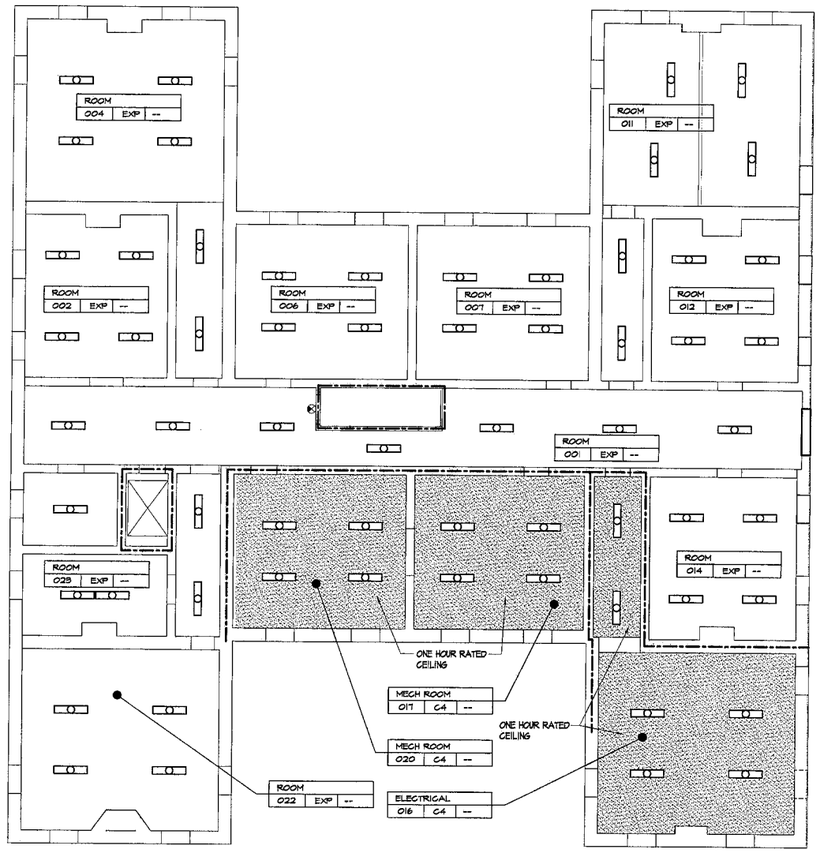
ISSUE
Bid Documents
24 April 2006

TITLE
Second and Third Floor Plan

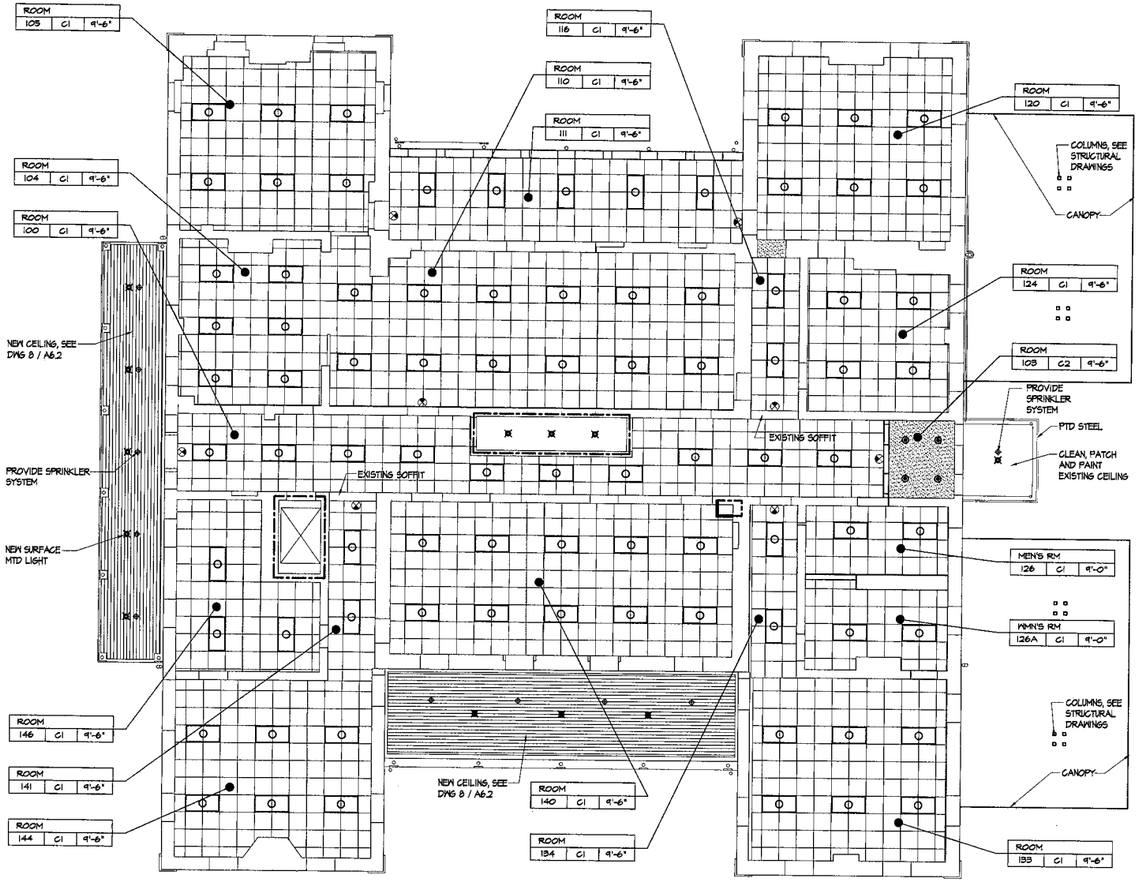
SHEET
A1.2

Apr 25, 2006 - 10:54am

H:\Master Proj Files2\Martin's Point - Marine Hospital\Existing Conditions\CAD\MH exist plan.dwg



1 BASEMENT
1/8"=1'-0"



2 FIRST FLOOR
1/8"=1'-0"

ALL SAT CEILING TO BE 9'-6" UNO

CEILING GENERAL NOTES

1. Ceiling plans shall govern over all other plans for location of fixtures and diffusers.
2. Ceiling plans do not show every fixture or component. Refer to electrical, plumbing, mechanical and structural drawings for extent of all ceiling penetrations and installations and coordinate prior to installation.
3. Center grid layout in all rooms unless noted otherwise.
4. All components mounted in or below a suspended acoustic ceiling shall be centered in the ceiling tile or in the 2x2 portion of tegular tiles. This shall include, but not be limited to, light fixtures, diffusers, speakers, and sprinkler heads.
5. Prior to the installation of ceilings, allow for an above-ceiling inspection of components that will not be visible when the ceilings have been installed.
6. Provide complete coverage of building w/ NFPA 13 type sprinkler system. Verify adequate system pressure and modify existing system to provide complete coverage (including porches and concealed attic spaces)

GRAPHIC LEGEND:

- EMERGENCY EXIT SIGNAL
- 24x24 FLUORESCENT
- 24x48 FLUORESCENT
- 12x48 SURFACE MTD FLUORESCENT
- RECESSED CAN
- WALL SCONCE
- CEILING TYPE C3 - 5/8" PAINTED GWB
- MECHANICAL SUPPLY OR RETURN

CEILING TYPES:

C1- 24x48 SUSPENDED ACOUSTICAL TILE SIMULATED AS 24X24 TILES
C2- 5/8" GWB
C3- NOT SPECIFIED
C4- ONE HOUR RATED GYPSUM BOARD
EXP-EXPOSED TO STRUCTURE ABOVE
OPEN- OPEN TO ABOVE (SECOND FLOOR)

N

Apr 25, 2006 - 11:00am

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ARCHITECTURE
INTERIOR DESIGN
PLANNING

P D T A R C H I T E C T S

49 DARTMOUTH STREET
PORTLAND, MAINE 04101
207-775-1059
207-775-3894 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

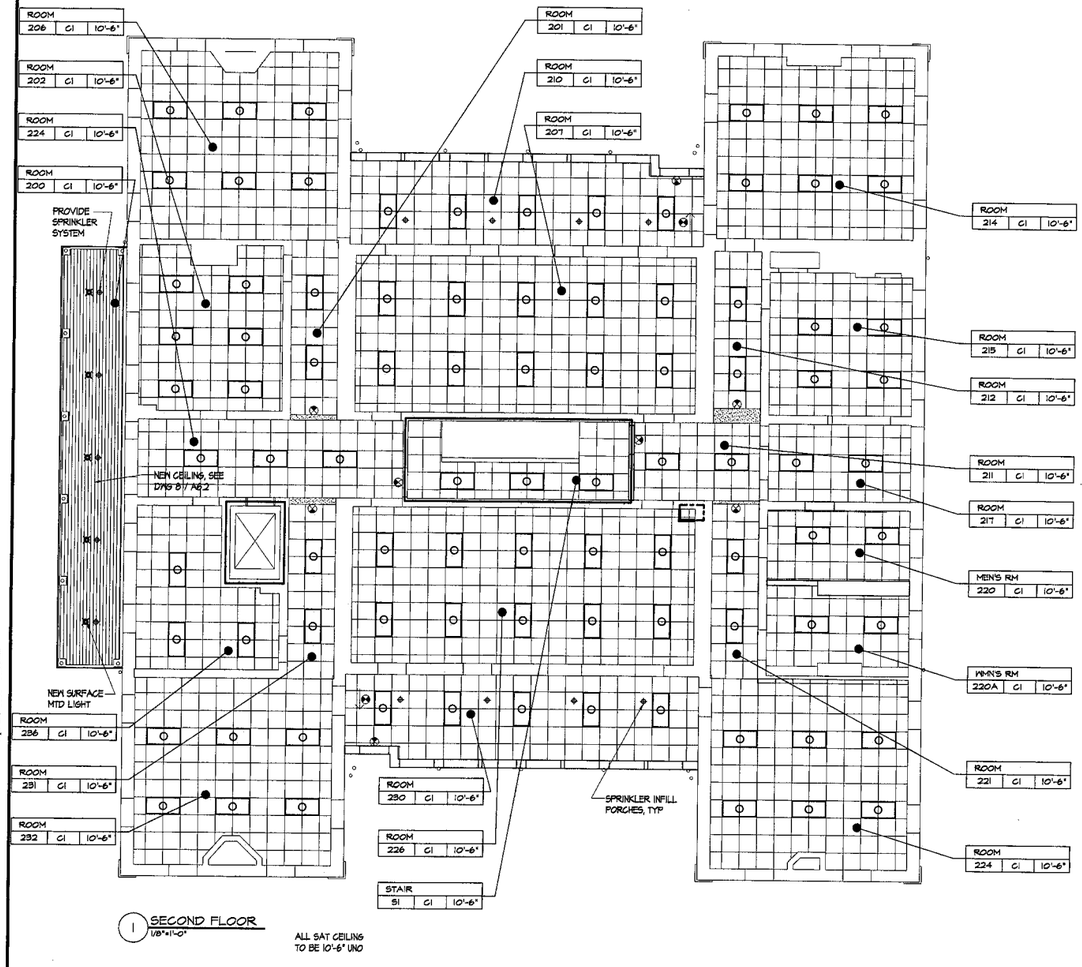
DRWN. CHK
tak

SCALE:
1/8"=1'-0"

ISSUE
Bid Documents
24 April 2006

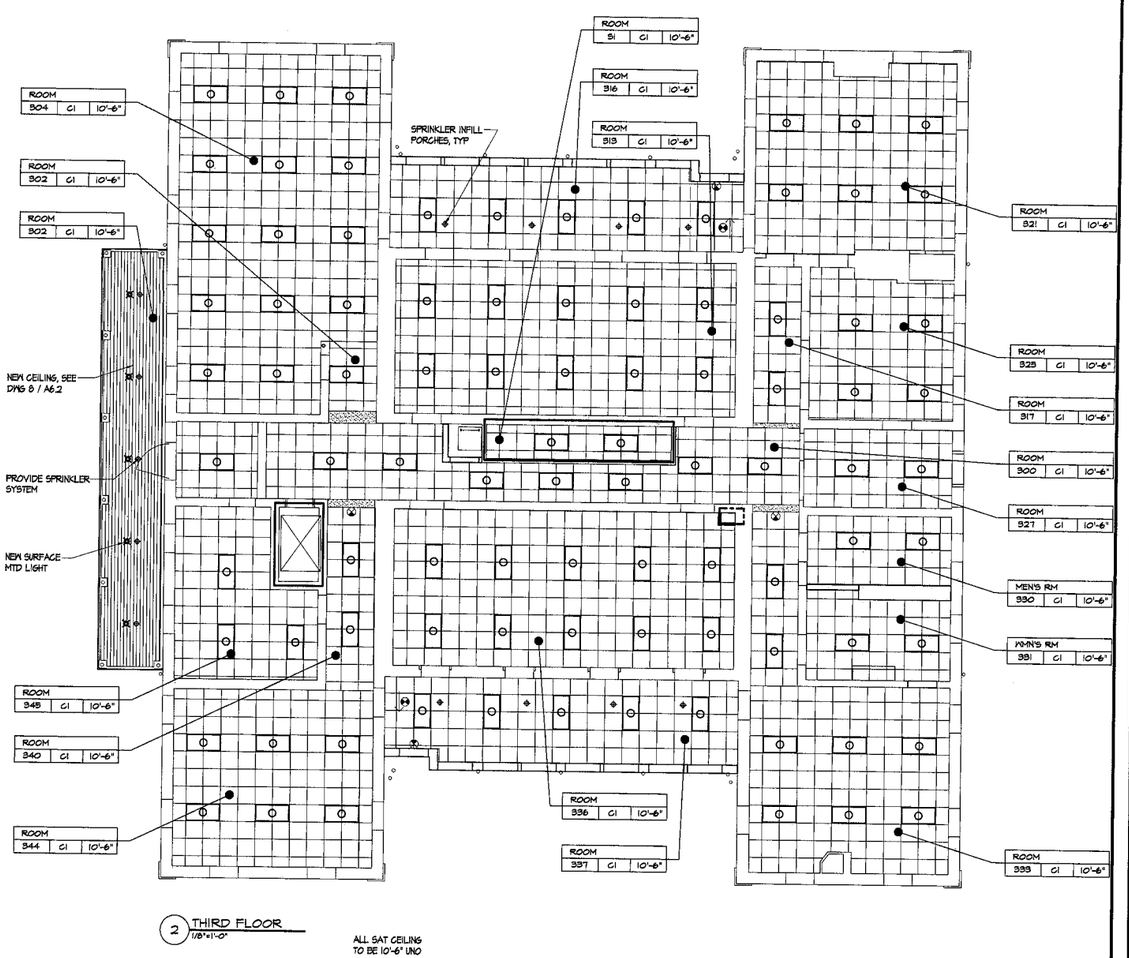
TITLE
Lower Level
and First Floor
Ceiling Plan

SHEET
A2.1



1 SECOND FLOOR
1/8"=1'-0"

ALL SAT CEILING TO BE 10'-6" UNO



2 THIRD FLOOR
1/8"=1'-0"

ALL SAT CEILING TO BE 10'-6" UNO

CEILING GENERAL NOTES

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GRAPHIC LEGEND:

- EMERGENCY EXIT SIGNAL
- 24x24 FLUORESCENT
- 24x48 FLUORESCENT
- 12x48 SURFACE MTD FLUORESCENT
- RECESSED CAN
- WALL SCONCE
- CEILING TYPE C3 - 5/8" PAINTED GWB
- MECHANICAL SUPPLY OR RETURN

CEILING TYPES:

C1- 24x48 SUSPENDED ACOUSTICAL TILE SIMULATED AS 24X24 TILES
C2- 5/8" GWB
C3- NOT SPECIFIED
C4- ONE HOUR RATED GYPSUM BOARD
EXP-EXPOSED TO STRUCTURE ABOVE
OPEN- OPEN TO ABOVE (SECOND FLOOR)

N

Apr 25, 2006 - 11:02am

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PDT ARCHITECTS
ARCHITECTURE
INTERIOR DESIGN
PLANNING
49 DARTMOUTH STREET
PORTLAND, MAINE 04101
207 775-1899
207 775-2894 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

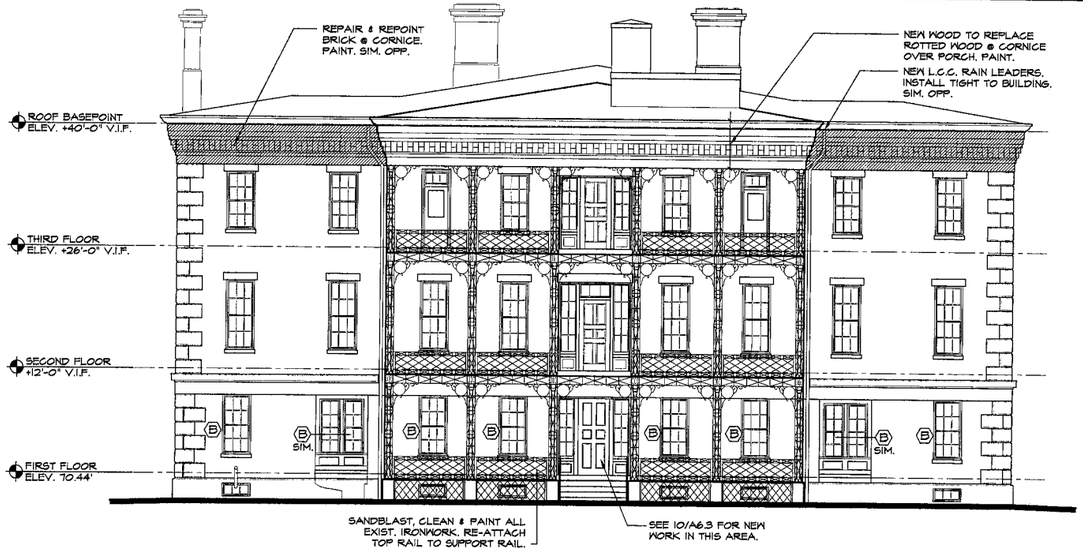
DRWN. CHK
tak

SCALE:
1/8"=1'-0"

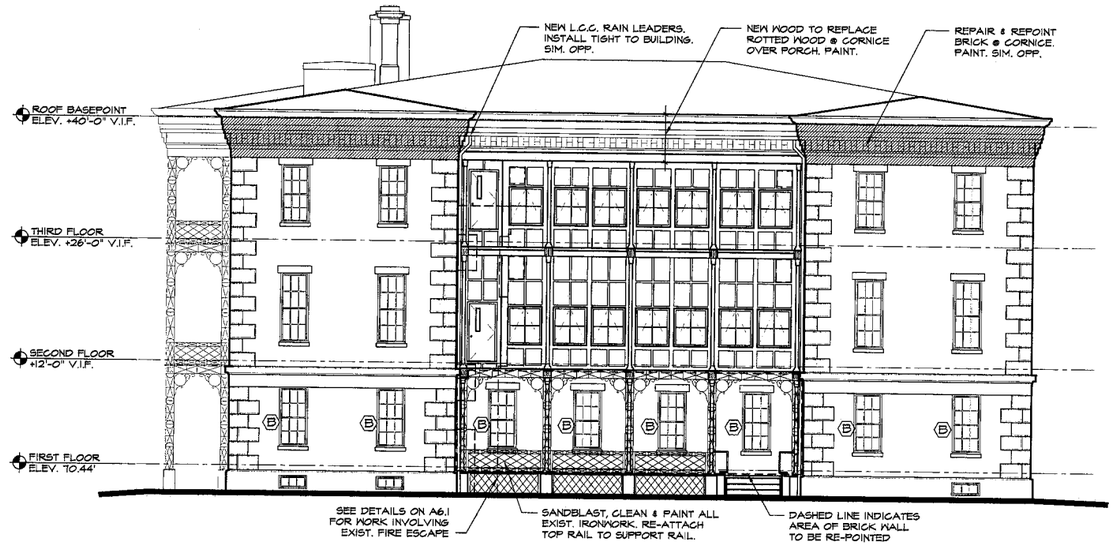
ISSUE
Bid Documents
24 April 2006

TITLE
Second and Third Floor Ceiling Plan

SHEET
A2.2

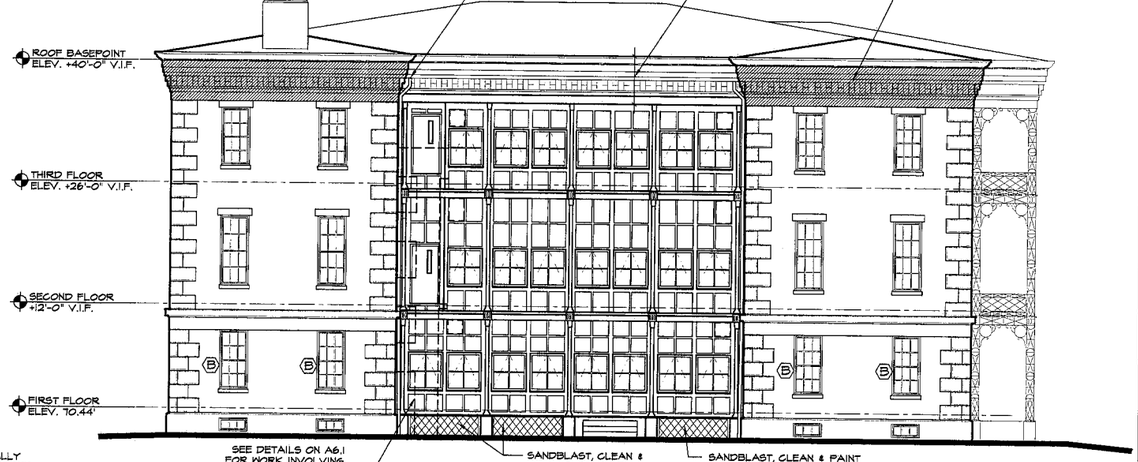


1 A4.1 PROPOSED WEST ELEVATION
1/8" = 1'-0"



2 A4.1 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

3 A4.1 PROPOSED EAST ELEVATION
1/8" = 1'-0"



4 A4.1 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR PAINT COLORS

ENTIRE CORNICE: OFF-WHITE
WINDOW SASH & MUNTINS (EXCEPT INFILL WINDOWS): BLACK
BRICK MOULD & TRIM: OFF-WHITE
CAST IRON: GLOSS BLACK
NEW CEILING @ EAST PORCH: OFF WHITE
ALL DECKING: MEDIUM GREY
INFILL WALLS: CADET GREY (MATCH INFILL WINDOWS)

Apr 25, 2006 - 9:29am

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ARCHITECTURE
INTERIOR DESIGN
PLANNING

P D T A R C H I T E C T S

49 PARKWAY SOUTH SUITE
PORTLAND, ME 04102
207.775.1660
207.775.2644 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

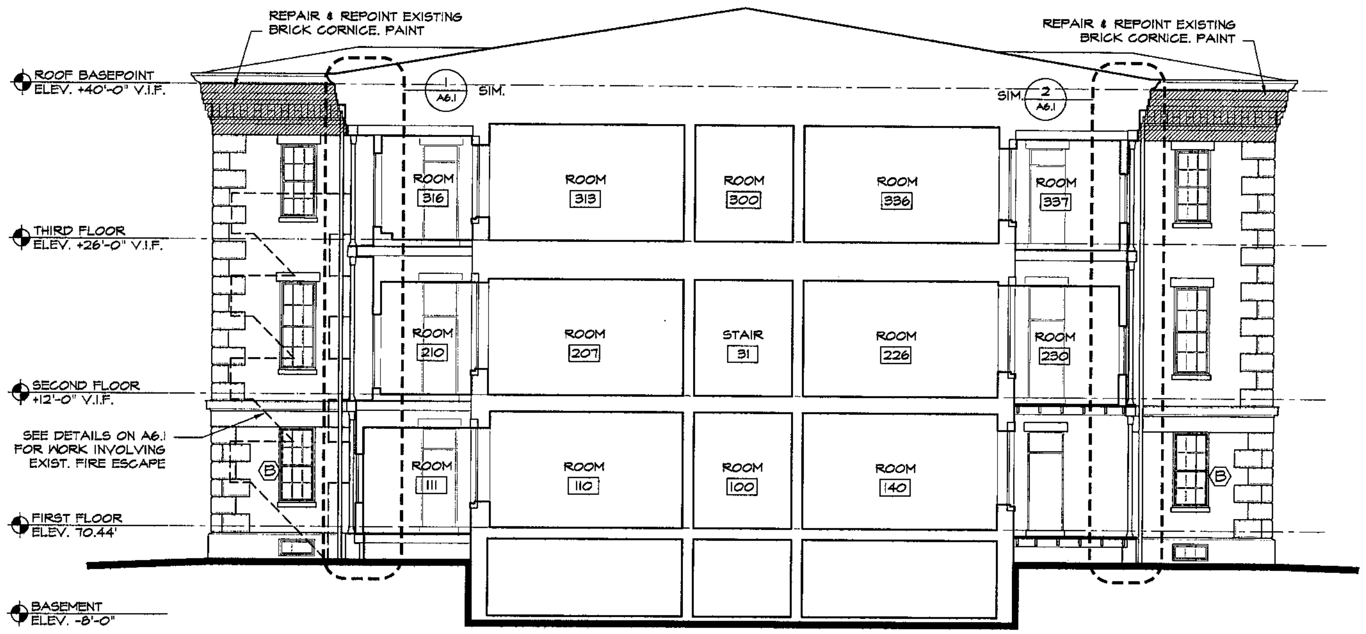
DRWN. CHK
EJR

SCALE:
AS NOTED

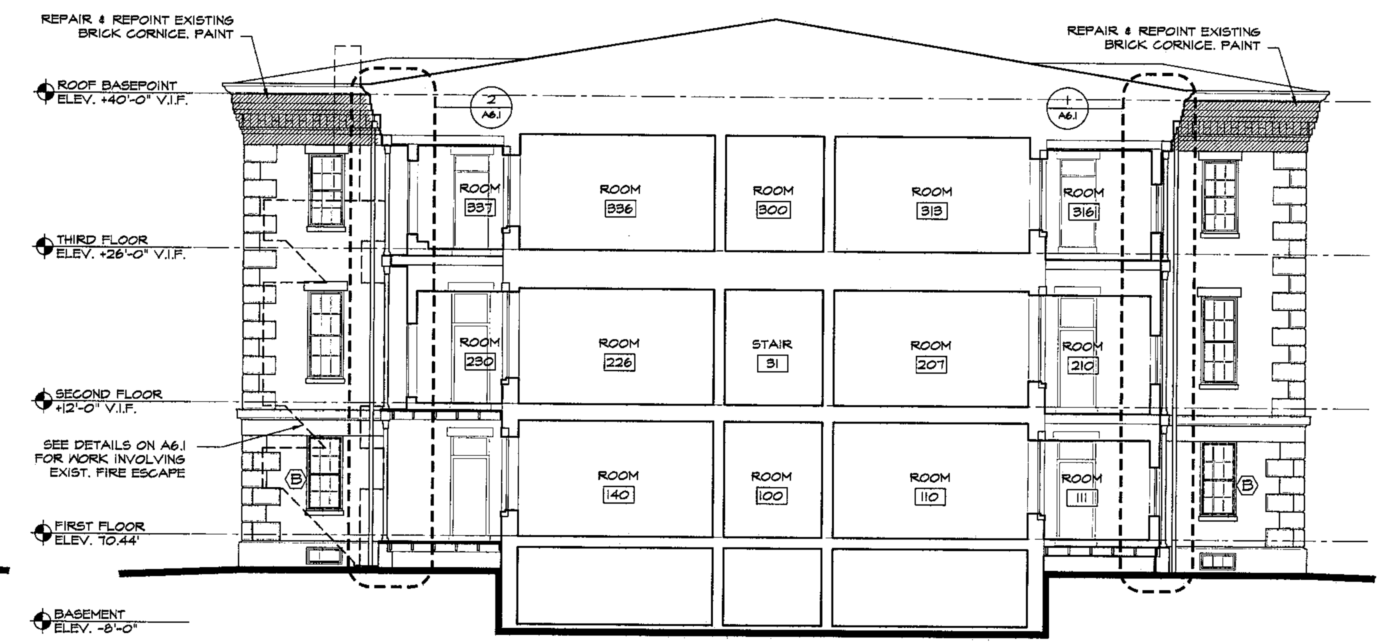
ISSUE
Bid Documents
24 April 2006

TITLE
ELEVATIONS

SHEET
A4.1



1 A4.2 PARTIAL PROPOSED WEST ELEVATION
1/8" = 1'-0"



2 A4.2 PARTIAL PROPOSED EAST ELEVATION
1/8" = 1'-0"

3 A4.2 PROPOSED WEST ELEVATION
1/4" = 1'-0"

Apr 25, 2006 - 9:30am

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ARCHITECTURE
INTERIOR DESIGN
PLANNING

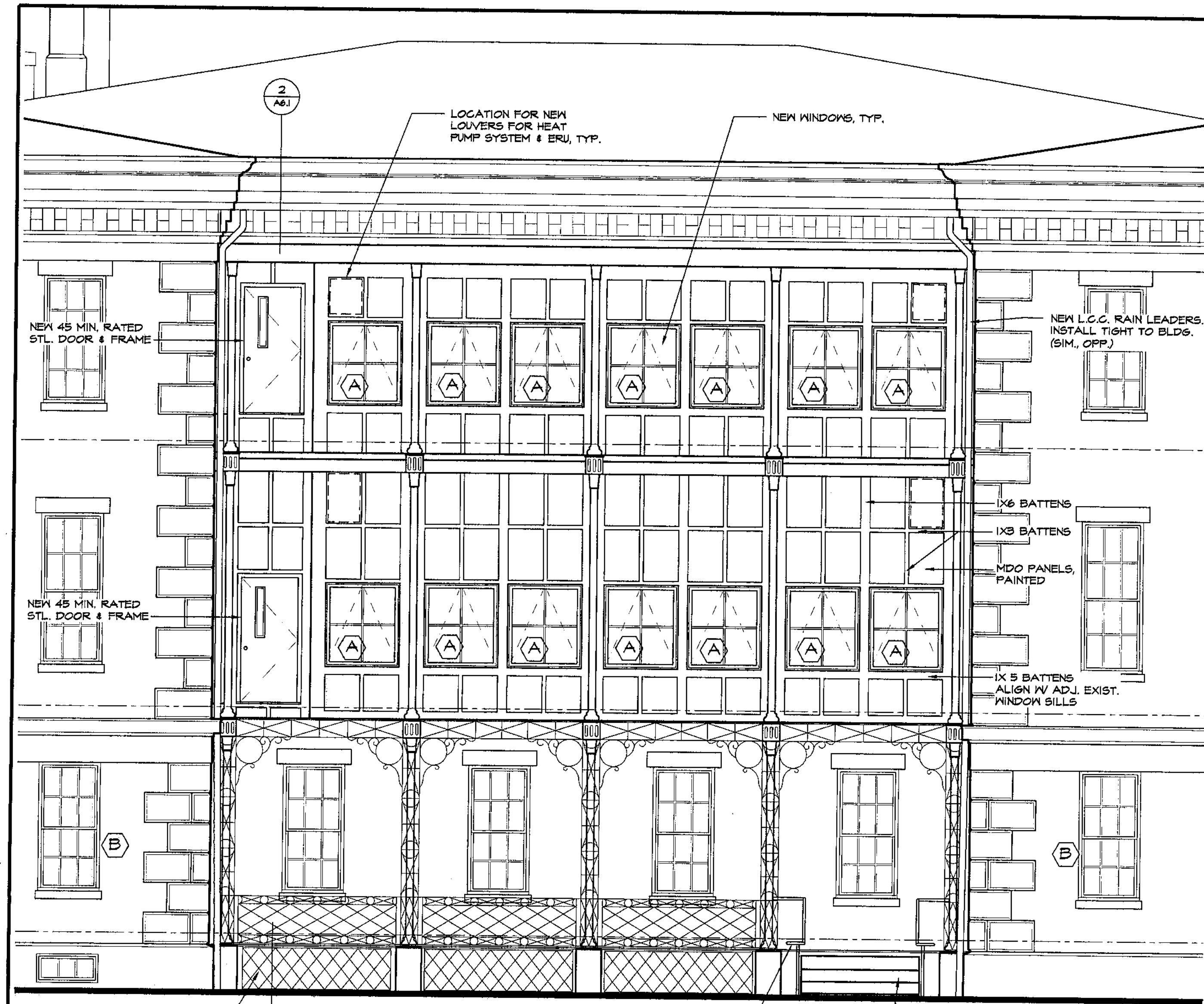
P D T A R C H I T E C T S

49 DARTMOUTH STREET
PORTLAND, ME 04101
207 775-1059
207 775-2694 FAX

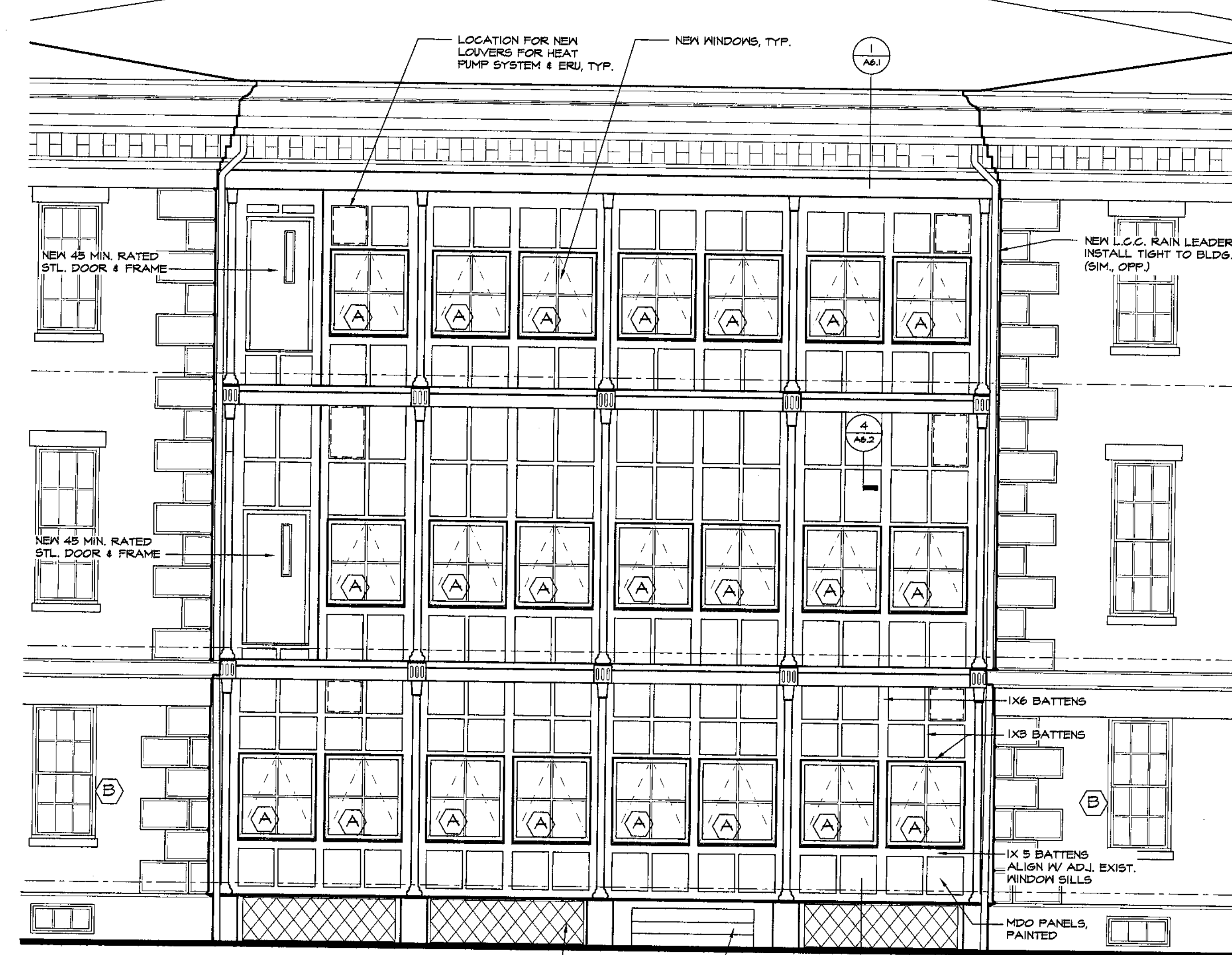
Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.	05-108
DRWN. CHK	EJR
SCALE:	AS NOTED
ISSUE	Bid Documents 24 April 2006
TITLE	ELEVATIONS, BLDG. SECTIONS
SHEET	A4.2



1 A4.3 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



2 A4.3 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

3 A4.3 PROPOSED EAST ELEVATION - ADA ENTRY RAMP
1/4" = 1'-0"

Apr 25, 2006 - 9:30am

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PLANNING
49 DARTMOUTH STREET
PORTLAND, ME 04101
207 775-1059
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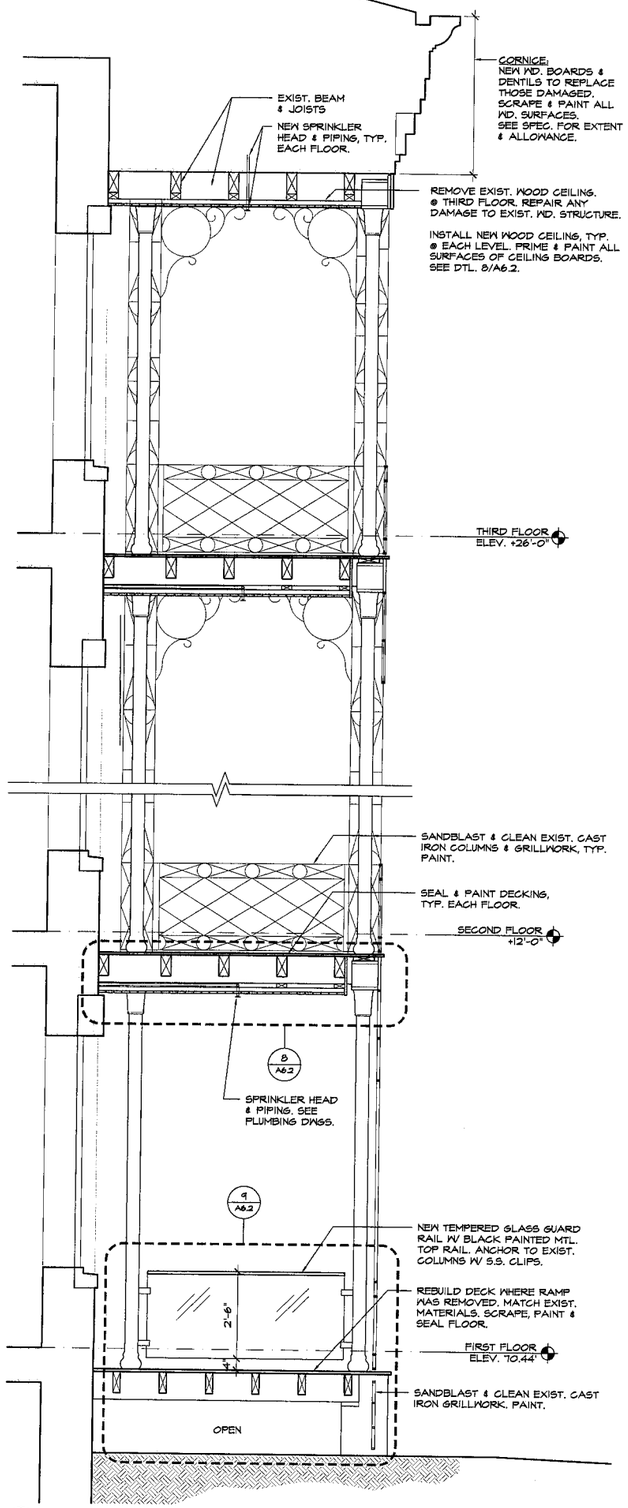
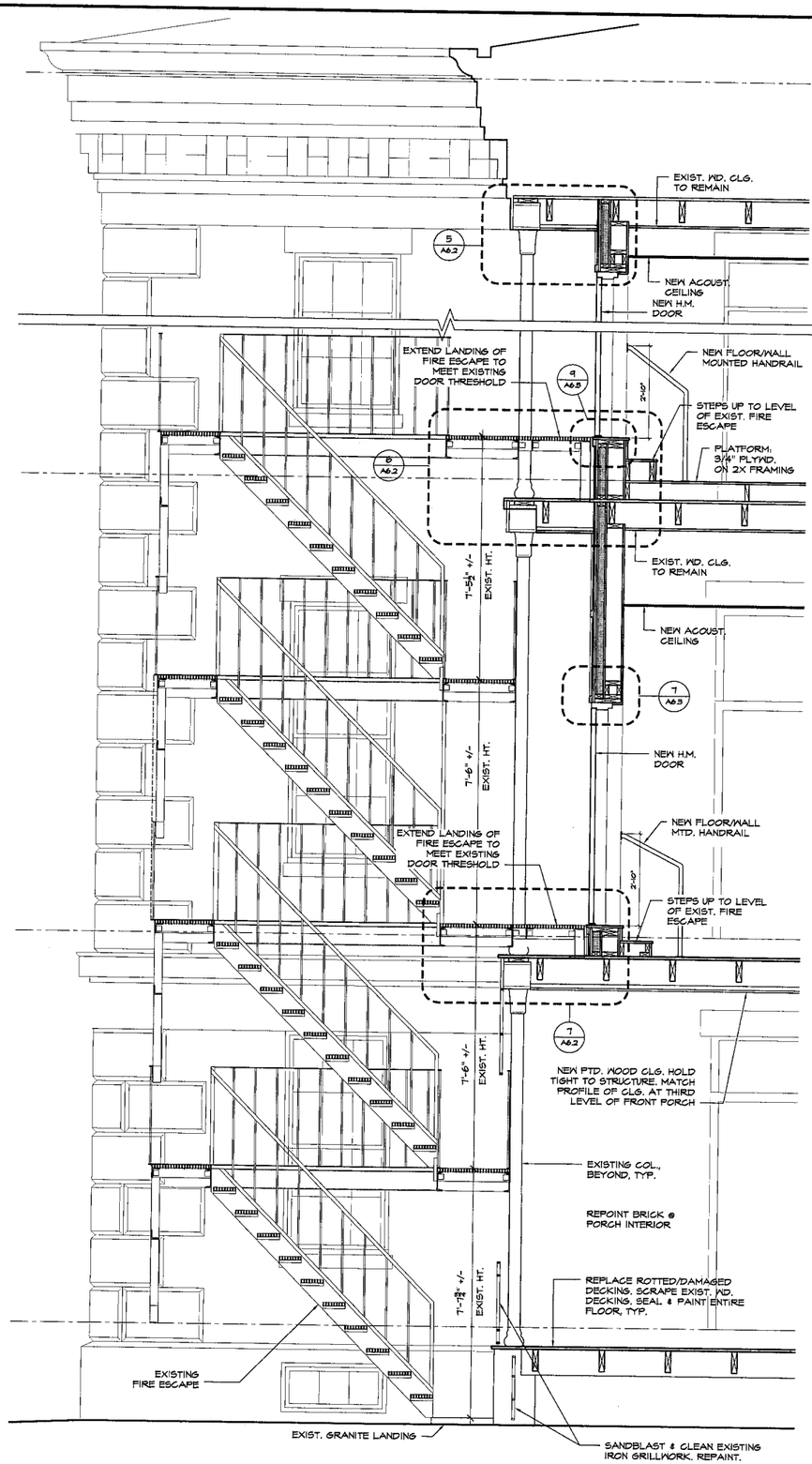
MARTIN'S POINT - PORTLAND, MAINE

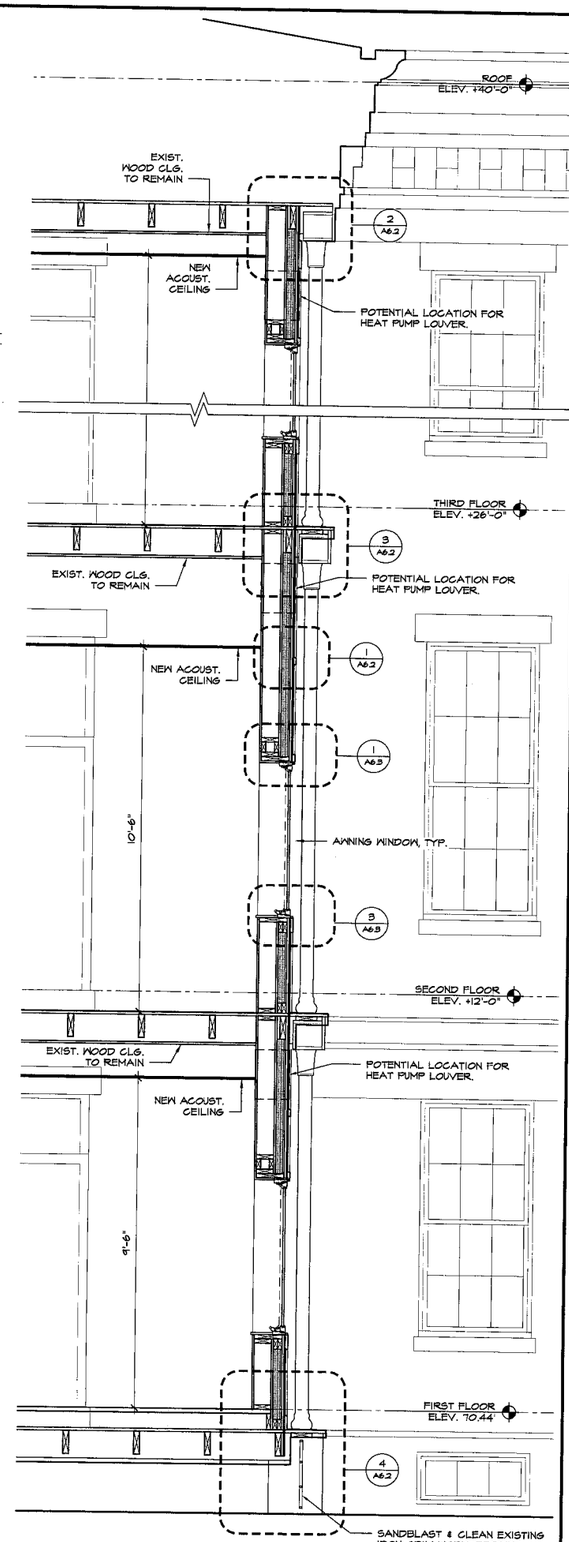
JOB NO.	05-108
DRWN. CHK	EJR
SCALE:	1/4"=1'-0"
ISSUE	Bid Documents 24 April 2006
TITLE	PARTIAL ELEVATIONS
SHEET	A4.3



3 A6.1 WALL SECTION @ SOUTH PORCH 1/2" = 1'-0"



2 A6.1 WALL SECTION @ FIRE ESCAPE 1/2" = 1'-0"



1 A6.1 WALL SECTION @ WEST PORCH 1/2" = 1'-0"

ARCHITECTURE
INTERIOR DESIGN
PLANNING

P D T ARCHITECTS

49 DARTMOUTH STREET
PORTLAND, MAINE 04101
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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO. 05-108

DRWN. CHK EJR

SCALE: AS NOTED

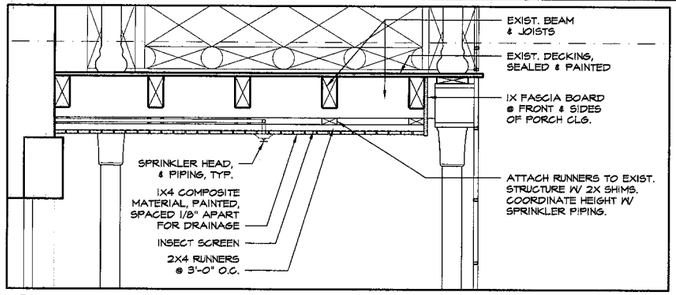
ISSUE
Bid Documents
24 April 2006

TITLE
WALL SECTIONS

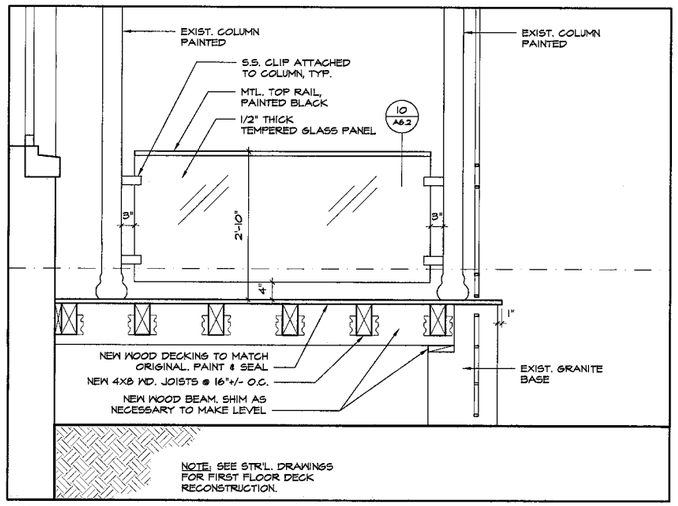
SHEET
A6.1

Apr 25, 2006 - 10:21am

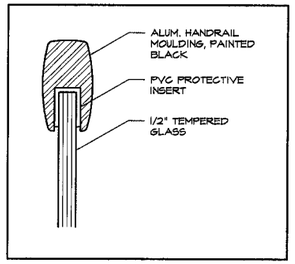
H:\Master Proj Files\Martin's Point- Marine Hospital\Existing Conditions\CAD\MH sections-details.dwg



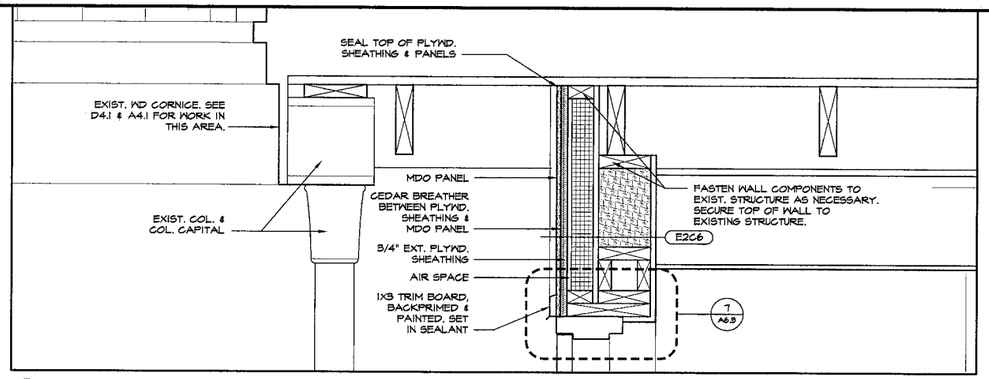
8 EXTERIOR SOFFIT DETAIL
A6.2 3/4" = 1'-0"



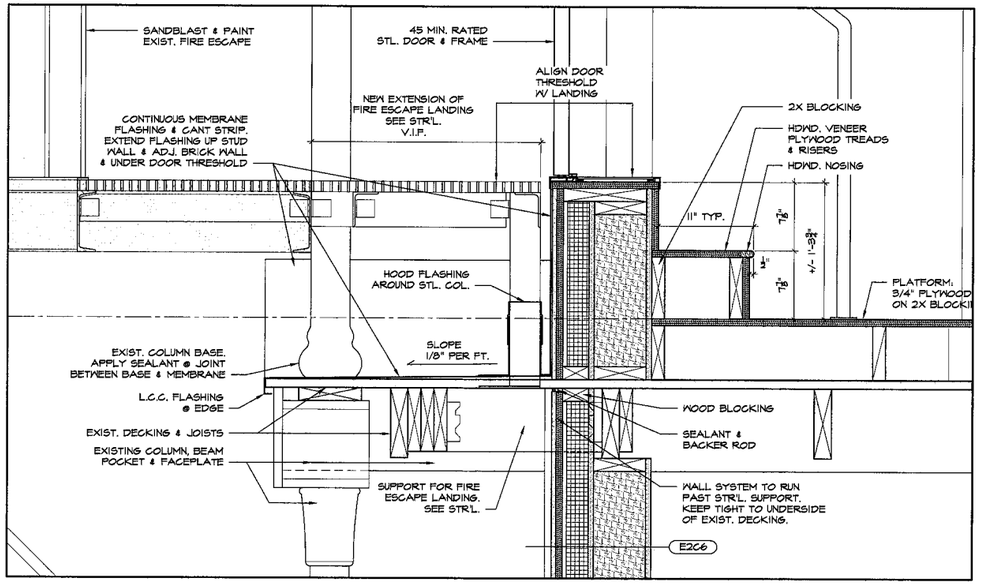
9 EXTERIOR SOFFIT DETAIL
A6.2 3/4" = 1'-0"



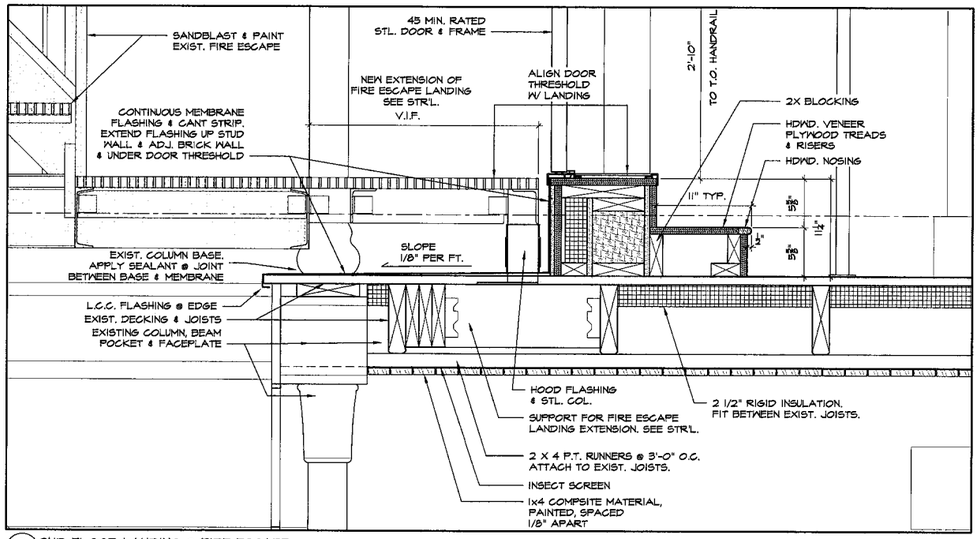
10 GLASS HANDRAIL DETAIL
A6.2 6" = 1'-0"



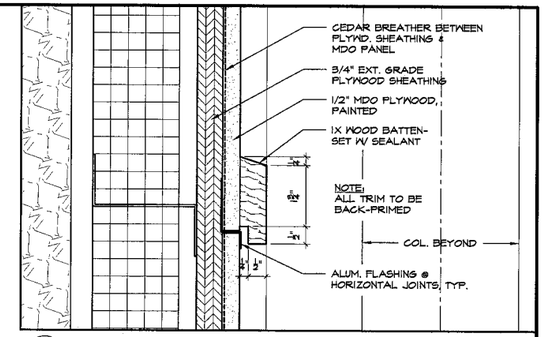
5 EXTERIOR SOFFIT DETAIL
A6.2 1 1/2" = 1'-0"



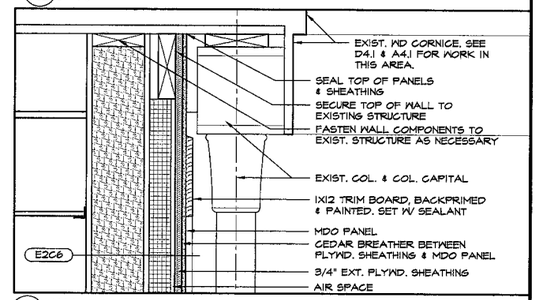
6 3RD FLOOR LANDING @ FIRE ESCAPE
A6.2 1 1/2" = 1'-0"



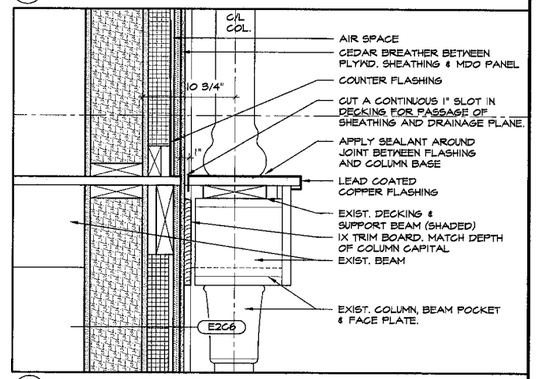
7 2ND FLOOR LANDING @ FIRE ESCAPE
A6.2 1 1/2" = 1'-0"



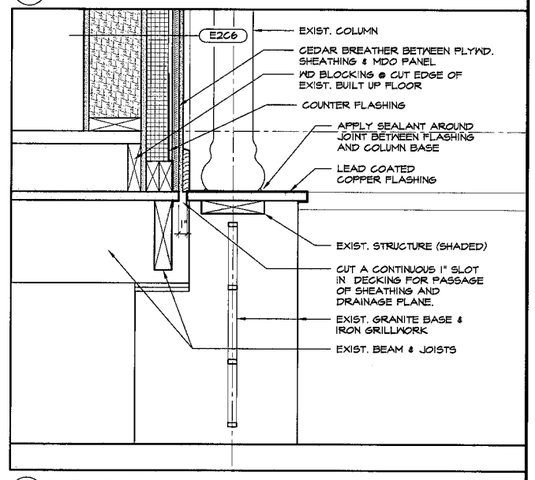
1 BATTEN DETAIL
A6.2 6" = 1'-0"



2 WALL @ CORNICE DETAIL
A6.2 1 1/2" = 1'-0"



3 DECK FLOOR EDGE DETAIL
A6.2 1 1/2" = 1'-0"



4 1ST FLOOR EDGE DETAIL
A6.2 1 1/2" = 1'-0"

ARCHITECTURE
INTERIOR DESIGN
PLANNING

49 DARTMOUTH STREET
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P D T A R C H I T E C T S

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK
EJR

SCALE:
AS NOTED

ISSUE
Bid Documents
24 April 2006

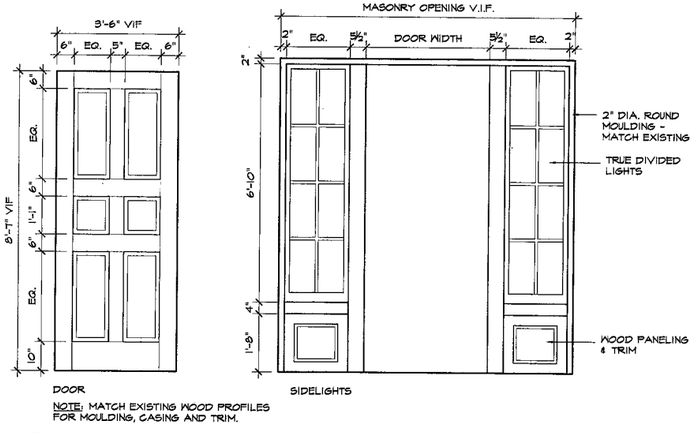
TITLE
WALL SECTION DETAILS

SHEET
A6.2

Apr 25, 2006 - 10:21am

H:\Master Proj File\2\Martin's Point - Marine Hospital\Existing Conditions\CAD\MH sections-details.dwg

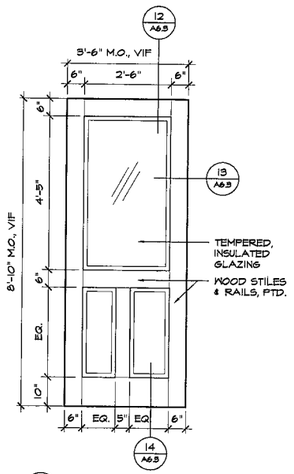
DOOR TYPES



DOOR SIDELIGHTS

NOTE: MATCH EXISTING WOOD PROFILES FOR MOULDING, CASING AND TRIM.

10 / A6.3 PROPOSED WEST ENTRY DOOR - EAST & WEST ELEVATIONS
1/2" = 1'-0"

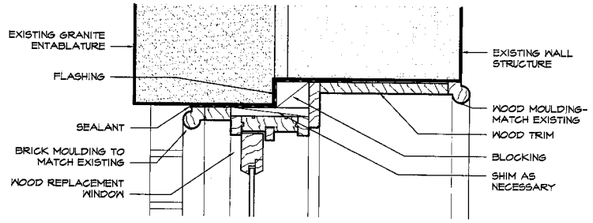


11 / A6.3 PROPOSED FALSE DOOR
1/2" = 1'-0"

WOOD REPLACEMENT WINDOW DETAILS

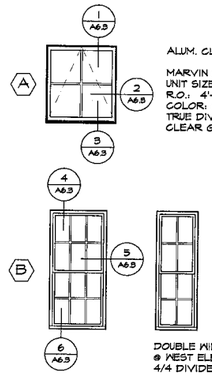
REPLACEMENT WINDOW NOTES:

1. DOCUMENT EXISTING CONDITIONS AND PROFILES OF WOOD MOULDINGS, CASING AND TRIM BEFORE PROCEEDING WITH WORK.
2. MATCH EXISTING PROFILES FOR MOULDINGS, CASING AND TRIM.
3. PRESERVE EXISTING FINISHES



4 / A6.3 REPLACEMENT WINDOW HEAD DETAIL
3"=1'-0"

WINDOW TYPES



ALUM. CLAD WINDOW, TO MATCH:

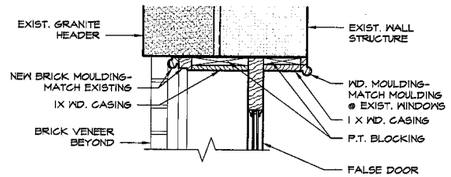
MARVIN CLAD WOOD AWNING
UNIT SIZE: 4'-0" X 4'-5 1/2"
R.O.: 4'-1" X 4'-6"
COLOR: CADET GREY
TRUE DIVIDED LITES
CLEAR GLASS ONLY, NO LOW-E

REPLACEMENT WOOD WINDOW:
DOUBLE HUNG
6/6 TRUE DIVIDED LIGHTS
SINGLE PANED CLEAR GLASS, NO LOW-E
VERIFY DIMENSIONS IN FIELD
SASH TO BE PAINTED BLACK
FRAME & BRICK MOULD COLOR T.B.D.

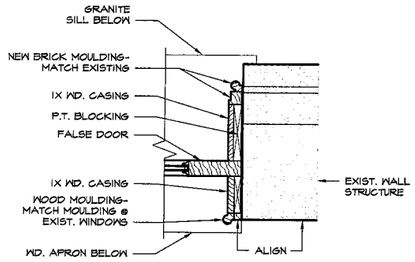
DOUBLE WINDOWS @ WEST ELEVATION 4/4 DIVIDE LITES

FALSE DOOR DETAILS

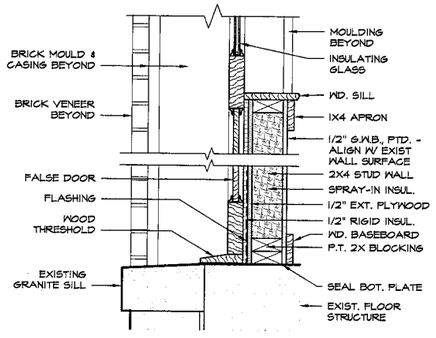
NOTE: MATCH EXISTING PROFILES FOR MOULDING, CASING AND TRIM.



12 / A6.3 HEAD
1 1/2"=1'-0"

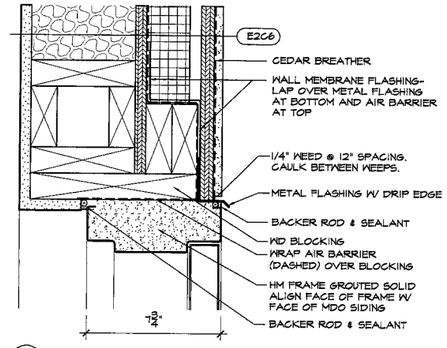


18 / A6.3 JAMB
1 1/2"=1'-0"

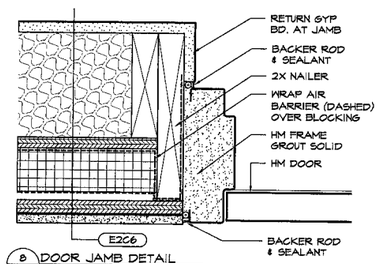


14 / A6.3 SILL & SHELF
1 1/2"=1'-0"

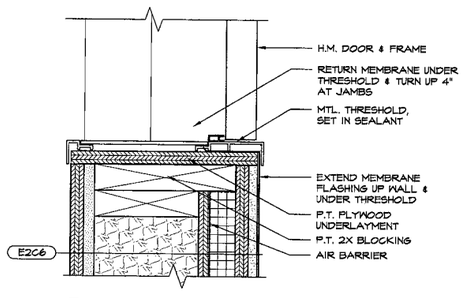
DOOR DETAILS



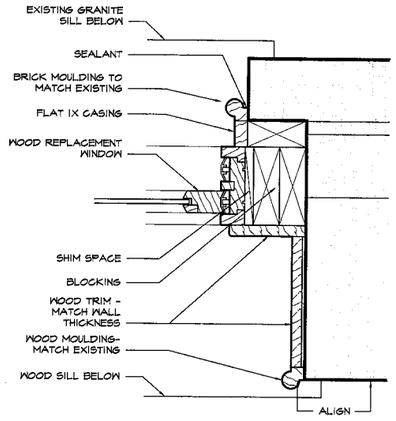
7 / A6.3 DOOR HEAD DETAIL
3"=1'-0"



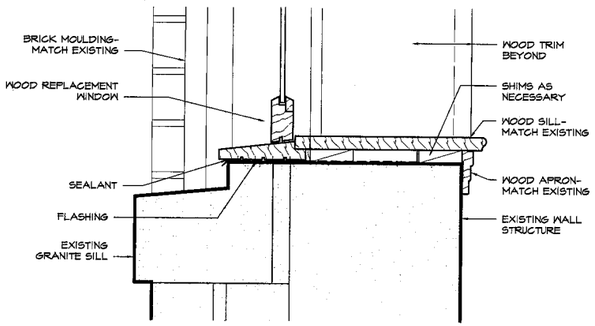
8 / A6.3 DOOR JAMB DETAIL
3"=1'-0"



9 / A6.3 DOOR THRESHOLD DETAIL
3"=1'-0"

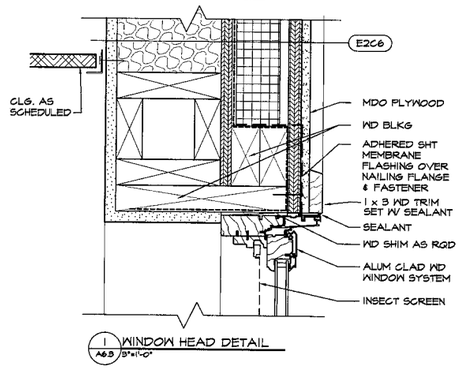


5 / A6.3 REPLACEMENT WINDOW JAMB DETAIL
3"=1'-0"

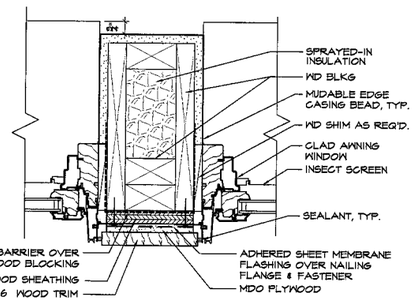


6 / A6.3 REPLACEMENT WINDOW SILL DETAIL
3"=1'-0"

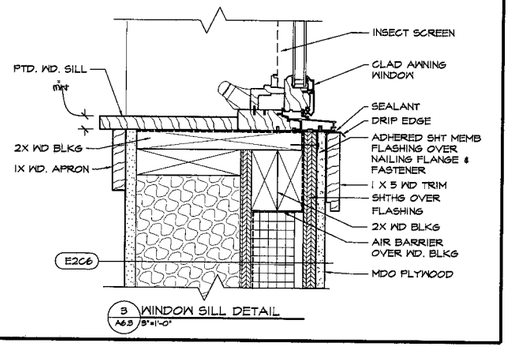
WINDOW DETAILS



1 / A6.3 WINDOW HEAD DETAIL
3"=1'-0"



2 / A6.3 WINDOW JAMB DETAIL
3"=1'-0"



3 / A6.3 WINDOW SILL DETAIL
3"=1'-0"

ARCHITECTURE
INTERIOR DESIGN
PLANNING

P D T ARCHITECTS

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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO. 05-108

DRWN. CHK. EJR

SCALE: AS NOTED

ISSUE: Bid Documents 24 April 2006

TITLE: DOOR & WINDOW DETAILS

SHEET: A6.3

Apr 25, 2006 - 10:22am

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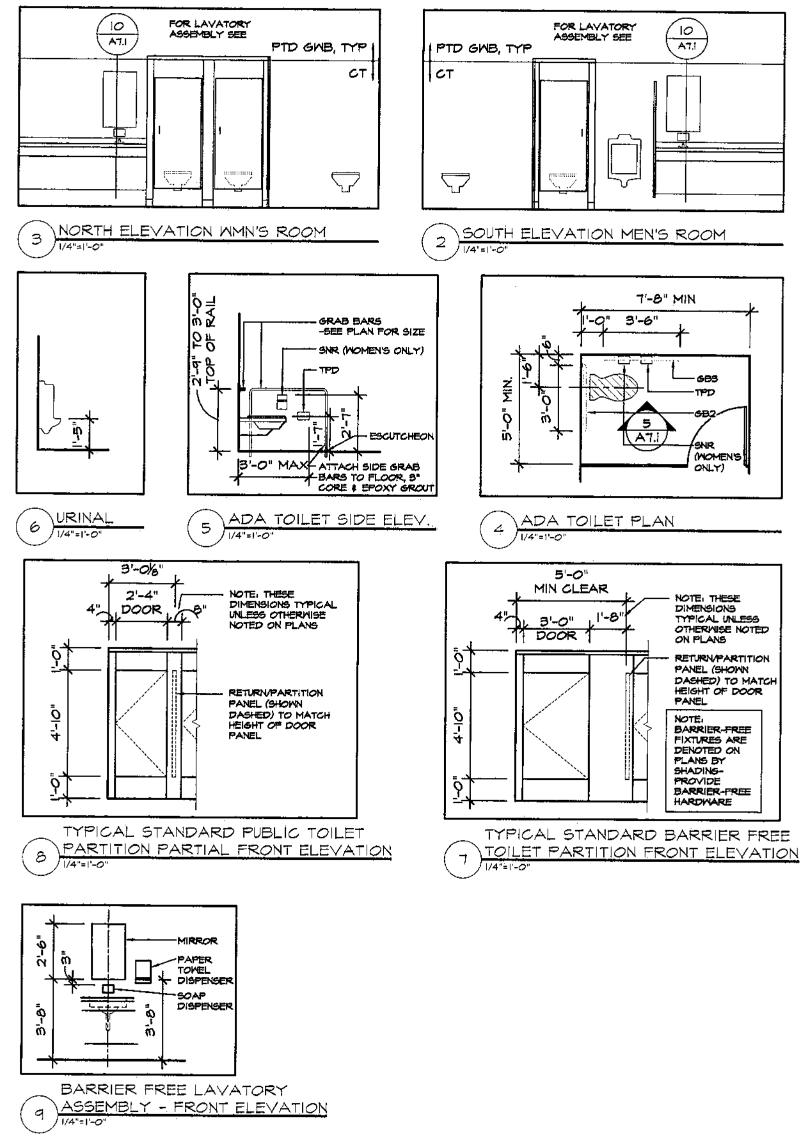


3 NORTH ELEVATION WMN'S ROOM 1/4"=1'-0"

2 SOUTH ELEVATION MEN'S ROOM 1/4"=1'-0"

6 URINAL 1/4"=1'-0"

5 ADA TOILET SIDE ELEV. 1/4"=1'-0"

4 ADA TOILET PLAN 1/4"=1'-0"

8 TYPICAL STANDARD PUBLIC TOILET PARTITION PARTIAL FRONT ELEVATION 1/4"=1'-0"

7 TYPICAL STANDARD BARRIER FREE TOILET PARTITION FRONT ELEVATION 1/4"=1'-0"

9 BARRIER FREE LAVATORY ASSEMBLY - FRONT ELEVATION 1/4"=1'-0"

PLAN GRAPHICS KEY:

CLR FLR SPACE REQ'D FOR WHEELCHAIR TURN

HATCH INDICATES BARRIER FREE FIXTURE

LEGEND:

1	PAPER TOWEL DISPENSER
2	TOILET PAPER DISPENSER
3	SOAP DISPENSER
4	GRAB BARS
5	MIRROR UNIT
6	MOP & BROOM HOLDER
7	SANITARY NAPKIN RECEPTACLE

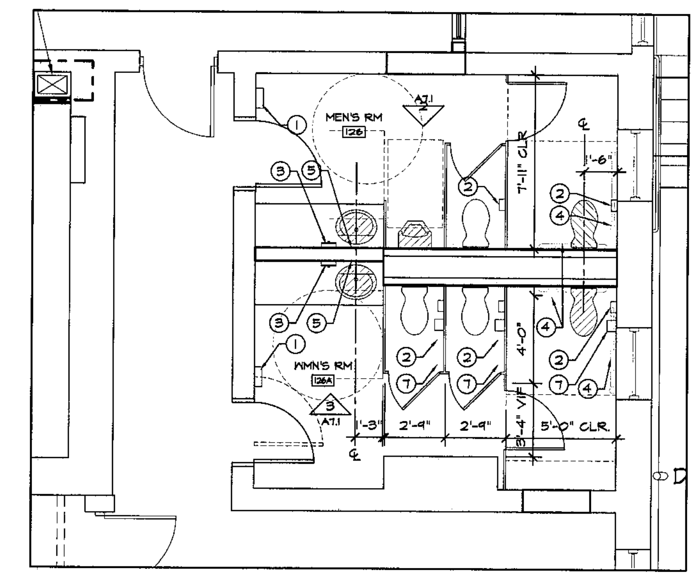
NOTE:

TOILET ROOM GENERAL NOTES:

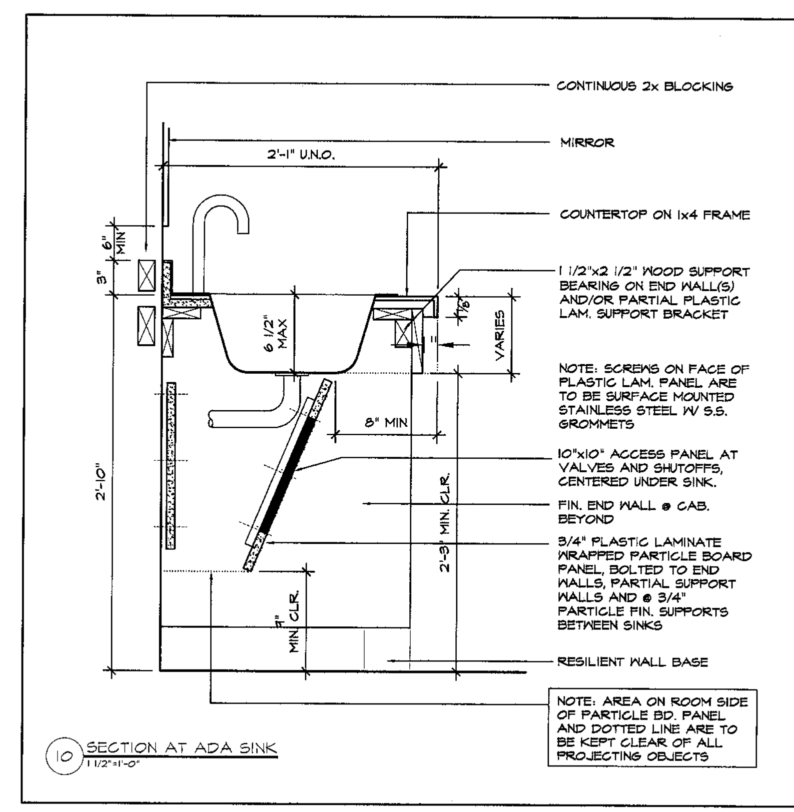
1. PROVIDE GRAB BARS AS INDICATED IN PLAN.
2. ALL URINALS TO BE SET W/ RIM @ 17" AFF

ROOM FINISH NOTES:

1. PROVIDE NEW BAKED ENAMEL TOILET PARTITIONS, TOILET ACCESSORIES INCLUDING SOAP DISPENSERS & PAPER TOWEL DISPENSERS.
2. FLOOR FINISH TO BE CERAMIC TILE W/ INTEGRAL COVE AND WAINSCOT TO 6'-8" AFF.
3. SEE SPECIFICATION FOR MIRRORS.



1 ENLARGED BATHROOM CORE 1/4"=1'-0"



10 SECTION AT ADA SINK 1 1/2"=1'-0"

ARCHITECTURE INTERIOR DESIGN PLANNING
PDT ARCHITECTS
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Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO. 05-108

DRWN. tak CHK

SCALE: AS NOTED

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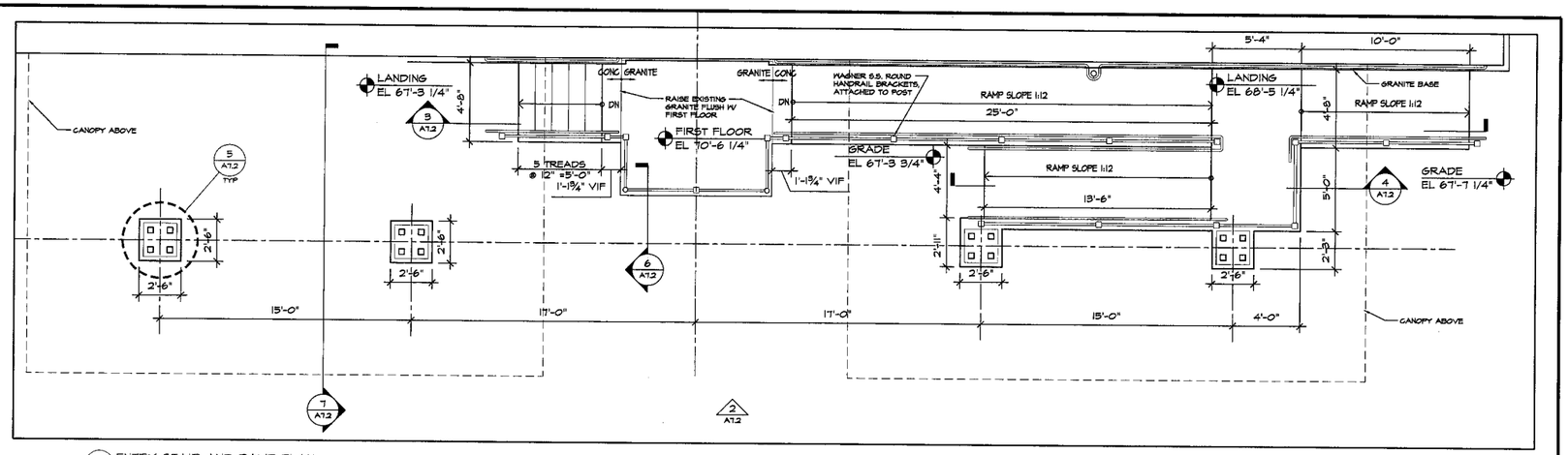
24 April 2006

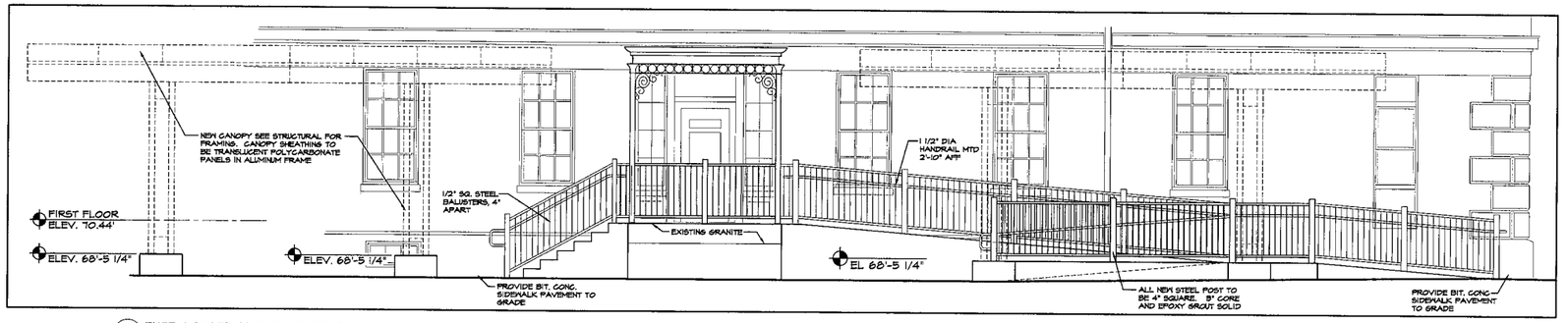
TITLE
Enlarged Bathroom Plan and Elevations

SHEET
A7.1

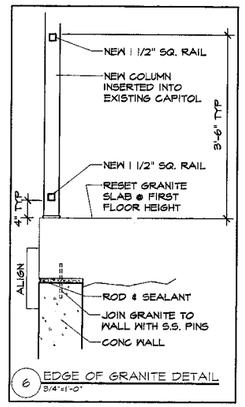
Apr 25, 2006 - 11:01am
H:\Master Proj Files2\Martin's Point- Marine Hospital\CAD\DD\A7.1.dwg



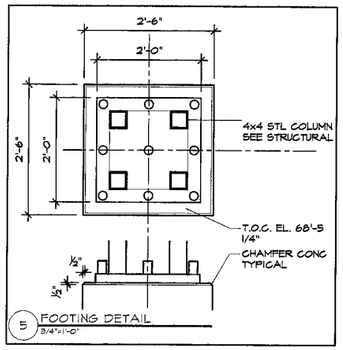
1 ENTRY STAIR AND RAMP PLAN
1/4"=1'-0"



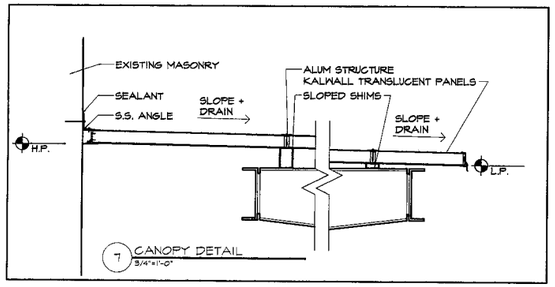
2 ENTRY STAIR AND RAMP SECTION
1/4"=1'-0"



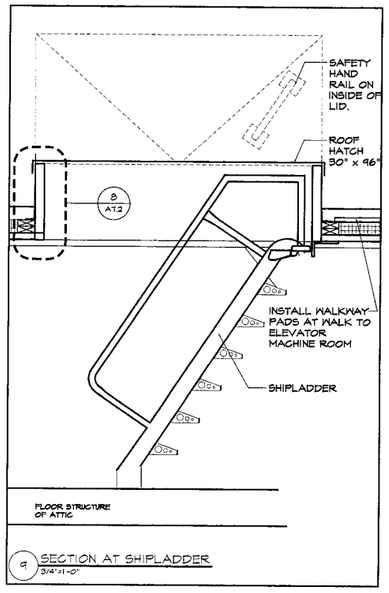
6 EDGE OF GRANITE DETAIL
3/4"=1'-0"



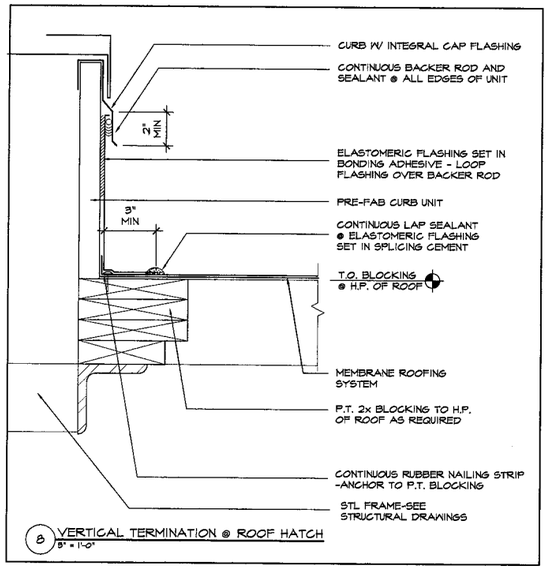
5 FOOTING DETAIL
3/4"=1'-0"



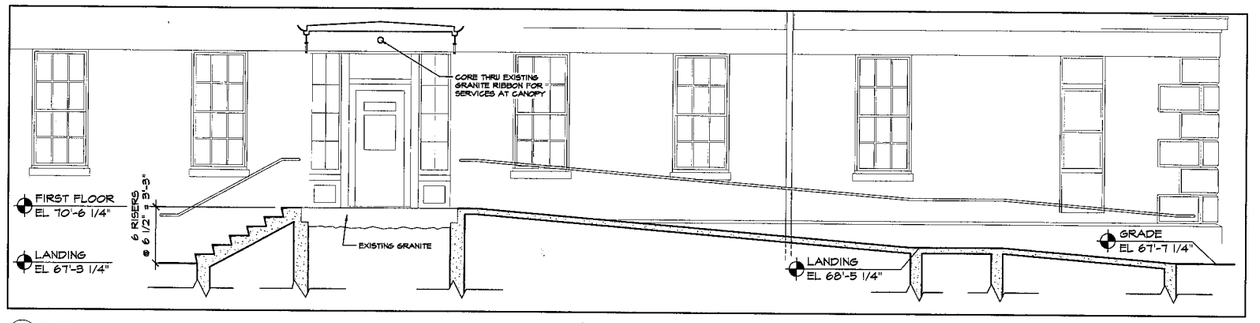
7 CANOPY DETAIL
3/4"=1'-0"



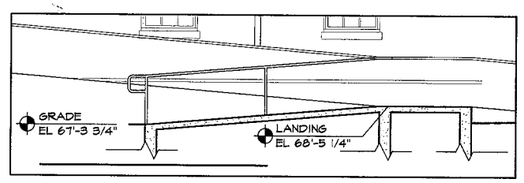
9 SECTION AT SHIPLADDER
3/4"=1'-0"



8 VERTICAL TERMINATION @ ROOF HATCH
3" = 1'-0"



3 ENTRY STAIR AND RAMP SECTION
1/4"=1'-0"



4 ENTRY STAIR AND RAMP SECTION
1/4"=1'-0"

ARCHITECTURE/INTERIOR DESIGN/PLANNING
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49 DARTMOUTH STREET
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207 775-5094 FAX

Marine Hospital Renovation

MARTIN'S POINT - PORTLAND, MAINE

JOB NO.
05-108

DRWN. CHK
tak

SCALE:
AS NOTED

ISSUE
Bid Documents
24 April 2006

TITLE
Entry Ramp and Stair Drawings

SHEET
A7.2

Apr 25, 2006 - 4:14pm

H:\Master Proj Files2\Martin's Point- Marine Hospital\CAD\DD\A71.dwg

GENERAL NOTES

1. THE NOTES ON THESE DRAWINGS ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES. INCONSISTENCIES BETWEEN THESE DRAWINGS AND THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE AFFECTED PORTION OF THE WORK.

2. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, CHASES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON STRUCTURAL DRAWINGS.

3. ALL DIMENSIONS, EXISTING CONDITIONS, AND AS-BUILT CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.

4. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S-- DRAWINGS IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.

5. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE STRUCTURAL ENGINEER. THE STRUCTURAL ENGINEER RESERVES THE RIGHT TO INTERPRET DETAILS TO ADDRESS OTHER PROJECT CONDITIONS.

6. THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS FOR ALL PARTS OF THE WORK, INCLUDING DESCRIPTION OF SHORING, AND CONSTRUCTION METHODS AND SEQUENCING WHERE APPLICABLE. NO PERFORMANCE OF THE WORK INCLUDING, BUT NOT LIMITED TO, DEMOLITION OF EXISTING STRUCTURE, OR FABRICATION OR ERECTION OF NEW STRUCTURAL ELEMENTS, SHALL COMMENCE WITHOUT REVIEW OF THE SHOP DRAWINGS BY THE ARCHITECT AND ENGINEER. SUBMIT ONE COPY AND ONE SEPIA. COPY WILL BE REVIEWED AND SEPIA WILL BE RETURNED. FOR SHOP DRAWINGS AND SUBMITTALS REQUIRED, REFERENCE THE PROJECT SPECIFICATIONS.

7. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

8. IN ACCORDANCE WITH THE NTERNATIONAL BUILDING CODE (2003 EDITION, SECTION 1704.1), A STATEMENT OF SPECIAL INSPECTIONS IS REQUIRED AS A CONDITION FOR PERMIT ISSUANCE BY THE LOCAL CODE OFFICIAL. THIS STATEMENT SHALL INCLUDE A COMPLETE LIST OF MATERIALS AND WORK REQUIRING SPECIAL INSPECTIONS, THE INSPECTIONS TO BE PERFORMED AND A LIST OF THE INDIVIDUALS, APPROVED AGENCIES AND FIRMS INTENDED TO BE RETAINED FOR CONDUCTING SUCH INSPECTIONS.

9. REFERENCE THE PROJECT SPECIFICATIONS FOR ALL TESTING REQUIREMENTS.

DESIGN LOADS

1. BUILDING CODE:
   INTERNATIONAL BUILDING CODE, 2003 EDITION
   ASCE 7-02 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.

2. DESIGN FLOOR LIVE LOADS:
   LIVE LOADS ARE ASSUMED TO BE LESS THAN OR EQUAL TO HISTORIC USE. AREAS OUTSIDE OF CORRIDORS AND STAIRS ARE LIMITED TO 70 PSF ALLOWABLE LIVE LOAD.
   POTENTIAL USES:
   OFFICES: 50 PSF + 20 PSF PARTITION ALLOWANCE
   PRIVATE ROOMS AND CORRIDORS SERVING THEM: 40 PSF
   LOBBIES AND FIRST FLOOR CORRIDORS: 100 PSF
   STAIRS: 100 PSF

3. DESIGN ROOF SNOW LOAD:

GROUND SNOW LOAD (Pg):	60 PSF
SNOW EXPOSURE FACTOR (Ce):	1.0
SNOW LOAD IMPORTANCE FACTOR (Is):	1.0
SNOW LOAD THERMAL FACTOR (Ct):	1.1
FLAT ROOF SNOW LOAD (PF):	46 PSF + DRIFT

4. DESIGN WIND LOAD:

BASIC WIND SPEED:	100 MPH
WIND LOAD IMPORTANCE FACTOR (Iw):	1.00
WIND EXPOSURE:	C
INTERNAL PRESSURE COEFFICIENT:	±0.18
COMPONENTS & CLADDING LOADS PER ASCE 7-02	

5. DESIGN SEISMIC LOADS:
   BUILDING SEISMIC SYSTEM IS EXISTING BEARING WALL / ORDINARY PLAIN MASONRY SHEAR WALLS. CHANGE OF OCCUPANCY WILL NOT RESULT IN STRUCTURE BEING RECLASSIFIED TO A HIGHER SEISMIC USE GROUP. STRUCTURE IS NOT REQUIRED TO BE SEISMICALLY UPGRADED.

FOUNDATION NOTES (SOIL SUPPORTED)

1. FOUNDATION DESIGN IS BASED ON SHALLOW SPREAD FOOTINGS BEARING ON SUITABLE UNDISTURBED NATIVE SOILS AND/OR NEW COMPACTED STRUCTURAL FILL EXTENDING TO UNDISTURBED NATIVE SOIL.

2. PRESUMPTIVE BEARING CAPACITY 3000 PSF.

4. EXTEND BOTTOM OF EXTERIOR FOOTINGS AT LEAST 4.5 FEET BELOW THE FINAL EXTERIOR GRADE FOR PROTECTION AGAINST FROST.

5. ALL PAVEMENT, EXISTING FOUNDATIONS AND UNCONTROLLED GRANULAR FILL SHALL BE REMOVED FROM THE AREA OF THE PLANNED FOUNDATION TO AT LEAST 4 FEET BEYOND THE FOOTING LIMIT.

6. COMPACTED STRUCTURAL FILL SHALL BE USED TO BACKFILL TO THE DESIGN FOOTING SUBGRADE AND BENEATH ALL SLABS ON GRADE. STRUCTURAL FILL SHALL BE A CLEAN SAND-GRAVEL MIXTURE MEETING THE THE FOLLOWING GRADATION:

SCREEN OR SIEVE SIZE	PERCENT PASSING
6 INCH	100
3 INCH	90-100
1/4 INCH	25-90
NO. 40	0-30
NO. 200	0-5

7. STRUCTURAL FILL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES IN LOOSE THICKNESS AND SHALL BE COMPACTED TO 95 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557, MODIFIED PROCTOR TEST. COMPACT ADJACENT TO FOUNDATION WALLS SUPPORTING UNBALANCED FILL (RETAINING WALLS) TO 94 TO 96 PERCENT OF MAXIMUM DRY DENSITY PER ASTM D-1557. HAND OPERATED EQUIPMENT SHALL BE USED FOR COMPACTION WITHIN 8 FEET OF NEW FOUNDATION WALL.

8. NO BACKFILL SHALL BE PLACED AGAINST FOUNDATION WALLS RETAINING EARTH, UNLESS WALLS ARE ADEQUATELY BRACED TO PREVENT MOVEMENT OR STRUCTURAL DAMAGE.

9. PROVIDE PVC DRAINPIPE AROUND THE PERIMETER OF THE STRUCTURE. LOCATE AT THE BOTTOM OF THE FOUNDATION WALLS AND PROVIDE POSITIVE GRAVITY FLOW TO PROPERLY DESIGNED OUTLET. REFER TO SITE DRAWINGS FOR ADDITIONAL INFORMATION.

10. SOILS EXPOSED AT THE BASE OF ALL SATISFACTORY FOUNDATION EXCAVATIONS SHALL BE PROTECTED AGAINST ANY DETRIMENTAL CHANGE IN CONDITION, SUCH AS DISTURBANCE FROM RAIN OR FROST. SURFACE RUNOFF SHALL BE DRAINED AWAY FROM THE EXCAVATIONS AND NOT BE ALLOWED TO POND. FOUNDATION EXCAVATIONS SHALL BE ADEQUATELY PROTECTED FROM RAINFALL OR FREEZING CONDITIONS. GROUNDWATER SHALL BE ANTICIPATED FOR EXCAVATIONS AND APPROPRIATE DEWATERING MEASURES SHALL BE EMPLOYED.

11. SLOPE FOOTING EXCAVATIONS AS REQUIRED FOR STABILITY AND SAFETY IN ACCORDANCE WITH OSHA REQUIREMENTS. PROVIDE SHEETING OR SHORING IN ACCORDANCE WITH OSHA GUIDELINES. BRACED EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE.

CONCRETE NOTES

1. CONCRETE WORK SHALL CONFORM TO "ACI MANUAL OF CONCRETE PRACTICE", LATEST EDITION. THIS PUBLICATION IS AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.

2. ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI, U.N.O. EXTERIOR SLAB-ON-GRADE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI. ADDITIONAL CONCRETE MIX PERFORMANCE DATA INCLUDING AIR CONTENT, WATER-CEMENT RATIO, AIR CONTENT, AGGREGATE SIZE, SLUMP, ETC. HAS BEEN INCLUDED IN THE PROJECT SPECIFICATIONS. SEE THE SPECIFICATIONS FOR ADDITIONAL REQUIRMENTS.

3. CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.

4. PROVIDE PVC SLEEVES WHERE PIPES PASS THROUGH EXTERIOR CONCRETE, OR SLABS.

5. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.

6. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185 AND BE PROVIDED IN FLAT SHEETS.

7. FIBER REINFORCEMENT SHALL BE TYPE III SYNTHETIC VIRGIN HOMOPOLYMER POLYPROPYLENE FIBERS CONFORMING TO ASTM C1116.

8. MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE AS FOLLOWS:
   A) SURFACES CAST AGAINST AND PERMANENTLY IN CONTACT WITH EARTH, 3.0"
   B) FORMED SURFACES IN CONTACT WITH EARTH OR EXPOSED TO WEATHER
   #5 BARS, 5/8" DIAMETER WIRE, AND SMALLER, 1.5"
   #6 THROUGH #11 BARS, 2.0"
   C) SURFACES NOT IN CONTACT WITH EARTH OR EXPOSED TO WEATHER
   WALLS, SLABS, JOISTS #11 BARS AND SMALLER, 1.0"
   BEAMS, GIRDERS, AND COLUMNS: ALL REINFORCEMENT, 1.5"

9. REINFORCEMENT SHALL BE CONTINUOUS AROUND CORNERS AND AT INTERSECTIONS. PROVIDE LAPPED BARS AT NECESSARY SPLICES OR HOOKED BARS AT DISCONTINUOUS ENDS. PROVIDE TENSION LAP SPLICES PER THE SCHEDULE THIS DRAWING, FOR ALL REINFORCING UNLESS OTHERWISE SHOWN ON PLAN.

10. WELDING OF REINFORCEMENT IS NOT PERMITTED.

11. FOR ALL OPENINGS IN CONCRETE WALLS AND SLABS, PROVIDE SUPPLEMENTAL REINFORCING AROUND OPENING AS SHOWN ON THE CONTRACT DOCUMENTS TYPICAL DETAILS.

12. CONSTRUCTION JOINTS SHOWN ON DRAWINGS ARE MANDATORY. OMISSIONS, ADDITIONS, OR CHANGES SHALL NOT BE MADE EXCEPT WITH THE SUBMITTAL OF A WRITTEN REQUEST TOGETHER WITH DRAWINGS OF THE PROPOSED JOINT LOCATIONS FOR APPROVAL OF THE STRUCTURAL ENGINEER. WHERE CONSTRUCTION JOINTS ARE NOT SHOWN, OR WHEN ALTERNATE LOCATIONS ARE PROPOSED, DRAWINGS SHOWING LOCATION OF CONSTRUCTION AND CONTROL JOINTS AND CONCRETE PLACING SEQUENCE SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO PREPARATION OF THE REINFORCEMENT SHOP DRAWINGS. CONCRETE SHALL BE PLACED WITHOUT HORIZONTAL CONSTRUCTION JOINTS EXCEPT WHERE SHOWN OR NOTED. VERTICAL CONSTRUCTION JOINTS AND STOPS IN CONCRETE BEAMS/GRADE BEAMS SHALL BE MADE AT MIDSPAN OR AT POINTS OF MINIMUM SHEAR, UNLESS NOTED OTHERWISE.

13. SPACING OF CONSTRUCTION JOINTS, UNLESS NOTED OTHERWISE SHALL BE AS FOLLOWS:
   A) FOOTINGS AND WALLS — MAX LENGTH 40'-0" NOR 15'-0" FROM ANY CORNER**
   B) SLABS ON GRADE — SEE FOUNDATION PLAN

** EXCEED ONLY WHERE INTERMEDIATE CONTRACTION JOINTS ARE PROVIDED. MINIMUM OF 72 HOURS SHALL ELAPSE BETWEEN ADJACENT CONCRETE PLACEMENTS.

14. ANCHOR RODS SHALL BE HEADED RODS CONFORMING TO ASTM F1554, GRADE 36 KSI WELDABLE STEEL, UNLESS NOTED OTHERWISE ON DRAWINGS. ANCHOR RODS THAT ARE TO BE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED.

15. ALL GROUT BENEATH BASE PLATES & BEARING PLATES SHALL BE "S-STAR" 5000-PSI NON-SHRINK GROUT BY U.S. GROUT CORP.

16. SLAB THICKNESSES INDICATED ON THE DRAWINGS ARE MINIMUMS. PROVIDE SUFFICIENT CONCRETE TO ACCOUNT FOR STRUCTURE DEFLECTION, SUBGRADE FLUCTATIONS, AND TO OBTAIN THE SPECIFIED SLAB ELEVATION AT THE FLATNESS AND LEVELNESS INDICATED.

REBAR LAP SPLICE TABLE

BAR SIZE	LAP LENGTH	
	3,000 PS1	4,000 PS1
#3	30"	24"
#4	36"	32"
#5	48"	42"

STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9TH EDITION, AND THE "CODE OF STANDARD PRACTICE, LATEST EDITION.

2. STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS, CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (U.N.O.). STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS: ASTM A992 (ASTM A572 GRADE 50 WITH SPECIAL REQUIREMENTS PER AISC TECHNICAL BULLETIN #3 DATED MARCH, 1997)

3. STRUCTURAL TUBING: CONFORM TO ASTM A500 GRADE B46 KSI.

4. FIELD CONNECTIONS SHALL BE BOLTED USING ASTM A325N HIGH STRENGTH BOLTS (U.N.O.)

5. WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1-LATEST EDITION. ELECTRODES SHALL BE CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN).

6. SEE CONCRETE NOTES AND DRAWINGS FOR ANCHOR BOLT INFORMATION, TYP.

7. PROVIDE ALL MISCELLANEOUS ANGLES, PLATES, ANCHORS, BOLTS, ETC., SHOWN ON ARCHITECTURAL DRAWINGS FOR SUPPORT OF BLOCKING, PARAPETS, FINISHES, ETC. COORDINATE WITH MISCELLANEOUS METAL FABRICATOR TO ENSURE COMPLETE COVERAGE OF ALL ITEMS.

TIMBER NOTES

1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH THE AITC TIMBER CONSTRUCTION MANUAL - LATEST EDITION, AND THE AF & PA NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) 2001 EDITION.

2. INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED. MINIMUM GRADE NO1/NO2 SPRUCE-PINE-FIR KILN DRIED TO 19% MAXIMUM MOISTURE CONTENT UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

3. PRESSURE TREATED LUMBER SHALL BE USED FOR SILL MEMBERS, EXTERIOR EXPOSURE, OR WHERE SHOWN ON THE DRAWINGS. TIMBER SHALL BE SOUTHERN YELLOW PINE TREATED WITH CCA OR ACQ TO 0.4 #/CF IN ACCORDANCE WITH AWPA C-18. ACZA IS STRICTLY PROHIBITED.

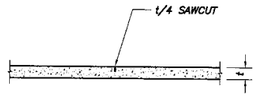
4. ALL ROOF AND WALL SHEATHING SHALL BE APA PERFORMANCE-RATED. SHEATHING SHALL BE NAILED TO THE FRAMING AS FOLLOWS, U.N.O.:
   A. ROOFS: 8d NAILS AT 6" AT PANEL EDGES AND 12" AT INTERMEDIATE SUPPORTS.
   B. WALLS: 8d NAILS AT 6" AT PANEL EDGES AND 12" AT INTERMEDIATE SUPPORTS.

5. ALL BUILT-UP BEAMS AND COLUMNS SHALL BE NAILED AS FOLLOWS (FASTENING IN EACH PLY):
   UNIFORMLY LOADED BEAMS:
   BEAM DEPTH <16" - 2 ROWS OF 16d NAILS AT 12" O.C., STAGGERED
   BEAM DEPTH >=16" - 3 ROWS OF 16d NAILS AT 12" O.C., STAGGERED
   NOTE: SIDE LOADED BEAMS REQUIRE ADDITIONAL FASTENING. SEE DETAILS.
   COLUMNS:
   2-10d NAILS AT 6" O.C.

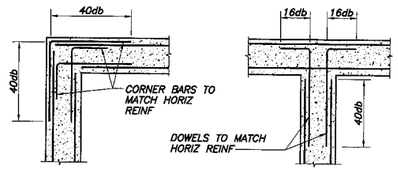
6. FASTENING NOT SPECIFIED SHALL CONFORM WITH IBC TABLE 2304.9.1.

7. ALL TIMBER CONNECTION HARDWARE (JOIST HANGERS, POST BASES, SHEARWALL HOLDOWNS, ETC) SHALL BE AS INDICATED ON THE DRAWINGS AND MANUFACTURED BY SIMPSON STRONG-TIE. ALL CONNECTION HARDWARE SHALL BE HOT-DIPPED GALVANIZED G-90 (U.N.O.). PROVIDE VYCOR ISOLATION BARRIERS PER SIMPSON TECHNICAL BULLETINS: CONNECTION HARDWARE USED IN CONJUNCTION WITH PRESERVATIVE TREATMENT SHALL BE GALVANIZED G185 (ZMAX.) USE FASTENERS & HANGERS OF SAME MATERIAL & COATING. REFER TO MANUFACTURER'S LITERATURE FOR PROPER HANDLING AND INSTALLATION GUIDELINES.

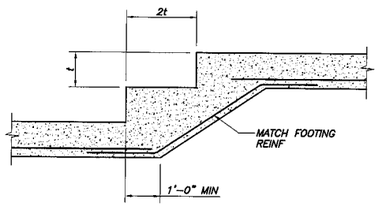
8. FASTENERS USED IN CONJUCTION WITH PT LUMBER, BUT NOT AT TIMBER CONNECTION HARDWARE REFERENCED IN NOTE 10, SHALL BE POST HOT DIPPED GALVANIZED (ASTM A153.)



TYP SLAB ON GRADE CONTRACTION JOINT DETAIL
N.T.S. t = SLAB THICKNESS



TYP WALL REINF DETAILS
N.T.S.



TYP STEP FOOTING DETAIL
N.T.S. t = FOOTING THICKNESS

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STATE OF MAINE * PAUL B. BECKER 6554 LICENSED PROFESSIONAL ENGINEER *

JOB NO. 05-108

DRWN. CHK APP DSB

SCALE: NOTED

ISSUE
BID DOCUMENTS
24 April 2006

TITLE
GENERAL NOTES & TYP DETAILS

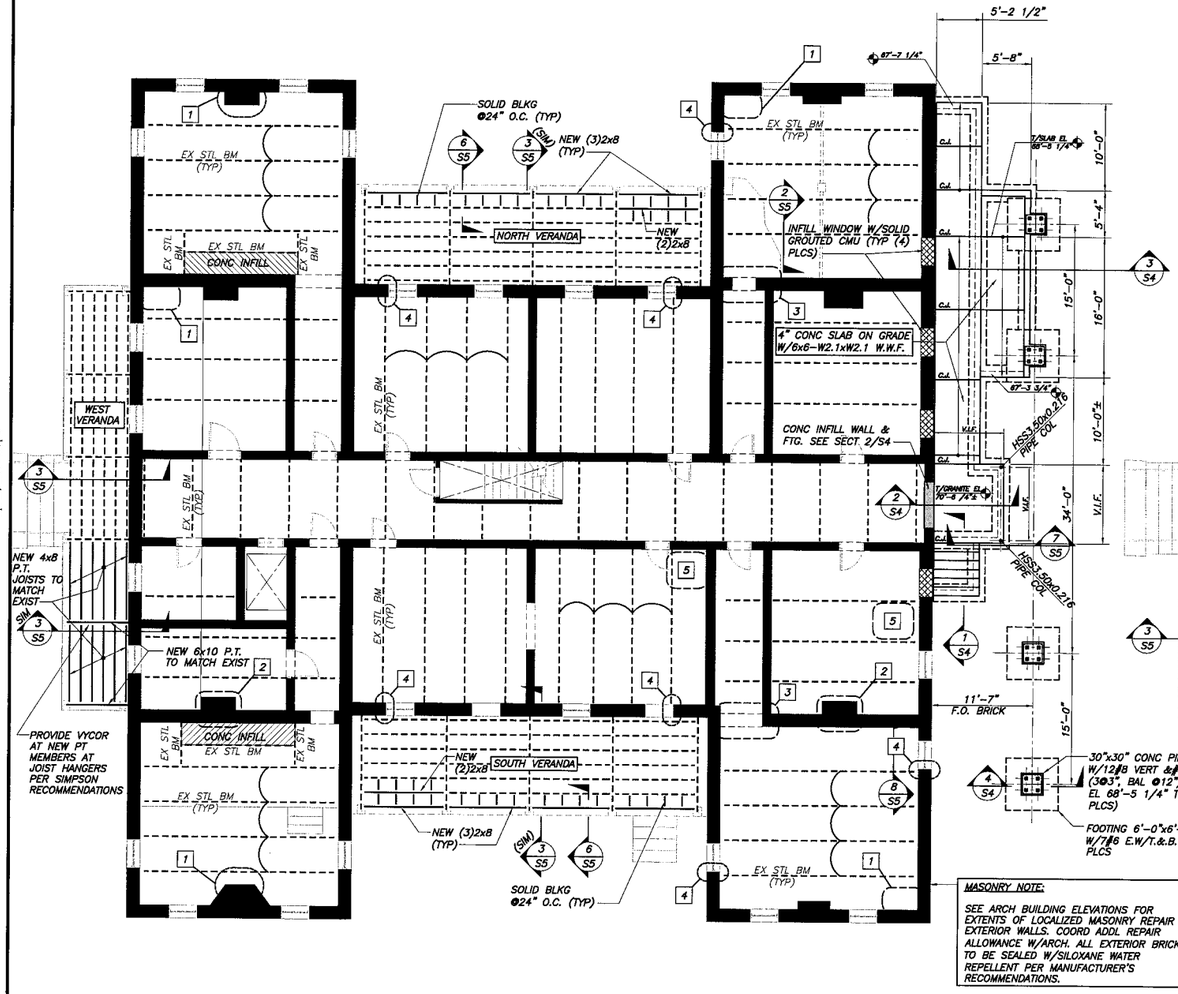
SHEET
S1

Apr 25, 2006 - 1:28pm

H:_PROJECTS_W01400-1499_1454 Martins Point Marine Hospital Renovation_ACAD_Struct_BID_1454ALL.dwg

NOTE: NEW STEEL LINTELS ARE REQD AT ALL LOCATIONS WHERE EXIST FLOOR BEAMS FRAME OVER EXIST WINDOWS. LOCATIONS AND FREQUENCY OF CONDITION UNKNOWN. G.C. SHALL EXPOSE FLOOR FRAMING OVER EACH WINDOW AT LOAD BEARING WALLS AND VERIFY LOCATION OF FLOOR BEAM. SEE SECT 1/S5 FOR ADDL INFO. TYPICAL AT SECOND, THIRD & ATTIC LEVELS.

NOTE: CANOPY SHEATHING & ATTACHMENT BY OTHERS. SHEATHING TO BE DESIGNED FOR A BALANCED SL: 50 PSF & A DRIFT W/MAX INTENSITY OF 90 PSF, TAPERING TO 0 PSF OVER 16' FROM FACE OF BUILDING. SUPERIMPOSE DRIFT LOAD ON BALANCED SNOW LOAD. DESIGN SHEATHING FOR WIND CRITERIA IDENTIFIED ON DWG S1. SUBMIT DESIGN FOR REVIEW. DESIGN MUST BE STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MAINE. SEE ARCH DWGS FOR ADDL INFO.



MASONRY NOTE:

SEE ARCH BUILDING ELEVATIONS FOR EXTENTS OF LOCALIZED MASONRY REPAIR AT EXTERIOR WALLS. COORD ADDL REPAIR ALLOWANCE W/ARCH. ALL EXTERIOR BRICK TO BE SEALED W/SILOXANE WATER REPELLENT PER MANUFACTURER'S RECOMMENDATIONS.

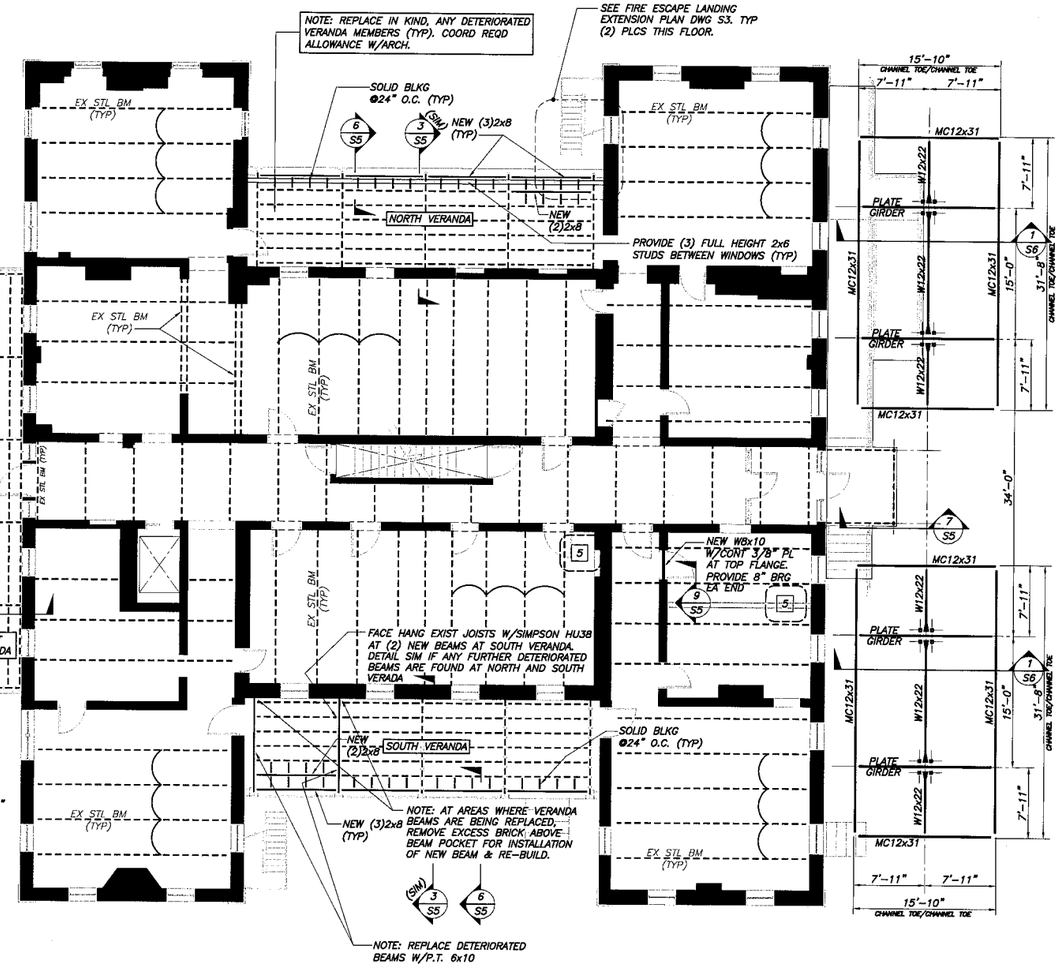
EXIST FIRST FLOOR FRAMING PLAN

1/8"=1'-0"

1. KEY NOTES (SEE SCHEDULE) INDICATE WORK BELOW INDICATED FRAMING LEVEL.
2. ⌒ INDICATES SPAN OF EXIST BRICK ARCH FLOOR.

KEY NOTES SCHEDULE:

1. REBUILD DETERIORATED/DAMAGED BRICK.
2. REBUILD MISSING SHAFT WALL(S).
3. REBUILD BRICK ARCH
4. INCREASE BEAM BEARING PER SECTION 8/S5
5. STEEL TIE RODS MAY BE PRESENT WITHIN BRICK ARCH FLOOR SYSTEM. DO NOT CUT TIE RODS. SCAN AREAS OF BATHROOM PLUMBING PENETRATIONS AND ANY OTHER PENETRATION LOCATIONS WITH REBAR LOCATER PRIOR TO CUTTING. RE-LOCATE PENETRATIONS AS REQD.
6. MASONRY CHIMNEY/ROOF MEMBER SUPPORT IS PRESENT AT ATTIC & NOTICEABLY ABSENT AT THIRD FLOOR. G.C. SHALL EXPOSE CONDITION AT CHIMNEY/BRICK ARCH INTERFACE AT UPPER PORTION & NOTIFY ENGINEER OF FINDINGS.



EXIST SECOND FLOOR FRAMING PLAN

1/8"=1'-0"

1. KEY NOTES (SEE SCHEDULE) INDICATE WORK BELOW INDICATED FRAMING LEVEL.
2. ⌒ INDICATES SPAN OF EXIST BRICK ARCH FLOOR.

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24 April 2006

TITLE
EXIST FIRST & SECOND FLOOR FRAMING PLANS

SHEET
S2

Apr 25, 2006 - 1:29pm
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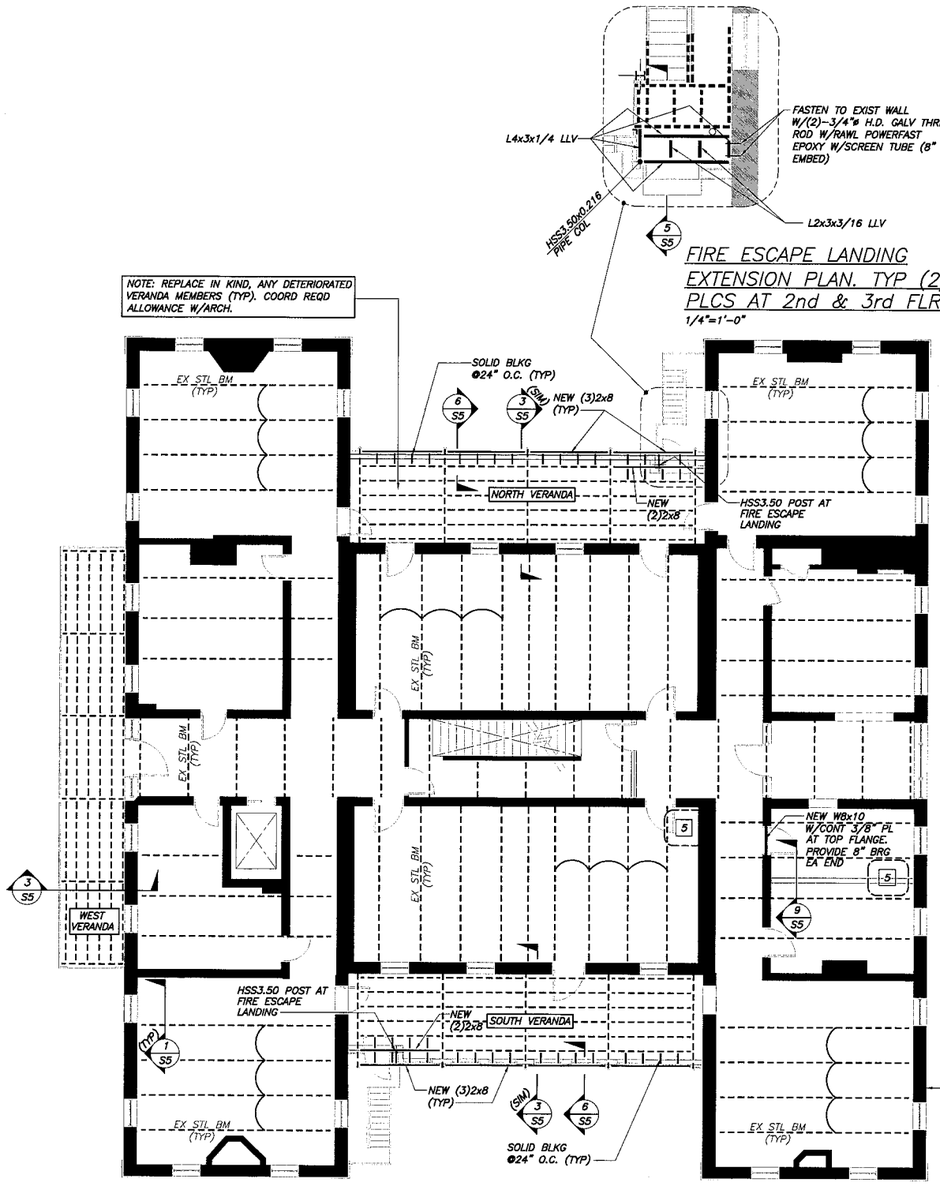


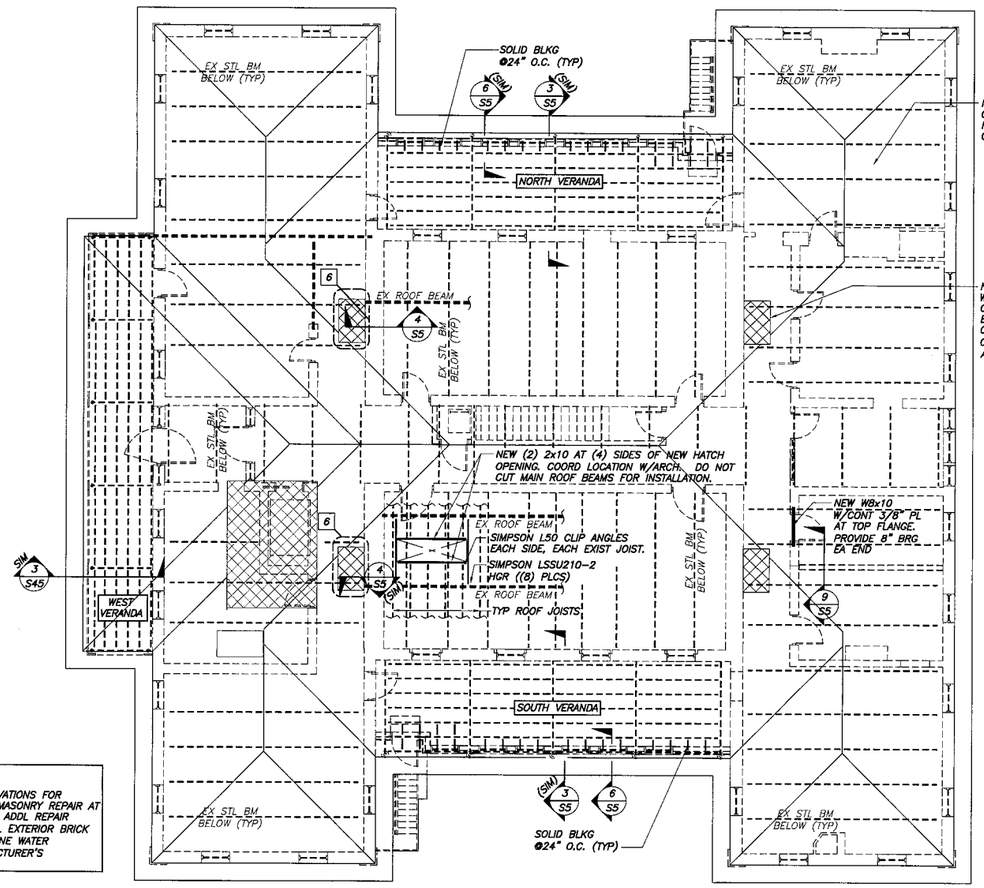
FIRE ESCAPE LANDING EXTENSION PLAN. TYP (2) PLCS AT 2nd & 3rd FLR

1/4"=1'-0"

MASONRY NOTE:

SEE ARCH BUILDING ELEVATIONS FOR EXTENTS OF LOCALIZED MASONRY REPAIR AT EXTERIOR WALLS. COORD ADDL REPAIR ALLOWANCE W/ARCH. ALL EXTERIOR BRICK TO BE SEALED W/SILOXANE WATER REPELLENT PER MANUFACTURER'S RECOMMENDATIONS.

NOTE: NEW STEEL LINTELS ARE REQD AT ALL LOCATIONS WHERE EXIST FLOOR BEAMS FRAME OVER EXIST WINDOWS. LOCATIONS AND FREQUENCY OF CONDITION UNKNOWN. G.C. SHALL EXPOSE FLOOR FRAMING OVER EACH WINDOW AT LOAD BEARING WALLS AND VERIFY LOCATION OF FLOOR BEAM. SEE SECT 1/S5 FOR ADDL INFO. TYPICAL AT SECOND, THIRD & ATTIC LEVELS.



EXIST THIRD FLOOR FRAMING PLAN

1/8"=1'-0"

1. KEY NOTES (SEE SCHEDULE) INDICATE WORK BELOW INDICATED FRAMING LEVEL.
2. ⌒ INDICATES SPAN OF EXIST BRICK ARCH FLOOR.

KEY NOTES SCHEDULE:

1	REBUILD DETERIORATED/DAMAGED BRICK.
2	REBUILD MISSING SHAFT WALL(S).
3	REBUILD BRICK ARCH
4	INCREASE BEAM BEARING PER SECTION 8/S5.
5	STEEL TIE RODS MAY BE PRESENT WITHIN BRICK ARCH FLOOR SYSTEM. DO NOT CUT TIE RODS. SCAN AREAS OF BATHROOM PLUMBING PENETRATIONS AND ANY OTHER PENETRATION LOCATIONS WITH REBAR LOCATER PRIOR TO CUTTING. RE-LOCATE PENETRATIONS AS REQD.
6	MASONRY CHIMNEY/ROOF MEMBER SUPPORT IS PRESENT AT ATTIC & NOTICEABLY ABSENT AT THIRD FLOOR. G.C. SHALL EXPOSE CONDITION AT CHIMNEY/BRICK ARCH INTERFACE AT UPPER PORTION & NOTIFY ENGINEER OF FINDINGS.

EXIST ROOF FRAMING PLAN

1/8"=1'-0"

1. KEY NOTES (SEE SCHEDULE) INDICATE WORK BELOW INDICATED FRAMING LEVEL.
2. ⌒ INDICATES SPAN OF EXIST BRICK ARCH FLOOR.

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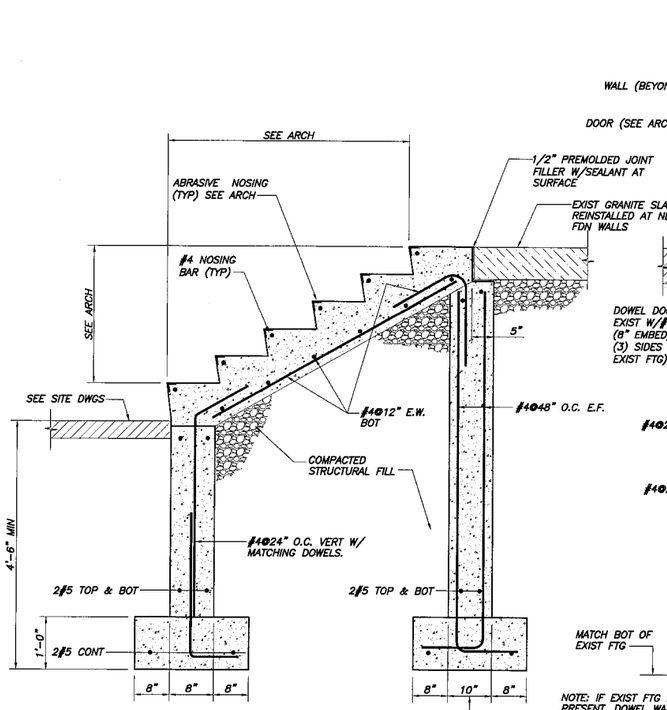
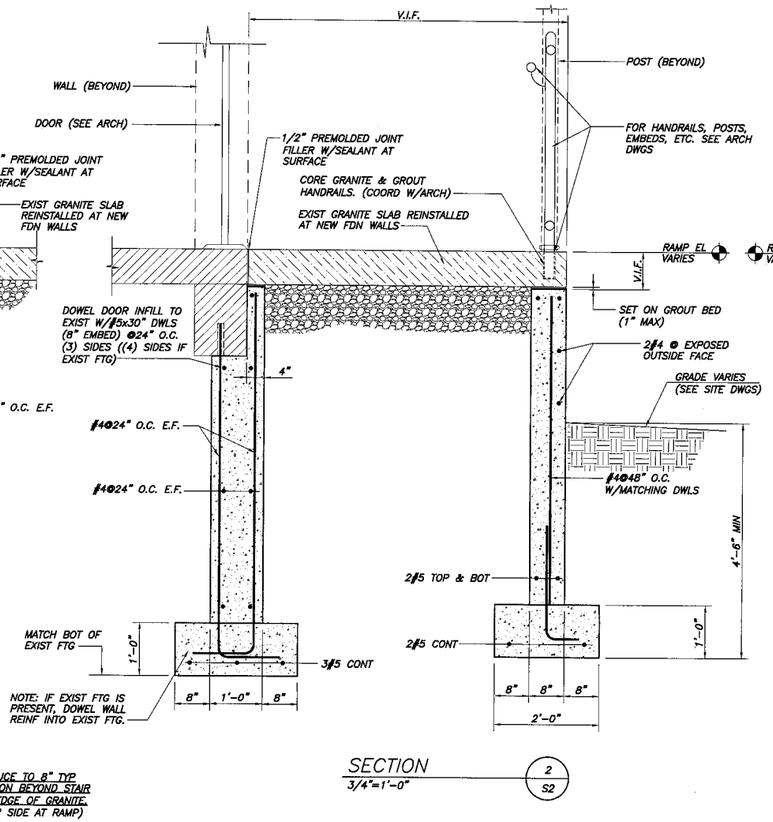
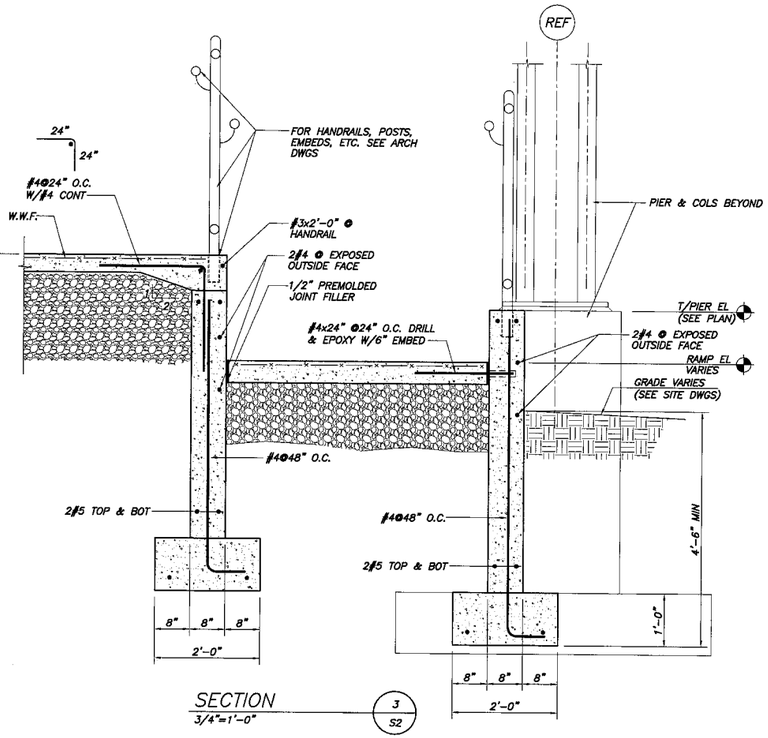
24 April 2006

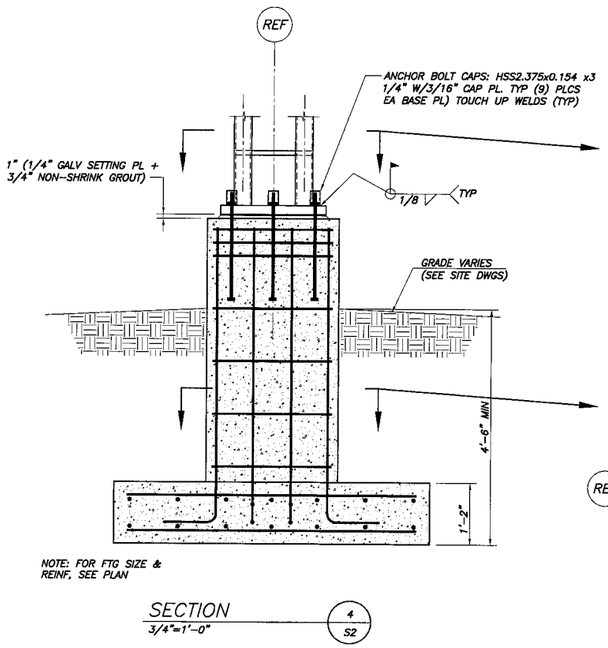
TITLE
EXIST THIRD FLOOR & ROOF FRAMING PLANS

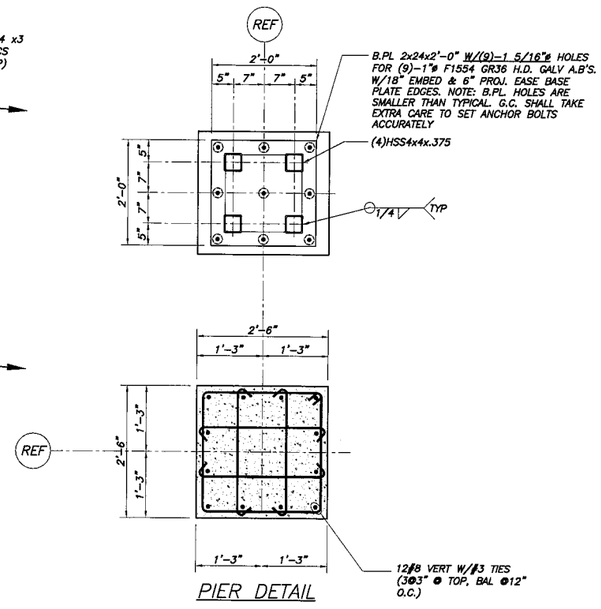
SHEET
S3











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24 April 2006

TITLE
CONCRETE SECTIONS & DETAILS

SHEET
S4

Apr 25, 2006 - 1:31pm

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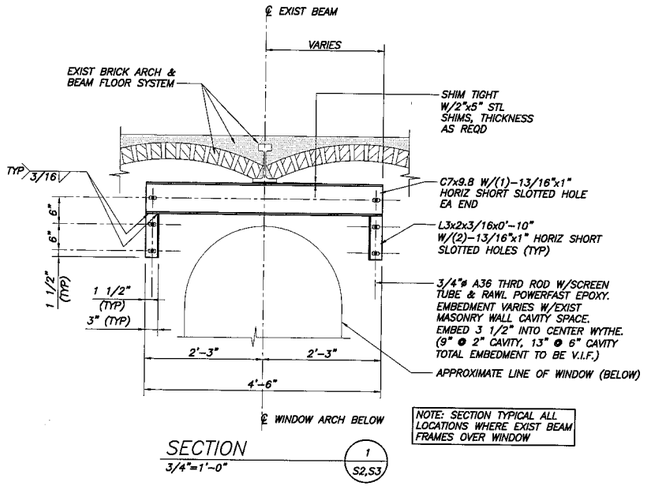

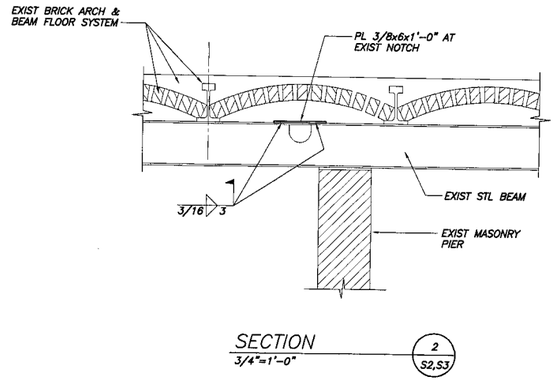

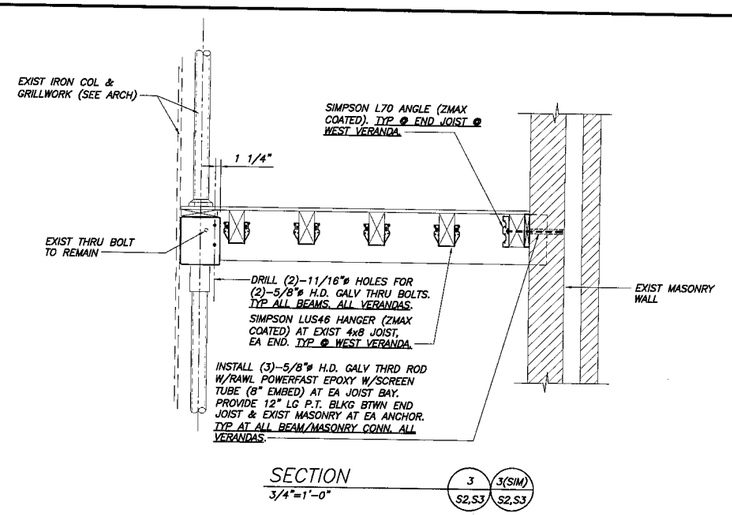

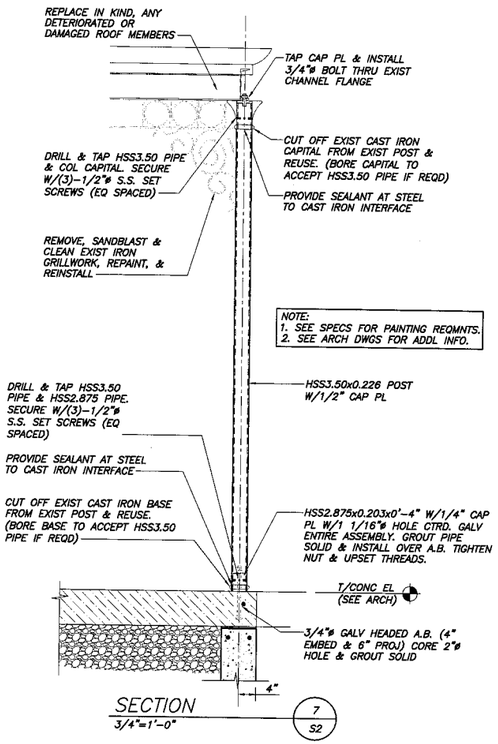

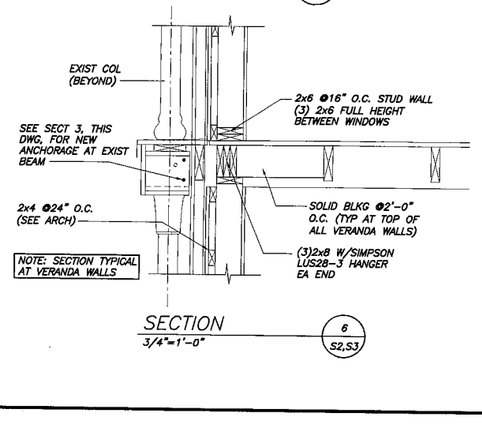

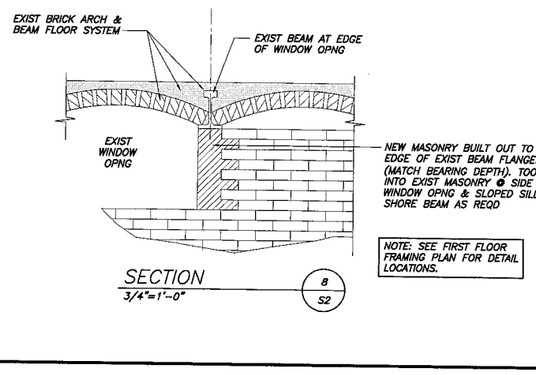

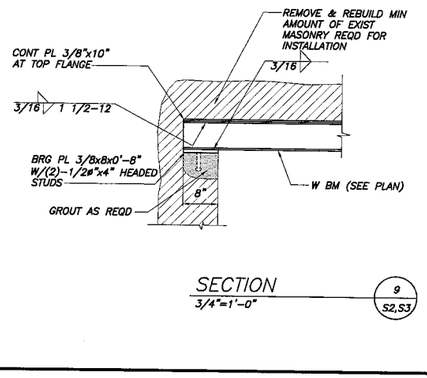

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Marine Hospital Renovation
MARTIN'S POINT - PORTLAND, MAINE

STATE OF MAINE
PAUL B. BECKER 6554
LICENSED PROFESSIONAL ENGINEER

JOB NO.
05-108

DRWN. CHK
APP DSB

SCALE:
NOTED

ISSUE
BID DOCUMENTS
24 April 2006

TITLE
FRAMING SECTIONS & DETAILS

SHEET
S5

Apr 25, 2006 - 1:31pm

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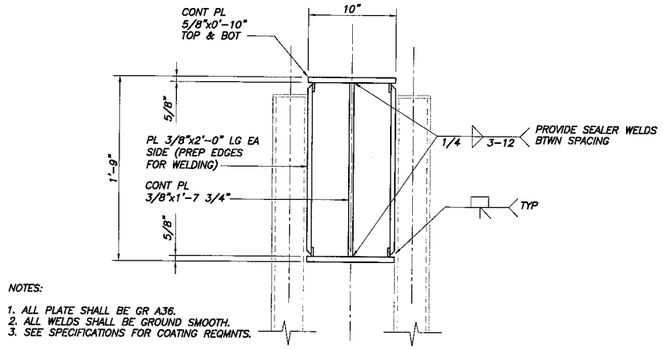
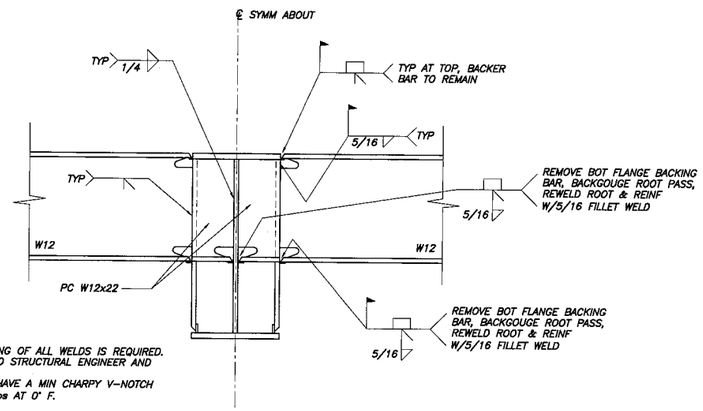


NOTES:

1. ALL PLATE SHALL BE GR A36.
2. ALL WELDS SHALL BE GROUND SMOOTH.
3. SEE SPECIFICATIONS FOR COATING REQMNTS.

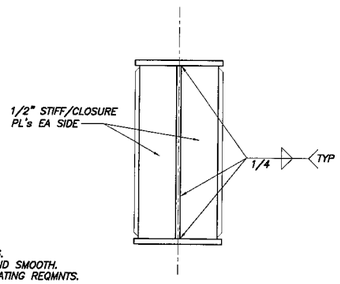
SECTION A / S6
1 1/2"=1'-0"



NOTES:

1. ULTRASONIC TESTING OF ALL WELDS IS REQUIRED. SUBMIT REPORT TO STRUCTURAL ENGINEER AND OWNER.
2. WELD METAL TO HAVE A MIN CHARPY V-NOTCH VALUE OF 20 ft/lbs AT 0° F.

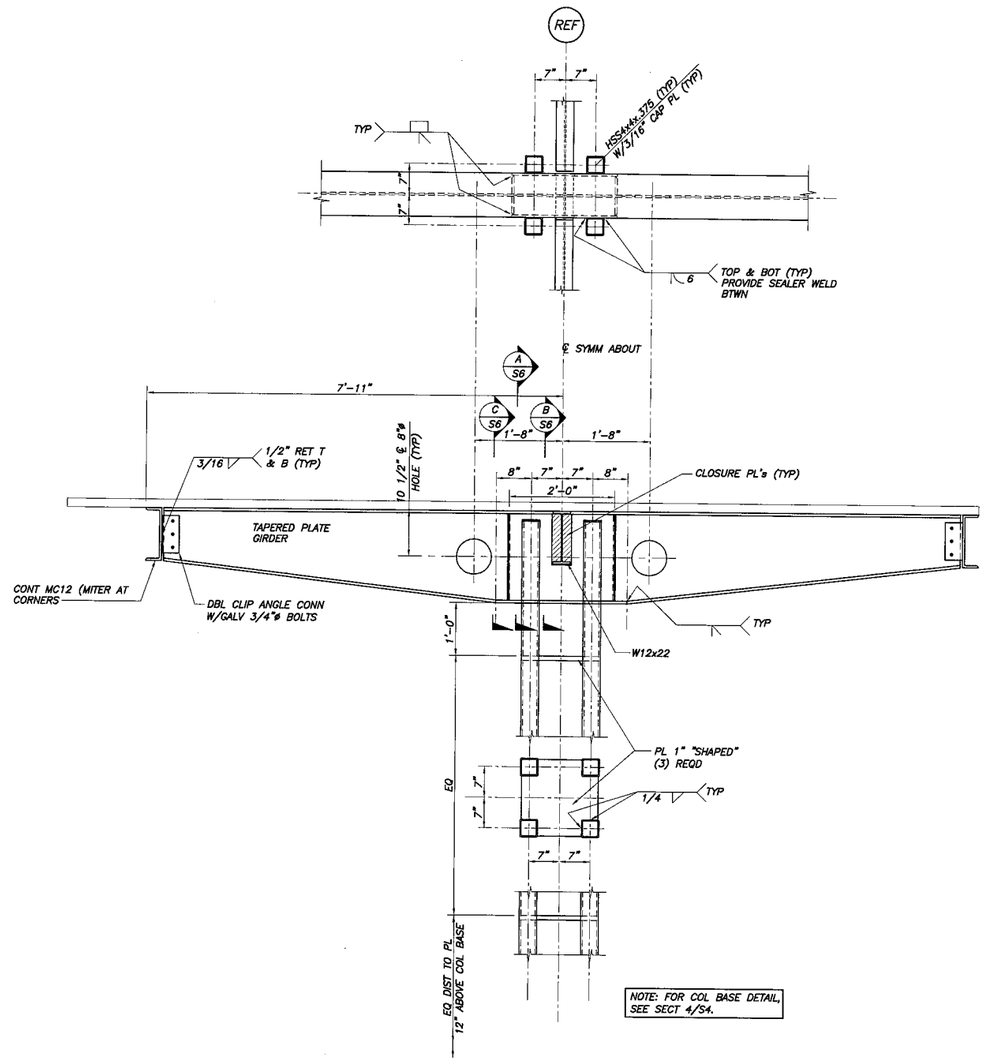
SECTION B / S6
1 1/2"=1'-0"



NOTES:

1. ALL PLATE SHALL BE GR A36.
2. ALL WELDS SHALL BE GROUND SMOOTH.
3. SEE SPECIFICATIONS FOR COATING REQMNTS.

SECTION C / S6
1 1/2"=1'-0"



SECTION 1 / S2
3/4"=1'-0"

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SHEET
S6

Apr 25, 2006 - 1:32pm

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