

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-399	Issue Date: JAN 24 2008	CBL: 434 C002001
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Location of Construction: 281 VERANDA ST	Owner Name: ATLANTIC PROPERTIES LLC	Owner Address: 970 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Donatello Builders Inc./Larry	Contractor Address: P.O. Box 684 Portland	Phone: 2072327220
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: R-P

Past Use: Commercial - Office - <i>doctors</i>	Proposed Use: Commercial - Office - 62 Sq Ft addition & interior renovations to existing space <i>real estate "Remax"</i>	Permit Fee: \$490.00	Cost of Work: \$47,000.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>SB</i>	

Proposed Project Description: 62 Sq Ft addition & interior renovations to existing space	Signature: <i>Craig Guay</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 11/13/2007	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>most of building within</i> <input type="checkbox"/> Wetland <i>75' of high water</i> <input type="checkbox"/> Flood Zone <i>addition 3.5% increase in volume</i> <input type="checkbox"/> Subdivision <i>2.7% increase in square footage</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>12/27/07</i> <i>ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

04/30/08 class - in o.k. way  
lower level } ~~NA~~

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1399	Date Applied For: 11/13/2007	CBL: 434 C002001
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Location of Construction: 281 VERANDA ST	Owner Name: ATLANTIC PROPERTIES LLC	Owner Address: 970 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Donatello Builders Inc./Larry	Contractor Address: P.O. Box 684 Portland	Phone (207) 232-7220
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - Office - 62 Sq Ft addition & interior renovations to existing space	Proposed Project Description: 62 Sq Ft addition & interior renovations to existing space
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 12/27/2007  
**Note:** Most of building is within 75' setback from high water line. The volume of existing building within 75' setback is 26036.5 cubic feet. The addition is 1018.5 cubic feet. This is an increase in the volume of 3.9%. The square footage of the existing building within the 75' setback is 2562 square feet. The addition is 70 square feet. This is an increase in the square footage of 2.7%.      **Ok to Issue:**

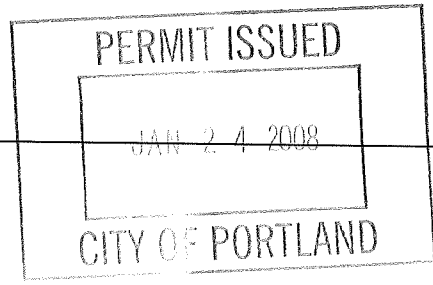
- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 01/24/2008  
**Note:** need framing details addition - no info submitted on addition      **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Greg Cass      **Approval Date:** 01/04/2007  
**Note:**      **Ok to Issue:**

- 1) All construction shall comply with NFPA 101
- 2) A single source supplier should be used for all through penetrations.



**Comments:**

11/20/2007-amachado: Left message for Michael Banks. Are he and David Banks part of Atlantic Properties, LLC. The application talks about a 62 sf addition. The plans do not show the addition except for the elevation plan. They only deal with the remodeling of the existing building. If there is an addition, the property is in the shoreland zone so the 75' setback line from the highest spring tide needs to be located on the plot plan. Parking also needs to be shown if there is an increase. Finally, need more specific use than business. It is R-P, need to know if tenant meets the permitted uses. Will need siteplan exemption.

11/27/2007-amachado: Spoke to Michael Banks. David Banks is the owner. The addition is on the plan. It is not a change of use because it is still a professional office (real estate). I told him that we need a survey that shows where the 75' setback is from the highest spring tide because the property is within the shoreland zone.

**SEI**

**SHELLEY ENGINEERING, INC.**

STRUCTURAL CONSULTANTS

ReMax By The Bay  
970 Baxter Boulevard  
Portland, Maine 04103

January 28, 2008  
Job No. 2007-138  
Pg. 1 of 1

**Subject:** Structural design and review of structural modifications to your building located at 281 Veranda St., in Portland, Maine

**Attention:** Mr. David Banks

David:

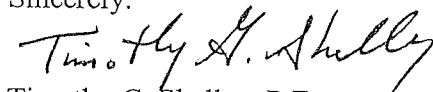
Per your request, I made a site visit to your building located at 281 Veranda St. I inspected the installation of the new steel beam in the second floor. The installation was done properly per my specifications.

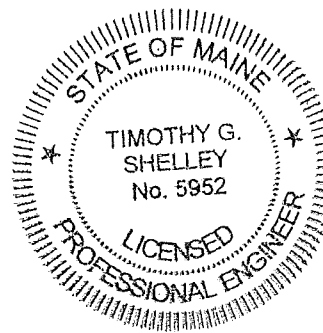
During my site I measured the size and span of all new headers. I have reviewed the headers on the second floor for roof snow, attic live load and dead loads. All second floor headers were found adequate for the loading requirements of the 2006 IBC.

I reviewed all first floor headers for second floor office loads and dead loads. All first floor headers were also found adequate for the loading requirements of the 2006 IBC.

Please let me know if you have any questions.

Sincerely:

  
Timothy G. Shelley, P.E.



434-C-2

<b>Location of Construction:</b> 281 VERANDA ST	<b>Owner Name:</b> ATLANTIC PROPERTIES LLC	<b>Owner Address:</b> 970 BAXTER BLVD	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Donatello Builders Inc./Larry	<b>Contractor Address:</b> P.O. Box 684 Portland	<b>Phone</b> (207) 232-7220
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Commercial	

12/14/2007-amachado: Met with David Banks. Received siteplan yesterday done by Titcombs indicating the 75' setback line from the high water. Need original, stamped and scalable plan. Need information to figure out the volume of the existing building and the proposed addition.

12/18/2007-amachado: Spoke to Ryan St. Pierre at Port City Architecture. Told him what I needed to to figure out the volume of the building.

12/26/2007-amachado: Received cross sections to figure out volume.

12/27/2007-amachado: Gave site plan exemption application to planing.

1/8/2008-tmm: need framing details addition - no info submitted on addition - called designer and requested info /tmm

1/17/2008-gg: recieved granted site exemption with conditions.

1/18/2008-tmm: left message w/owner to meet to go over plans - will meet on 1/24/08 tmm

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

# PERMIT

Permit Number: 071399

PERMIT ISSUED  
JAN 24 2008  
CITY OF PORTLAND

This is to certify that ATLANTIC PROPERTIES INC/Donat Builders Inc./La  
has permission to 62 Sq Ft addition & interior renovation existing space  
AT 281 VERANDA ST 434 C002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or occupied. **NO NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name \_\_\_\_\_

[Signature] 1/24/08  
Director - Building & Inspection Services

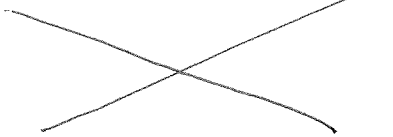
**PENALTY FOR REMOVING THIS CARD**

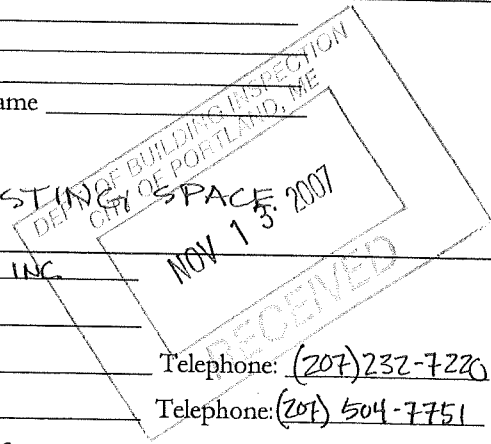
PERMIT ISSUED  
JAN 24 2008  
CITY OF PORTLAND



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

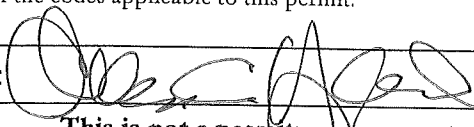
Location/Address of Construction: <u>281 VERANDA ST.</u>			Total Square Footage of Proposed Structure/Area <u>2,780 (EXISTING); 62 S.F. ADDITION</u>		Square Footage of Lot <u>23,218 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>434</u> Block# <u>C</u> Lot# <u>2</u>			Applicant * <b>must be owner, Lessee or Buyer*</b> Name <u>DAVID BANKS</u> Address <u>970 BAXTER BLVD.</u> City, State & Zip <u>PORTLAND, ME 04103</u>		Telephone: <u>(207) 553-7302</u>	
Lessee/DBA (If Applicable) 			Owner (if different from Applicant) Name <u>ATLANTIC PROPERTIES, LLC</u> Address <u>970 BAXTER BLVD.</u> City, State & Zip <u>PORTLAND, ME 04103</u>		Cost Of Work: \$ <u>47,000</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>47,000</u>	
Current legal use (i.e. single family) <u>BUSINESS -</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>62 S.F. ADDITION AND REMODEL OF EXISTING SPACE</u>						
Contractor's name: <u>LARRY DONATELLO, DONATELLO BLD. INC.</u> Address: <u>P.O. 684</u> City, State & Zip <u>PORTLAND, ME 04104</u> Who should we contact when the permit is ready: <u>MICHAEL BANKS</u> Mailing address: <u>970 BAXTER BLVD. PORTLAND, ME 04103</u>						



**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 11/8/07

**This is not a permit; you may not commence ANY work until the permit is issue**

**From:** Barbara Barhydt  
**To:** Banks, Michael  
**Date:** 1/15/2008 2:11:12 PM  
**Subject:** Re: Fwd: Veranda Street

Hello:

I have just signed off on the site plan exemption for a 60 square foot addition at 281 Veranda Street. I will give it to our secretary to process and ask her to deliver the paperwork to the Inspection Division by tomorrow morning. I am cc'ing Ann Machado on this e-mail, so she knows that I have signed off on this.

Thanks.

Barbara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
[bab@portlandmaine.gov](mailto:bab@portlandmaine.gov)

>>> "Michael Banks" <[mbanks@homesinmaine.com](mailto:mbanks@homesinmaine.com)> Tuesday, January 15, 2008 8:38 AM >>>  
I just deliver the print out to your office. Please let me know if you need anything else.

Michael Banks  
RE/MAX By The Bay  
970 Baxter Boulevard  
Portland, Maine 04103  
207-773-2345

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Sent from my Verizon Wireless BlackBerry

-----Original Message-----

From: "Barbara Barhydt" <[BAB@portlandmaine.gov](mailto:BAB@portlandmaine.gov)>

Date: Mon, 14 Jan 2008 15:34:41  
To: <[mbanks@homesinmaine.com](mailto:mbanks@homesinmaine.com)>  
Cc: <[dbanks@homesinmaine.com](mailto:dbanks@homesinmaine.com)>  
Subject: Re: Fwd: Veranda Street

I cannot open the attachment from Titcomb. Is it possible for them to convert it to a jpeg or pdf file?

Barbarabara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
[bab@portlandmaine.gov](mailto:bab@portlandmaine.gov)



>>> Michael Banks <[mbanks@homesinmaine.com](mailto:mbanks@homesinmaine.com)> Monday, January 14, 2008  
2:57 PM >>>  
Barbara,

Thanks for your help today. Attached you will find an aerial photograph with an overlay of the high water line plot plan provided by Titcomb Associates. As we mentioned on the telephone the parking will stay exactly as is and as seen on this plan. The 60 sq ft addition will be built on the existing stone wall that runs along the entire right hand side of the building if you are looking at the structure from Veranda Street.

Please email me back if you need additional information or more explanation .

Thanks again,  
Michael Banks

----- Forwarded Message -----

From: "David Titcomb " <[DTitcomb@mail.titcombsurvey.com](mailto:DTitcomb@mail.titcombsurvey.com)>  
To: "David Banks" <[dbanks@homesinmaine.com](mailto:dbanks@homesinmaine.com)>  
Cc: "Michael Banks" <[mbanks@homesinmaine.com](mailto:mbanks@homesinmaine.com)>  
Sent: Monday, January 14, 2008 2:10:10 PM ( GMT-0500 ) America/  
New\_York  
Subject: Veranda Street

David-

I tried to send this earlier but the file was too large and my email bounced back; hopefully the attached ZIP file will go through.

I hope this sketch helps, let me know if you need anything else.

David

David E. Titcomb , PLS

133 Gray Road 39 Court Street

Falmouth , ME 04105 Bath, ME 04530

Tel: (207) 797-9199 Tel: (207) 443-9199

Fax: (207) 878-3142 Fax: (207) 386-5077

[www . titcombsurvey .com](http://www.titcombsurvey.com)

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Michael Banks  
RE/MAX By The Bay  
970 Baxter Boulevard

Portland, ME 04103

207-773-2345

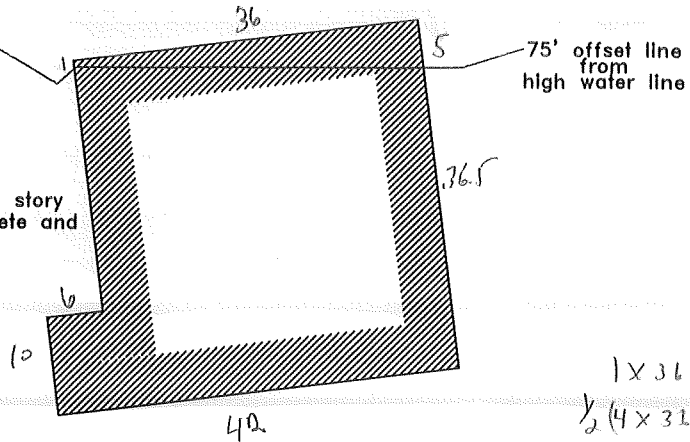
[www.homesinmaine.com](http://www.homesinmaine.com)

**CC:** Machado, Ann

DEC 19 2007

RECEIVED

The dwelling is a one and a half story wood framed structure on a concrete and concrete block foundation

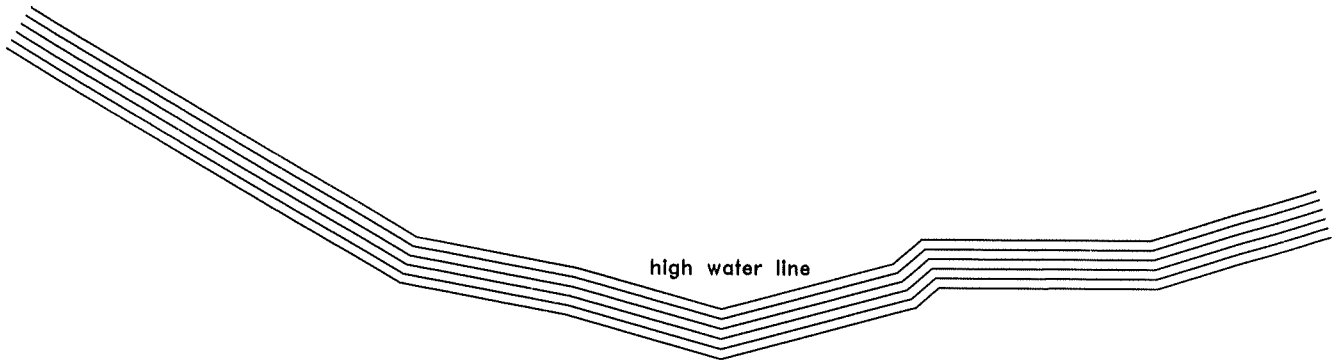


$$1 \times 36 = 36$$

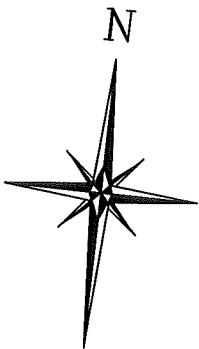
$$\frac{1}{2} (4 \times 31) = 72$$



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108



Casco Bay

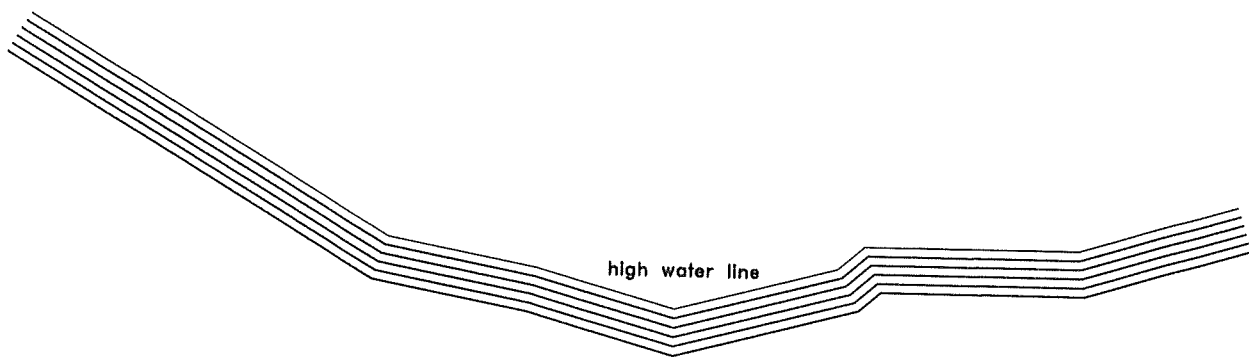
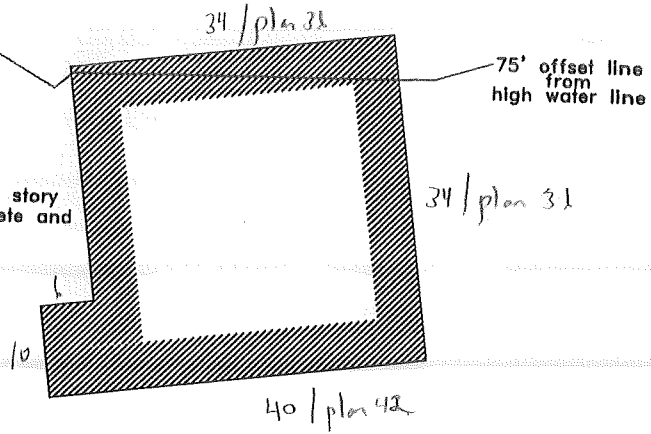


Determination of 75' setback from High Water Line 281 Veranda Street <span style="float: right;">Portland, Maine</span>		
MADE FOR <b>David Banks</b>		
JOB# 201041	DATE: Dec. 7, 2007	SCALE: 1"=20'
BOOK# 715-38	 <i>Titcomb Associates</i> 133 Gray Road Falmouth, Maine 04105	
DISC#		
FILE#		

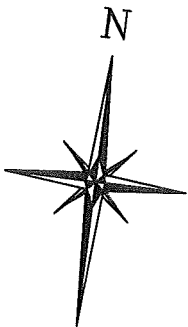


THIS IS NOT A BOUNDARY SURVEY

The dwelling is a one and a half story wood framed structure on a concrete and concrete block foundation



Casco Bay



Determination of 75' setback from High Water Line  
281 Veranda Street  
Portland, Maine

MADE FOR  
David Banks

DEPT. OF LAND AND CONSERVATION  
CITY OF PORTLAND, MAINE

DEC 13 2007

715-38

JOB# 201041

DATE: Dec. 7, 2007

SCALE: 1"=20'

BOOK# 715-38

DISC#

FILE#



*Titcomb Associates*

133 Gray Road  
Falmouth, Maine 04105

Sec. 14-449. Land use standards.

All land uses and land use activities subject to this division shall conform to the following standards and regulations, as applicable:

(a) *Principal and accessory structures:*

1. All principal and accessory structures shall be set back at least seventy-five (75) feet from the normal high water line of water bodies, tributary streams, or the upland edge of a wetland, except that in the following zones the setback shall be as indicated:
  - a. B-3: Twenty-five (25) feet.
  - b. W-C, W-PD, W-SU, I-B: No setback required.

Notwithstanding this requirement, when a lot is a lot of record as defined in section 14-433 or cannot otherwise meet the setback requirement of this section due to physical limitations of the site, the planning board may approve a reduction of the setback requirement for a principal structure to the least amount necessary to achieve a building dimension of twenty-eight (28) feet, provided that the setback is not reduced to less than forty (40) feet. Structures in existence on June 15, 1992, may be expanded once during the lifetime of the structure up to twenty-five (25) feet toward a freshwater wetland, stream or tributary stream, provided that the setback is not reduced to less than forty (40) feet and the floor area or volume is not increased by more than thirty (30) percent. In no event shall the setback from a coastal wetland be reduced to less than seventy-five (75) feet, except in the B-3, W-C, W-PD, W-SU and I-B zones, where setbacks shall be as set forth above in this subsection.

In all cases, accessory detached structures of less than one hundred (100) square feet of floor area shall be permitted with no setback, provided that such structures shall be used only for the storage of fish, bait, and

**From:** "Ryan St.Pierre" <ryan@portcityarch.com>  
**To:** <amachado@portlandmaine.gov>  
**Date:** 12/18/2007 1:17:04 PM  
**Subject:** 281 Veranda Street - Building Volume Calculations

Anne,

Attached are the plans for 281 Veranda Street with the volume calculations.

Please let me know if there is anything else you need.

Thanks,

Ryan St.Pierre

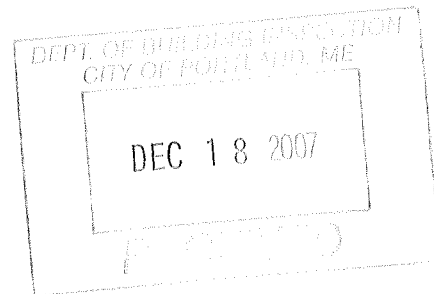
Port City Architecture  
65 Newbury Street  
Portland, ME 04101

Tel: (207) 761-9000

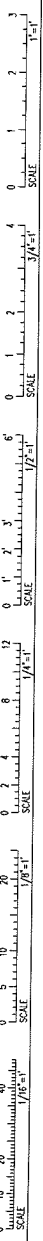
Fax: (207) 761-2010

ryan@portcityarch.com

www.portcityarch.com <<http://www.portcityarch.com/>>



IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



**GENERAL DEMOLITION NOTES**

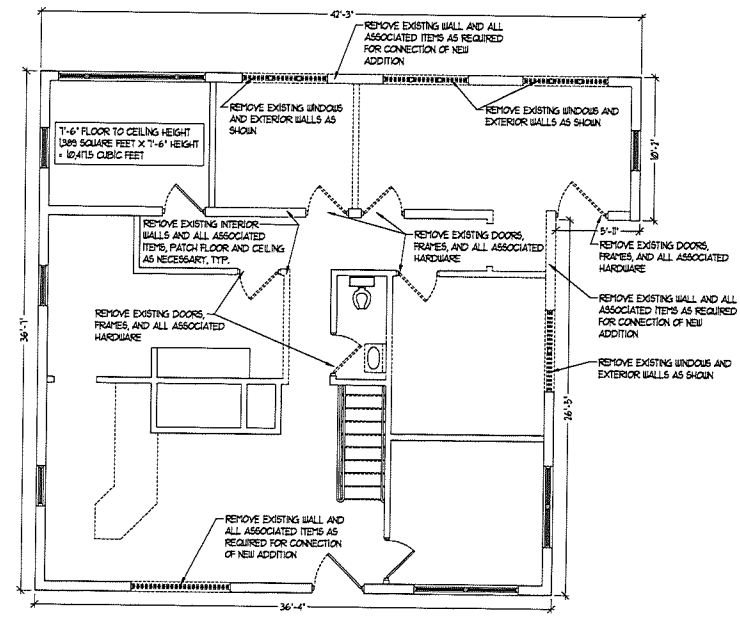
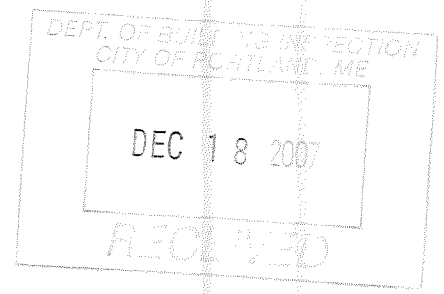
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LAYOUT AND DIMENSIONS OF EXISTING BUILDING FEATURES AND COORDINATING THEM WITH NEW WORK. THE CONTRACTOR SHALL ADVISE THE ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE DOCUMENTS.
2. THE CONTRACTOR SHALL MAINTAIN ALL MECHANICAL, ELECTRICAL, LIGHTING, COMMUNICATIONS, PLUMBING, AND FIRE PROTECTION EQUIPMENT (INCLUDING PIPING, DUCTWORK, CONDUIT, AND WIRING) TO ALL SPACES EXISTING TO REMAIN. ANY INTERRUPTION IN UTILITY SERVICE NECESSARY TO MAINTAIN OR SWITCH OVER SERVICES SHALL REQUIRE THAT THE OWNER BE PROVIDED 48 HOURS (TWO DAYS) ADVANCE NOTICE.

3. THE CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS, FLOORS, CEILING, AND/OR OTHER ELEMENTS INTENDED TO REMAIN EXISTING THAT ARE DAMAGED DURING THE COURSE OF WORK AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE NEW CONSTRUCTION ADJUTS EXISTING CONSTRUCTION, FINISHED SURFACES OF NEW WALLS ARE TO BE ALIGNED WITH EXISTING FINISHED SURFACES UNLESS OTHERWISE INDICATED.
5. CRITICAL DIMENSIONS ARE NOTED (HOLD). DIMENSIONS NOTED "A" ARE FIELD ADJUSTABLE. GENERAL DIMENSIONS ARE TO BE HELD AND REQUIRE NOTIFICATION AND APPROVAL FROM ARCHITECT PRIOR TO ALTERING FOR ANY REASON.

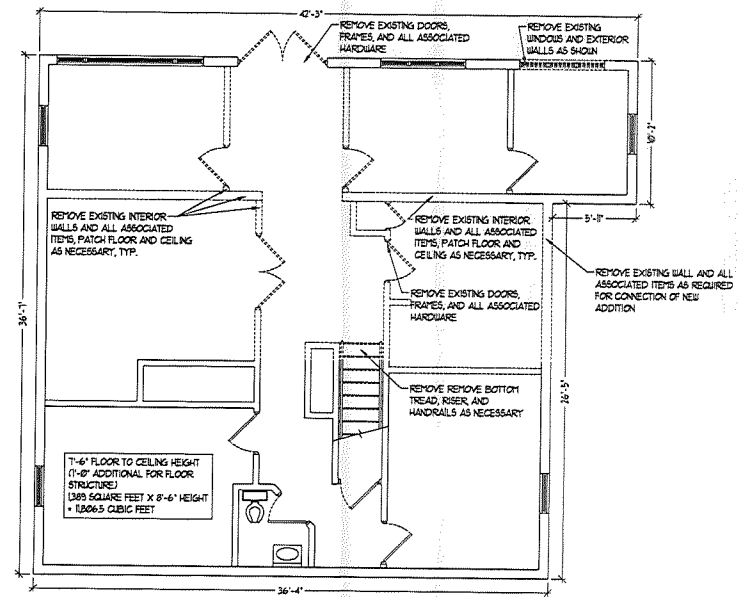
6. DIMENSIONS NOTED "CLR" ARE MINIMUM REQUIRED DIMENSIONS FROM FINISHED SURFACE TO FINISHED SURFACE.
1. PLAN DIMENSIONS SHOWN ARE TYPICALLY TO THE FACE OF STUD, FACE OF EXISTING WALL OR CENTERLINE OF COLUMN.
8. CERTAIN ELEMENTS OF THE EXISTING BUILDING CONSTRUCTION THAT ARE INTENDED TO REMAIN IN THE FINISHED BUILDING CONSTRUCTION MAY BE LOOSENEED, DISPLACED, OR OTHERWISE DAMAGED DURING THE COURSE OF PERFORMING THE WORK. THE CONTRACTOR SHALL, AS PART OF THE WORK REPAIR, REMOVE, AND/OR REPLACE ANY AND ALL SUCH ELEMENTS LOOSENEED, DISPLACED, OR OTHERWISE DAMAGED OR AS DETERMINED BY THE ARCHITECT.

9. NEW DUCT, PIPING, AND CONDUIT PENETRATIONS IN EXISTING CONSTRUCTION ARE INTENDED TO AVOID EXISTING FRAMING, UNLESS NEW FRAMING IS INDICATED. IF BEARING MEMBERS ARE ENCOUNTERED WHEN A PENETRATION IS BEING CUT, WORK ON THAT PENETRATION IS TO STOP PENDING RELOCATION OF THE PENETRATION BY ARCHITECT/ENGINEER.

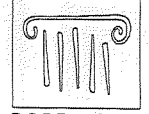
**EXISTING BUILDING VOLUME:**  
 LOWER LEVEL VOLUME = 18,065 CUBIC FEET  
 FIRST FLOOR VOLUME = 18,415 CUBIC FEET  
 ATTIC SPACE VOLUME = 6,865 CUBIC FEET  
 TOTAL EXISTING VOLUME = 33,345 CUBIC FEET



**20 MAIN LEVEL DEMOLITION PLAN**  
 SCALE: 1/4" = 4'-0"



**10 LOWER LEVEL DEMOLITION PLAN**  
 SCALE: 1/4" = 4'-0"

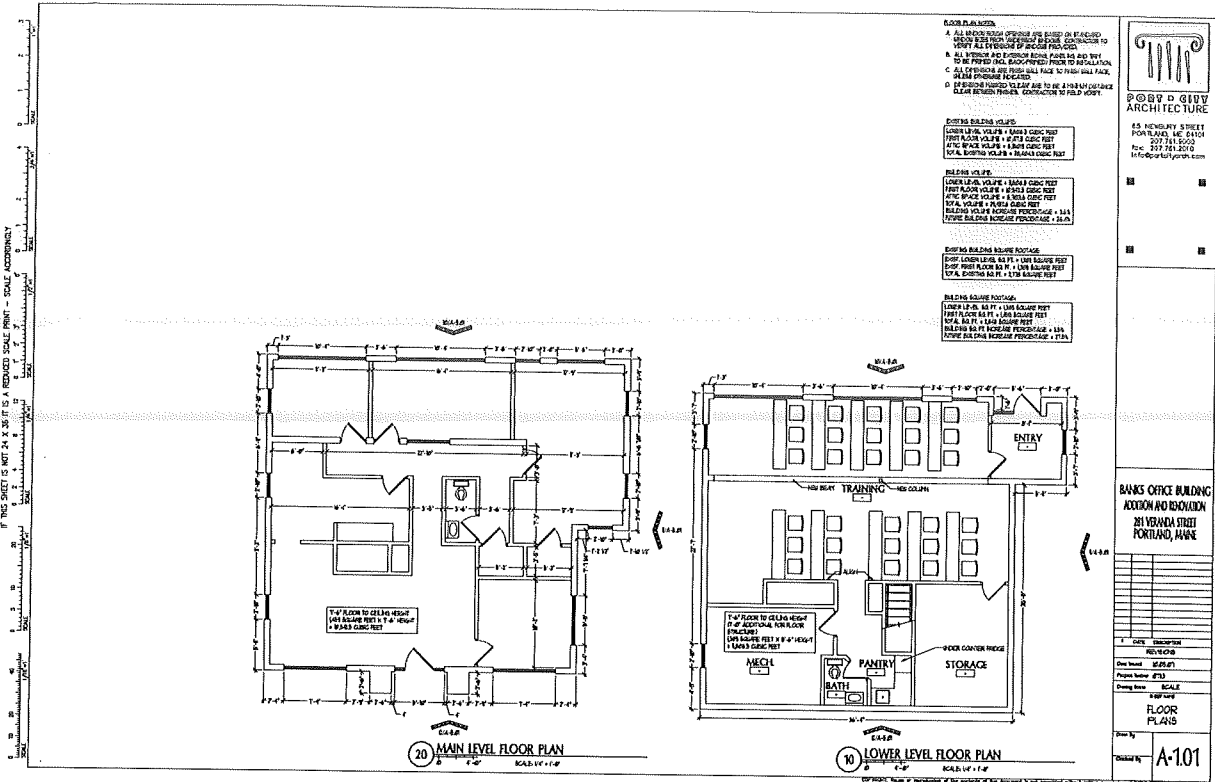


65 NEWBURY STREET  
 PORTLAND, ME 04101  
 207.761.9000  
 fax: 207.761.2010  
 info@portcityarch.com

**BANKS OFFICE BUILDING  
 ADDITION AND RENOVATION**  
 281 VERANDA STREET  
 PORTLAND, MAINE

DATE	DESCRIPTION
	REVISIONS
DATE ISSUED	10.25.07
PROJECT NUMBER	0712
DRAWING SCALE	1/4" = 1'-0"
SHEET NAME	
DEMOLITION PLANS	

Drawn By: \_\_\_\_\_  
 Checked By: **D-1.01**



DEPT. OF BUILDINGS & PERMITS  
 CITY OF PORTLAND, ME

DEC 18 2007

RECORDED





# Certificate of Design

Date: \_\_\_\_\_

From: PORT CITY ARCHITECTURE

These plans and / or specifications covering construction work on:

62 S.F. ADDITION AND REMODEL OF EXISTING SPACE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.

Signature: \_\_\_\_\_

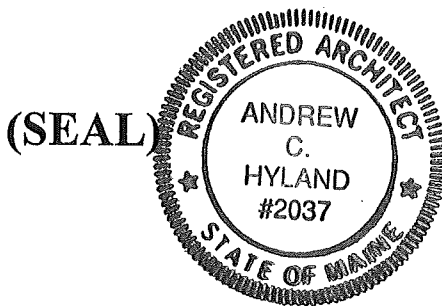
Title: PRINCIPAL

Firm: PORT CITY ARCHITECTURE

Address: 65 NEWBURY ST.

PORTLAND, ME 04101

Phone: (207) 761-9000



For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



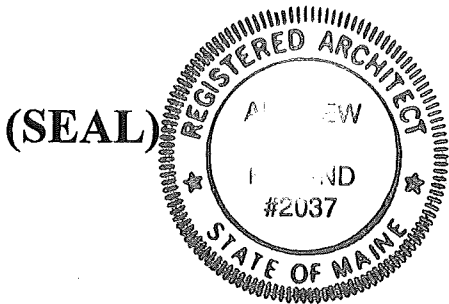
# Accessibility Building Code Certificate

Designer: PORT CITY ARCHITECTURE

Address of Project: 281 VERANDA ST. PORTLAND, ME

Nature of Project: 62 S.F. ADDITION AND REMODEL  
OF EXISTING SPACE

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: [Handwritten Signature]

Title: PRINCIPAL

Firm: PORT CITY ARCHITECTURE

Address: 65 NEWBURY ST.  
PORTLAND, ME 04101

Phone: (207) 761-9000

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



# Certificate of Design Application

From Designer: PORT CITY ARCHITECTURE  
 Date: \_\_\_\_\_  
 Job Name: RE/MAX OFFICE BUILDING  
 Address of Construction: 281 VERANDA ST.

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) B (BUSINESS)  
 Type of Construction 5B  
 Is there a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IBC? NO Supervisory alarm system? NO  
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Geotechnical/Soils report required? (See Section 1802.2) NO

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 - 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
OFFICE	50 PSF
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

ANALYTICAL Design option utilized (1609.1.1, 1609.6)  
100 Basic wind speed (1809.3)  
1.0 Building category and wind importance Factor,  $I_w$  table 1604.5, 1609.5)  
B Wind exposure category (1609.4)  
 $\pm 0.18$  Internal pressure coefficient (ASCE 7)  
PER ASCE 702 Component and cladding pressures (1609.1.1, 1609.6.2.2)  
20 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

E.L.F.A. \* Design option utilized (1614.1)  
1 Seismic use group ("Category")  
0.372/0.158 Spectral response coefficients,  $S_D$ s &  $S_{D1}$  (1615.1)  
D Site class (1615.1.5)

NO Live load reduction  
0 Roof live loads (1603.1.2, 1607.11)  
46 Roof snow loads (1603.7.3, 1608)  
60 Ground snow load,  $P_g$  (1608.2)  
46 If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
1.0 If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
1.0 If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
1.10 Roof thermal factor,  $C_t$  (1608.4)  
46 Sloped roof snowload,  $P_s$  (1608.4)  
C Seismic design category (1616.3)  
K Basic seismic force resisting system (1617.6.2)  
R=6.5 Response modification coefficient,  $R$ , and  
 $C_d = 4.0$  deflection amplification factor,  $C_d$  (1617.6.2)  
ELFA \* Analysis procedure (1616.6, 1617.5)  
20<sup>k</sup> Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

N/A Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

### Other loads

N/A Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)

\*EQUIVALENT LATERAL FORCE ANALYSIS

27,710.5  
 - 1674  
 in shoreland 26,036.5

1018.5  
 - 26,036.5  
 3.9%

2778  
 - 216  
 in shoreland 2562

70  
 - 2562 =  
 2.7%

EXISTING BUILDING VOLUME:

LOWER LEVEL VOLUME = 11,690.8 CUBIC FEET  
 FIRST FLOOR VOLUME = 9,838.8 CUBIC FEET  
 ATTIC SPACE VOLUME = 6,180.9 CUBIC FEET  
 TOTAL EXISTING VOLUME = 27,710.5 CUBIC FEET

BUILDING VOLUME:

LOWER LEVEL VOLUME = 11,690.8 CUBIC FEET  
 FIRST FLOOR VOLUME = 10,334.6 CUBIC FEET  
 ATTIC SPACE VOLUME = 6,703.6 CUBIC FEET  
 TOTAL VOLUME = 28,729 CUBIC FEET  
 BUILDING VOLUME INCREASE PERCENTAGE = 3.6%  
 FUTURE BUILDING INCREASE PERCENTAGE = 26.4%

EXISTING BUILDING SQUARE FOOTAGE:

EXIST. LOWER LEVEL SQ. FT. = 1,389 SQUARE FEET  
 EXIST. FIRST FLOOR SQ. FT. = 1,389 SQUARE FEET  
 TOTAL EXISTING SQ. FT. = 2,778 SQUARE FEET

BUILDING SQUARE FOOTAGE:

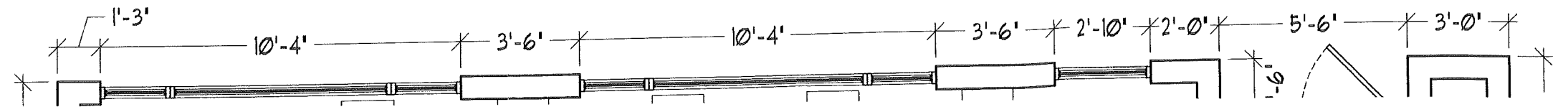
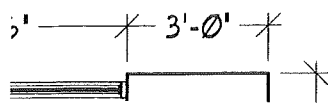
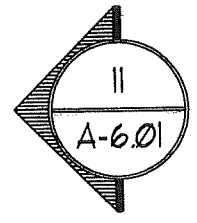
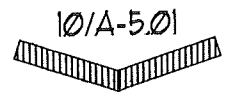
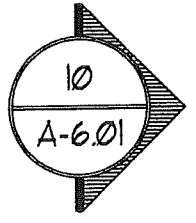
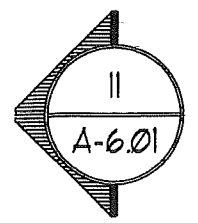
LOWER LEVEL SQ. FT. = 1,389 SQUARE FEET  
 FIRST FLOOR SQ. FT. = 1,459 SQUARE FEET  
 TOTAL SQ. FT. = 2,848 SQUARE FEET  
 BUILDING SQ. FT. INCREASE PERCENTAGE = 2.5%  
 FUTURE BUILDING INCREASE PERCENTAGE = 27.5%

FLOOR PLAN NOTES:

- A. ALL WINDOW ROUGH OPENINGS ARE BASED ON STANDARD WINDOW SIZES FROM 'ANDERSON' WINDOWS. CONTRACTOR VERIFY ALL DIMENSIONS OF WINDOWS PROVIDED.
- B. ALL INTERIOR AND EXTERIOR SIDING, PANELING AND TRIM TO BE PRIMED (INCL. BACK-PRIMED) PRIOR TO INSTALLATION.
- C. ALL DIMENSIONS ARE FINISH WALL FACE TO FINISH WALL FACE UNLESS OTHERWISE INDICATED.
- D. DIMENSIONS MARKED 'CLEAR' ARE TO BE A MINIMUM CLEARANCE BETWEEN FINISHES. CONTRACTOR TO FIELD VERIFY.

28729  
 - 27710.5  
 1018.5 increase

2848  
 - 2778  
 70 sq ft increase



# BANKS OFFICE BUILDING

## 281 VERANDA STREET PORTLAND, MAINE

### LIST OF DRAWINGS

T-101 TITLE SHEET (CODE INFO)

A5-101 SITE PLAN

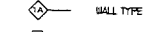
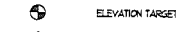
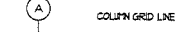
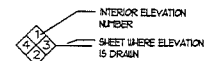
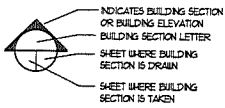
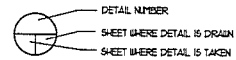
D-101 DEMOLITION PLANS

A-101 FLOOR PLANS

A-5-01 EXTERIOR ELEVATIONS

A-6-01 BUILDING SECTIONS

### LEGEND



### GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER).
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE DISPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPROMISES UNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.
- ALL DOORS SHOULD HAVE ADA COMPLIANT LEVER HANDLES.

### RENOVATION GENERAL NOTES

- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR UNFINISHED WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACES). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADE/LINE.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENTATION OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
- REFER TO MECHANICAL, ELECTRICAL AND STRUCTURAL FOR ADDITIONAL DEMOLITION REQUIREMENTS.

### CODE INFORMATION

- CONSTRUCTION TYPE: 5B
- OCCUPANCY: BUSINESS / ASSEMBLY (UNCONCENTRATED)
- SIZE: TOTAL EXISTING AREA = 2,716 SF  
TOTAL RENOVATED AREA = 10 SF  
TOTAL ALLOWABLE AREA = 3,611 SF
- COMMON PATH LIMIT = 75 FT.
- DEAD END LIMIT = 20 FT.
- TRAVEL DISTANCE LIMIT: 200 FT
- OCCUPANT LOAD: BUSINESS (128 SQ. FT./31 PERSONS)  
ASSEMBLY (UNCONCENTRATED) (100 SQ. FT./45 PERSONS)  
TOTAL = 69 PERSONS
- NO. OF EXITS REQUIRED = TWO (2)  
PROVIDED = TWO (2)
- FIRE RATINGS FOR CONSTRUCTION TYPE 5B:  
PER IBC 2003 TABLE 607 NO FIRE RATING IS REQUIRED

### TYPICAL ABBREVIATIONS

∠ AND	ELEC ELECTRIC
∠ ANG ANGLE	ELEV ELEVATION
∠ ADA AMERICAN DISABILITIES ACT	EMP EMPLOYEE
∠ ADJ ADJUST OR ADJACENT	ENCL ENCLOSE
∠ AFB ABOVE FINISH FLOOR	ENT ENTRY OR ENTRANCE
∠ ALUM ALUMINUM	EQ EQUAL
∠ ARCH ARCHITECT OR ARCHITECTURAL	EQIP EQUIPMENT
∠ AVG AVERAGE	EW ELECTRIC WATER COOLER
∠ BDB BOARD	EXH EXHAUST
∠ BLDG BUILDING	EXIST EXISTING
∠ BLKG BLOCKING	EXP EXPANSION
∠ BPI BEAM	EXT EXTERIOR
∠ BTO BOTTOM OF	FBO FURNISHED BY OWNER
∠ CL CENTER LINE	FDN FOUNDATION
∠ CAB CABINET	FF FINISH FLOOR ELEVATION
∠ CLG CEILING	FN FINISH
∠ CLR CLEAR	FRX FIXTURE
∠ CMU CONCRETE MASONRY UNIT	FLG FLOORING
∠ CNTR COUNTER	FLR FLOOR
∠ COL COLUMN	FLUOR FLUORESCENT
∠ CONC CONCRETE	FT FOOT or FEET
∠ CONT CONTINUOUS	GA GAUGE
∠ COORD COORDINATE	GALV GALVANIZED
∠ COR CORNER	GC GENERAL CONTRACTOR
∠ CRT CURRET	GL GLASS
∠ CW COLD WATER	GSB Gypsum WALL BOARD
∠ DBL DOUBLE	HGT HEIGHT
∠ DEG DEGREE	HM HOLLOW METAL
∠ DHW DOMESTIC HOT WATER	HRZ HORIZONTAL
∠ DIA DIAMETER	INS INSULATION
∠ DIM DIMENSION	INT INTERIOR
∠ DN DOWN	JOINT JOINT
∠ DR DOOR	LAM LAMINATED
∠ DS DOWN SPOUT	LB LB POUNDS
∠ DU DISH WASHER	LF LINEAR FEET
∠ DWG DRAWING	RO ROUGH OPENING
∠ E EAST	R1 ROOM
∠ EA EACH	RTU ROOF TOP UNIT
∠ EJ EXPANSION JOINT	S SOUTH
∠ LL LINE LOAD	SAT SUSPENDED ACOUSTICAL TILE
∠ LWC LIGHT WEIGHT CONCRETE	SCHED SCHEDULE
∠ MAX MAXIMUM	SO STORY DRAIN
∠ TECH TECHNICAL	SECT SECTION
∠ MAN MANUFACTURE	SF SQUARE FEET
∠ MH MAN HOLE	S1 SPILAR
∠ MIL MILLIMETER	SP SHELL PACKAGE
∠ MIN MINIMUM	SPECIFICATIONS
∠ MSB MAIN SWITCH BOARD	SS STAINLESS STEEL
∠ MTD MOUNTED	SQ SQUARE
∠ MT METAL	STD STANDARD
∠ PRGRABE PREGRADE	STL STEEL
∠ N NORTH	STRUC STRUCTURAL
∠ NVA NOT APPLICABLE	SUPP SUPPLEMENT
∠ NAT NATURAL	SYMM SYMMETRICAL
∠ NIC NOT IN CONTRACT	T THERMOSTAT
∠ N NUMBER	T & B TOP AND BOTTOM
∠ NTS NOT TO SCALE	TEL TELEPHONE
∠ ON ON CENTER	TGL TYPED/PRINTED GLASS
∠ OAR OVER HEAD	THICK THICKNESS
∠ PAR PARALLEL	TYP TYPICAL IMPROVEMENTS
∠ P/C PREGAST CONCRETE	T.O. TOP OF JOIST
∠ PERP PERPENDICULAR	TOJ TOP OF JOIST
∠ PL PLATE	TOP OF STEEL
∠ P-LAM PLASTIC LAMINATE	TRYP TYPICAL
∠ PLAS PLASTER	UL UNDERPETERS LABORATORIES, INC
∠ PLG PLUMBING	UNO UNLESS NOTED OTHERWISE
∠ PLYWOOD PLYWOOD	VB VENTL BASE
∠ PSI POUNDS PER SQUARE INCH	VCT VINYL COMPOSITE TILE
∠ PRSP PRESSURE TREATED	VERT VERTICAL
∠ PNT PAINT	VF VERIFY IN FIELD
∠ QTY QUANTITY	WIDE or WEST
∠ R RISE or RADIUS	WD WOOD
∠ RAD RADIUS	WC WATER COOLER
∠ RCF REFLECTED CEILING PLAN	W/ WITH
∠ RD ROOF DRAIN	W/O WITHOUT
∠ REF REFRIGERATOR	X EXISTING
∠ REIN REINFORCED	
∠ RECD REQUIRED	

PORT CITY  
ARCHITECTURE

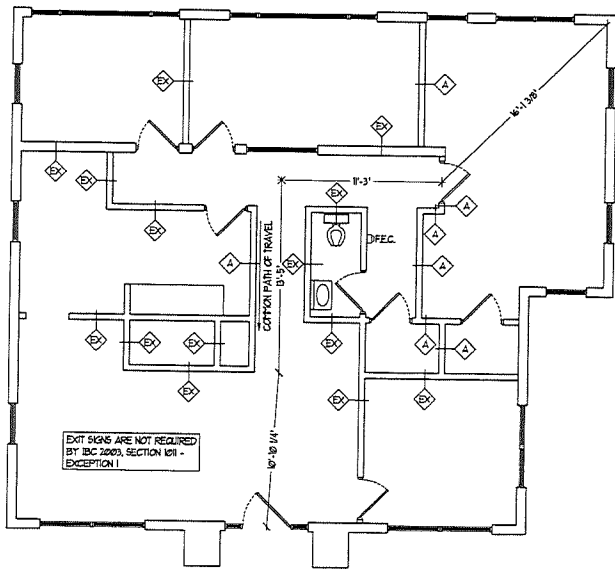
65 NEWBURY STREET  
PORTLAND, ME 04101  
207.761.9000  
fax: 207.761.2010  
info@portcityarch.com

BANKS OFFICE BUILDING  
ADDITION AND RENOVATION  
281 VERANDA STREET  
PORTLAND, MAINE

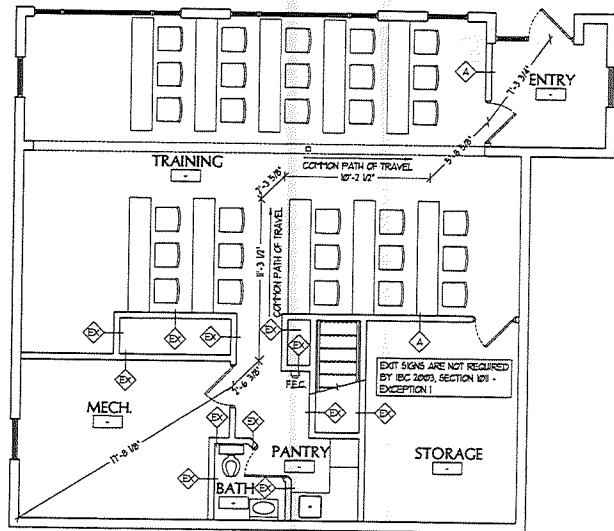
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	REVISIONS
Drawn by	10.05.01
Project Number	0713
Drawing Scale	NOT TO SCALE
SHEET NAME	
TITLE SHEET	
Drawn by	
Checked by	T-101

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

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 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 1" = 1'-0"



20 MAIN LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"



10 LOWER LEVEL FLOOR PLAN  
 SCALE: 1/4" = 1'-0"

A	4-7/8\"/>
A1	4-7/8\"/>
A2	7-1/4\"/>
A3	7-1/4\"/>



PORT CITY ARCHITECTURE

65 NEWBURY STREET  
 PORTLAND, ME 04101  
 207.761.9000  
 fax: 207.761.2010  
 info@portcityarch.com

BANKS OFFICE BUILDING  
 ADDITION AND RENOVATION  
 281 VERANDA STREET  
 PORTLAND, MAINE

DATE	DESCRIPTION
REVISIONS	
Drawn by	10.25.07
Project Number	0710
Drawing Scale	1/4" = 1'-0"
SHEET NAME	
LIFE SAFETY PLANS	
Drawn By	
Checked By	LS-101

Delete	Schedule Inspection	Add	Find	Print Permit	Print C of O	Print Insp	Invoicing	Taxes Due	Close
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Prmt	Text93	44240	Constr Type	New	Num1	71399
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Permit Nbr	07-1399	Location of Construction	281	VERANDA ST	Appl. Date	11/13/2007	
Status	Hold	Permit Type	Additions - Commercial		Issue Date		
CBL	434 C002001	District Nbr	4	Estimated Cost	\$47,000.00	Date Closed	

Comment Date	Comment	Add	Delete	Save	Print
01/08/2008	need framing details addition - no info submitted on addition - called designer and requested info /tmm				
	Name	tmm	Follow Up Date		Completed <input type="checkbox"/>
12/27/2007	Gave site plan exemption application to planing.				
	Name	amachado	Follow Up Date		Completed <input type="checkbox"/>
12/26/2007	Received cross sections to figure out volume.				
	Name	amachado	Follow Up Date		Completed <input type="checkbox"/>
12/18/2007	Spoke to Ryan St. Pierre at Port City Architecture. Told him what I needed to to figure out the volume of the building.				
	Name	amachado	Follow Up Date		Completed <input type="checkbox"/>
12/14/2007	Met with David Banks. Received siteplan yesterday done by Titcombs indicating the 75' setback line from the high water. Need original, stamped and scalable plan. Need information to figure out the volume of the existing building and the proposed addition.				
	Name	amachado	Follow Up Date		Completed <input type="checkbox"/>

Prmt Text93 44240 Constr Type New Num1 71399

11/27/2007	Spoke to Michael Banks. David Banks is the owner. The addition is on the plan. It is not a change of use because it is still a professional office (real estate). I told him that we need a survey that shows where the 75' setback is from the highest spring tide because the property is within the shoreland zone.				
Name	amachado	Follow Up Date		Completed	<input type="checkbox"/>
11/20/2007	Left message for Michael Banks. Are he and David Banks part of Atlantic Porperities, LLC. The application talks about a 62 sf addition. The plans do not show the addition except for the elevation plan.. They only deal with the remodeling of the existing building. If there is an addition, the property is in the shoreland zone so the 75' setback line from the highest snrnt tide needs to be located on the plot plan. Parking also need to be shown if				
Name	amachado	Follow Up Date		Completed	<input type="checkbox"/>

CreatedBy	ldobson	CreateDate	11/13/2007	ModBy	amachado	ModDate	11/20/2007
		Time	11:48 AM			Time	11:15 AM



# 2008 0005



# APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

David Banks  
Applicant

12/26/07  
Application Date

Atlantic Properties LLC 970 Bayler Boulevard  
Applicant's Mailing Address Portland ME 04103

1 story addition in shoreland  
Project Name/Description

Michael Banks 504-7251  
Consultant/Agent/Phone Number

281 Veranda St  
Address of Proposed Site

CBL: 434-C-002

### Description of Proposed Development:

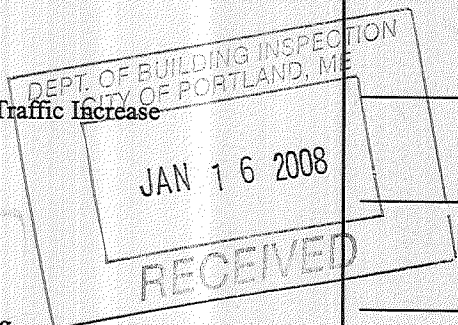
one story addition on building - 620 sq ft - majority of building and all of addition  
is within 75' setback from high water mark

### Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:  
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
600A addition	✓
yes	✓
yes	✓
yes	✓
yes	✓
yes	✓
yes	✓
yes	✓
yes	✓



### Planning Division Use Only

Exemption Granted X Partial Exemption \_\_\_\_\_ Exemption Denied \_\_\_\_\_

According to Mr. Banks, the structures will be on the existing foundation and no excavation is required. If there is any soil disturbance then soil and erosion control measures meeting DEP Best Management Practices shall be installed.

Planner's Signature Barbara Seaborn Date 1/15/08

**From:** "Michael Banks" <mbanks@homesinmaine.com>  
**To:** "Barbara Barhydt" <BAB@portlandmaine.gov>  
**Date:** Tuesday, January 15, 2008 8:38:46 AM  
**Subject:** Re: Fwd: Veranda Street

I just deliver the print out to your office. Please let me know if you need anything else.

Michael Banks  
RE/MAX By The Bay  
970 Baxter Boulevard  
Portland, Maine 04103  
207-773-2345

---

Sent from my Verizon Wireless BlackBerry

-----Original Message-----

From: "Barbara Barhydt" <BAB@portlandmaine.gov>

Date: Mon, 14 Jan 2008 15:34:41  
To: <mbanks@homesinmaine.com>  
Cc: <dbanks@homesinmaine.com>  
Subject: Re: Fwd: Veranda Street

I cannot open the attachment from Titcomb. Is it possible for them to convert it to a jpeg or pdf file?

Barbarbara

Barbara Barhydt  
Development Review Services Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101  
(207) 874-8699  
Fax: (207) 756-8256  
bab@portlandmaine.gov

>>> Michael Banks <mbanks@homesinmaine.com> Monday, January 14, 2008  
2:57 PM >>>

Barbara,

Thanks for your help today. Attached you will find an aerial photograph with an overlay of the high water line plot plan provided by Titcomb Associates. As we mentioned on the telephone the parking will stay exactly as is and as seen on this plan. The 60 sq ft addition will be built on the existing stone wall that runs along the entire right hand side of the building if you are looking at the structure from Veranda Street.

Please email me back if you need additional information or more explanation .

Thanks again,  
Michael Banks

----- Forwarded Message -----

From: "David Titcomb " <DTitcomb@mail.titcombsurvey.com>

To: "David Banks" <dbanks @ homesinmaine .com>  
Cc: "Michael Banks" <mbanks @ homesinmaine .com>  
Sent: Monday, January 14, 2008 2:10:10 PM ( GMT-0500 ) America/  
New\_York  
Subject: Veranda Street

David-

I tried to send this earlier but the file was too large and my email bounced back; hopefully the attached ZIP file will go through.

I hope this sketch helps, let me know if you need anything else.

David

David E. Titcomb , PLS

133 Gray Road 39 Court Street

Falmouth , ME 04105 Bath, ME 04530

Tel: (207) 797-9199 Tel: (207) 443-9199

Fax: (207) 878-3142 Fax: (207) 386-5077

[www . titcombsurvey .com](http://www.titcombsurvey.com)

--

Michael Banks  
RE/MAX By The Bay  
970 Baxter Boulevard  
Portland, ME 04103

207-773-2345

[www . homesinmaine .com](http://www.homesinmaine.com)



THIS IS NOT A BOUNDARY

The dwelling is a one and a half story wood framed structure on a concrete and concrete block foundation

high water line

N



High Water Line  
Portland, Maine

MADE

1950

EXISTING BUILDING VOLUME:

LOWER LEVEL VOLUME = 11,690.8 CUBIC FEET  
FIRST FLOOR VOLUME = 9,838.8 CUBIC FEET  
ATTIC SPACE VOLUME = 6,180.9 CUBIC FEET  
TOTAL EXISTING VOLUME = 27,710.5 CUBIC FEET

BUILDING VOLUME:

LOWER LEVEL VOLUME = 11,690.8 CUBIC FEET  
FIRST FLOOR VOLUME = 10,334.6 CUBIC FEET  
ATTIC SPACE VOLUME = 6,703.6 CUBIC FEET  
TOTAL VOLUME = 28,729 CUBIC FEET  
BUILDING VOLUME INCREASE PERCENTAGE = 3.6%  
FUTURE BUILDING INCREASE PERCENTAGE = 26.4%

EXISTING BUILDING SQUARE FOOTAGE:

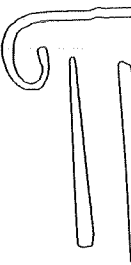
EXIST. LOWER LEVEL SQ. FT. = 1,389 SQUARE FEET  
EXIST. FIRST FLOOR SQ. FT. = 1,389 SQUARE FEET  
TOTAL EXISTING SQ. FT. = 2,778 SQUARE FEET

BUILDING SQUARE FOOTAGE:

LOWER LEVEL SQ. FT. = 1,389 SQUARE FEET  
FIRST FLOOR SQ. FT. = 1,459 SQUARE FEET  
TOTAL SQ. FT. = 2,848 SQUARE FEET  
BUILDING SQ. FT. INCREASE PERCENTAGE = 2.5%  
FUTURE BUILDING INCREASE PERCENTAGE = 27.5%

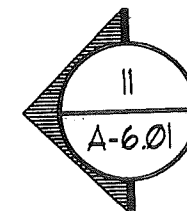
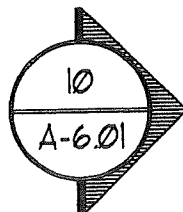
FLOOR PLAN NOTES:

- A. ALL WINDOW ROUGH OPENINGS ARE BASED ON STANDARD WINDOW SIZES FROM 'ANDERSON' WINDOWS. CONTRACTOR TO VERIFY ALL DIMENSIONS OF WINDOWS PROVIDED.
- B. ALL INTERIOR AND EXTERIOR SIDING, PANELING AND TRIM TO BE PRIMED (INCL. BACK-PRIMED) PRIOR TO INSTALLATION.
- C. ALL DIMENSIONS ARE FINISH WALL FACE TO FINISH WALL FACE, UNLESS OTHERWISE INDICATED.
- D. DIMENSIONS MARKED 'CLEAR' ARE TO BE A MINIMUM DISTANCE CLEAR BETWEEN FINISHES. CONTRACTOR TO FIELD VERIFY.



PORT  
ARCH

65 NEW  
PORTLA  
2C  
fax: 2C  
info@pc



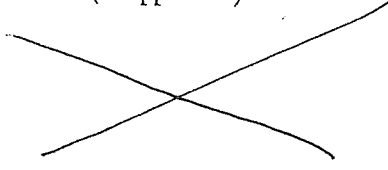
1'-3"

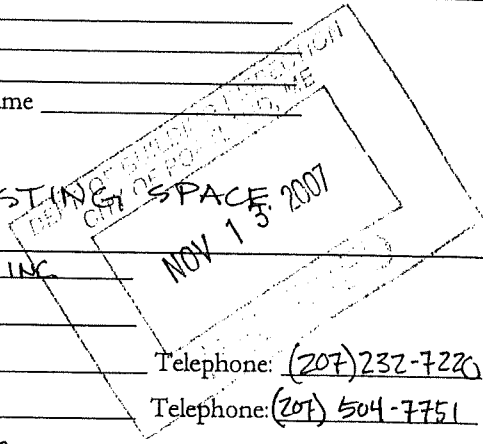
2'-6" 10'-4" 3'-6" 2'-10" 2'-0" 5'-6" 3'-0"



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

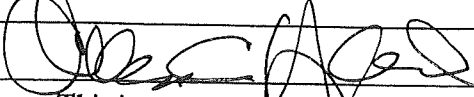
Location/Address of Construction: <u>281 VERANDA ST.</u>		
Total Square Footage of Proposed Structure/Area <u>2780 (EXISTING); 62 S.F. ADDITION</u>		Square Footage of Lot <u>23,218 S.F.</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>434            C            2</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>DAVID BANKS</u> Address <u>970 BAXTER BLVD.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Telephone: <u>(207) 553-7302</u>
Lessee/DBA (If Applicable) 	Owner (if different from Applicant) Name <u>ATLANTIC PROPERTIES, LLC</u> Address <u>970 BAXTER BLVD.</u> City, State & Zip <u>PORTLAND, ME 04103</u>	Cost Of Work: \$ <u>47,000</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>47,000</u>
Current legal use (i.e. single family) <u>BUSINESS -</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>62 S.F. ADDITION AND REMODEL OF EXISTING CITY SPACE</u>		
Contractor's name: <u>LARRY DONATELLO, DONATELLO BLD. INC.</u> Address: <u>P.O. 684</u> City, State & Zip <u>PORTLAND, ME 04104</u> Who should we contact when the permit is ready: <u>MICHAEL BANKS</u> Mailing address: <u>970 BAXTER BLVD. PORTLAND, ME 04103</u>		



**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 11/8/07

**This is not a permit; you may not commence ANY work until the permit is issue**

