

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT PERMIT

PERMIT ISSUED
Permit Number: 050523
MAY 26 2005
CITY OF PORTLAND

This is to certify that Helper Anna H & /Will Van ast
has permission to 1.5 Storey addition add bedrooms, bath and porch within existing footprint
AT 20 Bismark St 433 E00600

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in.
HEAR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

Deanie Burke 5/23/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0523	Issue Date: MAY 25 2005	CBL: 433 E006001
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Location of Construction: 20 Bismark St	Owner Name: Helper Anna H &	Owner Address: 20 Bismark St	Phone: 70232
Business Name:	Contractor Name: Will Vandermast	Contractor Address:	Phone: 70232
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R5
Past Use: Single Family Home	Proposed Use: Single Family Home/ 1.5 Storey addition add bedrooms, bath and porch within existing footprint	Permit Fee: \$336.00	Cost of Work: \$35,000.00
Proposed Project Description: 1.5 Storey addition add bedrooms, bath and porch within existing footprint		CEO District: 4	
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group R3 Type: SB #RC-2003 Signature: AMB 5/23/05	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 05/03/2005	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 5/11/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Interpretation Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: AMB 5/11
	Panel 1 & 2 Zone X Side reduced add 10'	8' min. opp. side	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0523	Date Applied For: 05/03/2005	CBL: 433 E006001
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Location of Construction: 20 Bismark St	Owner Name: Helper Anna H &	Owner Address: 20 Bismark St	Phone:
Business Name:	Contractor Name: Will Vandermast	Contractor Address:	Phone (207) 797-0232
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ 1.5 Storey addition add bedrooms, bath and porch within existing footprint	Proposed Project Description: 1.5 Storey addition add bedrooms, bath and porch within existing footprint
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 05/11/2005

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/23/2005

Note: 5/1 1/05 spoke w/ Jon C. About more details, he will call back on 5/12 to discuss **Ok to Issue:**

5/12 Jon left vm & I left vm back, he left one back
5/16 spoke w/Jon C. About list of details, he will revise plans and submit
5/19 received revisions
5/23 spoke w/Jon C. Aout stair headroom measurement as a plane extending along the tread points & the egress window, ok to issue

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) Separate permits are required for any electrical, plumbing, or heating.

Dept: Historical **Status:** Approved with Conditions **Reviewer:** Deborah Andrews **Approval Date:** 05/19/2005

Note: **Ok to Issue:**

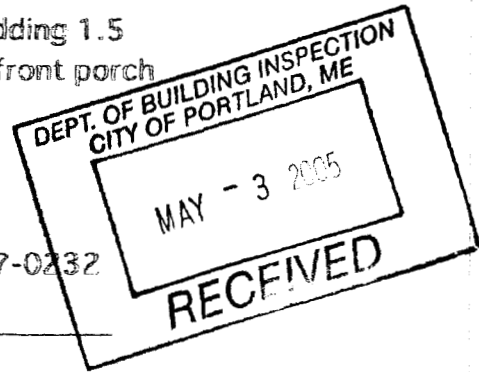
- 1) Shed to be positioned to be out of view from public way.



Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: 20 Bismark Street		
Total Square Footage of Proposed Structure	816	Square Footage of Lot 6000
Tax Assessor's Chart, Block & Lot Chart# 433 Block# E Lot# 6	Owner: A. Hepler & J. Calame	Telephone: 251-3251
Lessee/ Buyer's Name (If Applicable)	Applicant name, address & telephone: same as above.	Cost Of Work: \$ 35,000 Fee: \$ 336 ⁰⁰
Current Specific use: residential, single family		
Proposed Specific use: same		
Project description: 1.5 storey addition to existing dwelling, adding 1.5 bedrooms and 1 bath, also creating small front porch within existing footprint.		
Contractor's name, address & telephone: Will Vandermast, (207) 797-0232		
Who should we contact when the permit is ready: Jon Calame		
Mailing address: 20 Bismark Portland, ME 04103		



Phone: 646 206-3326

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion at the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 873-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/ her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

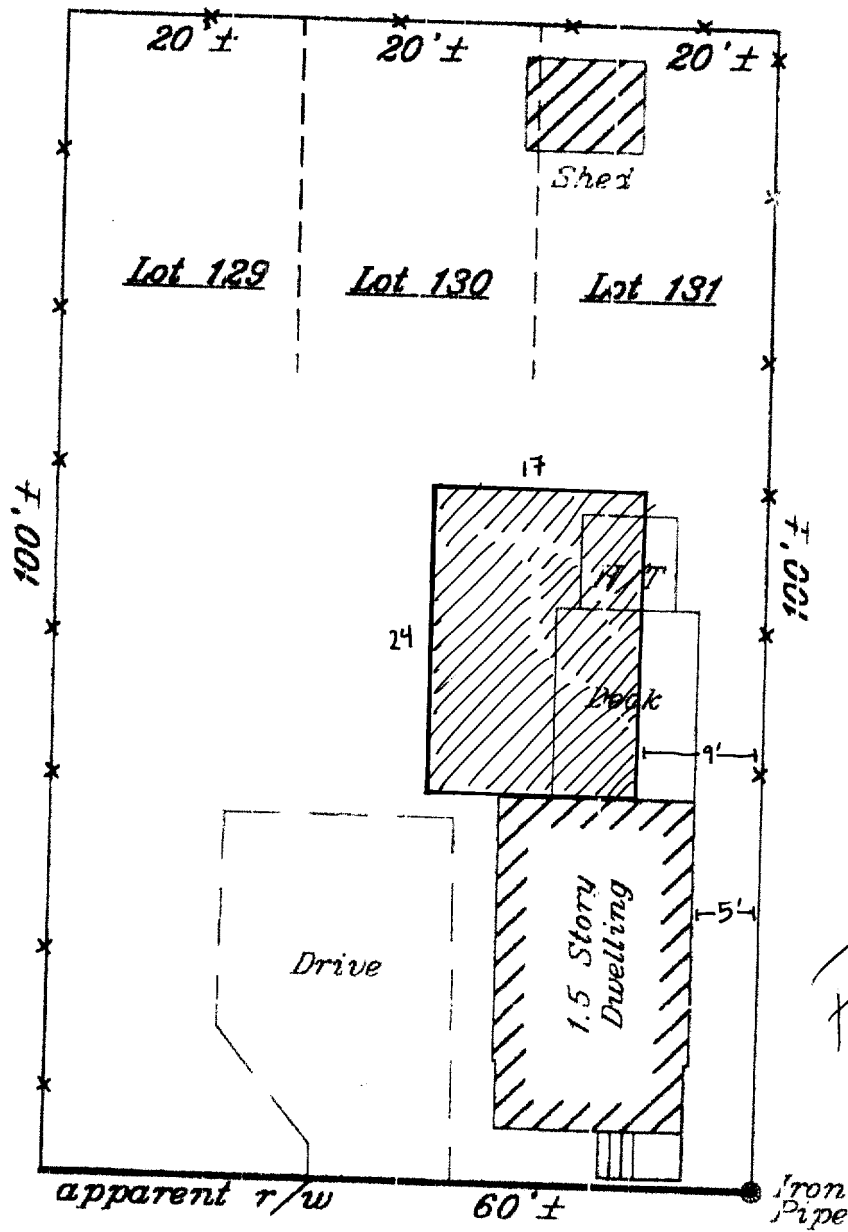
Signature of applicant:

Date: 4/18/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Lots 108-110



RS Zone

Side 2 story 12' Req

Can reduce to min 8' for every foot increase on opposite side

Rear 20' Req 25+

Found NO records on Decks

Bismark Street

Received 10/11/1898 at 1:15 P.M.

Dream View Park

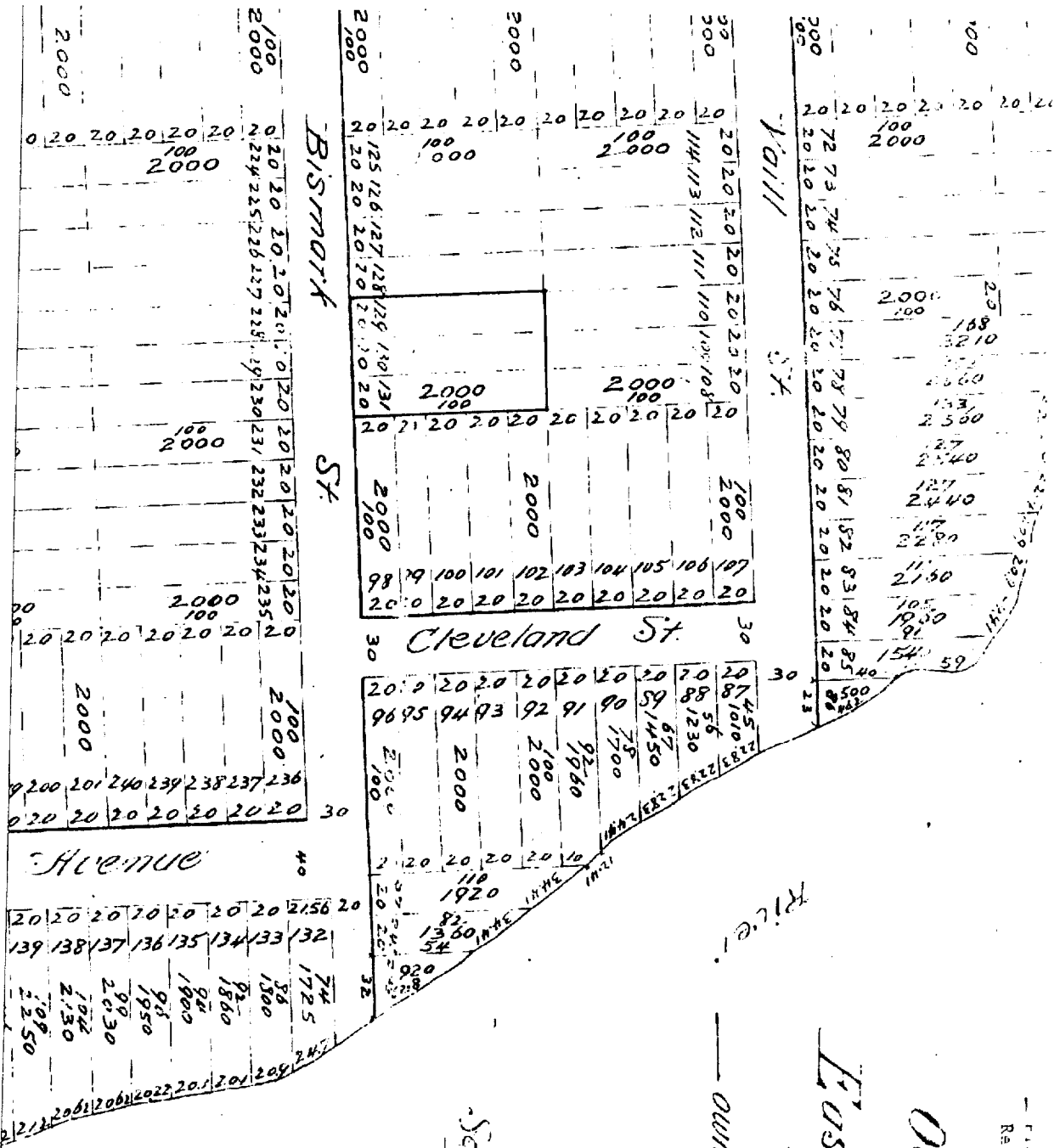
East Deering, Me.

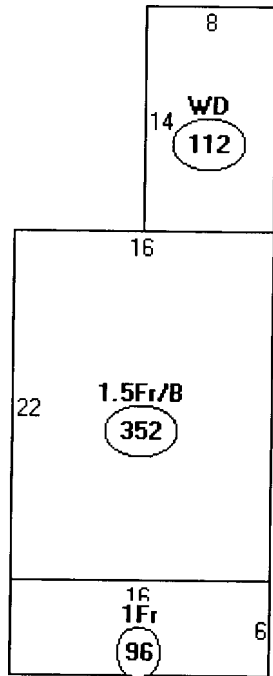
owned by J.W. Wilbur

Aug. 3, 1898.

Scale 50ft. = 1 in.

H. L. Fitch





Descriptor/Area

A: 1.5Fr/B
352 sqft

6:WD
112 sqft

C:1Fr
96 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Case Number 1 of 1
Parcel ID 433 R006001
Location 20 S SWARK ST
User Geo SING K FAM LY

Owner Address CYR DAVID C
20 S SWARK ST
PORTLAND ME 04 03

Book/Page 13689/143
Lot 433 R 6
SWARK ST 6 20
6300 SF

AS

Valuation Information

Land	Building	Total
\$27,520	\$34,750	\$62,270

Property Information

Year Built	Style	Story	Stairs	Sq. Ft.	Total Area
1920	Old Style	1.5		712	0.138
Bedrooms	Bath	Halls	Habbs	Total Rooms	Attic
2	1			4	None
					Basement
					-1.0

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1995	8X8	0	A

Sales Information

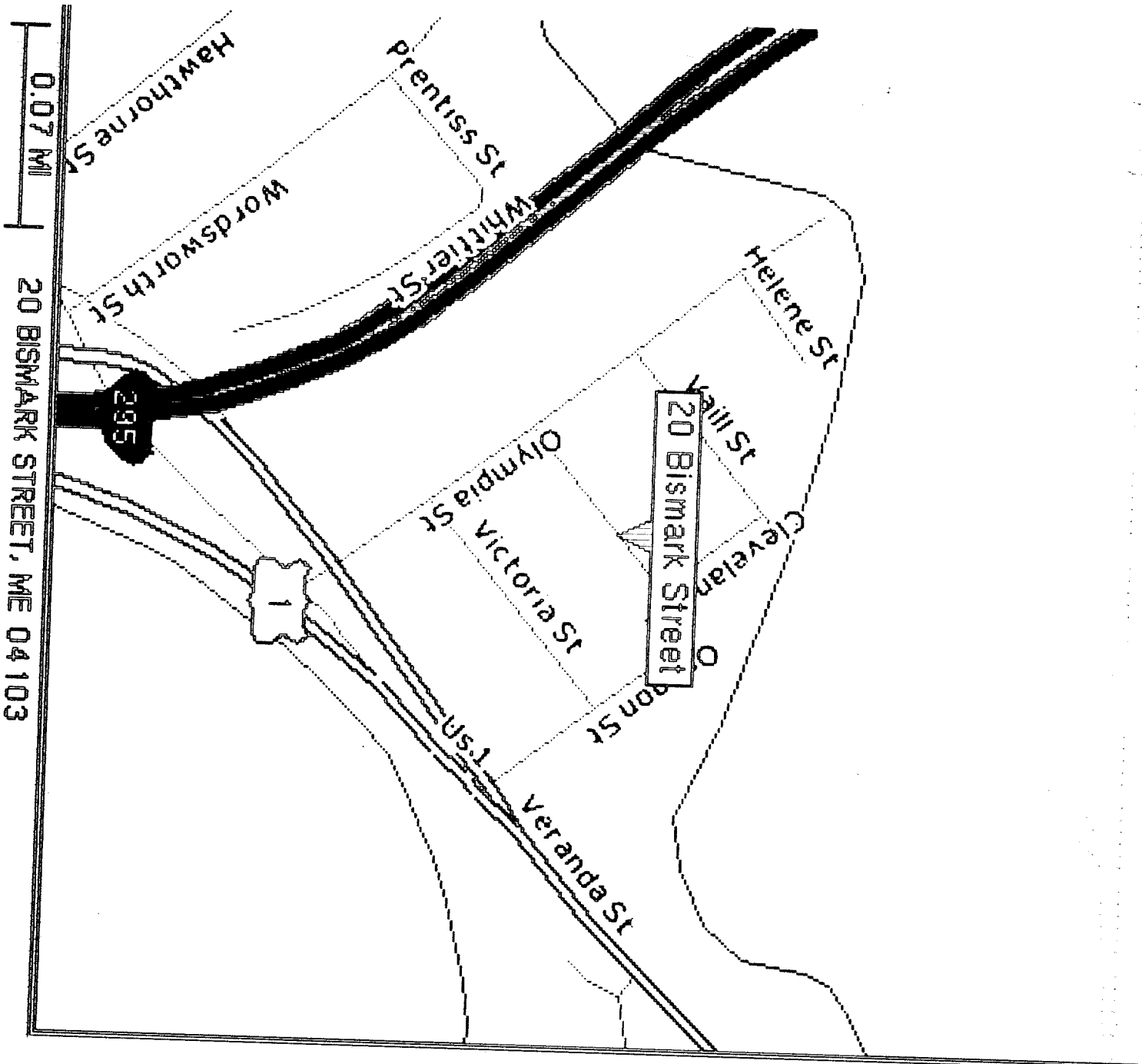
Date	Type	Price	Book/Page
03/25/1998	LAND + BUILDING	\$71,000	13689-143
07/26/1999	LAND + BUILDING	\$73,000	09653-312

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.
Any information concerning Tax payments should be directed to the Treasury office at 874-8450 or [e-mailed](#)

New Search



0.07 MI

20 BISMARK STREET, ME 04103

295

1

20 Bismark Street

Hawthorne St

Wordsworth St

Prentiss St

Whittier St

Helene St

Kelli St

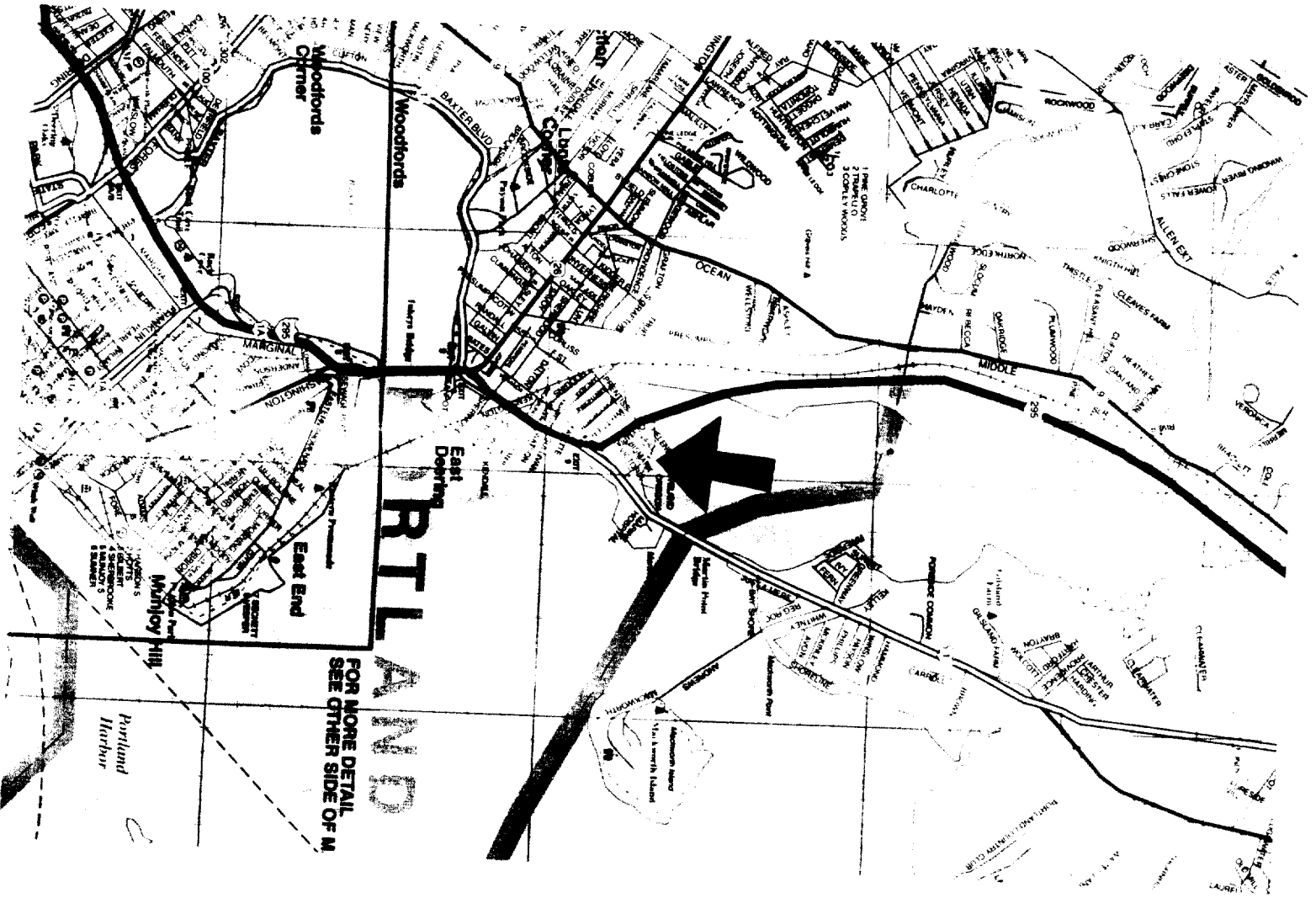
Cleveland St

Olympia St

Victoria St

Veranda St

Johnson St



FOR MORE DETAIL
SEE OTHER SIDE OF M.

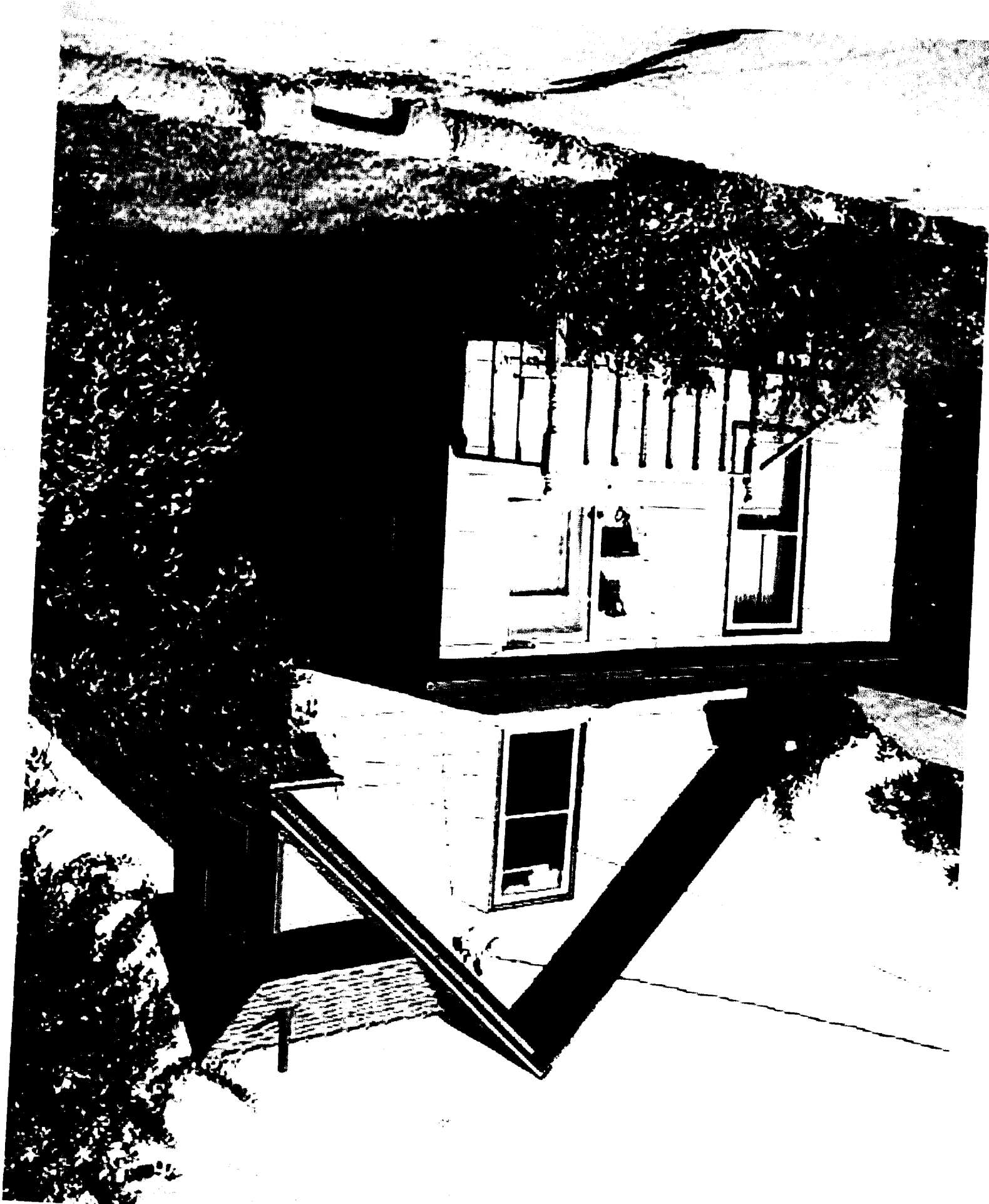
PORTLAND

East
Downing

East End

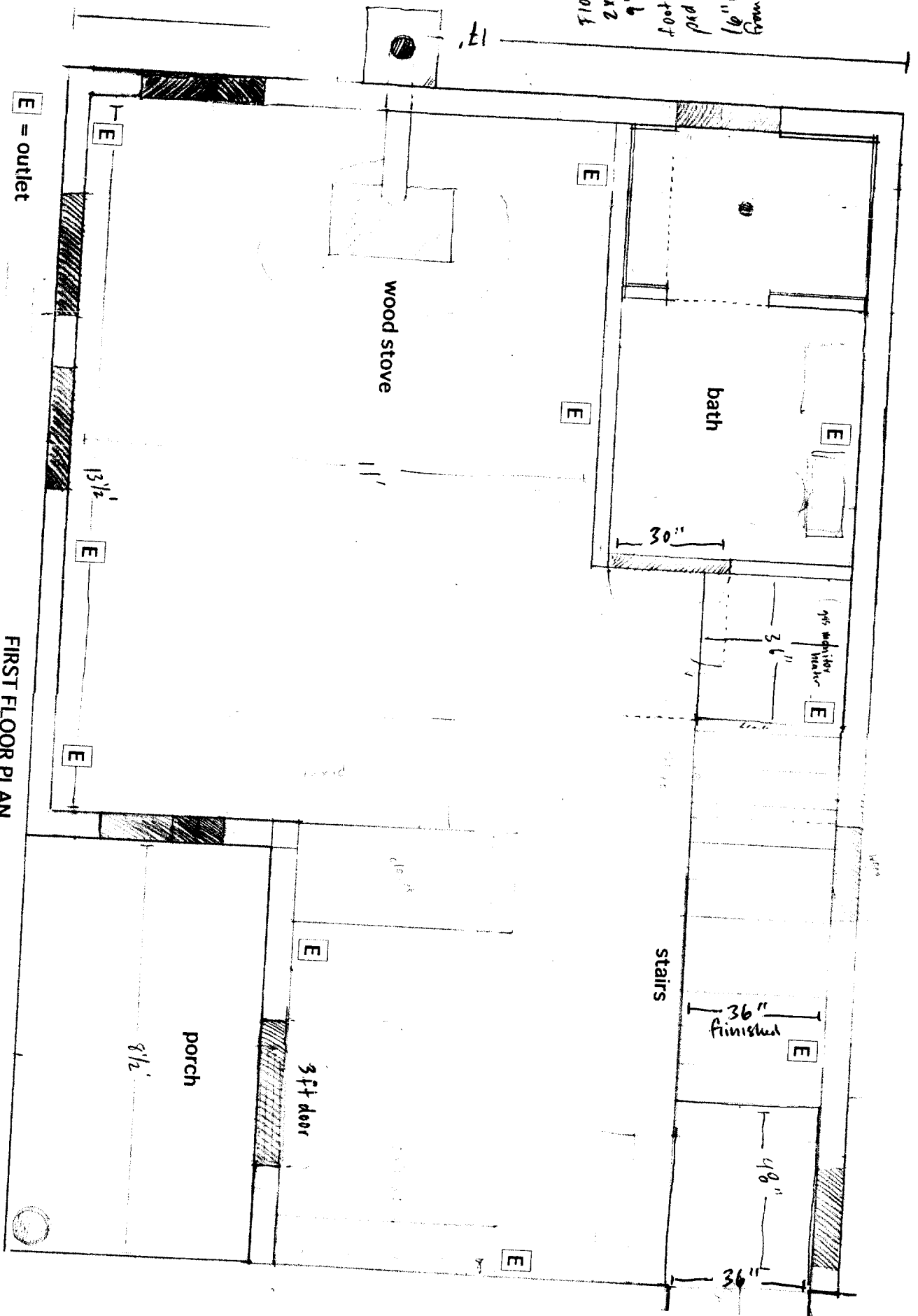
Monloy Hill

Portland
Harbor





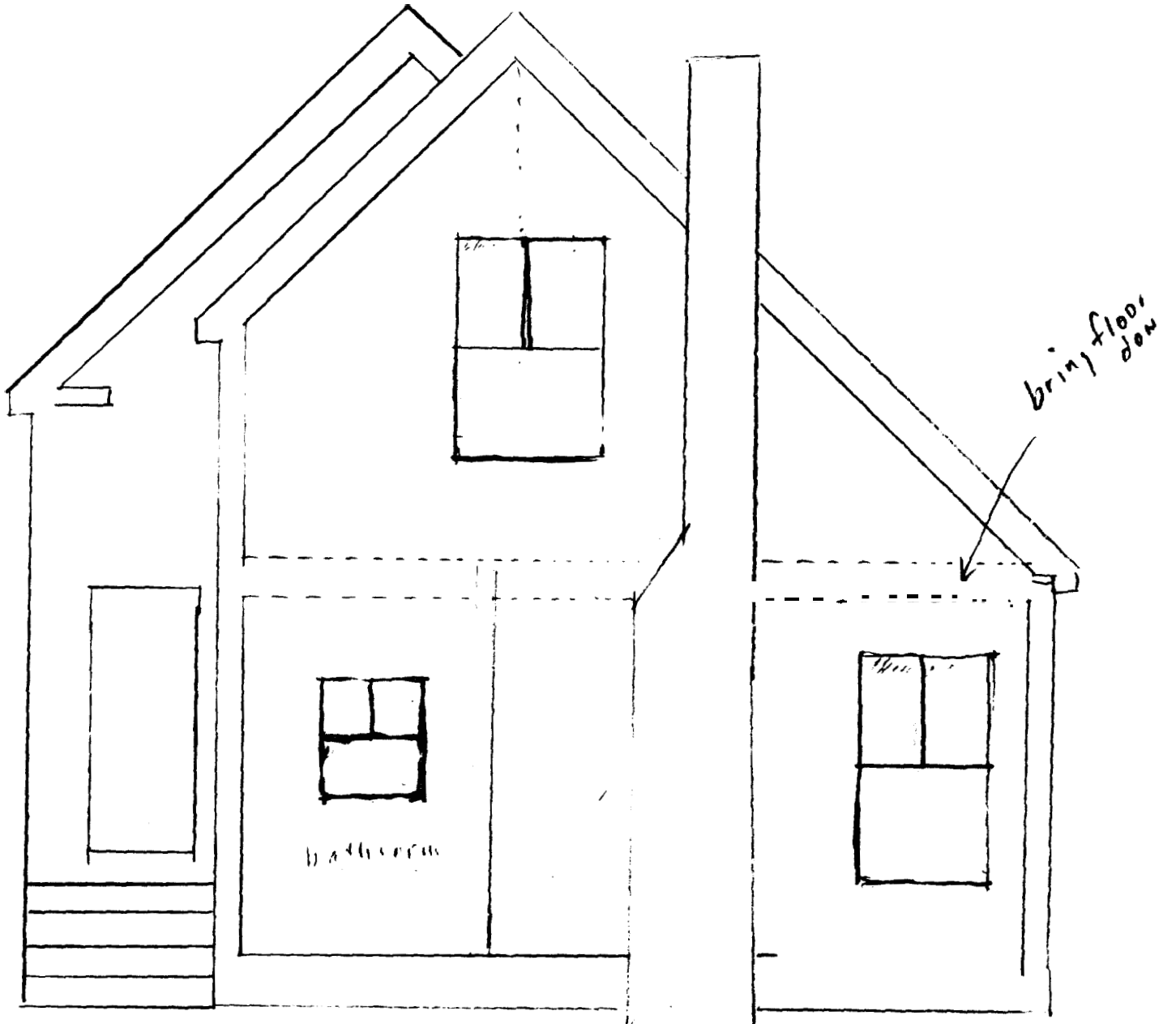
F1001
21 x 2
1001 L
M. B
16" dia
foot
ped
from grade



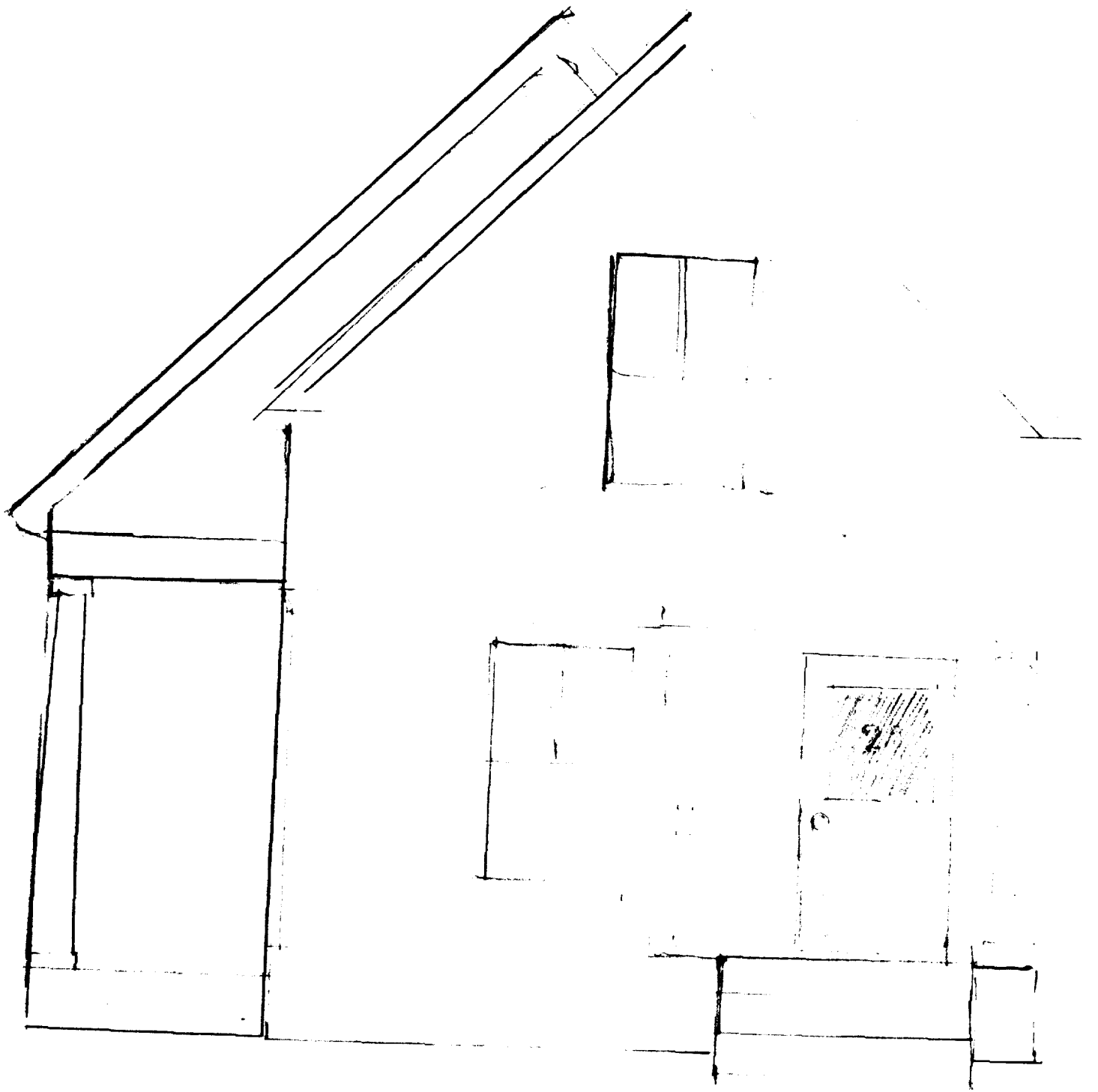
FIRST FLOOR PLAN

24'

GROUND LEVEL FLOOR PLAN

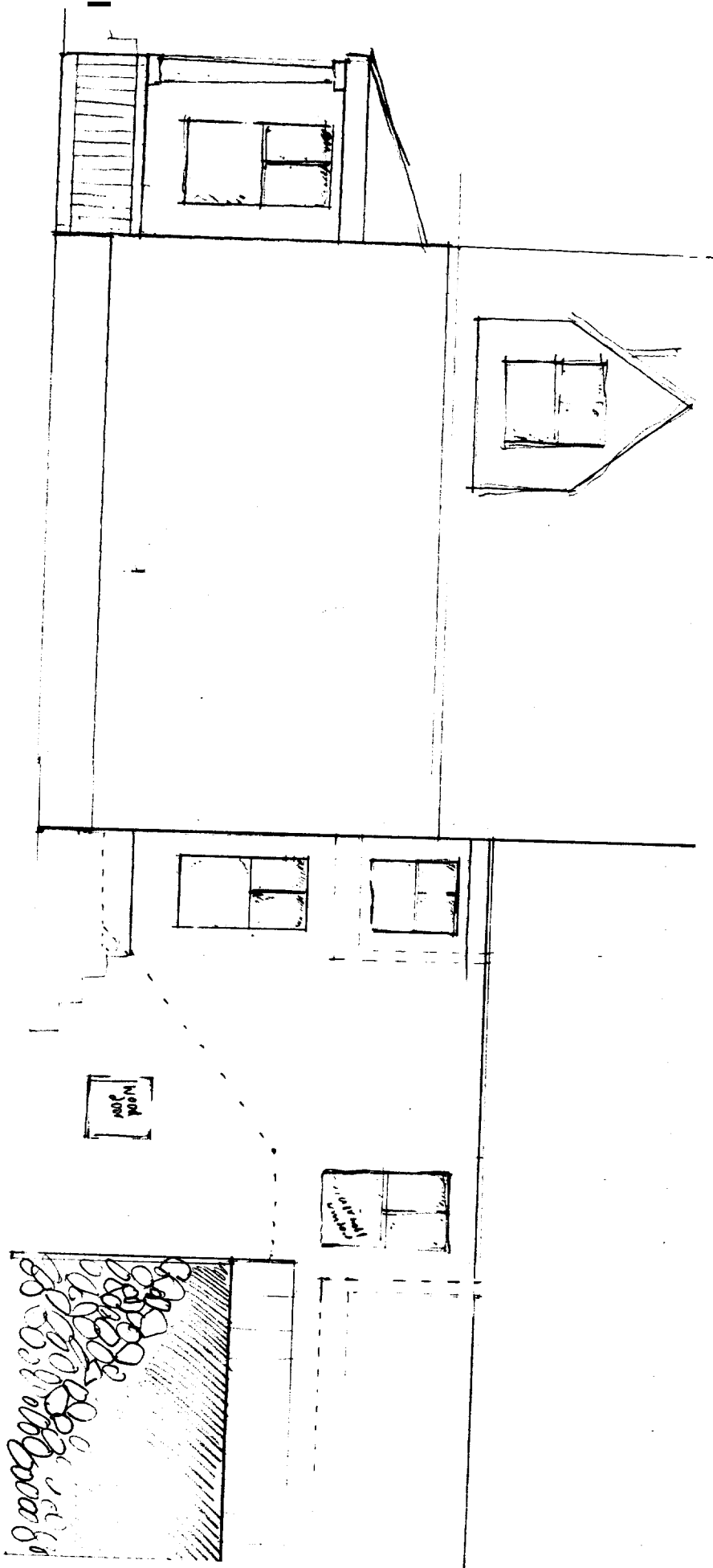


2024 FACADE



FRONT FACADE

WEST FACADE (SIDE)



20 BISMARCK ADDITION:
FOUNDATION PLAN
REVISED 5/19/05

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
MAY 23 2005
SUPERSEDES ALL
PRIOR DATED PLANS

6" Concrete Slab
Reinforced with #4
Steel will be
insulated with
board to provide
under slab
drainage

8" Concrete Footing
to
Frostwall

1 1/2" Step down

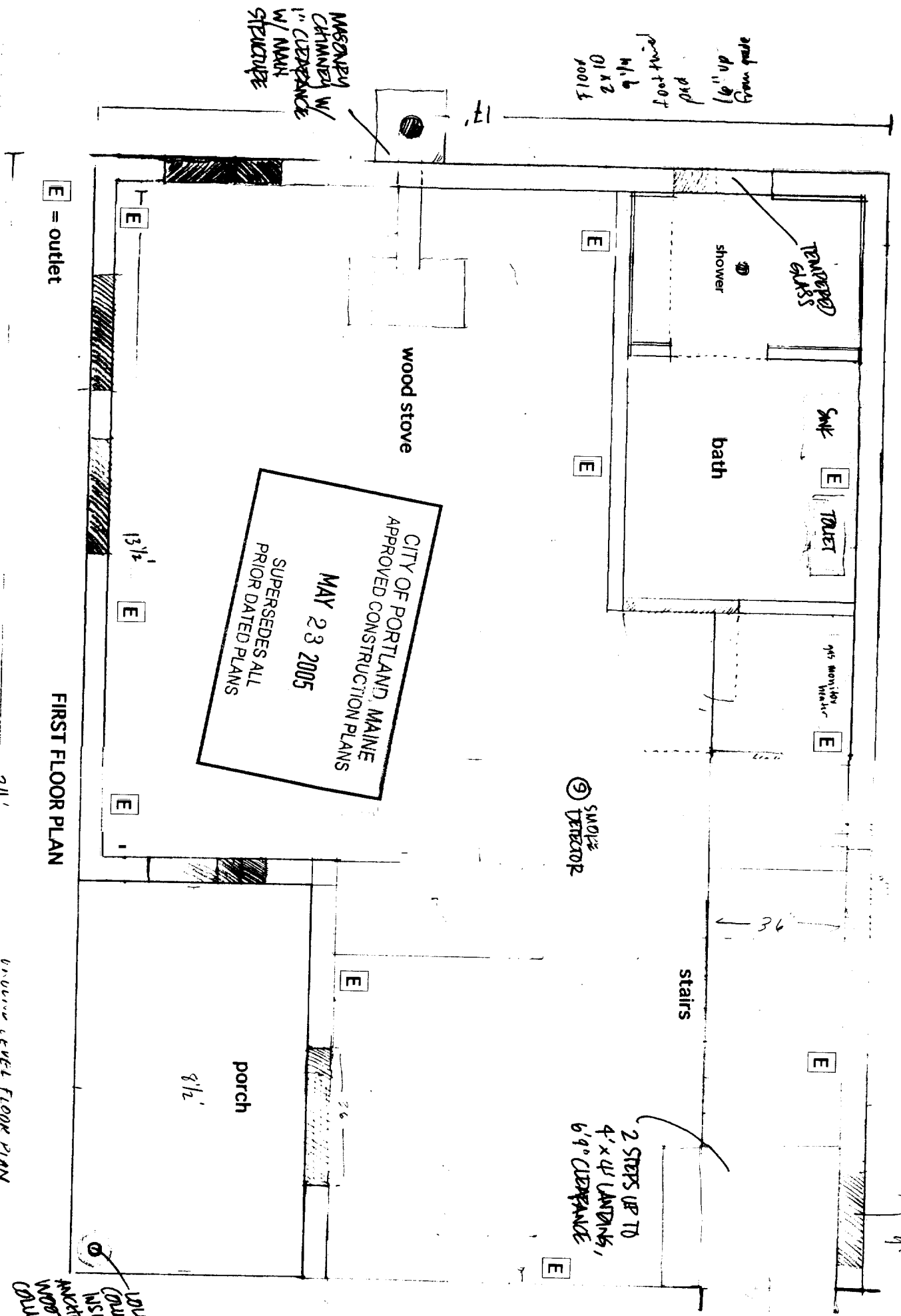
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 19 2005
RECEIVED

1/2" footer above
top of slab will
be 1/2" above
ground level
at corners
of slab
to provide
drainage

1/2" footer
at corners
of slab

20 BISMARCK ADDITION:
GRAND FLOOR PLAN

PERMITS 5/19/05



1000 F
4 1/2
01 X 2
pvc
foot
16" up
from grade

MASONRY
CHIMNEY W/
1" CLEARANCE
W/ MAJOR
STRUCTURE

TEMPERED
GLASS

shower

SINK

TOILET

bath

wood stove

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
MAY 23 2005
SUPERSEDES ALL
PRIOR DATED PLANS

gas moving
heater

SMOKE
DETECTOR

stairs

porch

2 STEPS UP TO
4' x 4' LANDINGS,
6' 9" CLEARANCE

TEMPERED
GLASS

LOUVER
COLUMN
ANCHORED
INSIDE
WOODEN
COLUMN

E = outlet

FIRST FLOOR PLAN

24'

GROUND LEVEL FLOOR PLAN

20 BUSINESS ADDITION:
2ND FLOOR PLAN

REVISION 5/19/05

1000000

5/19/05
REVISION 5/19/05

egles 5.7.4
per Jon Calame
5/23/05

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
MAY 23 2005
SUPERSEDES ALL
PRIOR DATED PLANS

base wall?

hall light
③ smoke
detector

slab 10' x 10'

10' 1/2'
base wall?

wind port

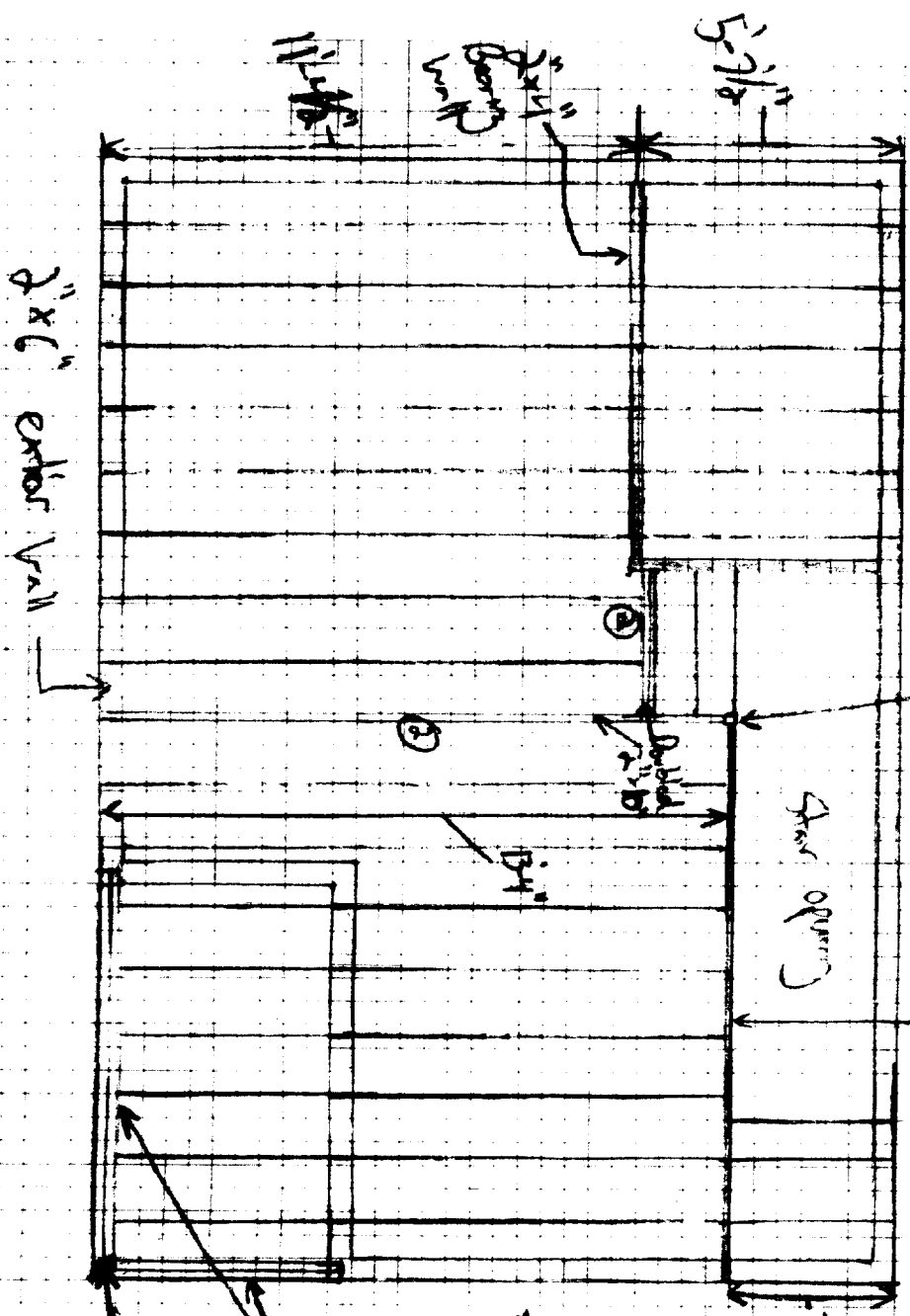
penetration
opening

rock plate
(fining)

SECOND FLOOR PLAN

20 BLSMAYK ADDITION:
 2ND FLOOR FRAMING PLAN

PAUSED 5/19/05



7'4\"/>

CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS
 MAY 23 2005
 SUPERSEDES ALL
 PRIOR DATED PLANS

NO POST LARGER
 THAN 13'4"

16' O.V. SOFT (2x10)
 SOFT RAN
 → All posts will be attached
 to beams using 2x10
 post hangers

3'1/4\"/>

3'1/4\"/>

3'-6\"/>

2x10

16' O.V. SOFT (2x10)

SOFT RAN

→ All posts will be attached
 to beams using 2x10
 post hangers

NO POST LARGER
 THAN 13'4"

3'1/4\"/>

3'1/4\"/>

3'-6\"/>

2x10

16' O.V. SOFT (2x10)

SOFT RAN

→ All posts will be attached
 to beams using 2x10
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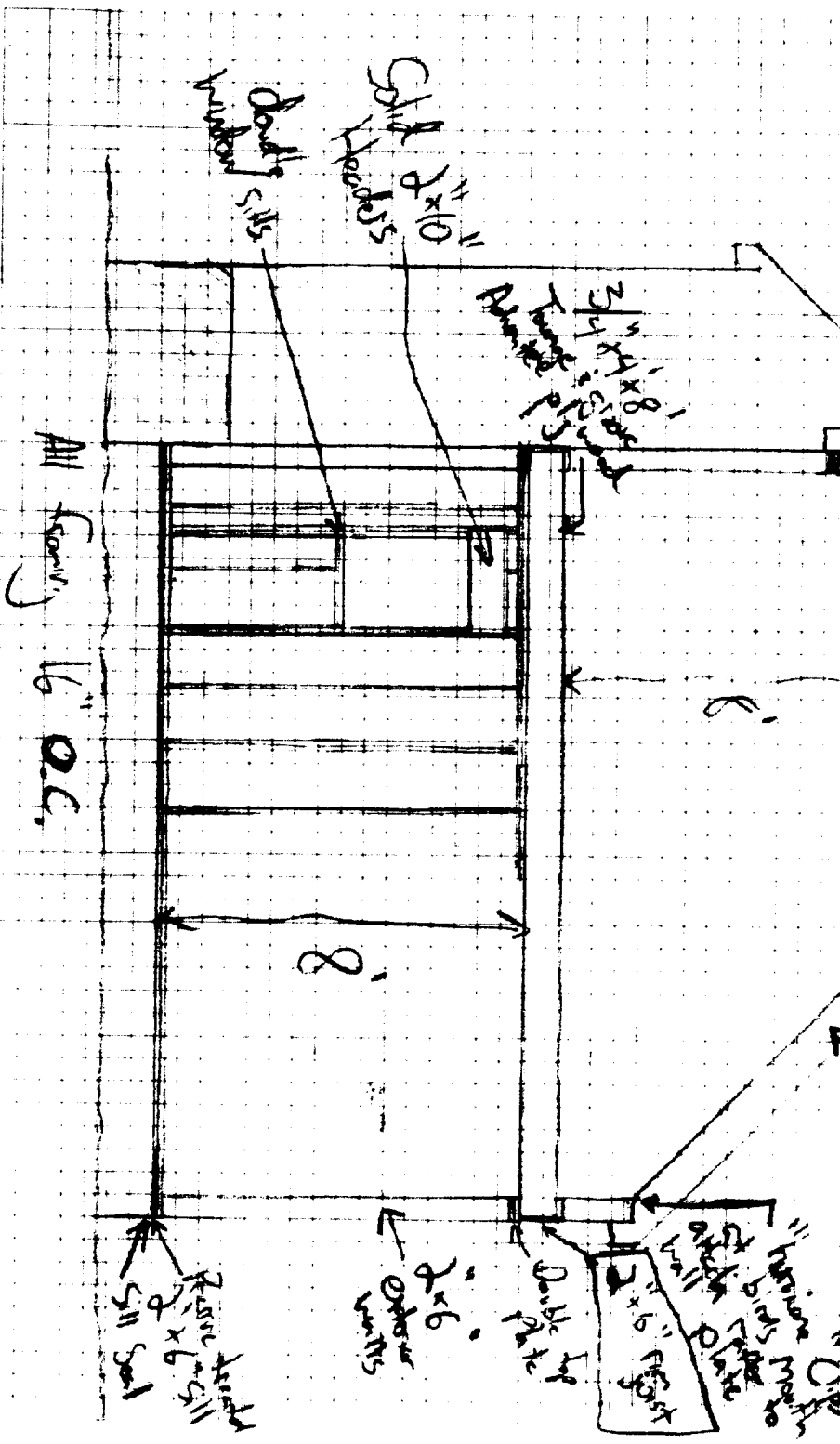
20 BISMARK ADDITION:
 PERMITS SECTION

REVISED 5/19/05

2" x 12" rids
 beam

2" x 8" Cor
 He
 SUPERSEDES ALL
 PRIOR DATED PLANS
 MAY 23 2005
 CITY OF PORTLAND, MAINE
 APPROVED CONSTRUCTION PLANS

2" x 10" Ribs

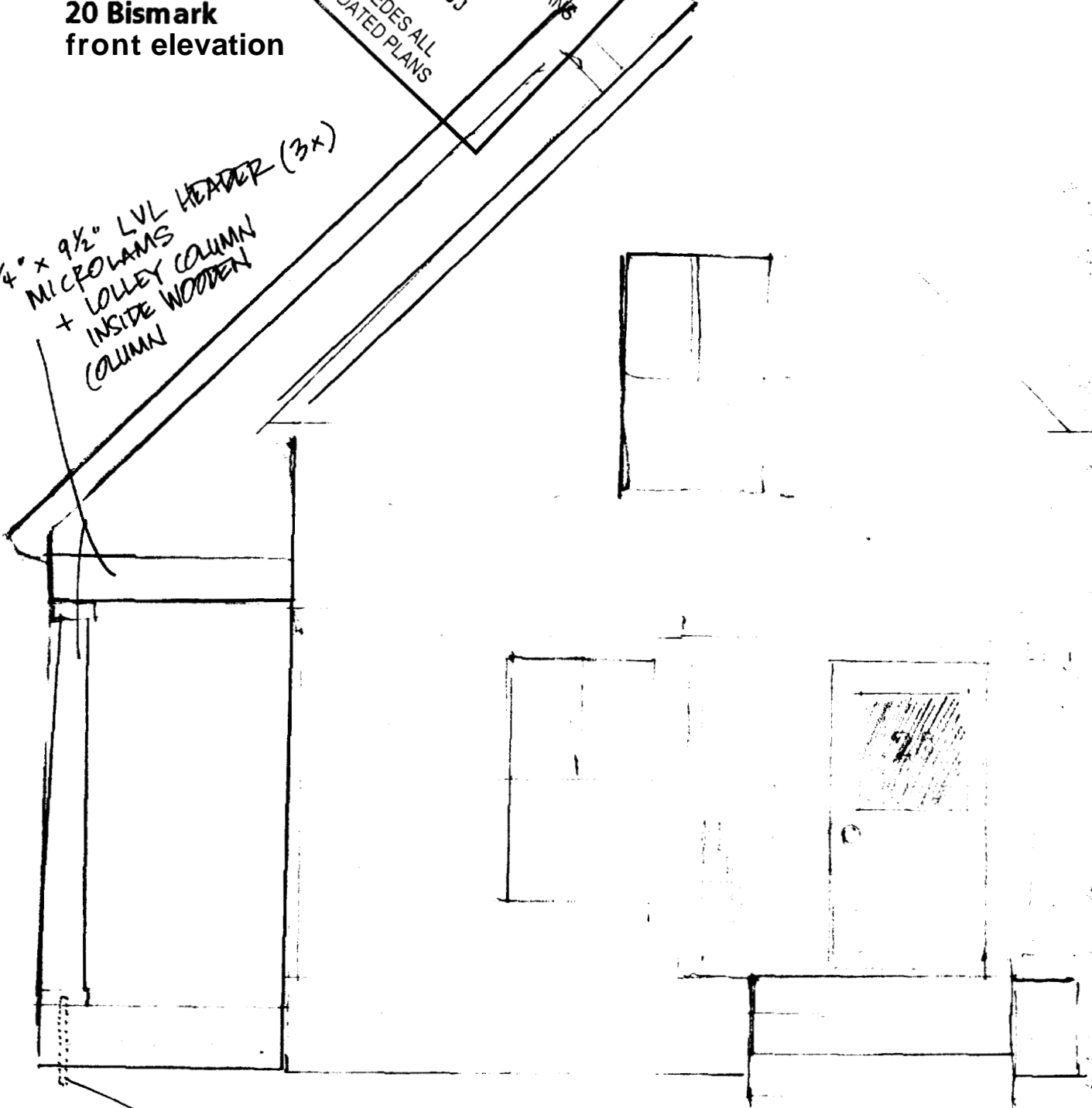


All framing 16" O.C.

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
MAY 23 2005
SUPERSEDES ALL
PRIOR DATED PLANS

**20 Bismark
front elevation**

*1 3/4" x 9 1/2" LVL HEADER (3x)
MICROLAMBS
+ LOLLEY COLUMN
INSIDE WOODEN
COLUMN*

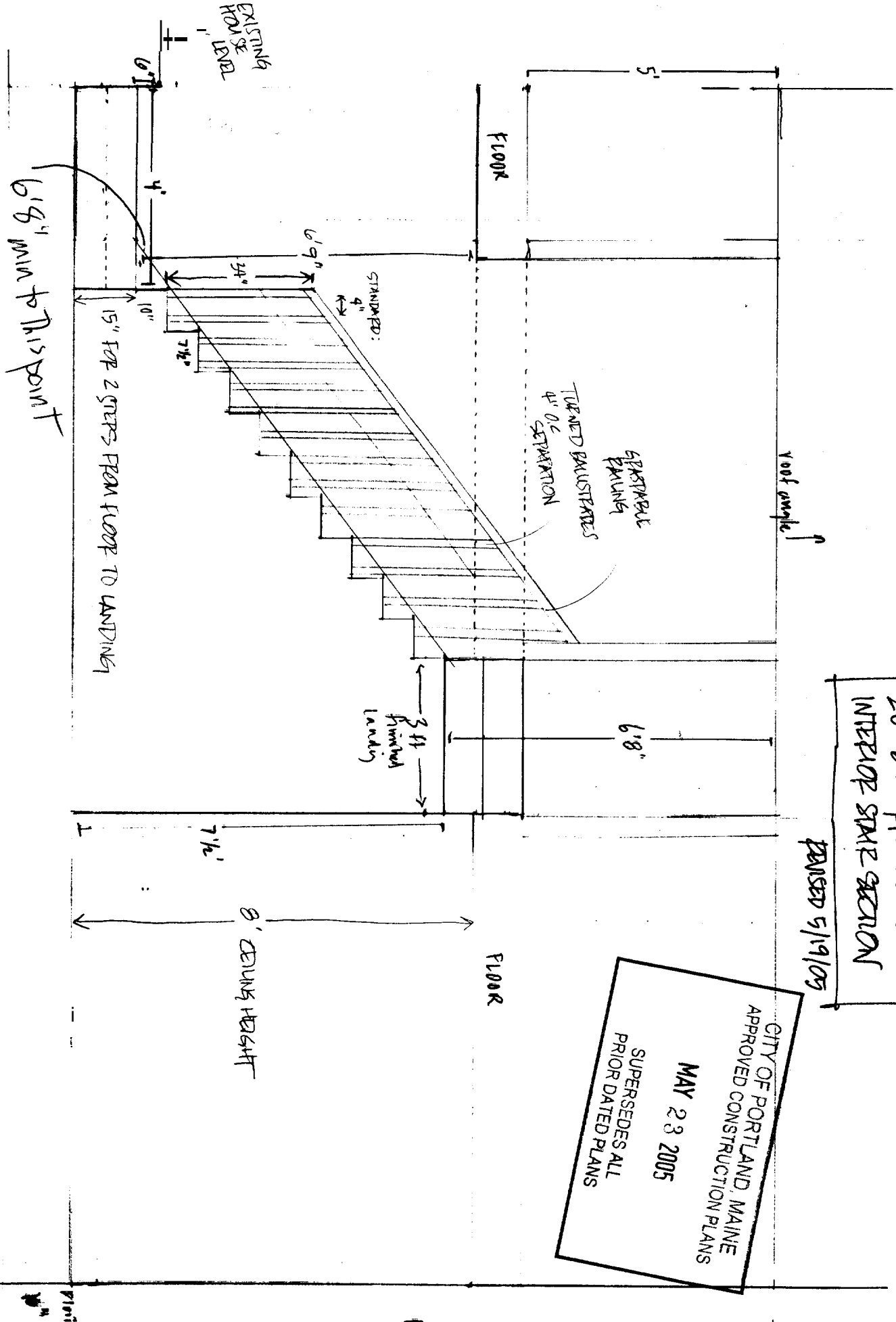


*1/2" FIBER STUDS
ANCHORED IN FOUNDATION
TO PREVENT SLIDING*

20 BASMUCK ADDITION:
INTERIOR STAIR SECTION

PAUSED 5/19/05

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
MAY 23 2005
SUPERSEDES ALL
PRIOR DATED PLANS



CROSS SECTION STAIRS: 10" head 8" MAX RISE

6'8" MIN TO THIS POINT

8' CEILING HEIGHT

3'4" finished landing

6'8"

FLOOR

FLOOR

roof angle

STAIRS:
4" OC SEPARATION

TURNED BALUSTRADES
GRAPEBARK FINISHING
4" OC SEPARATION

15" TOP 2 STEPS FROM FLOOR TO LANDING

3/4"

6'9"

6'1"

4"

10"

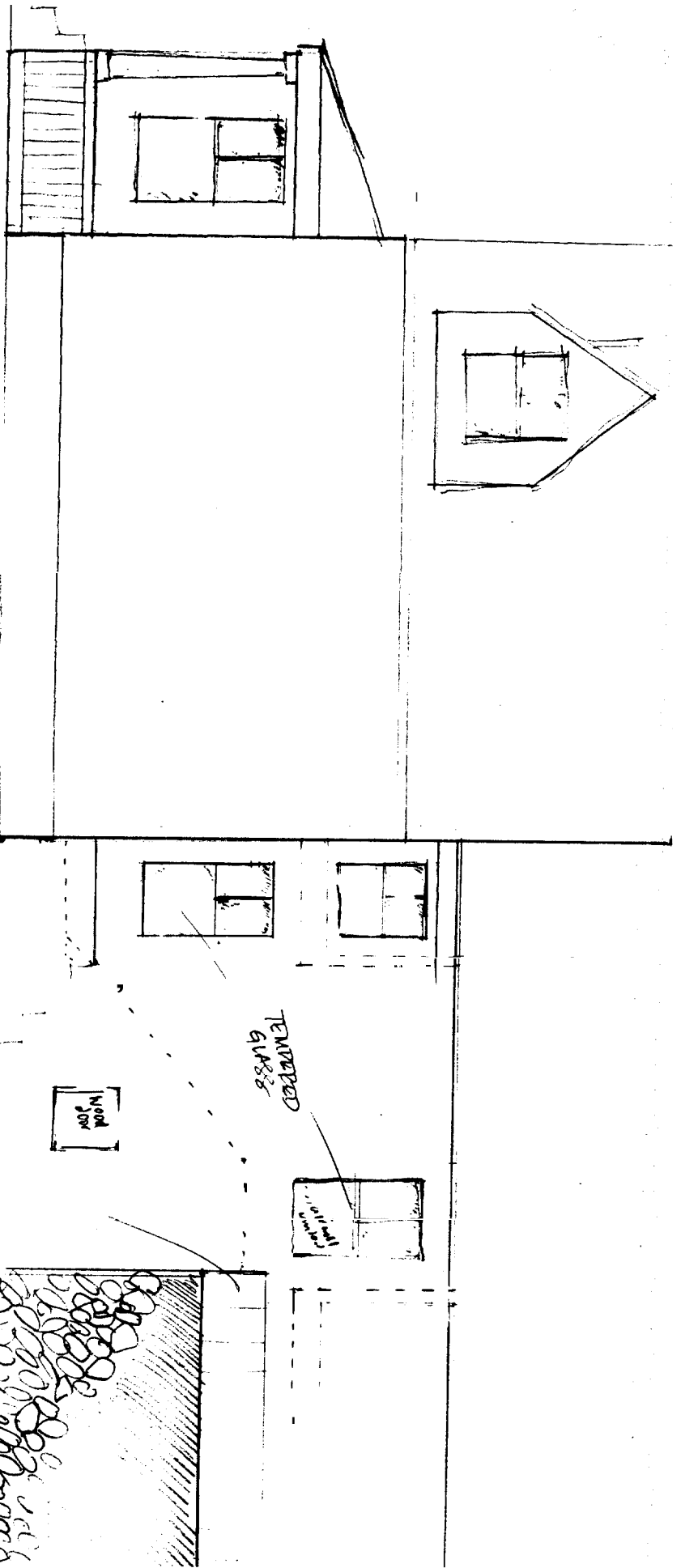
7 1/2"

7 1/2"

grade

20 BISMARCK ADDITION:
SIDE ELEVATION

REVISED 5/19/05



20 Bismark side elevation (NE facade)

WOOD TILE ROOF
PROJECTS 2' AWAY
FROM OUTSIDE WALL

DL PER
SEC. 14-1125
NOT 2' PROJECTION
IMP required
setback