

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that MICHELLE A STUCKEY

Located At 20 VAILL ST

Job ID: 2011-10-2445-ALTR

CBL: 433- D-008-001

has permission to Rebuild Porch and Roof existing footprint provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD**

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

### REQUIRED INSPECTIONS:

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Director of Planning and Urban Development  
Penny St. Louis

Job ID: 2011-10-2445-ALTR

Located At: 20 VAILL ST

CBL: 433- D-008-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued with the condition that all the work is taking place within the existing footprint.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. The minimum tread dimension is 10" measured nosing to nosing and the maximum riser height is 7 3/4".

### **Fire**

Installation shall comply with City Code Chapter 10.

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required in the dwelling units.

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-10-2445-ALTR	Date Applied: 10/11/2011	CBL: 433- D-008-001	
Location of Construction: 20 VAILL ST	Owner Name: MICHELLE & PETER STUCKEY	Owner Address: 20 VAILL ST  PORTLAND, ME 04103	Phone:
Business Name:	Contractor Name: Lavertu , Ed	Contractor Address: 70 Olympia St., Portland, ME 04103	Phone:  (207) 615-1708
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building - alterations	Zone:  R-5
Past Use:  Single family	Proposed Use:  Same - single family - rebuild covered front porch & stairs within same footprint - 4'x6'	Cost of Work: 3000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: 5B Signature: <i>IRC 09</i>
		Signature: <i>Capt. Perrone 11/2/11</i>	
Proposed Project Description: Rebuild Porch and Roof existing footprint		Pedestrian Activities District (P.A.D.)	
Permit Taken By:	<b>Zoning Approval</b>		

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.	<input checked="" type="checkbox"/> Shoreland have beyond 75' setback - rebuilding <input type="checkbox"/> Wetlands covered, open porch same footprint <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
2. Building Permits do not include plumbing, septic or electrical work.			
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.			
	___ Maj ___ Min ___ MM Date: <i>OK w/conditions 10/27/11 ABM</i>	Date:	Date: <i>ABM</i>

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

R-5, Shoreland.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>20 Vaill Street, Portland ME 04103</u>		
Total Square Footage of Proposed Structure/Area <u>24 sq. ft</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>20</u>	Applicant: (must be owner, lessee or buyer) Name <u>PETER STUCKEY</u> Address <u>20 VAILL Street.</u> City, State & Zip <u>Portland ME 04103</u>	Telephone:
Legal Description: <u>433-D-8</u>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>3000.</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Lessee/DBA Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Rebuild Porch and Roof. Add Railings and new stairs. Porch to be same as existing Roof to overhang Porch slightly</u>		
Contractor's name: <u>LAVERTU Construction</u>		Email: <u>edlavertu@yahoo.com</u>
Address: <u>70 Olympia Street</u>		
City, State & Zip <u>Portland ME 04103</u>		Telephone: _____
Who should we contact when the permit is ready: <u>ED LAVERTU</u>		Telephone: <u>207-615-1708</u>
Mailing address: <u>70 Olympia Street Portland ME 04103</u>		

11.17.11

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

RECEIVED  
NOV 11 2011  
Dept. of Building Inspections  
City of Portland, Maine

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/8/11

This is not a permit; you may not commence ANY work until the permit is issued



# Lavertu

CONSTRUCTION LLC

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Edward Lavertu  
70 Olympia Street  
Portland ME, 04103  
Cell: 207.615.1708  
[edlavertu@yahoo.com](mailto:edlavertu@yahoo.com)

8/27/11

Stuckey Residence  
20 Vail Street  
Portland Me 04103

Description: (looking at house from street)

Replace existing porch, stair, and roof with new porch, stair, rail, and roof system. Porch shall be 4 ft. deep by 6ft. long with railing system as per attached sketch. Roof to be three sided with support frames(hip) running diagonally from two support posts on outside corners of porch up to highest point of porch roof peak and joining into house frame. All siding shall be removed around porch and roof and re-applied once new porch and roof is complete. Original corner brackets are to be moved to line up with new roof support frame. Finish product to be proportionally correct and coordinated to match and blend with house.

Deck and ceiling material to be fir

Frame (all framing to be pressure treated lumber)

- 4x4 post for porch and roof supports
- 2x8x12 (porch frame)
- 2x12x8 (stair frame)
- 2x4x8 (roof frame)
- 2x6x10 (roof support structure)

Deck

- 1x4 fir decking
- stainless steel deck nails

### Rails

- 2x4 top and bottom fir rails with profile cut
- 4x4 fir posts or p.t. wrapped with primed boards
- 2x2 balusters

### Roof

- 5/8" sheathing on top of 2x4 framing
- rubberized membrane under asphalt roof to match main roof
- flashing and drip edge to tie into house

### Trim package (pre-primed pine)

- 2pc. 1x8x16
- 8pc. 1x6x16
- 1pc. 1x12x16
- 1pc. 5/4x6 or 8x 16
- 1pc. 1x4x16

### Porch ceiling

- 1/2 MDO (painted) and trimed or
- Fir boards with trim

### Siding and patching

1. new siding all around up to door, or
2. new glass panel adjacent to door

### Rot repair under door and or weather proofing

### Concrete Footings (to be determined)

- 2pc. 8" diameter tubes at 4ft. deep
- bagged concrete
- dig holes

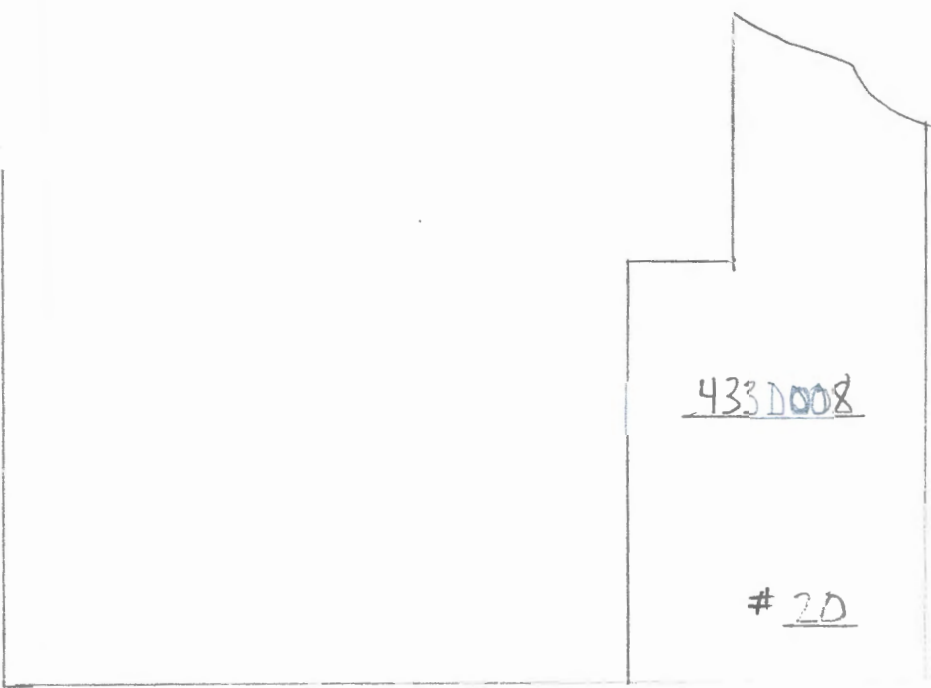
Material estimate: \$1000

Labor estimate: \$2000

Total estimate: \$3000

20 VAILL STREET PORTLAND

433 D008



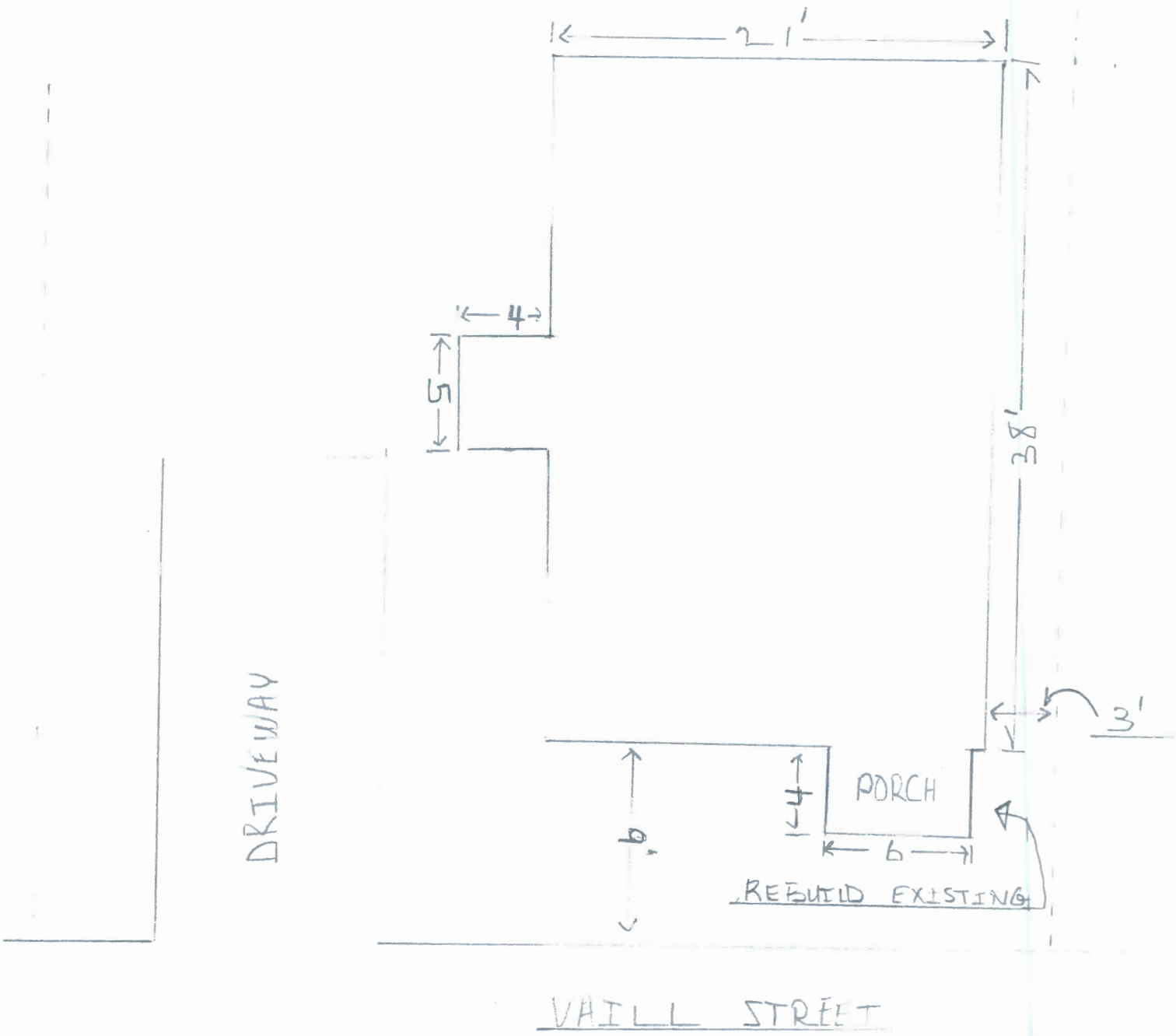
VAILL STREET

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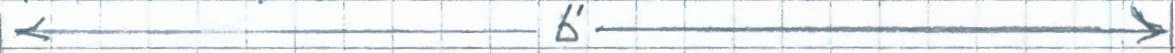


20 VAILL STREET

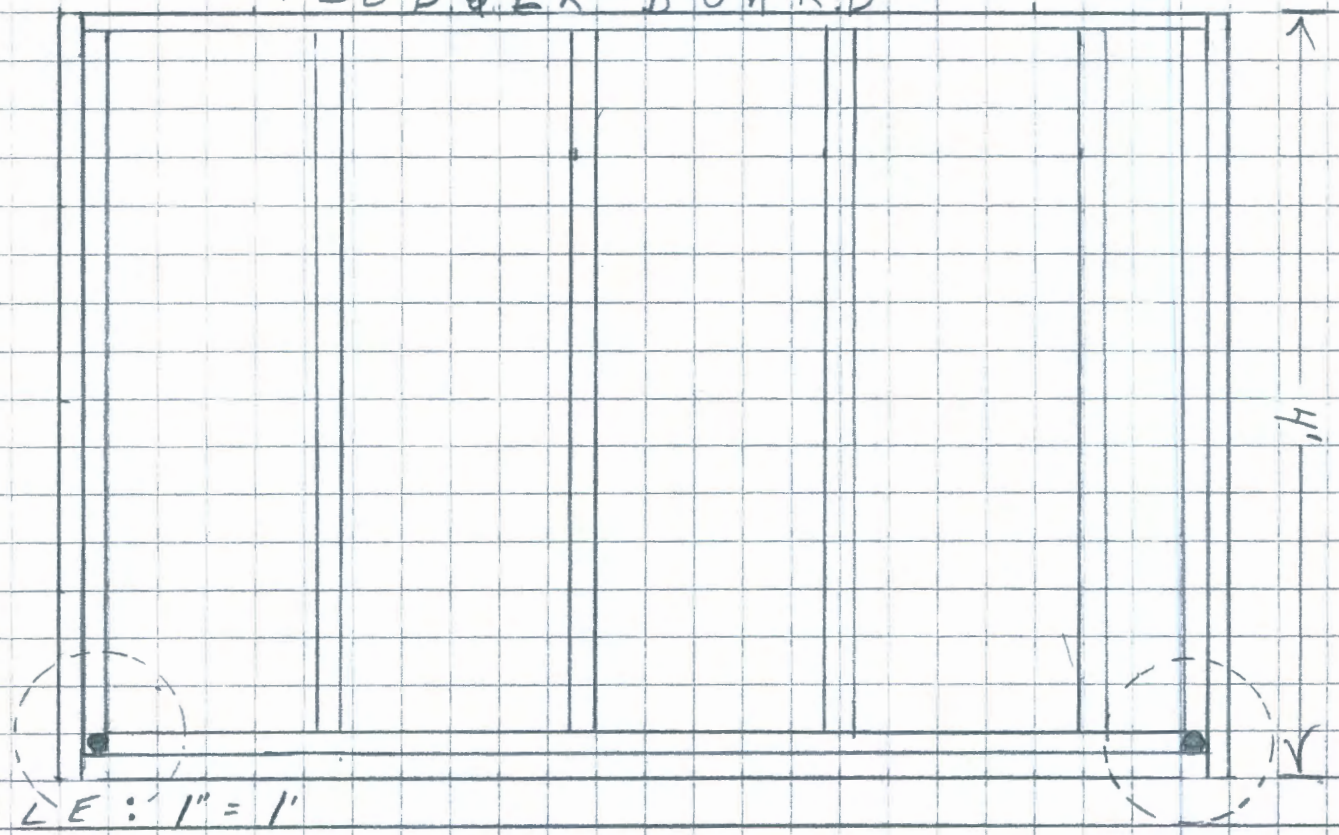
----- PROPERTY LINE  
433D008 #



FRAME: 2" X 8" P.T. LUMBER



LEDGER BOARD

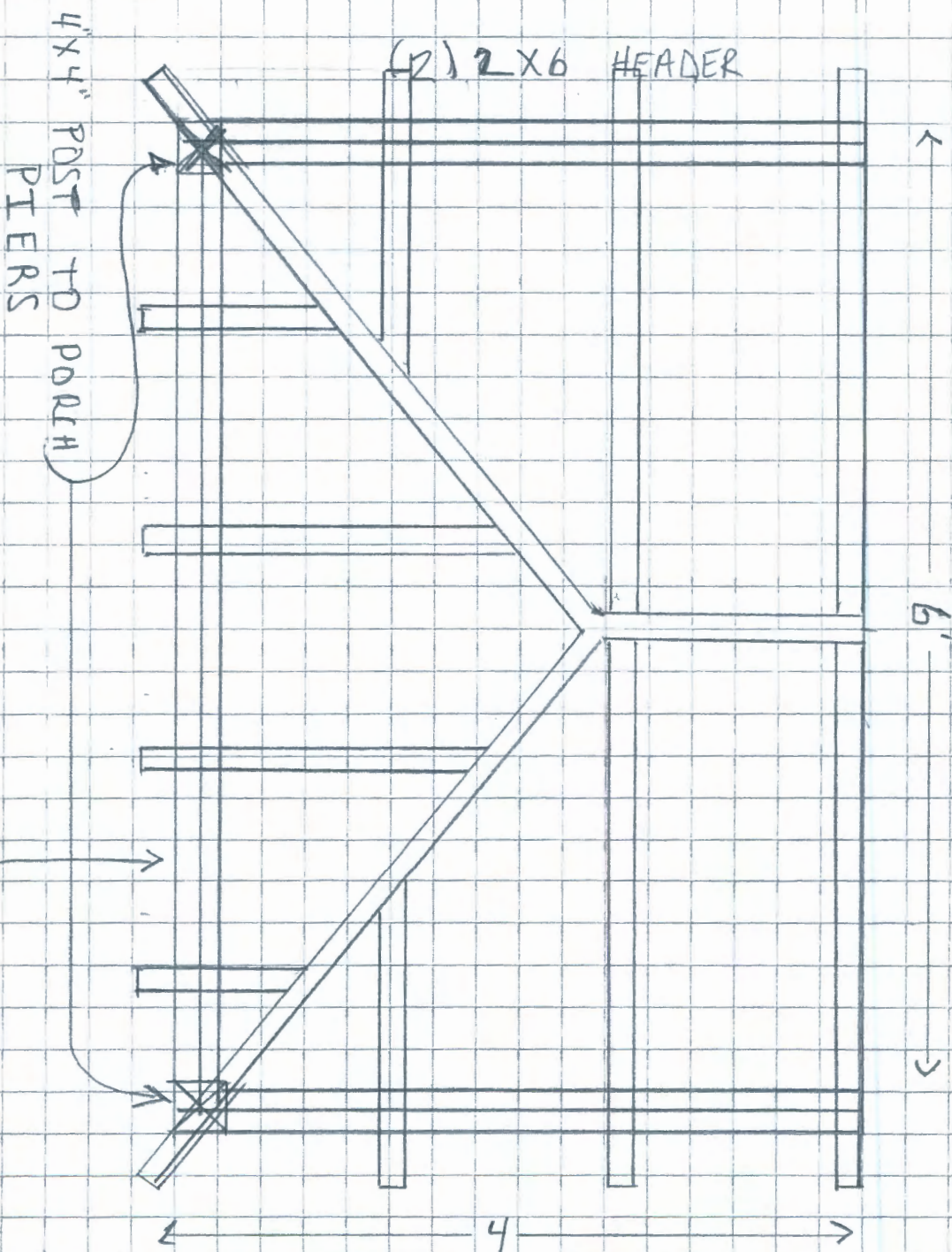


SCALE: 1" = 1'

### FOUNDATION / FRAME

1. 10" DIA. PIERS
2. PIERS TO BE 4 FT. DEEP
3. LEDGER TO BE SECURED TO SILL BEAM WITH 3/8" X 5" LAG SCREWS
4. JOIST HANGERS TO BE USED AS PART OF 2 X 8 DECK JOIST SYSTEM

# ROOF FRAME PLAN



SCALE  
1" = 1ft.

1. DOUBLE 2x6 FRAME TO SUPPORT ROOF
2. ROOF FRAME TO BE 2x4
3. 2x6 RIDGE & HIP

20 VAIL.

