

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 61 Olympia St		Owner: Morse, Robin		Phone: 874-8012		Permit No: 971259	
Owner Address:		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Michael R. Pock		Address: 86 Grand St So. Portland, ME 04106		Phone: 799-5462		Permit Issued: <b>PERMIT ISSUED</b> NOV 19 1997 CITY OF PORTLAND Zone: CBL	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 32,000.00 FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		PERMIT FEE: \$ 180.00 INSPECTION: Use Group: Type: 000896 Signature:	
Proposed Project Description: Construct Double Dormers 2 <sup>nd</sup> Floor				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Approval: <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Greshk		Date Applied For: 13 November 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: *Michael R. Pock* ADDRESS: DATE: 13 November 1997 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT *[Signature]*

COMMENTS

12-3-97 Sub has just started on the dormer. The roof has been taken off to put in the frame.

12-14-97 Framing is all completed. Spiral stairs to the third floor to be added.

1-13-98 Shut porch being done. The spiral stairs are being custom built. I'll call for a final

3/22/99 For Final - Plumbing OK - Carpentry OK Except for Spiral Stairs - Ballistics exceed 4" - open Recesses 8 1/2 -

9" rise, no Guard Rails on top landing - Owner was aware of this & is designing final work (16)

10/20/99 assigned to do framing shop by T.M. - attempted to set up appointment - could not reach owner or Contractor - left message for both (16)

~~5-11-01: Project is finished except for steps @ Door to back yard & rear of New Room. Steps or Guardrail needed before final approval. (16)~~

Work Completed (16) 5-23-01

Permit # 971259

CBL # 433-D-003

Inspection Record

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

# BUILDING PERMIT REPORT

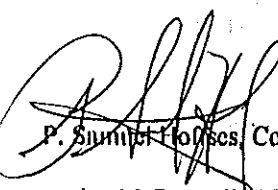
DATE: 19/NOV, 97 ADDRESS: 61 Olympia ST  
REASON FOR PERMIT: To Construct dormers.  
BUILDING OWNER: Michael Pock Robin Manse  
CONTRACTOR: Michael R. Pock  
PERMIT APPLICANT: Michael R. Pock APPROVAL: \*1, \*6, \*8, \*9, \*10, \*11, \*13, \*16 ~~PERMITTED~~  
USE GROUP A-3 BOCA 1996 CONSTRUCTION TYPE 5B

## CONDITION(S) OF APPROVAL

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- \*8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".)
- \*9. Headroom in habitable space is a minimum of 7'6".
- \*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
- \*11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- \*12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- \*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms

In each story within a dwelling unit, including basements  
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
- 22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
- 25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- X 26. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 27. All requirements must be met before a final Certificate of Occupancy is issued.
- X 28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- X 30. This permit doesn't authorize any new dwelling units.
- X 31. The proposed spiral stair, must meet the requirement of section 1014.6.1.4 of the City's Bld. Code. (The BOCA National Building Code 1997). Please see attached.
- 32. \_\_\_\_\_
- 33. \_\_\_\_\_
- 34. \_\_\_\_\_

  
P. Summit Hoopes, Code Enforcement  
cc: Lt. McDougall, PFD  
Marge Schmiekel

have risers not exceeding 8 inches (203 mm) in height and treads not less than 9 inches (229 mm) in depth.

**1014.6.1 Profile:** The radius of curvature at the leading edge of the tread shall not be greater than 1/2 inch (13 mm). Beveling of nosings shall not exceed 1/2 inch (13 mm). Risers shall be solid and vertical or sloped from the underside of the leading edge of the tread above at an angle not more than 30 degrees (0.52 rad) from the vertical. The leading edge of treads shall project not more than 1 1/4 inches (32 mm) beyond the tread below.

**Exceptions**

1. Solid risers are not required for stairways serving dwelling units which are not required to be accessible in accordance with Section 1107.4.2, provided that the opening between treads does not permit the passage of a sphere with a diameter of 4 inches (102 mm).
2. Solid risers are not required for occupancies in Use Group I-3.
3. Solid risers are not required for stairways serving factory or storage occupancies which are not required to be accessible.

**1014.6.2 Dimensional uniformity:** There shall not be variation exceeding 3/16 inch (5 mm) in the depth of adjacent treads or in the height of adjacent risers. The tolerance between the largest and smallest riser or between the largest and smallest tread shall not exceed 3/8 inch (10 mm) in any flight of stairs.

**Exceptions**

1. Where the bottom riser adjoins a sloping public way, walk or driveway which has an established grade and serves as a landing, a variation in the height of the bottom riser shall not exceed 3 inches (76 mm) in every 3 feet (914 mm) of stairway width.
2. On stairways serving as aisles in assembly seating, where necessitated by changes in the gradient of adjoining seating areas to maintain adequate sightlines, the maximum nonuniformity of riser heights within a flight and the nonuniformity between adjacent risers shall not apply. Where a nonuniformity exceeds 3/16 inch (5 mm) between adjacent risers, the exact location of the nonuniformity shall be indicated with a distinctive marking stripe on each tread at the nosing or leading edge adjacent to the nonuniform risers.

**1014.6.3 Winders:** Winders shall not be permitted in required means of egress stairways except stairways serving a single dwelling unit. Such winders shall have a tread depth of not less than 10 inches (254 mm) at a point not more than 12 inches (305 mm) from the side where the tread is narrower and the minimum tread depth shall not be less than 6 inches (152 mm). The continuous handrail required by Section 1014.7 shall be located on the side where the tread is narrower.

**Spiral stairways:** Spiral stairways shall not be used as an element of a means of egress except: within a single dwelling unit; from a mezzanine area not more than 250 square feet (23 m<sup>2</sup>) in area which serves not more than five occupants; and in penal facilities from a guard tower, obser-

vation station or control room not more than 250 square feet (23 m<sup>2</sup>) in area. The minimum width of all spiral stairways shall be 26 inches (660 mm) with each tread having a 7 1/2-inch (191 mm) minimum tread depth at 12 inches (305 mm) from the narrow edge. All treads shall be identical and the rise shall not be more than 9 1/2 inches (241 mm). A minimum headroom of 6 feet 6 inches (1981 mm) shall be provided.

**1014.6.5 Circular stairways:** Circular stairways shall have a minimum tread depth and a maximum riser height in accordance with Section 1014.6 and the smaller radius shall not be less than twice the width of the stairway. The minimum tread depth measured 12 inches (305 mm) from the narrower end of the tread shall not be less than 11 inches (279 mm).

**1014.6.6 Alternating tread stairways:** Alternating tread stairways are permitted as an element of a means of egress in buildings from a mezzanine area not more than 250 square feet (23 m<sup>2</sup>) in area and which serves not more than five occupants; and in penal facilities, from a guard tower, observation station or control room not more than 250 square feet (23 m<sup>2</sup>) in area. Alternating tread stairways are also permitted for access to roofs as provided for in Section 1027.0.

**1014.6.6.1 Handrails of alternating tread stairways:** Handrails shall be provided on both sides of alternating tread stairways and shall conform to Section 1022.0.

**1014.6.6.2 Treads of alternating tread stairways:** Alternating tread stairways shall have a minimum projected tread of 5 inches (127 mm), a minimum tread depth of 8 1/2 inches (216 mm), a minimum tread width of 7 inches (178 mm) and a maximum riser to the next surface of the alternating tread of 9 1/2 inches (241 mm). The initial tread of the stairway shall begin at the same elevation as the platform, landing or floor surface.

**Exception:** Alternating tread stairways used as an element of a means of egress in buildings from a mezzanine area not more than 250 square feet (23 m<sup>2</sup>) in area which serves not more than five occupants shall have a minimum projected tread of 8 1/2 inches (216 mm) with a minimum tread depth of 10 1/2 inches (267 mm). The rise to the next alternating tread surface shall not be more than 8 inches (203 mm).

**1014.7 Stairway guards and handrails:** Stairways shall have continuous handrails on both sides. Guards shall be provided where required by Section 1005.5. Intermediate handrails are required so that all portions of the required width of stairs are within 30 inches (762 mm) of a handrail. On monumental stairs handrails shall be located along the most direct path of egress travel. Handrails shall be provided for alternating tread stairways in accordance with Section 1014.6.6.1. Guards shall be constructed in accordance with Section 1021.0. Handrails shall be constructed in accordance with Section 1022.0.

**Exceptions**

1. Stairways with fewer than three risers are not required to have handrails where serving a single dwelling unit or where such stairways are not in an exit access corridor or aisle, exit or exit discharge.

Applicant: Michael Pock

Date: 13 Nov 97

Address: 61 Olympia ST.

C-B-L: 433-D-003

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 19 Nov. 97

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - dormers.

Sewage Disposal - public

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

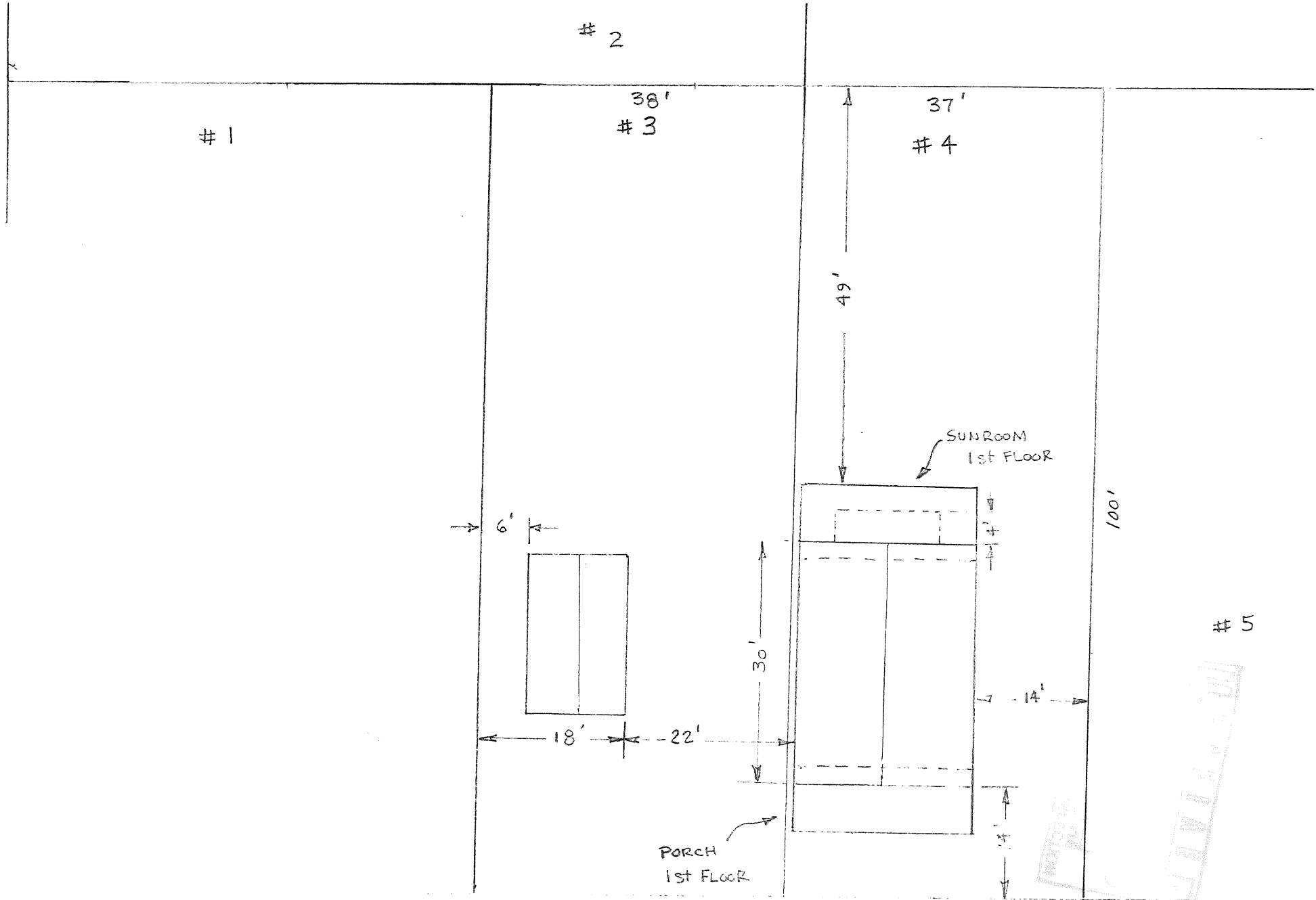
Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection - ✓

Flood Plains -

Shoreland zone  
VOL. increase .16-547

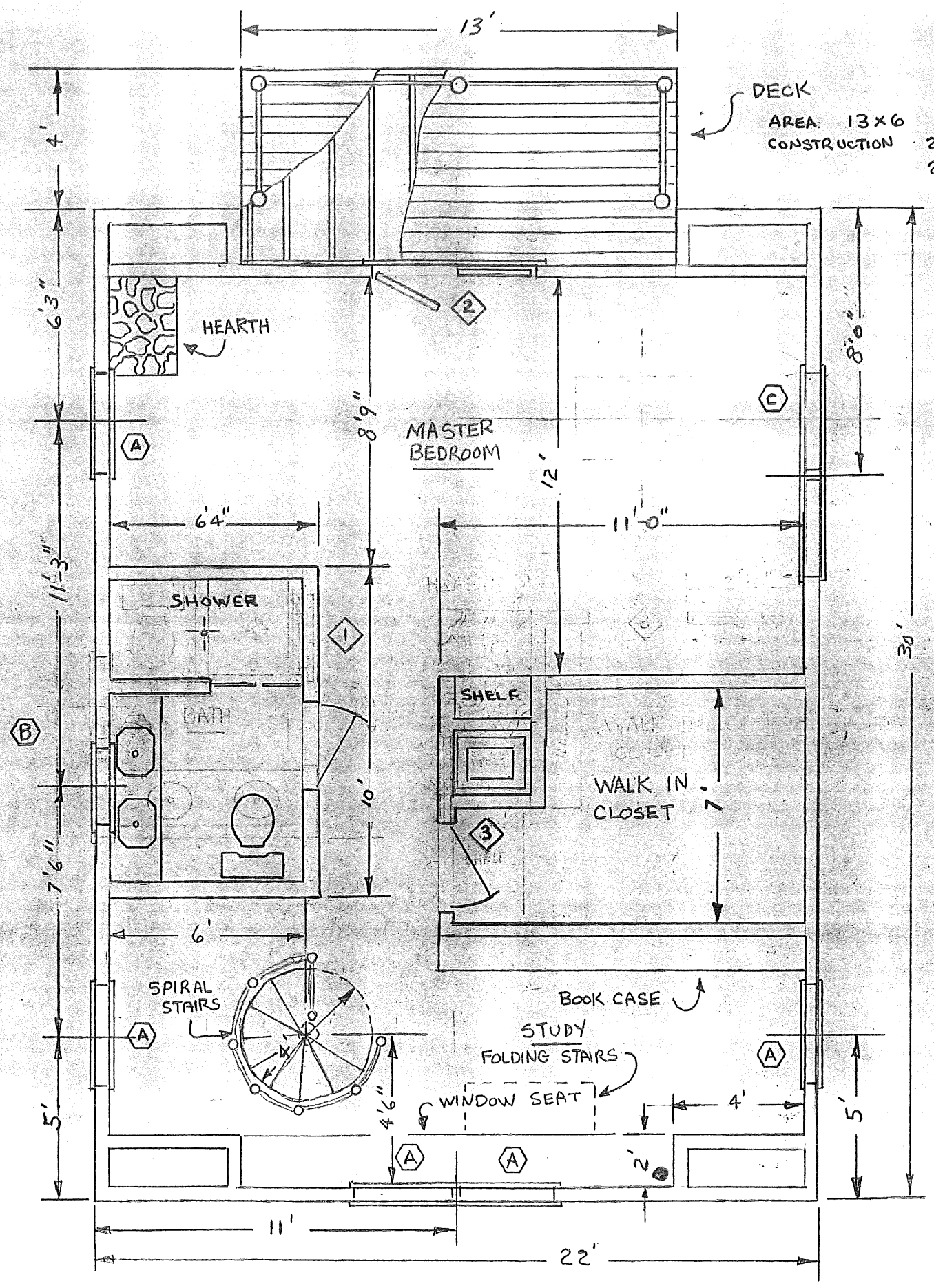


61 OLYMPIA STREET

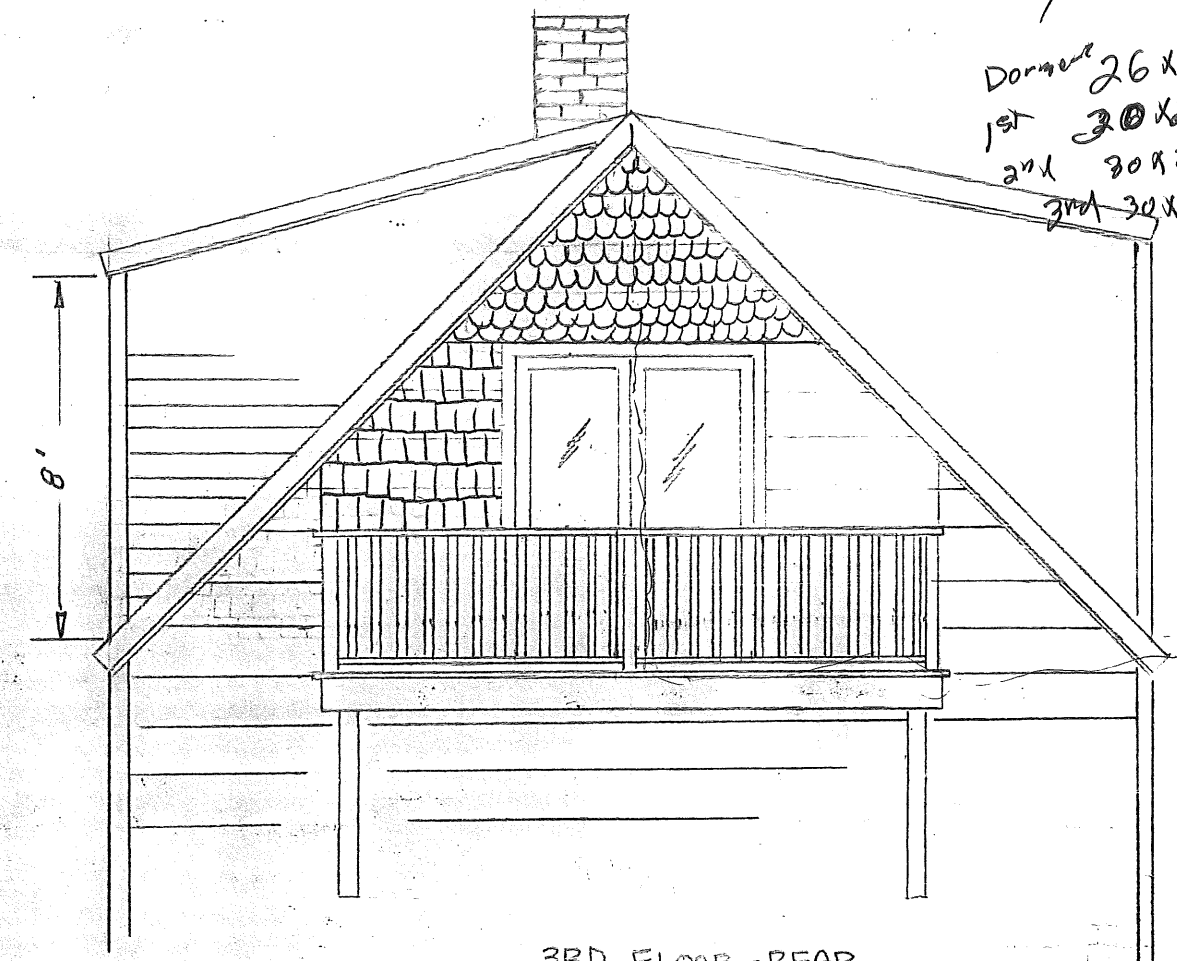
PLOT PLAN  
 MAP 433-D-3+4  
 SCALE 1/16" = 1'-0"

ROBIN MORSE  
61 OLYMPIA ST  
PORTLAND, ME 04103

1/2 BXh  
1/2 / 26x8 = 112 □  
Dormer 26x8x11 = 2288  
1st 30x22x8 = 5280  
2nd 30x22x8 = 5280  
3rd 30x22x7.5 = 3257



3RD FLOOR PLAN  
SCALE 1/4" = 1'-0"



3RD FLOOR - REAR  
ELEVATION  
SCALE 1/4" = 1'-0"

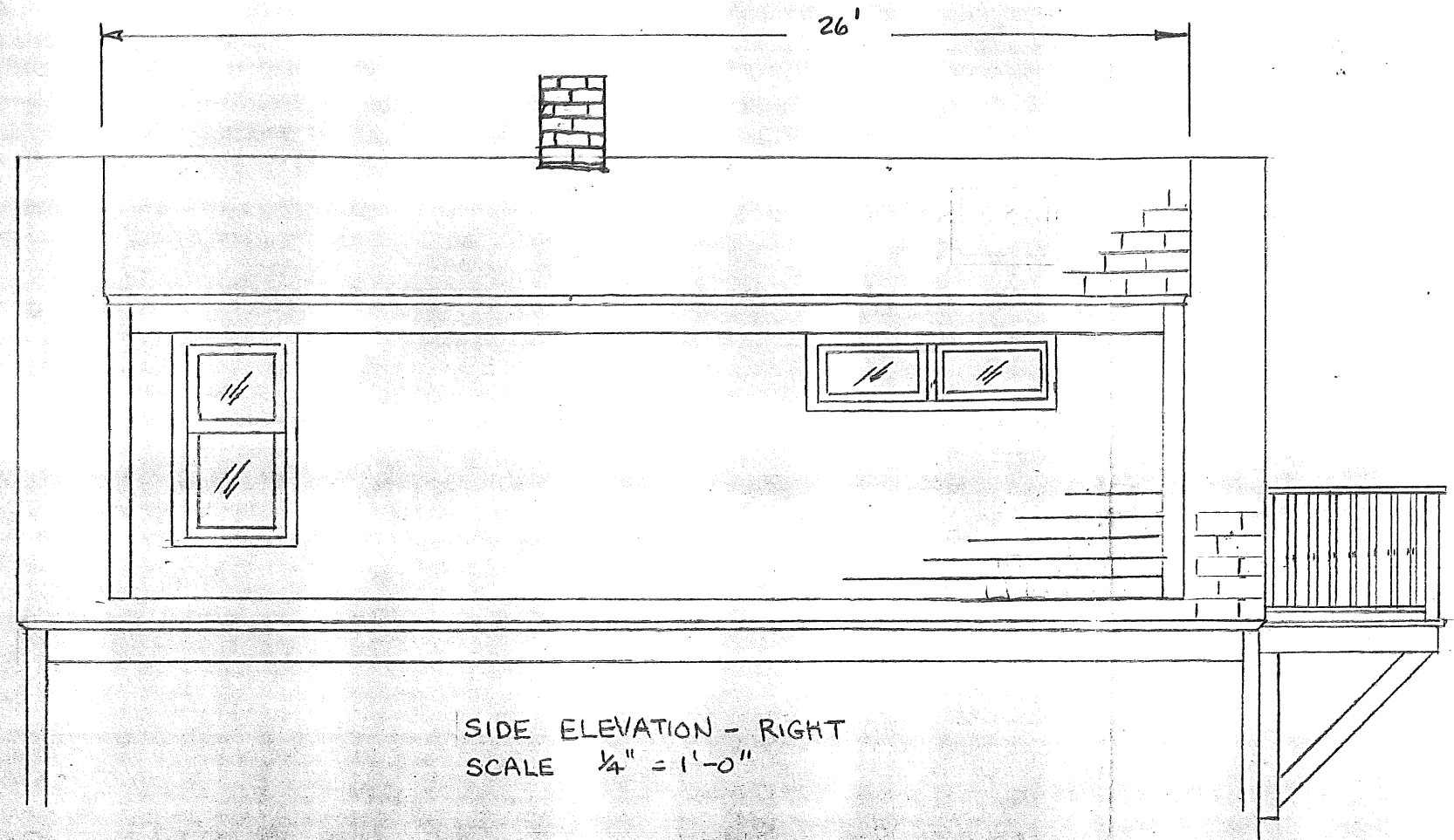
16547  
26' DORMER  
2x4 16" o.c.  
WALLS w/  
1/2 CDX  
2x8 16" o.c.  
RAFTERS  
w/ 1/2 CDX

1st Floor  
5280  
2nd

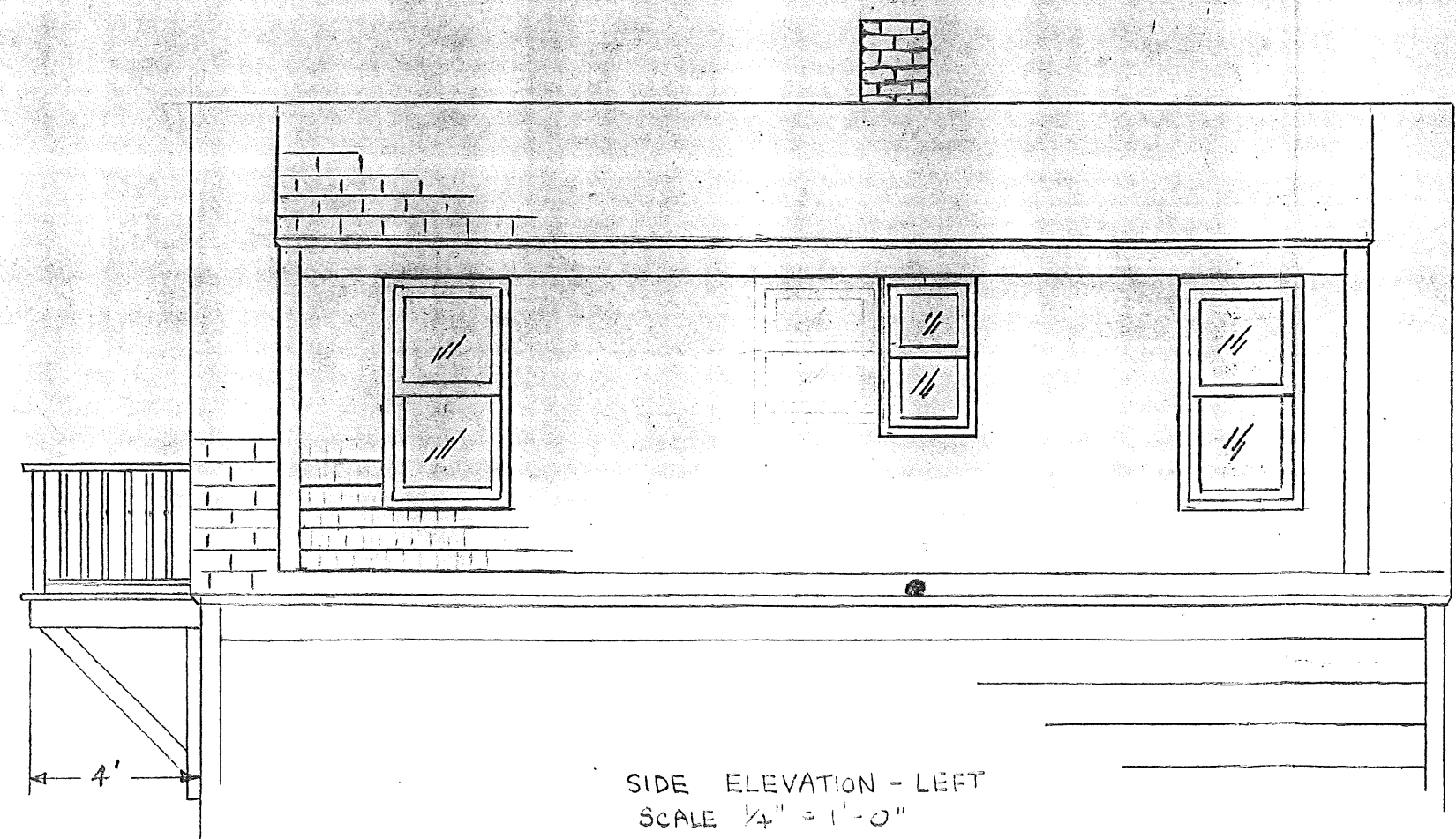
WINDOW/DOOR SCHEDULE

- 5 - (A) DOUBLE HUNG, TILT SASH, INSULATED GLASS w/SCREEN RO 3'-0" x 5'-5"
- 1 - (B) " " " " " " RO 2'-3" x 3'-9"
- 1 - (C) AWNING WINDOWS (2) AN31-2
- 1 - (1) BATHROOM DOOR (M1051) 2'-8" x 6'-8"
- 1 - (2) INSWING DOOR (THERMA THRU) 5'-0" x 6'-8"
- 1 - (3) CLOSET DOOR 2'-8" x 6'-8"



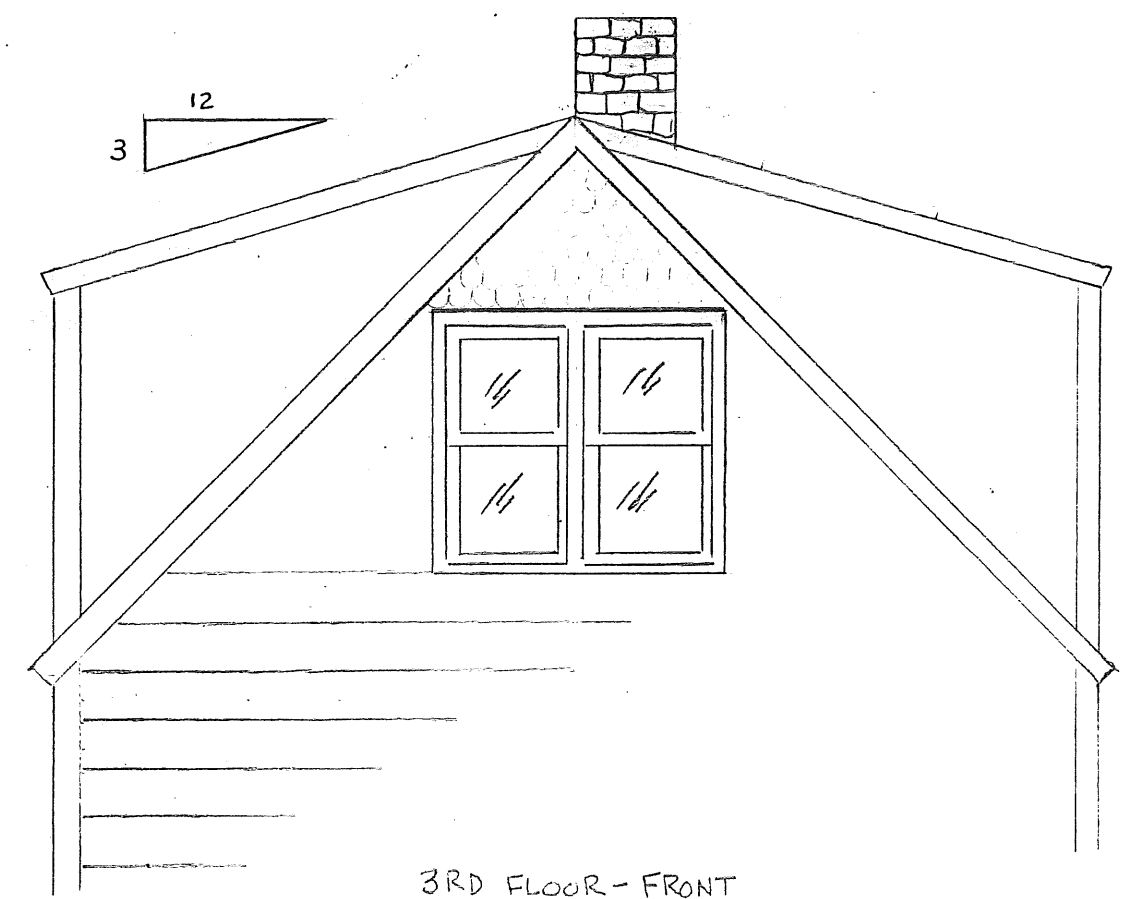


SIDE ELEVATION - RIGHT  
SCALE 1/4" = 1'-0"



SIDE ELEVATION - LEFT  
SCALE 1/4" = 1'-0"

NO. 3 1991  
CITY OF BOSTON  
DEPT. OF BUILDING INSPECTION



3RD FLOOR - FRONT  
ELEVATION  
SCALE 1/4" = 1'-0"