

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040782

PERMIT DENIED

This is to certify that Kendeigh Jason P / Matt Troy

has permission to 11'x11' exterior deck to be built

AT 24-26 Vaill St

CBL 433 D010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

Apply to Public Works for street line and grade if nature of work requires such information.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
 - Health Dept. _____
 - Appeal Board _____
 - Other _____
- Department Name _____

PENALTY FOR REMOVING THIS

Director - Building & Inspection

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: ²⁴⁻ 26 Vaill St. Portland, ME 04103		
Total Square Footage of Proposed Structure 120	Square Footage of Lot 4,720	
Tax Assessor's Chart, Block & Lot Chart# 433 Block# D Lot# 10	Owner: Jason Kendeigh	Telephone: 772-7004
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:	Cost Of Work: \$ 1,000 ^{Labor 700} ^{Mat. 300} Fee: \$ 30 ⁰⁰ / ₁₀₀
Current use: Yard This is a Single Family		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Deck		
Project description: 11' x 11' Exterior Deck		
Contractor's name, address & telephone: Matt Troy 202 Spring St Portland 415-2965		
Who should we contact when the permit is ready: Jason Kendeigh		
Mailing address: 26 Vaill St Portland, ME 04103		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 772-7004		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this Jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jason Kendeigh</u>	Date: <u>6-8-04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

24# 1102

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

June 24, 2004

Jason Kendeigh
24 Vaill Street
Portland, ME 04103

RE: 24 Vaill Street – 433-C-010 – R-5 Zone with Shoreland Zone Overlay

Dear Jason,

I am in receipt of your application to add a rear deck to your property located at 24 Vaill Street. Your application is denied because it can not meet the requirements of the Zoning Ordinance.

Section 14-449 of the zoning ordinance requires all principal and accessory structures to be setback at least seventy-five (75) feet from the high water mark or associated wetlands. Your plans are showing that the proposed deck will be 68 feet from the high water mark. If that measurement is accurate (this office would need an accurate survey), it would appear that you would be able to adjust your plans to meet all required setbacks, including the 75 foot shoreland setback.

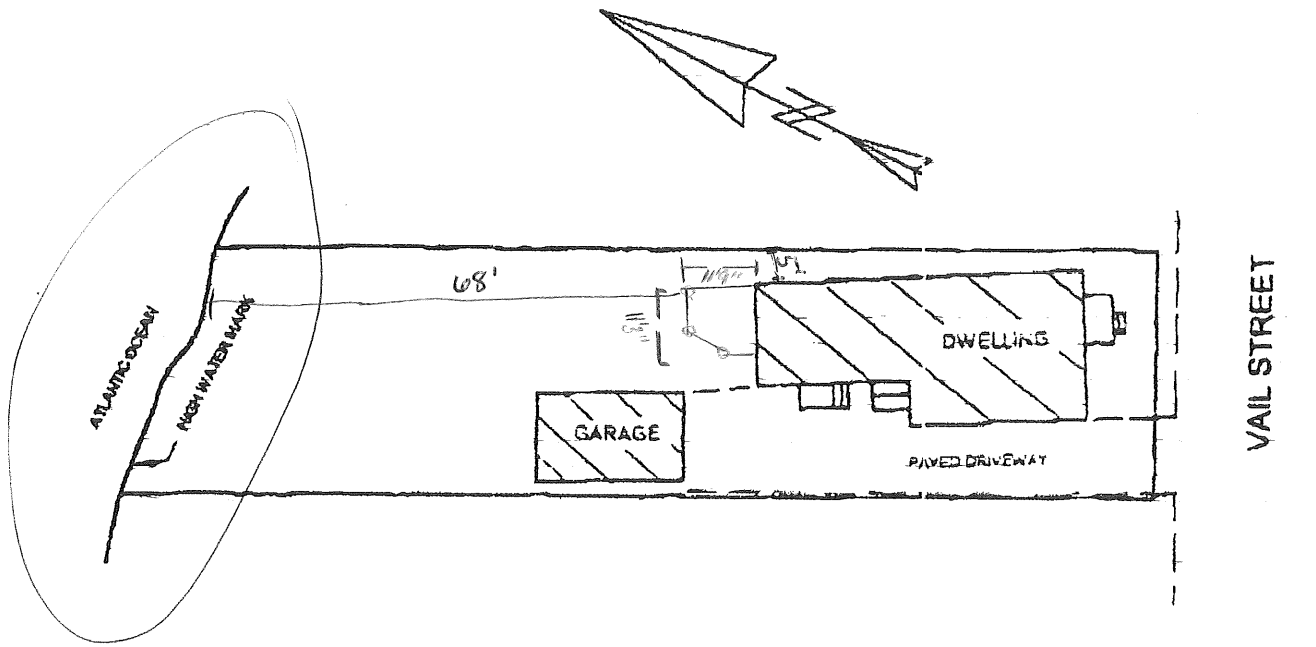
Also section 14-120 of the zoning ordinance requires a minimum side yard setback of eight (8) feet instead of the 5 feet shown.

You have the right to appeal my decision concerning setbacks as a regular variance appeal. Please note that variance appeals are very difficult to receive from the Zoning Board of Appeals. Variances are meant to be difficult to receive. If you wish to exercise your right to appeal, you have 30 days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal.

Very truly yours,

Marge Schmuckal, Zoning Administrator

CC: Matt Troy, 202 Spring Street, Portland



R-5 Zone

$$\begin{array}{r} 68' \\ 11' 9'' \\ \hline 79' 9'' \end{array}$$

MORTGAGE LOAN INSPECTION PLAN

The dwelling does conform to local zoning at the time of construction.

The dwelling is not in a special flood zone as defined by flood insurance rate map 230051-0008 dated 12-6-1988.

THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on current lines of occupation, current deed information (referenced below), and tax map information (referenced below).

A STANDARD BOUNDARY SURVEY IS SUGGESTED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN. Any one using this plan for anything other than mortgage loan purposes does so at their own risk. This plan may not be recorded or used for any land divisions. The property shown on this plan may be subject to easements, covenants, and restrictions of record, which may or may not be shown on this plan.

PROPERTY INFORMATION:

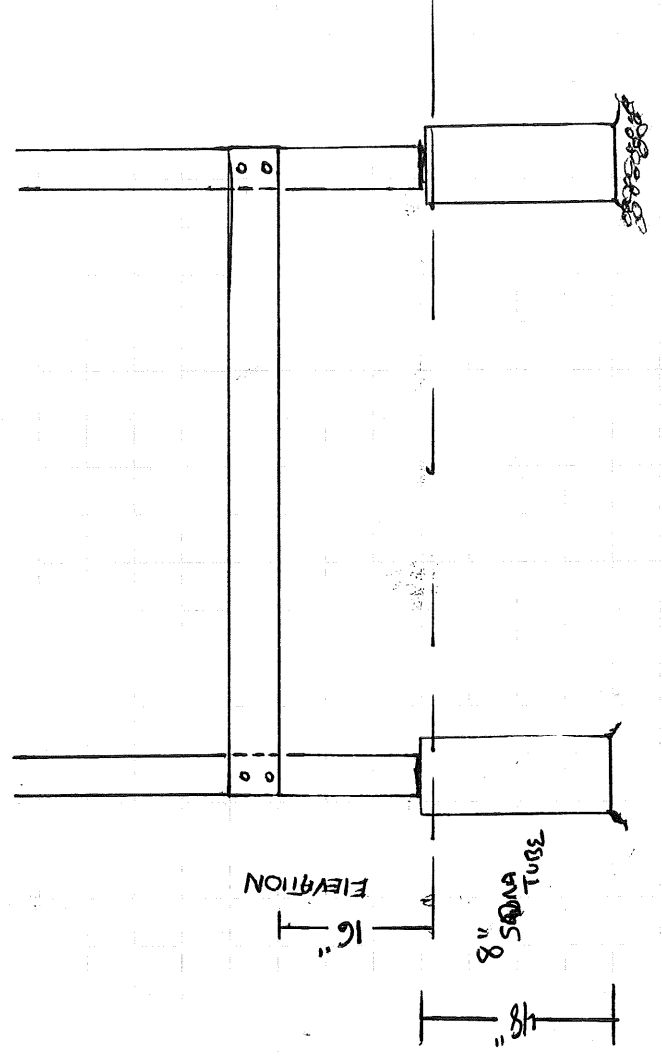
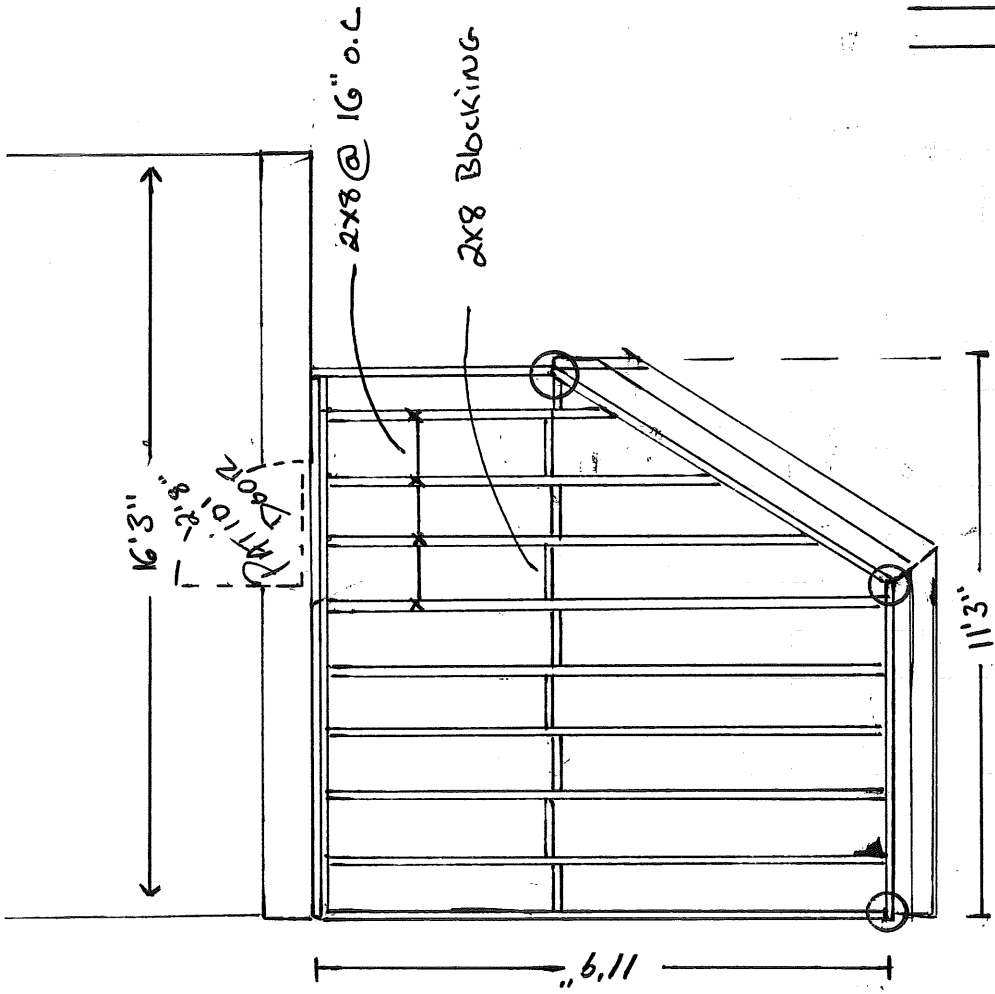
Street: 24-28 VAIL STREET City / Town: PORTLAND County: CUMBERLAND, Maine
 Buyer: JASON KENDEIGH
 Owner: WALP
 Deed Reference: book 1852 page 275
 Plan Reference: book page lot
 Tax Map # 433 Lot D Block 10
 Lending Institution: ALLIED MORTGAGE CAPITAL CORPORATION
 Scale: 1 inch = 30 Feet Date: SEPTEMBER 19, 2001
 ATC FILE # 2001-1281

Atlantic Title Company
 76 Atlantic Place
 South Portland, Maine 04106

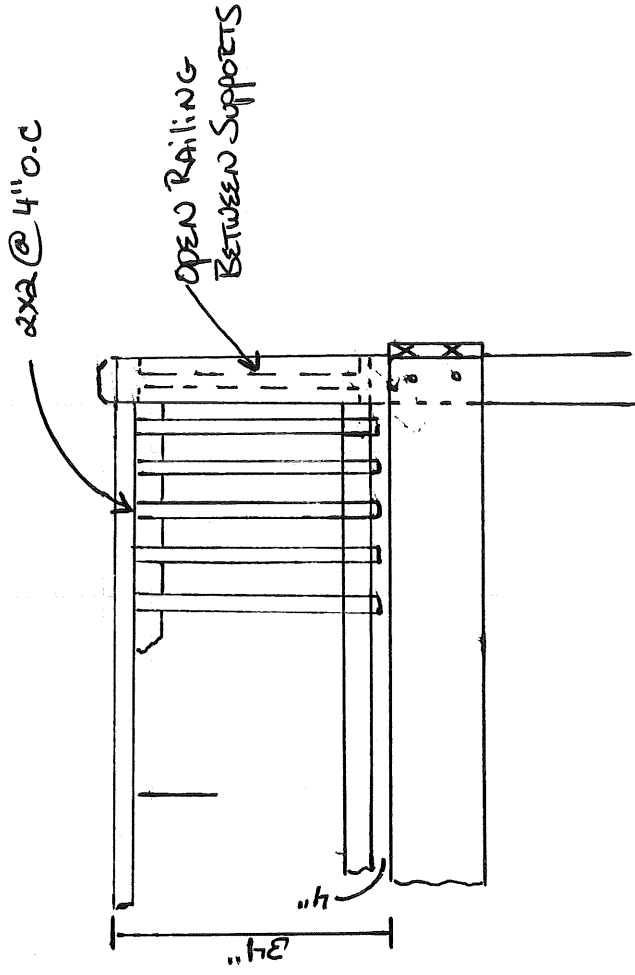
*NOT TO SCALE
with off*

William G. Austin
 State of Maine
 Professional Land Surveyor # 2174

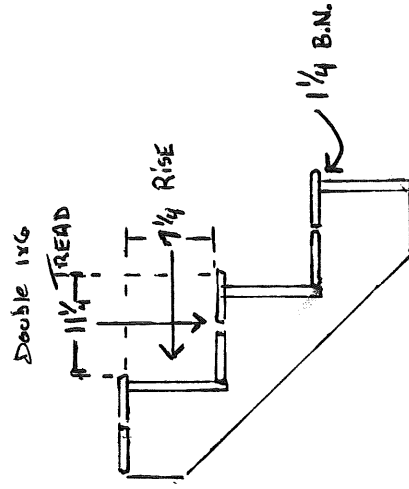
2x8 JOIST HANGERS
 4x4 P.T. POSTS THRU-BOTREA
 2x8 P.T. FRAMING
 1x6 CEDAR DECKING

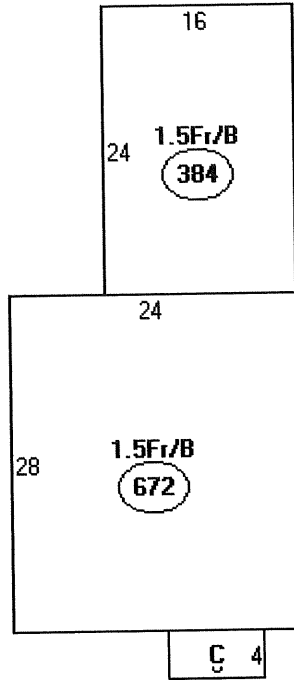


RAILING DETAIL



STAIR DETAIL





Descriptor/Area

A: 1.5Fr/B
672 sqft

B: 1.5Fr/B
384 sqft

C: OFP
32 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	433 D010001
Location	24 VAILL ST
Land Use	SINGLE FAMILY
 Owner Address	 KENDEIGH JASON P 24 VAILL ST PORTLAND ME 04103
 Book/Page	 16797/179
Legal	433-D-10 VAILL ST 24-26 4720 SF

Valuation Information

Land	Building	Total
\$35,910	\$85,680	\$121,590

Property Information

Year Built 1885	Style Old Style	Story Height 1.5	Sq. Ft. 1848	Total Acres 0.108	
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 7	Attic None	Basement Full

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1950	Size 14X24	Grade C	Condition A
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Sales Information

Date 10/02/2001	Type LAND + BLDING	Price \$229,000	Book/Page 16797-179
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Picture and Sketch

[Picture](#) [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!