

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 061495

PERMIT

Please Read Application And Notes, If Any, Attached

This is to certify that RYAN STEVEN D & GERARDYN M JTS /Maine Window & Sunro
has permission to Remove nonconforming sunroom and deck and install a 20'7" x 11' deck with an 15' x 11' sunroom on the deck.
AT 75 DEEPWOOD DR Portland, ME 04102 397 C012001

provided that the person or persons who perform or supervise the construction accepting this permit shall comply with all of the provisions of the Statutes of the State of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or services are closed-in. 4 HOUR NOTIFICATION REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Thomas M. Markely 11/2/00
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1495	Issue Date:	CBL: 397 C012001
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Location of Construction: 75 DEEPWOOD DR	Owner Name: RYAN STEVEN D & GERALYN	Owner Address: 75 DEEPWOOD DR	Phone:
Business Name:	Contractor Name: Maine Window & Sunroom	Contractor Address: 71 Portland Rd. Kennebunk	Phone: 2079852300
Lease/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R2

Past Use: single Family Home	Proposed Use: Single Family Home- Remove nonconforming sunroom and deck & build a 20'7" x 11' deck with an 15' x 11' sunroom on the deck.	Permit Fee: \$190.00	Cost of Work: \$16,750.00	CEO District: 5
Proposed Project Description: Remove nonconforming sunroom and deck & build a 20'7" x 11' deck with an 15' x 11' sunroom on the deck. (Supersedes permit 06-1006)		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: S1B IRC 2003	
		Signature:	Signature: <i>[Signature]</i> 11/2/06	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: ldobson	Date Applied For: 10/12/2006	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok with conditions</i> Date: 10/15/06 <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1495	Date Applied For: 10/12/2006	CBL: 397 C012001
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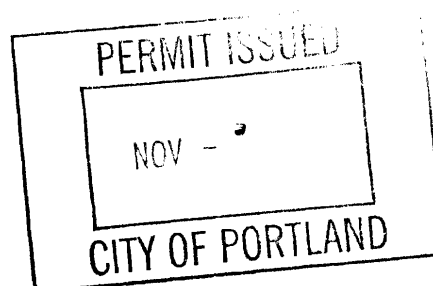
Location of Construction: 75 DEEPWOOD DR	Owner Name: RYAN STEVEN D & GERALYN	Owner Address: 75 DEEPWOOD DR	Phone:
Business Name:	Contractor Name: Maine Window & Sunroom	Contractor Address: 71 Portland Rd. Kennebunk	Phone: (207) 985-2300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home- Remove nonconforming sunroom and deck & build a 20'7" x 11' deck with an 15' x 11' sunroom on the deck.	Proposed Project Description: Remove nonconforming sunroom and deck & build a 20'7" x 11' deck with an 15' x 11' sunroom on the deck.
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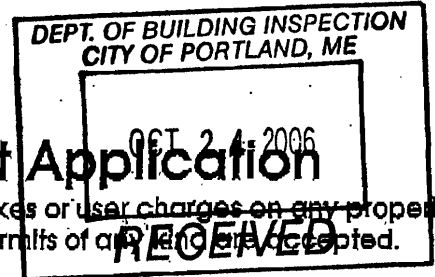
Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 10/25/2006
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. 			

Dept: Building	Status: Approved	Reviewer: Tom Markley	Approval Date: 11/02/2006
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			

Comments:
 10/24/2006-amachado: Left message with Erin Fogg at True North Home Systems. Permit 06-1006 was issued in July for a 11' x 15' deck to replace a 21' x 15' deck that did not meet zoning requirements. Now this permit proposes a deck that comes off the house 15' and would leave a 21' setback instead of the 25' required.
 10/24/2006-amachado: Erin Fogg submitted a revised application and site plan that meets the zoning requirements.



Portland, ME



All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>75 DEEPWOOD DRIVE</u>		
Total Square Footage of Proposed Structure <u>231</u>	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>397</u> Block# <u>C</u> Lot# <u>12</u>	Owner: <u>STEVEN + GERALYN RYAN</u>	Telephone: <u>878-0834</u>
Lessee/Buyer's Name (If Applicable) <u>n/a</u>	Applicant name, address & telephone: <u>Mame Window + Sunroom / TrueNorth Home Systems 91 Industrial Park Rd Saco ME 04072 985-2300 x 201</u>	Cost Of Work: \$ <u>16,750</u> Fee: \$
Current use: <u>SINGLE-FAMILY RESIDENCE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>Remove nonconforming sunroom and deck, replace</u> Project description: <u>with 20'7" x 11' deck (5'7" x 11' open deck) with an 15' x 11' sunroom</u>		
Contractor's name, address & telephone: <u>Mame Window and Sunroom / TrueNorth Home Systems, 91 Industrial Park Rd Saco ME 04072 985-2300 ex 201</u>		
Who should we contact when the permit is ready: <u>ERIN FOGG 985-2300, x</u>		
Mailing address: <u>91 INDUSTRIAL PARK RD SACO ME 04072</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>985-2300 ex 201</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

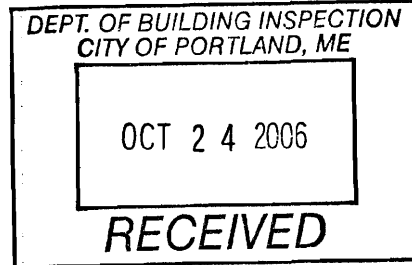
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Erin Fogg, MWS INC</u>	Date: <u>10/11/06</u>
---------------------------------------------------	-----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



91 Industrial Park Rd.
 Saco, ME 04072
 207-985-2300 ex 211
 207-286-8039 fax



Fax

CITY OF PORTLAND
 To: Ann Machado From: ERIN FOGG
 Att: Pages: 5
 Fax: Date: 10/24/06
 PO # Job Name: 75 Deepwood Drive
 Steven Ryan

I have revised the plot plan + permit app. to reflect that the deck is 20'7" x 11', and the sun room is 15' x 11'. I don't know where the "15' x 16'" numbers came from or who scratched out the original numbers (which were reversed.)
 Thanks!

STEVEN RYAN
75 DEERWOOD DR

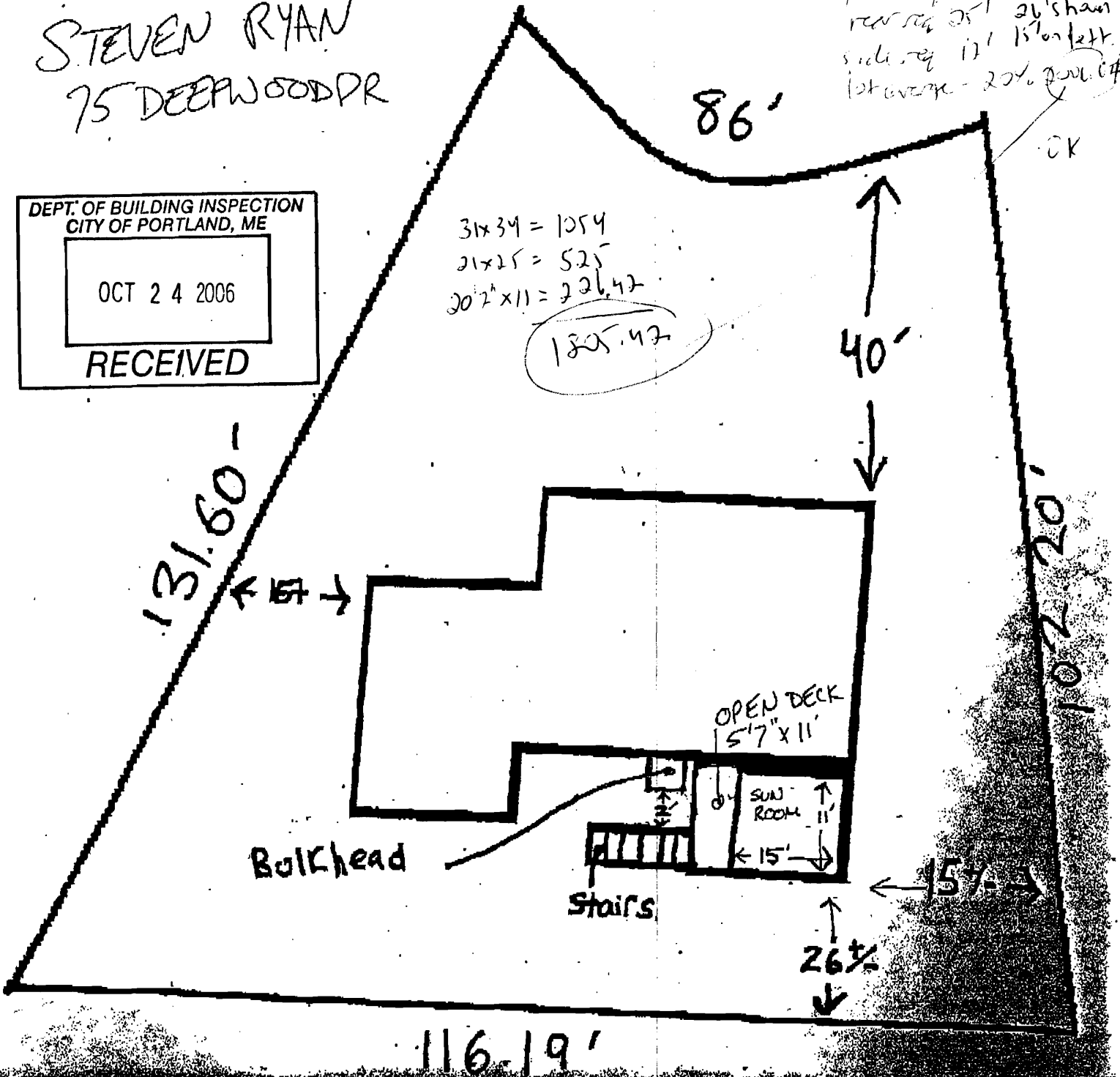
ROAD

R2 - lotsize PASS

front req. 25' N/A
rear req. 25' 26' shan
side req. 12' 15' on left
lot coverage - 20% 200.04

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 24 2006
RECEIVED

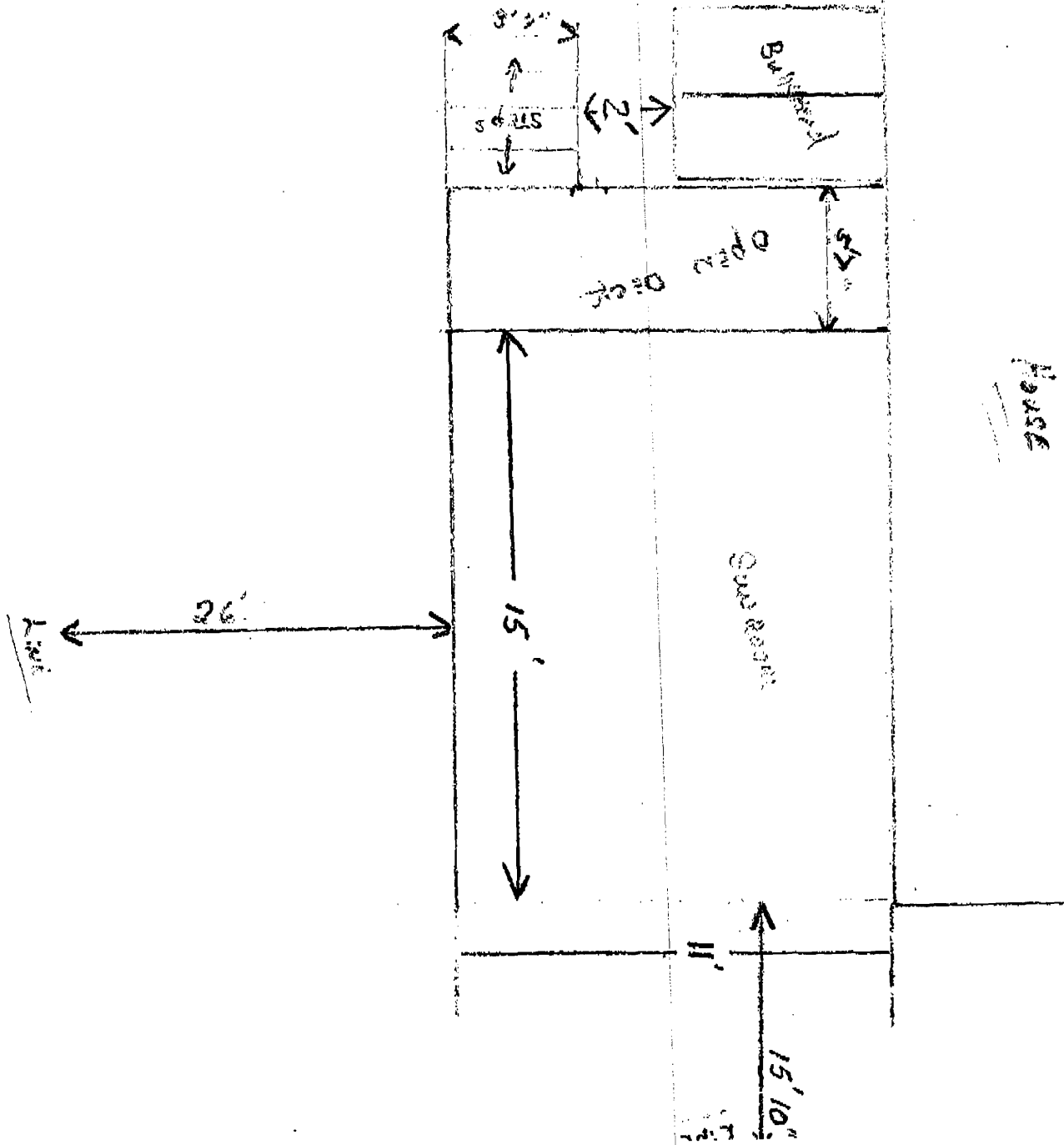
$31 \times 34 = 1054$
 $21 \times 25 = 525$
 $207' \times 11 = 2277$
1805.47



DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

OCT 24 2006

RECEIVED

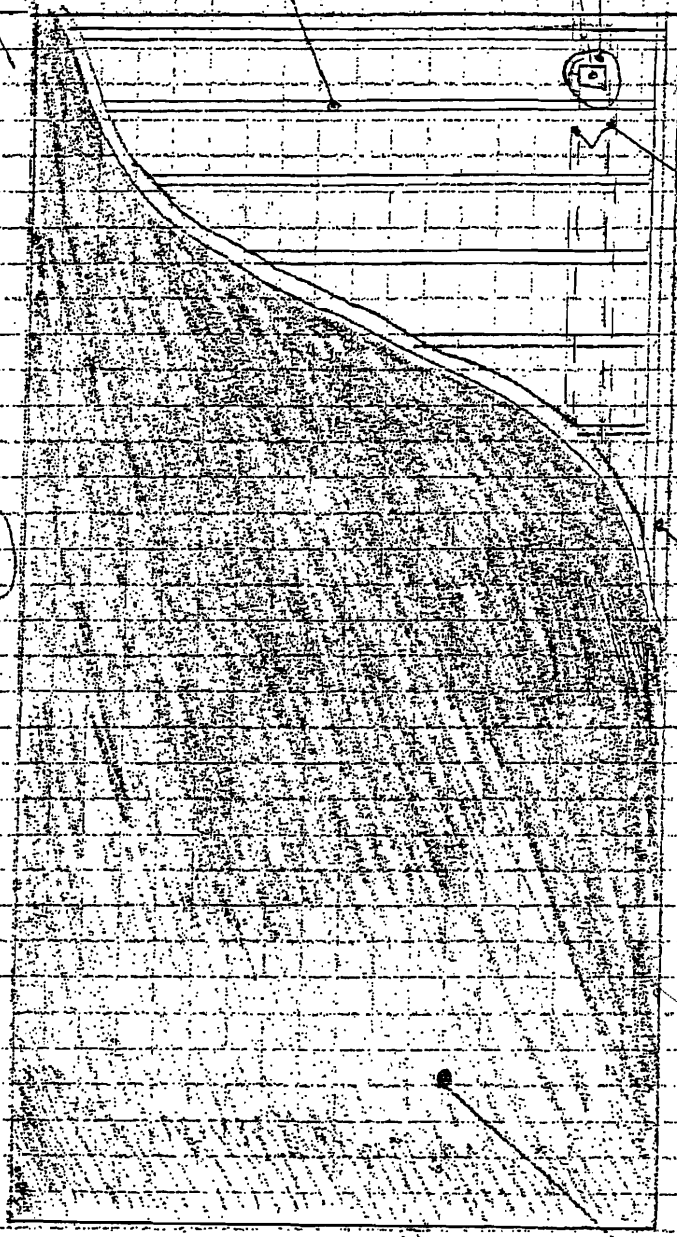


10/24/24

347 - 203 1/2"

16

~~16~~



2x8 Joists
16" OC

2x10 Beam
Sunder side bet

10" string joist
48" in ground
Spaced in
1/2" from
2" apart

2x10
Charging Deck

2x8
Double Rim

Composite
Decking

45" To Grade

10/24/24

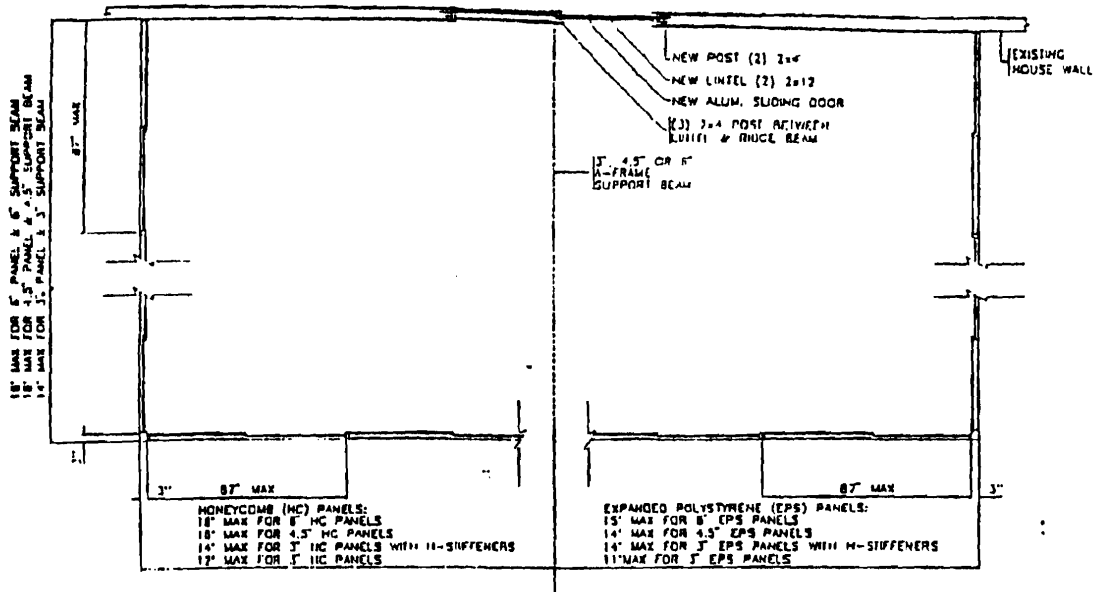
~~16~~

75 Deepwood Dr., Portland
JOB ADDRESS

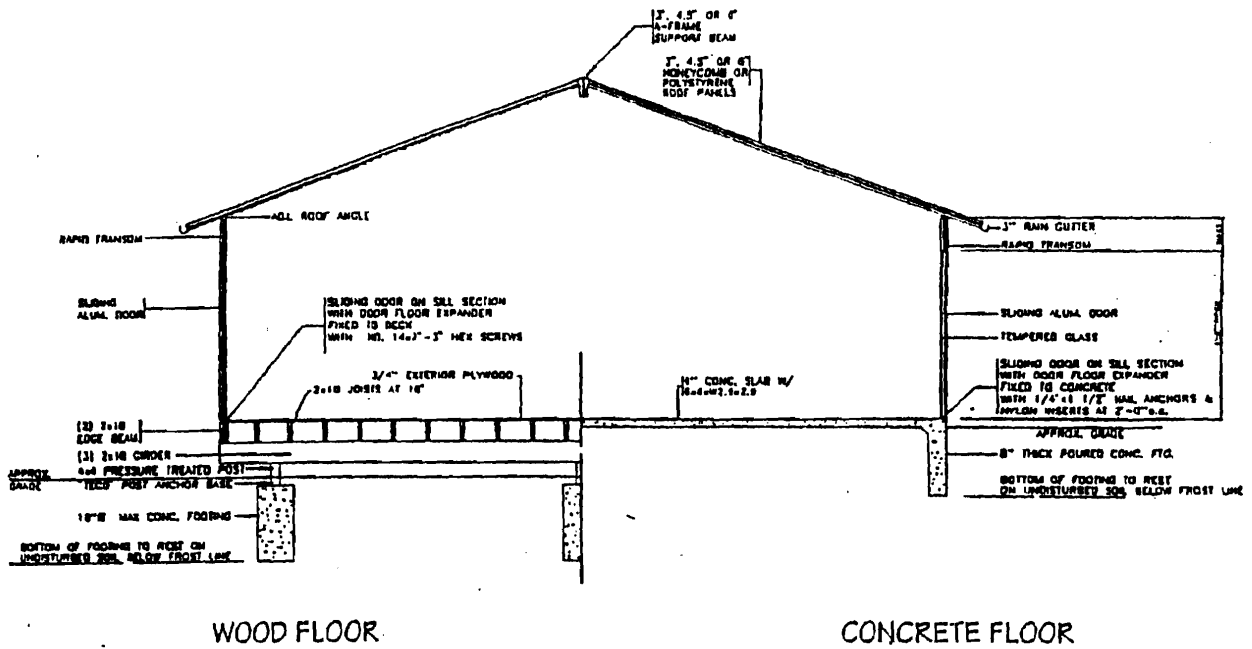
Steven RYAN
JOB NAME

FIGURE 40-1 - A-FRAME ROOM

4.0



A-FRAME ROOM FLOOR PLAN



A-FRAME ROOM CROSS SECTION

SEE NOTES ON PAGE 4.0.2



ROOF SPAN DESIGN TABLES (HONEYCOMB PANELS)⁽¹⁾
 FOR LESSOR OF ULTIMATE LOAD/2.5 OR LOAD AT SPAN/120

PANEL SPAN (ft)	PANEL CONFIG.	ALLOWABLE LIVE ROOF LOADS FOR HONEYCOMB (H/C) PANELS								
		20 (psf)	25 (psf)	30 (psf)	35 (psf)	40 (psf)	45 (psf)	50 (psf)	55 (psf)	60 (psf)
8	3" HC	.	.	.	.	.	.	.	.	.
8	3" HC + H	.	.	.	.	.	.	.	.	.
8	4.5" HC	.	.	.	.	.	.	.	.	.
8	4.5" HC + H	.	.	.	.	.	.	.	.	.
8	6" HC	.	.	.	.	.	.	.	.	.
8	6" HC + H	.	.	.	.	.	.	.	.	.
9	3" HC	.	.	.	.	.	.	.	.	.
9	3" HC + H	.	.	.	.	.	.	.	.	.
9	4.5" HC	.	.	.	.	.	.	.	.	.
9	4.5" HC + H	.	.	.	.	.	.	.	.	.
9	6" HC	.	.	.	.	.	.	.	.	.
9	6" HC + H	.	.	.	.	.	.	.	.	.
10	3" HC	.	.	.	.	.	.	.	.	.
10	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
10	3" HC + H	.	.	.	.	.	.	.	.	.
10	4.5" HC	.	.	.	.	.	.	.	.	.
10	4.5" HC + H	.	.	.	.	.	.	.	.	.
10	6" HC	.	.	.	.	.	.	.	.	.
10	6" HC + H	.	.	.	.	.	.	.	.	.
11	3" HC	.	.	.	.	.	.	.	.	.
11	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
11	3" HC + H	.	.	.	.	.	.	.	.	.
11	4.5" HC	.	.	.	.	.	.	.	.	.
11	4.5" HC + H	.	.	.	.	.	.	.	.	.
11	6" HC	.	.	.	.	.	.	.	.	.
11	6" HC + H	.	.	.	.	.	.	.	.	.
12	3" HC	.	.	.	.	.	.	.	.	.
12	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
12	3" HC + H	.	.	.	.	.	.	.	.	.
12	4.5" HC	.	.	.	.	.	.	.	.	.
12	4.5" HC + H + SKY	.	.	.	.	.	.	.	.	.
12	4.5" HC + H	.	.	.	.	.	.	.	.	.
12	6" HC	.	.	.	.	.	.	.	.	.
12	6" HC + H	.	.	.	.	.	.	.	.	.
13	3" HC	.	.	.	.	.	.	.	.	.
13	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
13	3" HC + H	.	.	.	.	.	.	.	.	.
13	4.5" HC	.	.	.	.	.	.	.	.	.
13	4.5" HC + H + SKY	.	.	.	.	.	.	.	.	.
13	4.5" HC + H	.	.	.	.	.	.	.	.	.
13	6" HC	.	.	.	.	.	.	.	.	.
13	6" HC + H	.	.	.	.	.	.	.	.	.

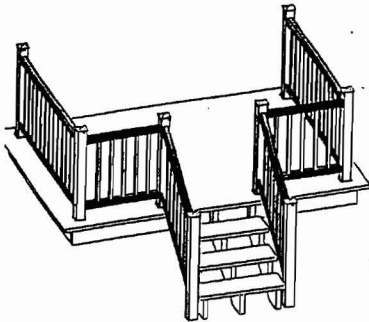
09
 Roof Panels for Steven Ryan

SEE NOTES ON PAGE 2.1.0

Dealer List Prices

THERMAL INDUSTRIES, INC.

Dream® Deck Railing System



Notes:

#1; *Masonry Hardware Kit* attaches one railing section to masonry walls: 4-90° aluminum brackets; 4, 3/8" SS bolts & lock washers; 4, 3/8" anchors; 14, #10x1" hex head screws.

#2; *Standard DreamRail Hardware Kit* attaches one railing section to 4x4 wood posts (same kit as included with DreamRail 6' & 8' sections): 2-bottom rail brackets; 8, #9x2-1/2" Dacrotized deck screws; 6, #10x1" hex head screws.

#3; *Optional Hardware Kit* attaches one railing section to an existing wood column: 4-brackets; 8, #9x2-1/2" Dacrotized deck screws; 10, #10x1" hex head screws.

#4; *Stair Hardware Kit* for 36" or 42" Stair Packages; 3-angle brackets; 6, #9x2-1/2" Dacrotized deck screws; 6, #10x1" hex head screws.

Parts & Pieces

Dream® Deck Railing System

ITEM	DIMENSION	
Top Rail (with Aluminum Load)	73 3/16"	
	95 1/16"	
Bottom Rail (with Aluminum Load)	70 7/16"	
	92 5/16"	
ADA Grasp Rail (with Steel Load)	6' Section	
	8' Section	
Post Cap	Standard	
Post Covers:	36"	4" x 4" x 49 7/8"
	42"	4" x 4" x 55 7/8"
Post Cover Kit	36"	Cover, Cap & Collar
	42"	Cover, Cap & Collar
Post Cover "H" Mullion	17' Section	
New! Post Collar	Fits 4" x 4" Wood Posts	
Pickets:	36"	1 1/2" x 1 1/2" x 27 1/8"
	42"	1 1/2" x 1 1/2" x 33 1/8"
Picket Spacer Caps:	6 Foot	69 7/16"
	8 Foot	91 3/16"
Galvanized Center Support Strap (Required)	36"	27 1/8"
	42"	33 1/8"
Masonry Post Attachment Hardware Kits	36"	One In-Line Post
	42"	One In-Line or Stair Post
Masonry Hardware Kits	36"	One Corner Post
	42"	One Corner Post
Rail Attachment, Masonry ¹	Hardware Kit For One rail Section	
Standard Hardware Kit ²	For One Railing Section (6' or 8')	
Optional Hardware Kit ³	For One Railing Section (6' or 8')	
Stairs Hardware Kit ⁴	For One Railing Section (6' or 8')	
Simpson Strong Ties	Wood Post Braces	

Earthtone - Add 4%

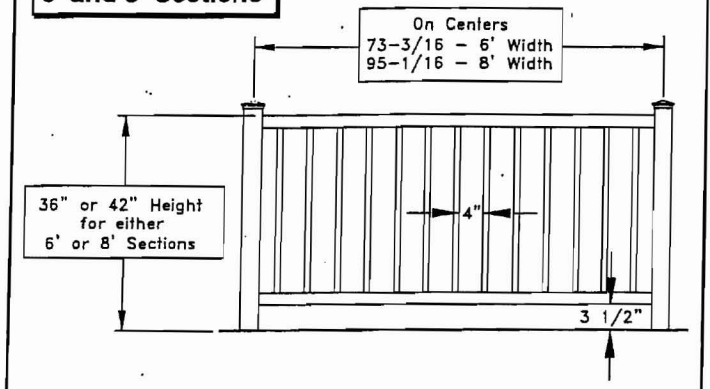
General Information

- When ordering post covers, please specify the type: end, in-line, corner or 45°, and quantity of each type of cover required.
- Please refer to installation instructions.
- Stair railing orders must indicate *type and location* of posts: end, in-line or corner, top or bottom and left or right. Orientation is from bottom of steps looking up.

Pricing & Handling

- Prices are FOB Pittsburgh, PA.
- There is a \$60 charge on each shipment which is less than a full truck load (LTL).
- Prices are subject to change without notice.

6' and 8' Sections



Options

Stair railing post covers will accommodate angles between 33° and 37°.

Dream® Deck Railings are available in additional colors. Please call.

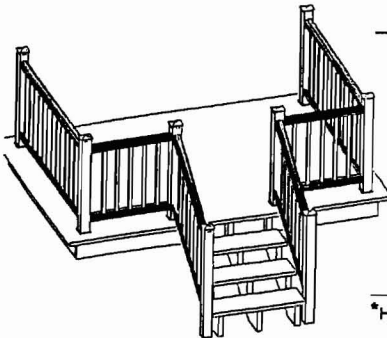
For additional information please contact your local Thermal Industries, Inc. sales rep.

DREAMSPACE®
Maintenance-Free
Dream® Deck and Dream® Dock
Manufactured by:
Thermal Industries, Inc.
Pittsburgh, PA 15221-2168
1-800-245-1540

Dealer List Prices

THERMAL INDUSTRIES, INC.

Dream® Deck Railing System



Dream® Deck Railing System - 42" Height

February 1998

The Dream® Deck Premium Railing System is 100% extruded PVC. This product has been tested as exceeding specifications for Performance of Permanent Metal Railing Systems (ASTM E935-93). This exclusive system consists of PVC post covers for 4"x4" wood posts, PVC top and bottom rails featuring a banister design with internal aluminum reinforcement (load) for added strength, and 1 1/2" square heavy duty PVC pickets with snap-on spacer providing nominal 4" spacing for code compliance. A hardware kit is included with each railing section. Optional, pre-assembled Dream® Gates are available and can be hinged for either left or right operation. A thermal-alloy, high-density hardware kit is included with each gate section.

Dealer List Pricing

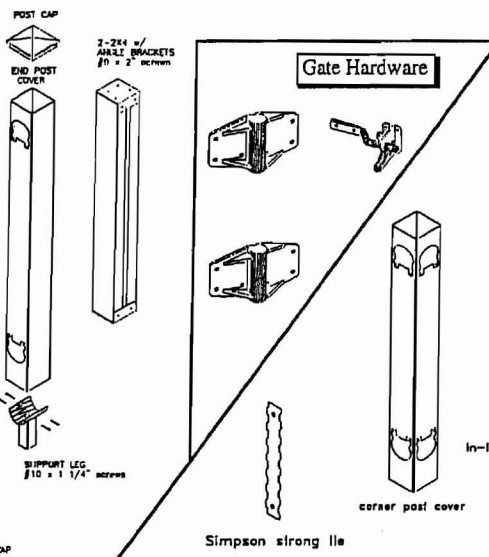
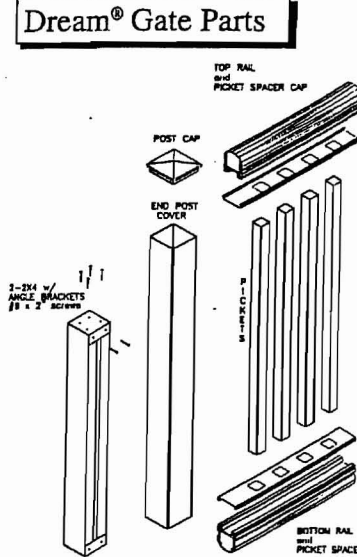
42" HEIGHT White - Standard Earthtone - Add 4%	6 Foot Section 73 7/16" on centers	8 Foot section 95 1/16" on centers	QUANTITY
	COMPLETE SECTION	COMPLETE SECTION	
ITEM	DIMENSION	DIMENSION	-----
Post Cover, Cap & Collar	-----	-----	1 each
Top Rail	73 3/16"	95 1/16"	1
Bottom Rail	70 7/16"	92 5/16"	1
Pickets	1 1/2" x 1 1/2" x 33 1/8"	1 1/2" x 1 1/2" x 33 1/8"	12-6' & 16-8'
Picket Spacer Caps	69 7/16"	91 5/16"	2
Hardware Set*	-----	-----	1 Pack

*Hardware: 2, Bottom Rail Brackets; 8, #9 x 2-1/2" Dacrotized Deck Screws; 6, #10 x 1" Hex Head Screws; 1, Galvanized Center Support Strap.

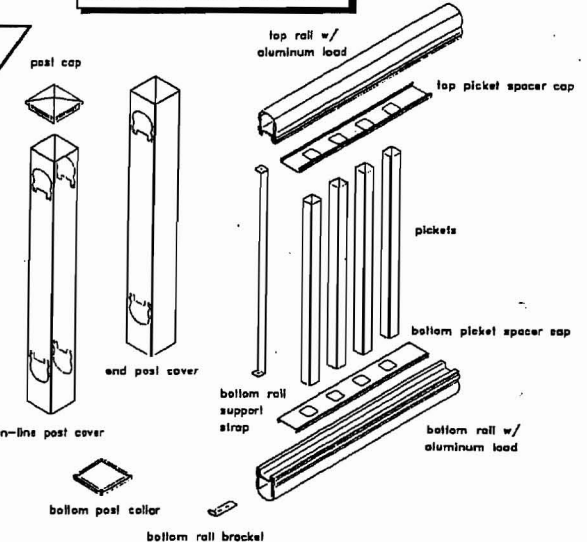
Optional Dream® Gate Dealer List Pricing - 42" Standard Width Opening

White - Standard; Earthtone - Add 4%	42" Height
Pre-assembled Gate (With Hardware)	

Dream® Gate Parts



Dream® Rail Parts



General Information

- To complete a railing, an additional post cover may be required, depending upon the type of installation. This is **NOT** included in the above price. See "Parts & Pieces" price page.
- When ordering post covers, please specify the type: end, in-line or corner, and quantity of each type of cover required.
- Stair railing orders must indicate *type and location* of posts: end, in-line or corner, 45°, top or bottom and left or right. Orientation is from bottom of steps looking up.
- Please refer to installation instructions.

Pricing & Handling

- Earthtone - add 4%
- Prices are FOB Pittsburgh, PA.
- There is a \$60 charge on each shipment which is less than a full truck load (LTL).
- Prices are subject to change without notice.

Options

Stair railing post cover angles are between 33° and 37°.
A wood post brace (two Simpson Strong Tie brackets and screws) may be required at a cost of \$5.00 each.

Post and Railing attachment hardware to concrete and masonry is available. See Dream® Deck "Parts/Pieces" pricing.

An American Disabilities Act (ADA) approved grasp rail is available. See Dream® Deck "Parts/Pieces" pricing.

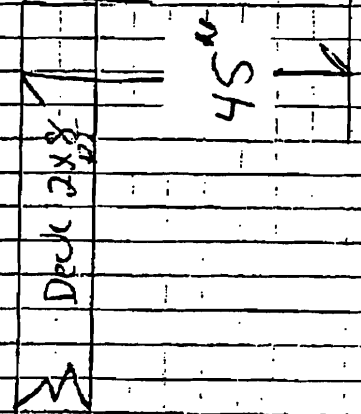
For additional information please contact your local Thermal Industries, Inc. sales rep.

DREAMSPACE®
Maintenance-Free
Dream® Deck and Dream® Dock

Manufactured by:
Thermal Industries, Inc.
Pittsburgh, PA 15221-2168
1-800-245-1540

Stair

Detail



Risers = 7 1/2

Treads = 11

Stringer cut out of 2x12 pt

Risers will be covered with 1x8 pt

Treads will be 1 5/4 x 6 pt Decking boards

Not drawn to scale

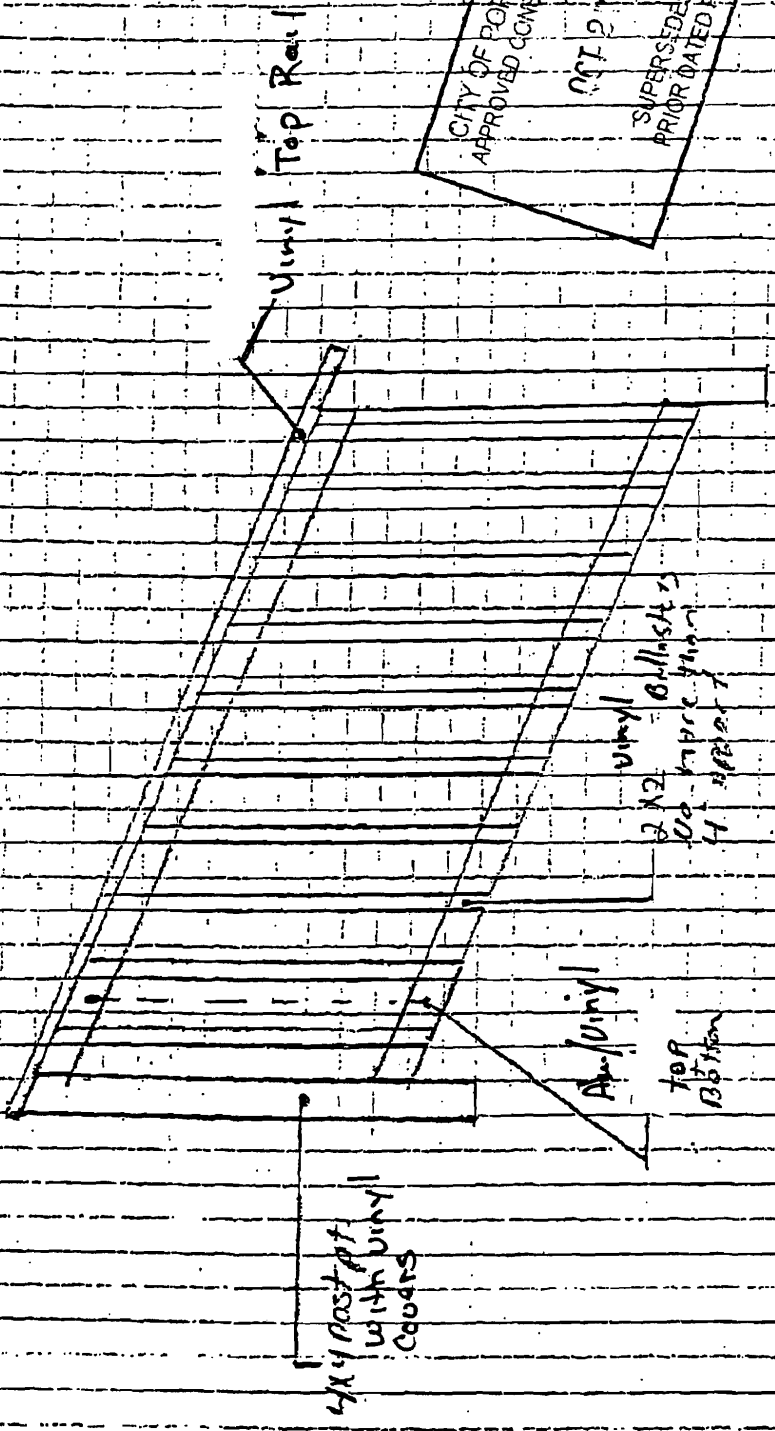
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 26 2005
RECEIVED

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
OCT 26 2005
SUPERSEDES ALL PRIOR DATED PLANS

Steven Ryan

Railing Detail

- * Railing will be 36" High measured vertically off the outer nosing of the outer rail
- * Nosing of inner step
- * There will be a coping on both sides of the stairs
- * There will be a gripe on Rail



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 26 2005
RECEIVED

CITY OF PORTLAND, MAINE
APPROVED CONSTRUCTION PLANS
OCT 27 2005
SUPERSEDES ALL
PRIOR DATED PLANS



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

*Lee Urban- Director of Planning and Development
Aaron Shapiro- Director of Housing and Neighborhood Services
Michael J. Nugent- Director of Inspection Services*

**CITY OF PORTLAND
NOTICE OF VIOLATION**

*Mar
GJ*

February 1, 2006

Attn: Don Hawthorn
Maine Window & Sunroom
91 Industrial Park Road
Saco, ME 04072

Certified Mail Receipt: 7002 2410 0000 8132 5218

RE: 75 Deepwood Drive
CBL: 397-C-012, Zone - R2, Building Permit # 05-1331

Dear Mr. & Mrs. Ryan:

An evaluation of the property at 75 Deepwood Drive on January 19, 2006 revealed that the work completed under the approved building permit # 05-1331 fails to comply with the Land Use Zoning Ordinance and the Building Code as adopted by the City. The following is a list of the violations:

Section 14-80: The R-2 Residential Code requires twenty-five (25) feet as a rear setback to the property line, the measured distance to the new sunroom and deck is fifteen (15) feet to the survey pin.

Sec. R109.1.1 (as amended) Footing/Building location and Foundation Inspection:
Failed to schedule for the required inspections. All property lines shall be identified to determine setback compliance. The deck and part of the sunroom are non-conforming.

Sec. R109.4 Approval Required: Work shall not continue beyond the point indicated in each successive inspection without first obtaining approval of the building official.

This is a Notice of Violation pursuant to Section R113.2 of the Building Code. The referenced setback violation shall be corrected within 30 days of the date of this notice. Please remove the structures or apply for a building permit to modify the structure to show conformance to the rear setback. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Chapter 1-15 of the Code and in Title 30-M.S.R.A. ss4452.

You have the right to appeal my decision pursuant to Section 112 of the 2003 International Building Code as adopted by the City of Portland. Please feel free to contact me at 874-8715 if you wish to discuss the matter or have any questions. I am enclosing information if you wish to appeal to the Zoning Board.

Sincerely, ~
Jeanie Bourke

Jeanie Bourke
Code Enforcement Officer/Plan Reviewer
Cc/Steven & GERALYN RYAN

FAX



To: Erin ~~At~~ Fogg - True North Home Systems

Fax Number: 286-8039

From: Ann Machado

Fax Number: 874-8716

Date: Oct. 24, 2006

Regarding: size of deck & sunroom at 75 Deepwoods Drive

Total Number Of Pages Including Cover: 4

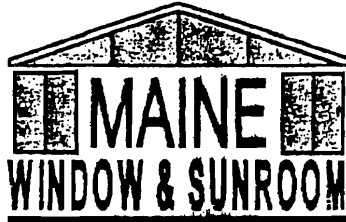
Phone Number For Follow-Up: 874-8709

Comments:

Erin - I sent you a copy of the application which says 15' x 11' deck and a copy of one page of the plans, plus the site plan.

Ann

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
<http://www.portlandmaine.gov/>



"We Treat Your Home Like Our Own."

DATE: 7-11-05

JOB NAME & ADDRESS:

Stephen Ryan
75 Deepwood Dr
Portland, ME 04103

I, ^{STEVEN} Stephen Ryan, hereby authorize Maine Window & Sunroom to act as my agent to acquire a building permit for my home improvement project.

Stephen Ryan
Signature

Established 1989