

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 HELENE STREET</u>		
Total Square Footage of Proposed Structure <u>700</u>	Square Footage of Lot <u>14,260 ±</u>	
Tax Assessor's Chart, Block & Lot	Owner:	Telephone:
Chart# <u>433-6</u> Block# <u>008-011</u> Lot# <u>433-6</u> <u>017-021</u>	<u>ALBEE, TODD S. & PARKER B.</u>	<u>701-4352</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME</u>	cost Of Work: \$ <u>77,000</u> Fee: \$ <u>714⁰⁰₀₀</u>

ESI

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: RESIDENCE

Project description: addition 700 Sq Ft

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

MAY 16 005

RECEIVED

Contractor's name, address & telephone: _____

Who should we contact when the permit is ready: PARKER ALBEE

Mailing address: _____

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 701-4352 OR 701-4334

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Parker Albee</u>	Date: <u>May 16 2005</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**



RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, April 23, 1956

PERMIT ISSUED

014651 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lot's 53-54, 55, 56 Helene Street

Within Fire Limits?

Dist. No.

Owner's name and address Wynson I. Strout, 35 Mayne Street

Telephone

Lessee's name and address

owner

Telephone

Architect

Specifications

Plans yes

Telephone

Proposed use of building 2 car garage

No. of sheets 1

Last use

No. families

Material

No. stories

Heat

Style of roof

No. families

Other buildings on same lot

dwell'g

Roofing

Estimated cost \$ 1000.

Fee \$ 4.00

General Description of New Work

To construct 20'x24' - 2 car frame garage

STATEMENT OF COVERAGE
It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO OWNER

Details of New Work

Is any plumbing involved in this work?

Is any electrical work involved in this work?

Height average grade to top of plate 8'

Height average grade to highest point of roof 12'

Size, front 20' depth 24' No. stories 1 solid or filled land? solid

Material of foundation concrete slab Thickness, top bottom collar

Material of underpinning Height Thickness

Kind of roof pitch-gable Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.

No. of stories



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Aug. 31, 1936

CITY OF PORTLAND
AUG 31 1936

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496 pertaining to the building or structure completed in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location lots 53, 54, 55, & 56 Helena St. Within Fire Limits? no Dist. No. no

Owner's name and address Manson I. Strout, 35 Wayne St. Telephone no

Lessee's name and address owner Telephone no

Contractor's name and address owner Plans filed no No. of sheets 1

Architect dwelling house No. families 1

Proposed use of building dwelling house No. families 1

Last use no Additional fee 1.00

Increased cost of work 200.

Description of Proposed Work
To finish off two rooms on second floor, 2x3 and 2x4 studs, 16" on centers, covered with sheetrock lath and plaster. Same on ceiling.

Details of New Work

Is any plumbing involved in this work? no Is any electrical work involved in this work? no

Height average grade to top of plate no Height average grade to highest point of roof no

Size, front no depth no No. stories no solid or filled land? no earth or rock? no

Material of foundation no Thickness, top no bottom no cellar no Thickness no

Material of underpinning no Height no Thickness no

Kind of roof no Rise per foot no Roof covering no Thickness no

No. of chimneys no Material of chimneys no of lining no

Framing lumber—Kind no Sills no Girt or ledger board? no Size no

Corner posts no Size no Columns under girders no Size no Max. on centers no

Girders no Size no Columns under girders no Size no Max. on centers no

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor, 2nd, 3rd, roof

On centers: 1st floor, 2nd, 3rd, roof

Maximum span: 1st floor, 2nd, 3rd, roof

Approved: 201



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED
NOV 8 1956

Amendment No. 2
Portland, Maine, Nov. 8, 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/1956, pertaining to the building or structure completed in the original application in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, Maine and specifications, if any, submitted herewith, and the following specifications:

Location lots 53, 54, 55 & 56, Halston St. Within Fire Limits? no Dial. No.

Owner's name and address Hanson I. Strout, 35. Layne St. Telephone

Contractor's name and address owner Telephone

Architect Telephone

Proposed use of building dwelling house Plans filed no No. of sheets

Last use No. families 1

Increased cost of work No. families

Description of Proposed Work
Additional fee \$.50
To provide roof over rear rear platform 3' x 6' 6" and enclose side walls.
To partition off recreation room 12' x 16' in basement, 2x4 studs, 24" on centers,
covered on inside with panel board.

Details of New Work

Is any plumbing involved in this work?

Height average grade to top of plate 8' 300' Is any electrical work involved in this work?

Size, front depth No. stories Height average grade to highest point of roof 10'

Material of foundation solid or filled land?

Material of underpinning Thickness, top bottom cellar

Kind of roof pitch-gable Rise per foot 10" Height Thickness

No. of chimneys Material of chimneys Roof covering Asphalt Glass C Urd Lab

Framing lumber—Kind beam/lock Dress or full size? of lining

Corner posts 4x6 Sills Girt or ledger board? dressed

Guides Size Columns under guides Size

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet. Max. on centers

Joints and rafters: 1st floor , 2nd , 3rd roof Max. on centers

On centers: 1st floor , 2nd , 3rd roof Max. on centers

Maximum span: 1st floor , 2nd , 3rd roof

Approved: OR-11818-028



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to **Munson I. Strout**

LOCATION

Helene St., Assessor's lot Nos. 133-C-8 to 11

Date of Issue **Nov. 23, 1986**

This is to certify that the building, premises, or part thereof, at the above location, built—~~was~~
~~was~~ under Building Permit No. **56/496**, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

One-family Dwelling House

Limiting Conditions:

This certificate supersedes certificate issued

Approved: **11/8/86**

(Date)

C. B. Smith
Inspector

D. M. [Signature]
Inspector of Buildings

Caution: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. One will be furnished to owner or lessee for one dollar.

RESIDENCE DUNE - C



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine April 23, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter, repair, demolish in full the following building structure, equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lots 53-54, 55, 56 Helene Street Within Five Feet of _____ Dist. No. _____

Owner's name and address Hanson J. Strout, 35 Wayne Street Telephone _____

Lessee's name and address _____ Telephone _____

Contractor's name and address owner Telephone _____

Architect _____ Specifications _____ Plans _____ No. of stories 2

Proposed use of building 2 car garage No. basements _____

Last use _____ No. basements _____

Material _____ No. stories _____ Heat _____ Style of roof _____

Other buildings on same lot dwelling Remarks _____

Estimated cost \$ 1000. Tax \$ 4.50

General Description of New Work

To construct 20'x24' -2 car frame garage

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and on the name of the heating contractor. **PERMIT TO BE ISSUED TO owner**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____

Height average grade to top of plate 8' Height average grade to highest point of roof 12'

Size, front 20' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____

Material of underpinning _____ Height _____ Thickness _____

Kind of roof pitch-gable Rise per foot 6" Roof covering asphalt roofing Class C Unrd. Lab.

No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____

Framing lumber—Kind hemlock Dressed or full size? dressed

Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____

Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6

On centers: 1st floor _____, 2nd _____, 3rd _____, roof 2x4"

Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 10'

If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 2 number commercial cars to be accommodated 0

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2

Portland, Maine, May 8, 1956

PERMIT ISSUED
MAY 8 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permits No. 56/496 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 53, 54, 55 & 56 Helona St. Within Fire Limits? 100 Dist. No.

Owner's name and address .. Nunson L. Strout, 35 Wayne St. Telephone

Lessee's name and address Telephone

Contractor's name and address Telephone

Architect Plans filed 50 No. of sheets

Proposed use of building dwelling house No. families 1

Last use No. families

Increased cost of work Additional tax 50

Description of Proposed Work

To provide roof over rear platform 3' x 6' 6" w/ mellow side walls.
 To partition off recreation room 12' x 16' in basement, 2x4 studs, 24" on centers, covered on inside with panel board.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate ... 8' 3" Height average grade highest point of roof 10'

Size, front depth stories solid or filled land? earth or rock?

Material of foundation Thickness top cellar Thickness

Kind of roof pitch Rise per foot 10" Roof covering Asphalt Class C (Imp) Lab

NO. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size? dressed

Corner posts 4x6 Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on center

Studs (outside walls and carrying partitions), 2x4-16" O. C. Bridging in every ft and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd roof 2x6

Maximum span: 1st floor 2nd roof 24"

Approved: OR-11/8/56-ags

Signature of Owner Nunson L. Strout

Approved: 11/8/56 Inspector of Buildings

INSPECTION COPY

C-10-124-SC-Mark



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Aug. 31, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 53, 54, 55 & 56 Helena St. Within Fire Limits? no Dist. No.
 Owner's name and address Munson I. Strout, 35 Wayne St. Telephone
 Lessee's name and address Telephone
 Contractor's name and address owner Telephone
 Architect Plans filed no No. of sheets
 Proposed use of building dwelling house No. families 1
 Last use No. families
 Increased cost of work 200. Additional fee 1.00

Description of Proposed Work

To finish off two rooms on second floor, 2x3 and 2x4 studs, 16" on centers, covered with sheetrock lath and plaster. Same on ceiling.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Sire, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Sire Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters : 1st floor , 2nd , 3rd , roof
 On centers : 1st floor , 2nd , 3rd , roof
 Maximum span : 1st floor , 2nd , 3rd , roof

Approved: OK-8/31/56-ags

Signature of Owner [Signature]

Approved: 8/31/56 [Signature]

INSPECTION COPY

C-10-154-5C-Marks

Inspector of Building



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Aug. 31, 1950

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby apply for amendment to Permit No. 50/472, issued on _____, in the original application in accordance with the laws of the State of Maine and the City of Portland (laws and specifications, if any, submitted herewith) as follows:

Location: lots 53, 54, 55 & 56 Helene St. Address: _____
 Owner's name and address: Burton I. Strout, 35 Wayne St. Telephone: _____
 Lessee's name and address: _____
 Contractor's name and address: owner Telephone: _____
 Architect: _____
 Proposed use of building: dwelling house Telephone: _____
 Last use: _____
 Increased cost of work: \$200. Telephone: _____

Description of Proposed Work

To finish off two rooms on second floor, 2x3 and 2x1 studs, on centers, covered with sheetrock lath and plaster. Same on ceiling.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to height top of plate
 Size, front depth No. stories solid or filled land?
 Material of foundation Thickness, top bottom (ft.)
 Material of underpinning Height (ft.)
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys
 Framing lumber - Kind Dressed or full size?
 Corner posts Sills Girt or ledger board Size
 Girders Size Columns under girders Size Material of posts
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and the roof, on centers
 Joists and rafters 1st floor 2nd 3rd 4th
 On centers: 1st floor 2nd 3rd 4th
 Maximum span: 1st floor 2nd 3rd 4th

Approved:

Signature of contractor

Approved: *[Signature]*

INSPECTION COPY

CHESTERMORRIS



APPLICATION FOR PERMIT

City of Portland, Bureau of City of Structures

Portland, Maine

I hereby certify that the above described work is to be done in accordance with the provisions of the City of Portland Building Code, Chapter 21A, and the rules and regulations of the Bureau of City of Structures, and that the same has been approved by the Bureau of City of Structures.

I hereby certify that the above described work is to be done in accordance with the provisions of the City of Portland Building Code, Chapter 21A, and the rules and regulations of the Bureau of City of Structures, and that the same has been approved by the Bureau of City of Structures.

I hereby certify that the above described work is to be done in accordance with the provisions of the City of Portland Building Code, Chapter 21A, and the rules and regulations of the Bureau of City of Structures, and that the same has been approved by the Bureau of City of Structures.

I hereby certify that the above described work is to be done in accordance with the provisions of the City of Portland Building Code, Chapter 21A, and the rules and regulations of the Bureau of City of Structures, and that the same has been approved by the Bureau of City of Structures.

General Description of New Work

See also page 2 of application

PERMIT TO BE ISSUED TO

Details of New Work

Kind of lumber employed in the work: *2x4* Floor joists: *2x4*
 Height over eave to top of plate: *20'* Height over eave to top of plate: *20'*
 Sill: *2x4* depth: *4x4* No. stories: *2* Sill for eave: *2x4*
 Material of foundation: *concrete* Thickness, top: *4x4*
 Material of underpinning: Height: *4x4*
 Kind of roof: *1x4* Rafters: *2x4* Root covering: *2x4*
 No. of chimneys: Material for chimneys: of chimneys: *2x4*
 Framing lumber: Kind: *2x4* Dressing or planing: *2x4*
 Corner posts: *4x4* Sills: *4x4* Part of ledger board: *2x4*
 Girders: Size: Columns under girders: size: *2x4*
 Stairs, outside walls and curving partitions: *2x4-10" O.C.* Bridging in crevices: *2x4*
 Posts and ratters: 1st floor: *concrete* 2nd floor: *2x4*
 Or centers: 1st floor: 2nd floor: *2x4*
 Maximum span: 1st floor: 2nd floor: *2x4*
 It is a one-story building with no inside walls. thickness of walse:

If a Garage

No. cars now accommodated on same lot: *4* to be accommodated: *2* more

PERMIT # 458 CITY OF Portland and CLATSOP BUILDING PERMIT APPLICATION MAP # 1 LOT# 107N

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: John Raguez Call when ready

Address: 11 Helene Street, Portland

LOCATION OF CONSTRUCTION: same 883-1594

CONTRACTOR: owner SUBCONTRACTORS: 774-97 20

ADDRESS: _____

Est. Construction Cost: 879.00 Type of Use: single family

Permit Use: _____

Building Dimensions L W Sq. Ft. # Stories Lot Size: _____

Is Proposed Use: Seasonal Condominium Apartment

Conversion - Explain construct 4 1/2' x 24' deck

COMPLETE ON/ Y IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only: _____ # Of New Dwelling Units _____

Of Dwelling Units _____

Foundations: _____

1. Type of Soil: _____ Rear _____ Side(s) _____

2. Set Backs - Front _____

3. Footings Size: _____

4. Foundation Size: _____

5. Other _____

Floor _____

1. Sills Size: _____ Sills must be anchored.

2. Girder Size: _____

3. Lally Column Spacing: _____ Size: _____ Spacing 16" O.C.

4. Joists Size: _____

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Walls: _____

1. Studding Size _____ Spacing _____

2. No. Windows _____

3. No. Doors _____

4. Header Sizes _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____

9. Siding Type _____ Weather Exposure _____

10. Masonry/ Materials _____

11. Metal Materials _____

Interior Walls: _____

1. Studding Size _____ Spacing _____

2. Header Size _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall If required _____

5. Other Materials _____

White-Tax Assessor _____ Yellow-GPCOG _____

DATE ISSUED: August 1, 1988

FOR OFFICIAL USE ONLY

MAP # 1 LOT# 107N

DATE: _____

TIME: _____

ESTIMATED COST: 879.00

VALUATION: 75.00

PERMIT ISSUED

CITY OF PORTLAND

Ceiling: _____

1. Ceiling Joist Size _____

2. Ceiling Strapping Size _____

3. Type Ceiling: _____

4. Insulation Type _____

5. Ceiling Height: _____

Roof: _____

1. Truss or Rafter Size _____

2. Sheathing Type _____

3. Roof Covering Type _____

4. Other _____

Chimneys: _____

Type: _____ Number of Fire Places _____

Heating: _____

Type of Heat: _____

Electrical: _____

Service Entrance Size: _____

Service Disconnect Required: Yes _____ No _____

Plumbing: _____

1. Approval of soil test if required _____

2. No. of Tubs or Showers _____

3. No. of Fixtures _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools: _____

1. Type: _____

2. Pool Size: _____

3. Must conform to National Electrical Code and State Law.

Zoning: _____

District: _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required: _____

Zoning Board Approval: Yes _____ No _____

Planning Board Approval: Yes _____ No _____

Conditional Use: _____

Shore and Floodplain Mgmt: _____

Other (Specify): _____

Date Approved: _____

Permit Received By: Janne Galar

Signature of Applicant: John R. Raguez Date: August 1, 1988

Signature of CEO: _____ Date: _____

Inspection Dates: _____

White Tag-CEO _____

Copyright GPCOG 1987



PRESUMPCOT RIVER

RIVER

HELENE ST.

VAIL STREET

CLEVELAND ST.

BISMARCK STREET

OREGON STREET

VICTORIA STREET

SHEET 432-A

SHEET 434-A

16
11327

(B)

(C)

(D)

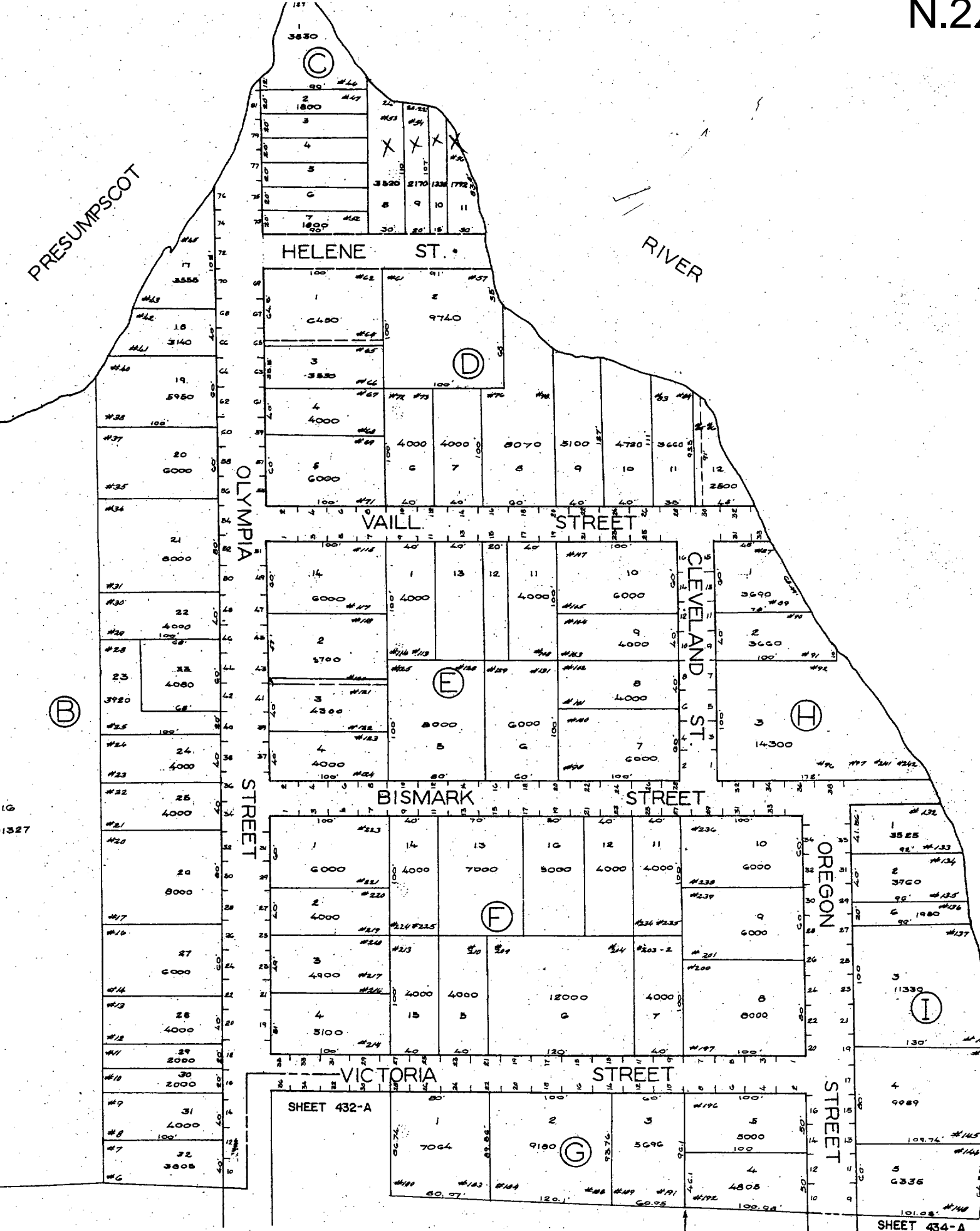
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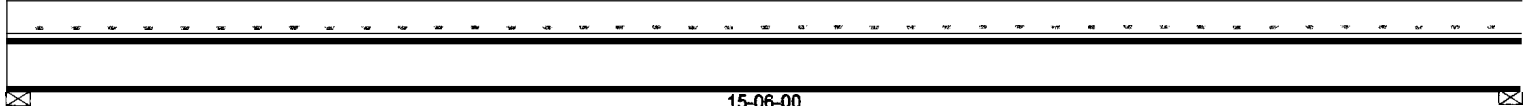
(I)

(G)



Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1144

File Name: Albee Beams
Description: R01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Roof Joist (Longest Span)



BO, 5-1/2" B1, 5-1/2"
DL 116 lbs DL 116 lbs
SL 426 lbs SL 426 lbs

Total Horizontal Product Length = 15-06-00

Load Summary		Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	OCS
Tag	Description					100%	90%	115%	133%	125%	12"
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00		15 psf	55 psf			

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1893 ft-lbs	48.5%	115%	3	1 - Internal
End Reaction	510 lbs	32.0%	115%	3	1 - Right
Total Load Defl.	L/477 (0.37")	50.3%		3	1
Live Load Defl.	L/607 (0.291")	59.3%		3	1
Max Defl.	0.37"	74.0%		3	1
Span I Depth	18.6	n/a			1

Disclosure
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800) 232-0788 before installation.

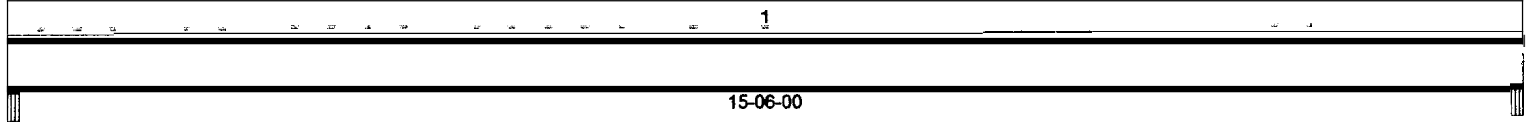
Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified
B1	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified

Notes
Design meets User specified (L/240) Total load deflection criteria.
Design meets User specified (L/360) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.
Member **Slope** = 0, consider drainage.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, LLC.

Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1144

File Name: Albee Beams
Description: J01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Floor Joist (Longest Span)



Total Horizontal Product Length = 15-06-00

Load Summary											
Tag	Description	Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	OCS
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00	40 psf	10 psf	115%	133%	125%	12"

Controls Summary					
	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1414 ft-lbs	41.6%	100%	I	1 - Internal
End Reaction	373 lbs	26.9%	100%	1	1 - Right
Total Load Defl.	L/729 (0.248")	49.4%		1	1
Live Load Defl.	L/912 (0.198)	52.7%		1	1
Max Defl.	0.248"	49.5%		1	1
Span / Depth	19.0	n/a			1

Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

Bearing Supports		Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Beam	3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0
B1	Beam	3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0

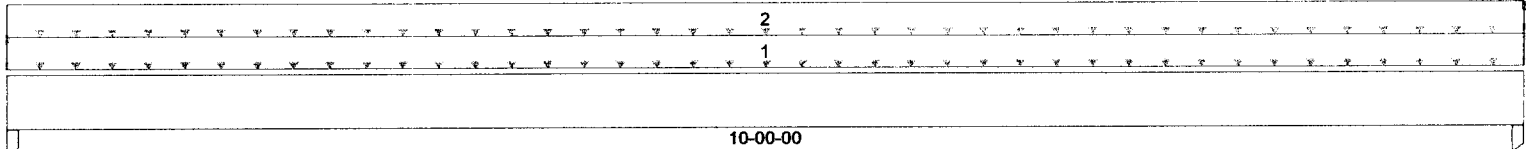
Notes

Design meets User specified (L/360) Total load deflection criteria.
Design meets User specified (L/480) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.
Composite EI value based on 23132" thick sheathing glued and nailed to joist.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, LLC.

Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Floor Beam (Longest Span)



B0, 5-1/4"
LL 617 lbs
DL 428 lbs
RLL 848 lbs

B1, 5-1/4"
LL 617 lbs
DL 428 lbs
RLL 848 lbs

Total Horizontal Product Length = 10-00-00

Load Summary

Tag Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	Trib.
1 1st Floor Load	Unf. Area	Left	00-00-00	10-00-00	40 psf	10 psf				03-01-00
2 Roof Load	Unf. Area	Left	00-00-00	10-00-00		15 psf			55 psf	03-01-00

Controls Summary

	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	4049 ft-lbs	23.2%	125%	4	1 - Internal
End Shear	1427 lbs	18.1%	125%	4	1 - Left
Total Load Defl.	L/890 (0.125")	40.4%		4	1
Live Load Defl.	L/1151 (0.096")	41.7%		4	1
Max Defl.	0.125"	24.9%		4	1
Span/ Depth	11.7	n/a			1

Disclosure

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Bearing Supports

	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post	5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified
B1 Post	5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified

Cautions

Column at Bearing B0 analyzed for bearing only, column analysis has not been performed.
Column at Bearing B1 analyzed for bearing only, column analysis has not been performed.

Notes

Design meets User specified (L/360) Total load deflection criteria.
Design meets User specified (L/480) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.

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Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months,

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Call **Footing/Building Location Inspection:** Prior to pouring concrete
- NA **Re-Bar Schedule Inspection:** Prior to pouring concrete
- Call **Foundation Inspection:** Prior to placing ANY backfill
- Call **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Call **Final/Certificate of Occupancy:** prior to any occupancy of the structure or use. **NOTE:** There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES,

_____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Parham Alby 6/30/06
Signature of Applicant/Designee Date
Paul Thornton 6/30/06
Signature of Inspections Official Date
CBL: 433 0005 Building Permit #: 06 0965