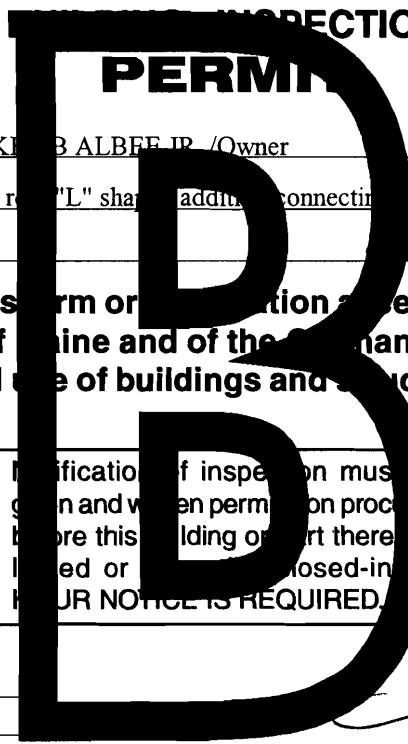


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
NOV - 9 2006
Permit Number: 050608
CITY OF PORTLAND



This is to certify that ALBEE TODD S & PARKER B ALBEE JR -/Owner
has permission to Single Family Home/build re "L" shap addition connecting house to garage - Part 2 of 2 part permit & build
AT 10 HELENE ST PORTLAND, OR 97203 433 C008001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceed before this building or part thereof is started or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
11/08/06
Director / Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION Helene St., Assessors Lot Nos.

43-C-8 to 11

Date of Issue Nov. 13, 1956

Issued to Munson I. Strout

This is to certify that the building, premises, or part thereof, at the above location, built—~~under~~
~~under~~ ~~under~~ under Building Permit No. 56/496, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

One-family Dwelling House

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

11/8/56

(Date)

Inspector

Carlo Smith

W. [Signature]

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0608	Issue Date:	CBL: 433 C008001
-----------------------	-------------	---------------------

Location of Construction: 10 HELENE ST	Owner Name: ALBEE TODD S & PARKER B AL	Owner Address: 10 HELENE ST	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home/build rear "L" shaped addition connecting house to garage - Part 2 of 2 part permit & build 14' rear dormer	Permit Fee: \$714.00	Cost of Work: \$77,000.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IR 2003</i>	

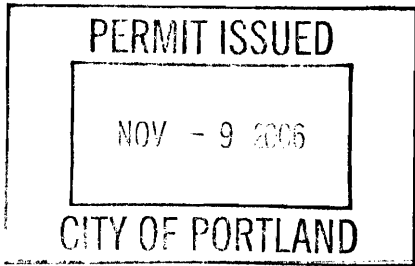
Proposed Project Description:
Single Family Home/build rear "L" shaped addition connecting house to garage - Part 2 of 2 part permit & build 14' rear dormer

Signature: *[Signature]*
Signature: *[Signature]*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 05/16/2005	Zoning Approval
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>30% expansion</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>ZONIC AE Parcel 7+8</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/8/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>11/08/06</i>
--	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

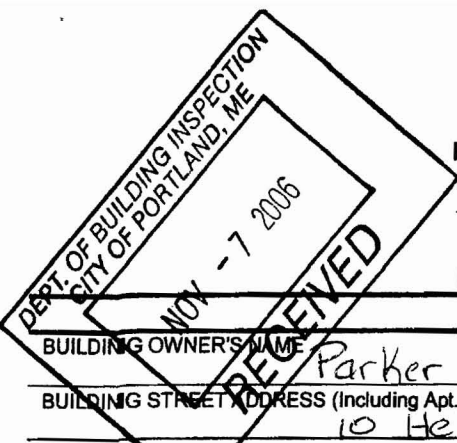
SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

10 - Please see me - 4M

Jummy not in office Tuesday!

10/26/06 - Checked sonar tube depths and settlements
all ok - ok to pour cement + start. Jon M

11/03/06 - Sonotubes + Deck o.k.



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM
ELEVATION CERTIFICATE

O.M.B. No. 3067-0077
Expires December 31, 2005

Important: Read the instructions on pages 1 - 7.

SECTION A - PROPERTY OWNER INFORMATION

BUILDING OWNER'S NAME <u>Parker Albee</u>		For Insurance Company Use:
BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO. <u>10 Helene Street</u>		Policy Number
CITY <u>Portland</u>	STATE <u>Maine</u>	Company NAIC Number
PROPERTY DESCRIPTION (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>Tax Map 433 Block C Lots 8, 9, 10, 11</u>		ZIP CODE <u>04101</u>
BUILDING USE (e.g., Residential, Non-residential, Addition, Accessory, etc. Use a Comments area, if necessary.) <u>Addition</u>		
LATITUDE/LONGITUDE (OPTIONAL) (##° - ##' - ###" or #####)	HORIZONTAL DATUM: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983	SOURCE: <input checked="" type="checkbox"/> GPS (Type): <input type="checkbox"/> USGS Quad Map <input type="checkbox"/> Other
<u>43-41-19 / 70-15-12</u>		

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP COMMUNITY NAME & COMMUNITY NUMBER <u>Portland Maine 230051</u>		B2. COUNTY NAME <u>Cumberland</u>		B3. STATE <u>Maine</u>	
B4. MAP AND PANEL NUMBER <u>230051-0007</u>	B5. SUFFIX <u>C</u>	B6. FIRM INDEX DATE <u>12-8-98</u>	B7. FIRM PANEL EFFECTIVE/REVISED DATE <u>12-8-98</u>	B8. FLOOD ZONE(S) <u>AZ</u>	B9. BASE FLOOD ELEVATION(S) (Zone AO, use depth of flooding) <u>19</u>

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in B9.
 FIS Profile FIRM Community Determined Other (Describe): _____

B11. Indicate the elevation datum used for the BFE in B9: NGVD 1929 NAVD 1988 Other (Describe): _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Building Diagram Number 5 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)

C3. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO
 Complete Items C3.a-i below according to the building diagram specified in Item C2. State the datum used. If the datum is different from the datum used for the BFE in Section B, convert the datum to that used for the BFE. Show field measurements and datum conversion calculation. Use the space provided or the Comments area of Section D or Section G, as appropriate, to document the datum conversion.

Datum _____ Conversion/Comments _____

Elevation reference mark used _____ Does the elevation reference mark used appear on the FIRM? Yes No

<input type="checkbox"/> a) Top of bottom floor (including basement or enclosure)	_____ ft.(m)
<input type="checkbox"/> b) Top of next higher floor	_____ ft.(m)
<input type="checkbox"/> c) Bottom of lowest horizontal structural member (V zones only)	<u>20</u> . <u>0</u> ft.(m)
<input type="checkbox"/> d) Attached garage (top of slab)	_____ ft.(m)
<input type="checkbox"/> e) Lowest elevation of machinery and/or equipment servicing the building (Describe in a Comments area.)	_____ . _____ ft.(m)
<input type="checkbox"/> f) Lowest adjacent (finished) grade (LAG)	<u>17</u> . <u>9</u> ft.(m)
<input type="checkbox"/> g) Highest adjacent (finished) grade (HAG)	<u>18</u> . <u>4</u> ft.(m)
<input type="checkbox"/> h) No. of permanent openings (flood vents) within 1 ft. above adjacent grade	_____
<input type="checkbox"/> i) Total area of all permanent openings (flood vents) in C3.h	_____ sq. in. (sq. cm)

License Number, Embossed Seal, Signature, and Date

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
 I certify that the information in Sections A, B, and C on this certificate represents my best efforts to interpret the data available.
 I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME William G. Austin LICENSE NUMBER 2174

TITLE Land Surveyor COMPANY NAME Austin Land Surveying LLC

ADDRESS 82 Elderberry Lane CITY New Gloucester STATE Me ZIP CODE 04260

SIGNATURE DATE 11/6/06 TELEPHONE 207 632 2959

IMPORTANT: In these spaces, copy the corresponding information from Section A.

BUILDING STREET ADDRESS (Including Apt., Unit, Suite, and/or Bldg. No.) OR P.O. ROUTE AND BOX NO.

STATE

ZIP CODE

For Insurance Company Use

Policy Number

Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

COMMENTS

Check here if attachment

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zone AO and Zone A (without BFE), complete Items E1. through E5. If the Elevation Certificate is intended for use as supporting information for a LOMA or LOMR-F, Section C must be completed.

- E1. Building Diagram Number 5 (Select the building diagram most similar to the building for which this certificate is being completed - see pages 6 and 7. If no diagram accurately represents the building, provide a sketch or photograph.)
- E2. The top of the bottom floor (including basement or enclosure) of the building is ft. (m) in. (cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E3. For Building Diagrams 6-8 with openings (see page 7), the next higher floor or elevated floor (elevation b) of the building is ft. (m) in. (cm) above the highest adjacent grade. Complete Items C3.h and C3.i on front of form.
- E4. The top of the platform of machinery and/or equipment servicing the building is ft. (m) in. (cm) above or below (check one) the highest adjacent grade. (Use natural grade, if available.)
- E5. For Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, C (Items C3.h and C3.i only), and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, C, and E are correct to the best of my knowledge.

PROPERTY OWNER'S OR OWNER'S AUTHORIZED REPRESENTATIVE'S NAME

ADDRESS

CITY

STATE

ZIP CODE

SIGNATURE

DATE

TELEPHONE

COMMENTS

Check here if attachment

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below.

- G1. The information in Section C was taken from other documentation that has been signed and embossed by a licensed surveyor, engineer, or architect who is authorized by state or local law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. PERMIT NUMBER	G5. DATE PERMIT ISSUED	G6. DATE CERTIFICATE OF COMPLIANCE/OCCUPANCY ISSUED
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building is: _____ ft. (m) Datum: _____

G9. BFE or (in Zone AO) depth of flooding at the building site is: _____ ft. (m) Datum: _____

LOCAL OFFICIAL'S NAME

TITLE

COMMUNITY NAME

TELEPHONE

SIGNATURE

DATE

COMMENTS

Check here if attachment

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0608	Date Applied For: 05/16/2005	CBL: 433 C008001
------------------------------	--	----------------------------

Location of Construction: 10 HELENE ST	Owner Name: ALBEE TODD S & PARKER B AL	Owner Address: 10 HELENE ST	Phone:
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/build rear "L" shaped addition connecting house to garage - Part 2 of 2 part permit & build 14' rear dormer	Proposed Project Description: Single Family Home/build rear "L" shaped addition connecting house to garage - Part 2 of 2 part permit & build 14' rear dormer
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/08/2006

Note: rec'd elevation certificate - ok to issue

Ok to Issue:

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 11/08/2006

Note:

Ok to Issue:

- 1) As discussed, the bottom of the structure must allow the free flow of water.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) The design load spec sheets for any engineered beam(s) must be submitted to this office.

Comments:

11/8/2006-tmm: ok to issue part 2 of 2 part permit.

5/27/2005-tmm: in shoreland and flood zone VE -

6/15/2005-tmm: left message w/owner - not allowed to build does not meet the 75' HWM setback

6/23/2005-tmm: spoke w/owner - went over requirements - told him I needed to check w/Marge to see if she had obtained state approval for this addition.

6/30/2005-tmm: spoke w/owner - mailed flood elev. Cert and shoreland info.

9/30/2005-tmm: met w/owner - went over what was allowed.

ELEVATION CERTIFICATE

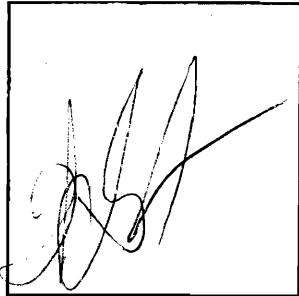
OMB No. 1660-0008
Expires February 28, 2009

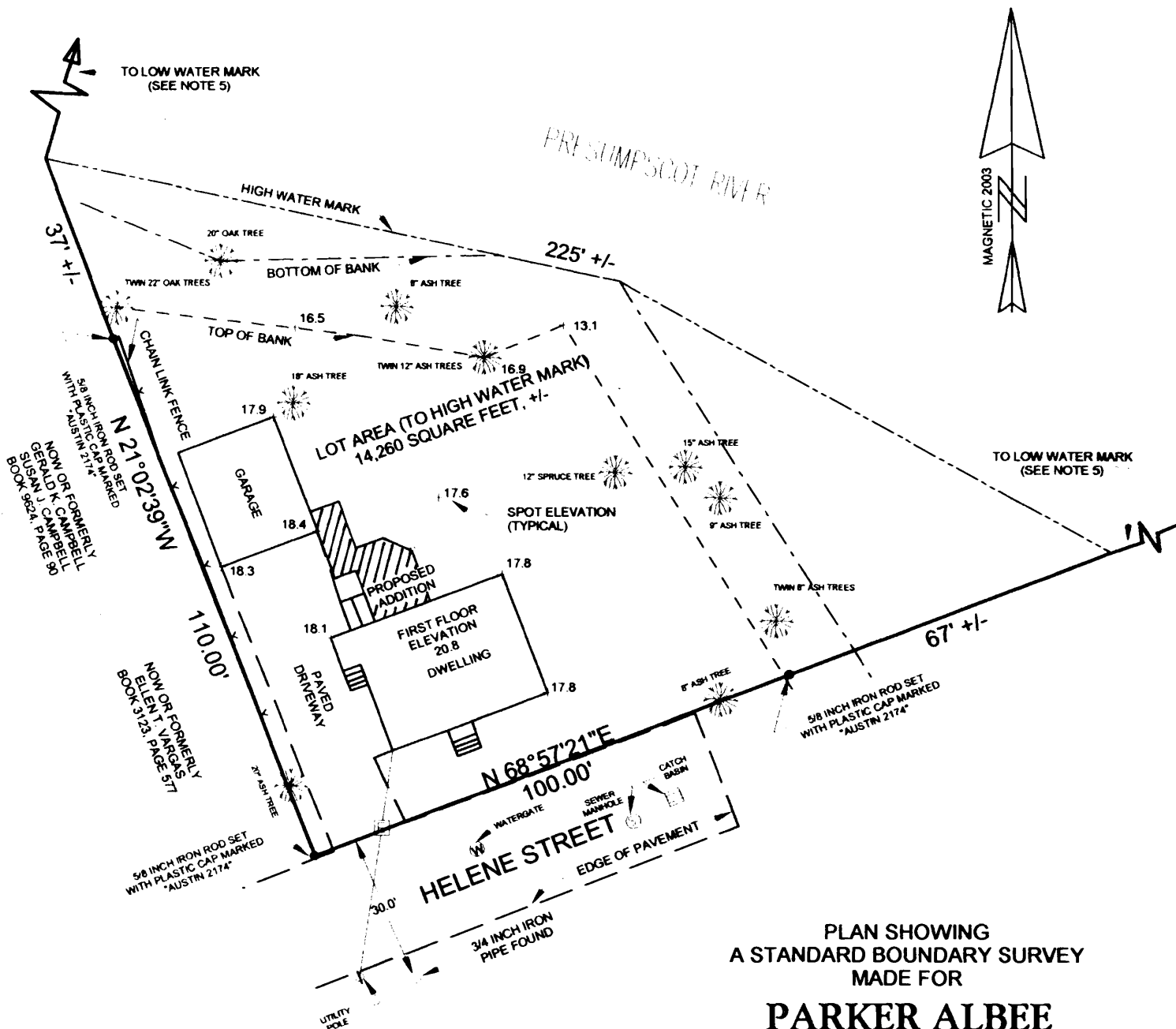
Important: Read the instructions on pages 1-8.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name <u>Parker Albee</u>	Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>10 Helene Street</u>	Company NAIC Number	
City <u>Portland</u> State <u>Maine</u> ZIP Code <u>04101</u>		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>Tax Map 433 Block C Lots 8,9,10,11</u>		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>43° 41' 11"</u> Long. <u>70° 15' 12"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>5</u>		
A8. For a building with a crawl space or enclosure(s), provide:		A9. For a building with an attached garage, provide:
a) Square footage of crawl space or enclosure(s) _____ sq ft	a) Square footage of attached garage _____ sq ft	
b) No. of permanent flood openings in the crawl space or enclosure(s) walls within 1.0 foot above adjacent grade _____	b) No. of permanent flood openings in the attached garage walls within 1.0 foot above adjacent grade _____	
c) Total net area of flood openings in A8.b _____ sq in	c) Total net area of flood openings in A9.b _____ sq in	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number <u>Portland Maine 230051</u>		B2. County Name <u>Cumberland</u>		B3. State <u>Maine</u>	
B4. Map/Panel Number <u>230051-0007</u>	B5. Suffix <u>C</u>	B6. FIRM Index Date <u>12-8-98</u>	B7. FIRM Panel Effective/Revised Date <u>12-8-98</u>	B8. Flood Zone(s) <u>AE</u>	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) <u>19</u>
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input checked="" type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete items C2.a-g below according to the building diagram specified in Item A7. Benchmark Utilized _____ Vertical Datum _____ Conversion/Comments _____	
Check the measurement used.	
a) Top of bottom floor (including basement, crawl space, or enclosure floor) <u>20.2</u> <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	b) Top of the next higher floor _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only) _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	d) Attached garage (top of slab) _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment in Comments) _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	f) Lowest adjacent (finished) grade (LAG) _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade (HAG) _____ <input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)	

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
<input type="checkbox"/> Check here if comments are provided on back of form.	
Certifier's Name <u>William C. Austin</u> License Number # <u>2174</u>	
Title <u>Land Surveyor</u> Company Name <u>Austin Land Surveying</u>	
Address <u>82 E Elderberry Lane</u> City <u>New Gloucester</u> State <u>Me</u> ZIP Code <u>04260</u>	
Signature <u>[Signature]</u> Date <u>4/27/06</u> Telephone <u>(202) 632-2959</u>	



PLAN SHOWING
A STANDARD BOUNDARY SURVEY
MADE FOR

PARKER ALBEE

OF LAND LOCATED AT 10 HELENE STREET
PORTLAND, MAINE

SCALE: 1 INCH = 30 FEET APRIL 23, 2003

SURVEYED BY:

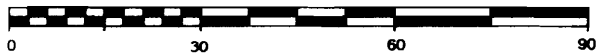
WILLIAM G. AUSTIN, PLS 2174
82 ELDERBERRY LANE
NEW GLOUCESTER, MAINE 04260
(207) 632-2959

REVISED TO SHOW ELEVATIONS: 1-05-06

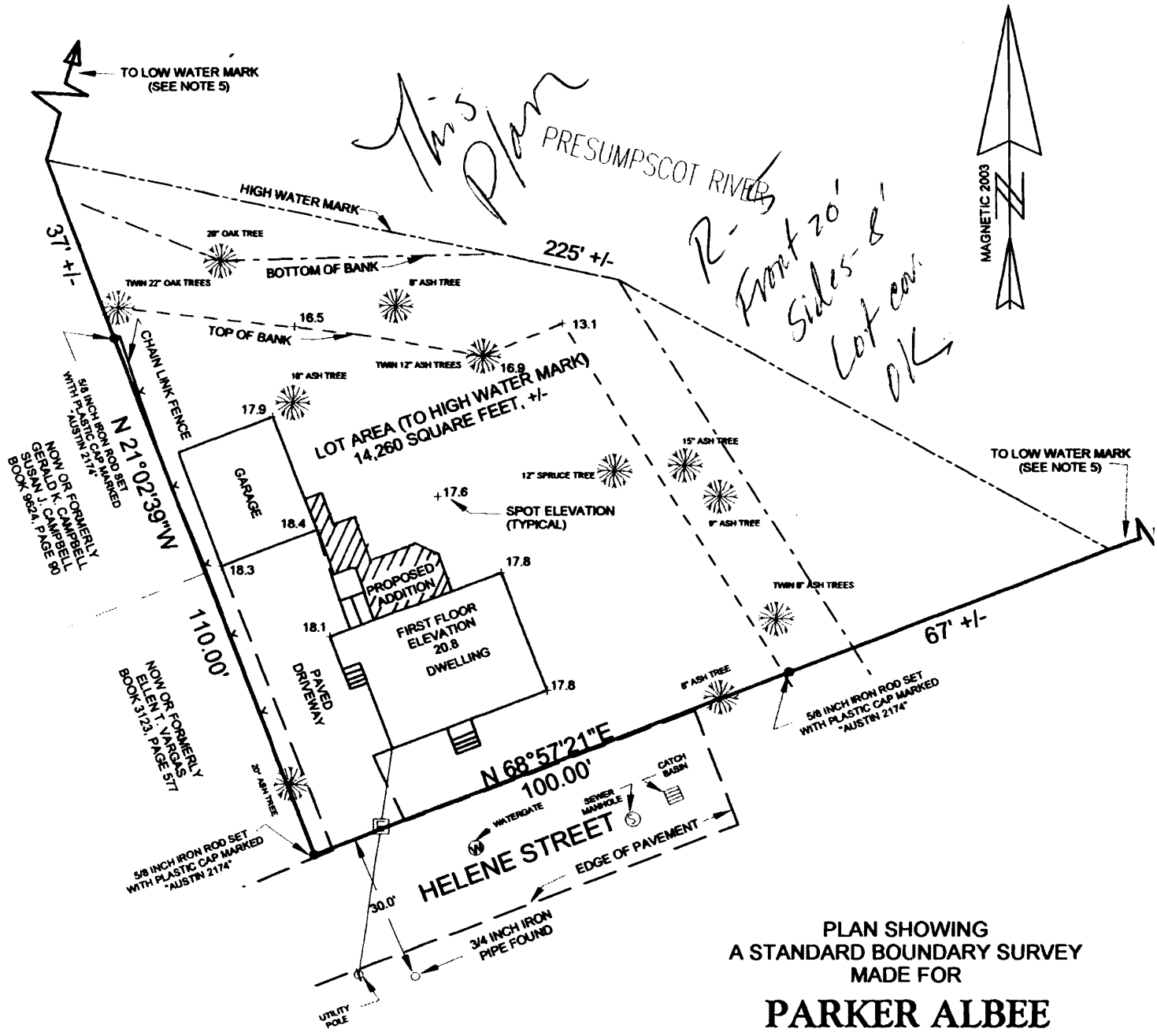
NOTES:

- 1.) DEED REFERENCE: THERESA C. ROSSI TO THERESA C. ROSSI, ANTHONY ROSSI FRANK A. ROSSI, AND JOSEPH R. ROSSI DATED APRIL 17, 1995 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11888, PAGE 210.
- 2.) PLAN REFERENCE: " OCEAN VIEW PARK, EAST DEERING ME." DATED AUGUST 3, 1898 BY A. L. ELIOT AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 8, PAGE 141.
- 3.) BEARINGS REFER TO MAGNETIC 2003 AND ARE BASED ON A HAND COMPASS READING.
- 4.) THIS SURVEY CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF LICENSURER FOR LAND SURVEYORS, CATEGORY 1, CONDITION 2. (EXCEPTING: NO REPORT AND NO NEW DESCRIPTIONS).
- 5.) BOUNDARY LINES EXTEND TO LOW WATER MARK.
- 6.) PARCEL SURVEYED IS SHOWN ON PORTLAND ASSESSORS MAP 433, BOCK C, LOTS 8, 9, 10, & 11.
- 7.) ELEVATIONS REFER TO N.G.V.D. 1929 DATUM.

GRAPHIC SCALE: 1 INCH = 30 FEET



[Signature]
WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR 2174



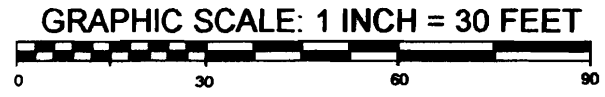
PLAN SHOWING
A STANDARD BOUNDARY SURVEY
MADE FOR
PARKER ALBEE

OF LAND LOCATED AT 10 HELENE STREET
PORTLAND, MAINE
SCALE: 1 INCH = 30 FEET APRIL 23, 2003

SURVEYED BY:
WILLIAM G. AUSTIN, PLS 2174
82 ELDERBERRY LANE
NEW GLOUCESTER, MAINE 04260
(207) 632-2959
REVISED TO SHOW ELEVATIONS: 1-05-08

NOTES:

- 1.) DEED REFERENCE: THERESA C. ROSSI TO THERESA C. ROSSI, ANTHONY ROSSI FRANK A. ROSSI, AND JOSEPH R. ROSSI DATED APRIL 17, 1995 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11888, PAGE 210.
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WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR 2174

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0968	Date Applied For: 06/29/2006	CBL: 433 C008001
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Location of Construction: 10 Helene St	Owner Name: Albee Todd S & Parker B Albee Jr	Owner Address: 10 Helene Street	Phone: () 781-4352
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	

Proposed Use: single family - Part 1 of 2 Part Permit - Place concrete tubes and build 1st floor deck	Proposed Project Description: Part 1 of 2 Part Permit - Place concrete tubes and build 1st floor deck
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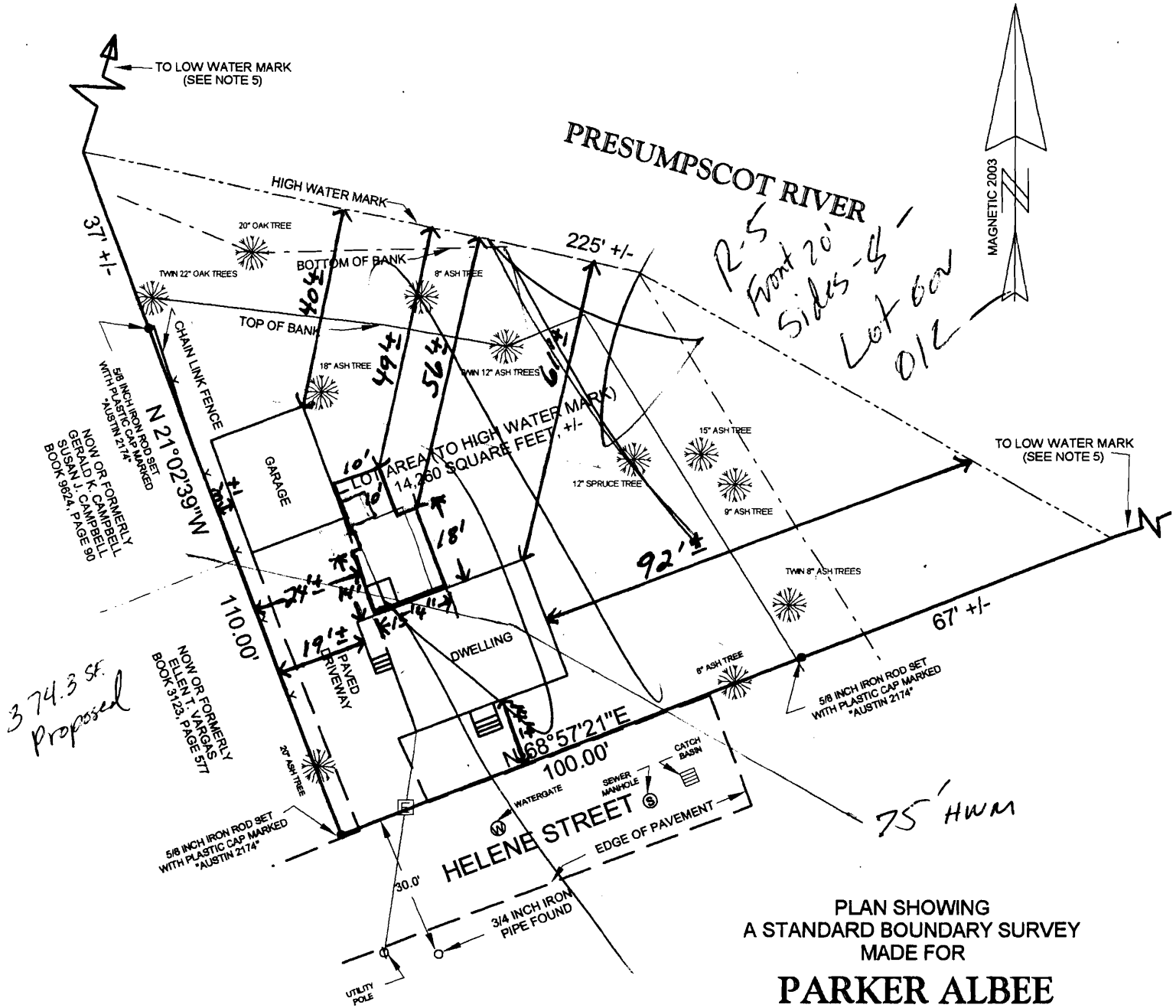
Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/29/2006

Note: **Ok to Issue:**

- 1) All Floodplain forms shall be appropriately filled out, signed and returned prior to the issuance of second part of this permit. The elevation of the floor shall be verified by a surveyor prior to the issuance of the permit.

Dept: Building **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 06/29/2006

Note: **Ok to Issue:**



374.3 SF Proposed

R-5
Front 20'
Sides 4'
Lot 600
012

PLAN SHOWING
A STANDARD BOUNDARY SURVEY
MADE FOR

PARKER ALBEE

OF LAND LOCATED AT 10 HELENE STREET
PORTLAND, MAINE

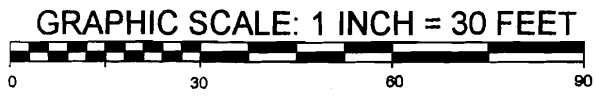
SCALE: 1 INCH = 30 FEET APRIL 23, 2003

SURVEYED BY:

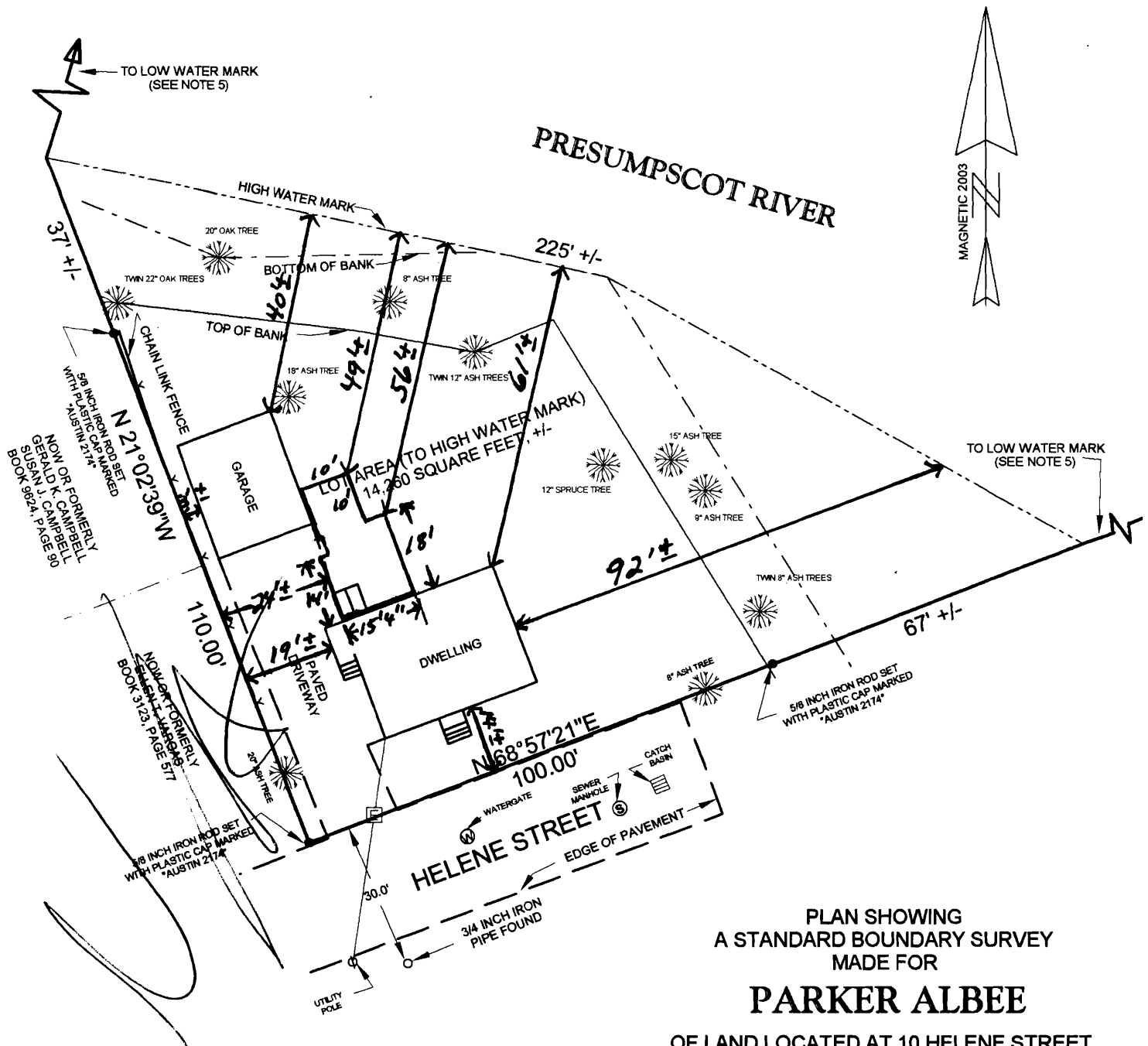
WILLIAM G. AUSTIN, PLS 2174
82 ELDERBERRY LANE
NEW GLOUCESTER, MAINE 04260
(207) 632-2959

NOTES:

- 1.) DEED REFERENCE: THERESA C. ROSSI TO THERESA C. ROSSI, ANTHONY ROSSI FRANK A. ROSSI, AND JOSEPH R. ROSSI DATED APRIL 17, 1995 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11888, PAGE 210.
- 2.) PLAN REFERENCE: " OCEAN VIEW PARK, EAST DEERING ME." DATED AUGUST 3, 1898 BY A. L. ELIOT AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 8, PAGE 141.
- 3.) BEARINGS REFER TO MAGNETIC 2003 AND ARE BASED ON A HAND COMPASS READING.
- 4.) THIS SURVEY CONFORMS TO THE STANDARDS OF THE MAINE BOARD OF LICENSURER FOR LAND SURVEYORS, CATEGORY 1, CONDITION 2. (EXCEPTING: NO REPORT AND NO NEW DESCRIPTIONS).
- 5.) BOUNDARY LINES EXTEND TO LOW WATER MARK.
- 6.) PARCEL SURVEYED IS SHOWN ON PORTLAND ASSESSORS MAP 433, BOCK C, LOTS 8, 9, 10, & 11.



WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR 2174



PLAN SHOWING
A STANDARD BOUNDARY SURVEY
MADE FOR
PARKER ALBEE

OF LAND LOCATED AT 10 HELENE STREET
PORTLAND, MAINE
SCALE: 1 INCH = 30 FEET APRIL 23, 2003

SURVEYED BY:
WILLIAM G. AUSTIN, PLS 2174
82 ELDERBERRY LANE
NEW GLOUCESTER, MAINE 04260
(207) 632-2959

NOTES:

- 1.) DEED REFERENCE: THERESA C. ROSSI TO THERESA C. ROSSI, ANTHONY ROSSI FRANK A. ROSSI, AND JOSEPH R. ROSSI DATED APRIL 17, 1995 AND RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 11888, PAGE 210.
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- 5.) BOUNDARY LINES EXTEND TO LOW WATER MARK.
- 6.) PARCEL SURVEYED IS SHOWN ON PORTLAND ASSESSORS MAP 433, BOCK C, LOTS 8, 9, 10, & 11.

GRAPHIC SCALE: 1 INCH = 30 FEET



WILLIAM G. AUSTIN
STATE OF MAINE
PROFESSIONAL LAND SURVEYOR 2174

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>10 HELENE STREET</u>		
Total Square Footage of Proposed Structure <u>700</u>	Square Footage of Lot <u>14,260 ±</u>	
Tax Assessor's Chart, Block & Lot	Owner:	Telephone:
Chart# <u>433-C-008-001</u> <u>433-C-011-001</u> Block# Lot#	<u>ALBEE, TODD S. & PARKER B.</u>	<u>701-4352</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME</u>	Cost Of Work: \$ <u>77,000</u> Fee: \$ <u>714⁰⁰</u>
Current use: <u>RESIDENCE (OWNER)</u>		
If the location is currently vacant, what was prior use: _____		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="margin: 0;">DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME</p> <div style="border: 1px solid black; padding: 5px; width: 100px; margin: 5px auto;"> <p style="margin: 0; text-align: center;">MAY 16 2005</p> </div> <p style="margin: 0; font-weight: bold; font-size: 1.2em;">RECEIVED</p> </div>
Approximately how long has it been vacant: _____		
Proposed use: <u>RESIDENCE</u>		
Project description: <u>Addition 700 Sq Ft</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>PARKER ALBEE</u>		
Mailing address:		
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>701-4352 OR 701-4334</u></p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Parker Albee</u>	Date: <u>May 16 2005</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

RESIDENCE ZONE - C



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, April 23, 1956

PERMIT ISSUED

01461 1956

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lots 53-54, 55, 56 Helene Street Within Fire Limits? _____ Dist. No. _____
 Owner's name and address Munson J. Strout, 35 Wayne Street Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address owner Telephone _____
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building 2 car garage No. families _____
 Last use _____ No. families _____
 Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot dwelling
 Estimated cost \$ 1,000. Fee \$ 4.00

General Description of New Work

To construct 20'x24' -2 car frame garage

**CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED**

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** owner

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate 8' Height average grade to highest point of roof 12'
 Size, front 20' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth
 Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch-gable Rise per foot 6" Roof covering asphalt roofing Class C Und. Lab.
 No. of chimneys _____



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Aug. 31, 1956

PERMIT ISSUED
AUG 31 1956
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 53, 54, 55 & 56 Helena St. Within Fire Limits? no Dist. No.
 Owner's name and address Munson I. Strout, 35 Wayne St. Telephone
 Lessee's name and address Telephone
 Contractor's name and address owner Telephone
 Architect Plans filed no No. of sheets
 Proposed use of building dwelling house No. families 1
 Last use No. families
 Increased cost of work 200. Additional fee 1.00

Description of Proposed Work

To finish off two rooms on second floor, 2x3 and 2x4 studs, 16" on centers, covered with sheetrock lath and plaster. Same on ceiling.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate Height average grade to highest point of roof
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof Rise per foot Roof covering
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind Dressed or full size?
 Corner posts Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor....., 2nd....., 3rd....., roof.....
 On centers: 1st floor....., 2nd....., 3rd....., roof.....
 Maximum span: 1st floor....., 2nd....., 3rd....., roof.....

Approved: ..

[Handwritten signatures and initials]



APPLICATION FOR AMENDMENT TO PERMIT

PERMIT ISSUED

NOV 8 1956

Amendment No. 2

Portland, Maine, Nov. 8, 1956

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496, pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 53, 54, 55 & 56 Helena St. Within Fire Limits? 110 Dist. No.
 Owner's name and address Munson I. Strout, 35 Wayne St. Telephone
 Lessee's name and address Telephone
 Contractor's name and address OWNER Telephone
 Architect Plans filed no. No. of sheets
 Proposed use of building dwelling house No. families 1
 Last use No. families
 Increased cost of work Additional fee 50

Description of Proposed Work

To provide roof over rear platform 3' x 6' 6" and enclose side walls.
 To partition off recreation room 12' x 16' in basement, 2x4 studs, 24" on centers, covered on inside with panel board.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate 8' 100' Height average grade to highest point of roof 10'
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof pitch-gable Rise per foot 10" Roof covering Asphalt Class C Und Lab
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind hemlock Dressing or full size? dressed
 Corner posts 4x6 Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Stds (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor, 2nd, 3rd, roof 2x6
 On centers: 1st floor, 2nd, 3rd, roof 24"
 Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

012-1118/56-028

RESIDENCE ZONE - C



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine April 23, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect alter, repair or demolish in all the following buildings, structures, equipment in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location Lots 53-54, 55, 56 Helene Street Within Five Feet of _____ Dist. No. _____
 Owner's name and address Hanson J. Strout, 35 Wayne Street Telephone _____
 Lessor's name and address _____ Telephone _____
 Contractor's name and address OWNER Telephone _____
 Architect _____ Specifications _____ Plans YES No. of stories 2
 Proposed use of building 2 CAR GARAGE No. families _____
 Last use _____ No. families _____
 Material _____ No. stories Two Style of roof _____ Roofing _____
 Other buildings on same lot dwelling
 Estimated cost \$ 1000. Tax \$ 4.00

General Description of New Work

To construct 20'x24' -2 car frame garage

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO OWNER**

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Height average grade to top of plate 8' Height average grade to highest point of roof 12'
 Size, front 20' depth 24' No. stories 2 solid or filled land? solid earth or rock? earth
 Material of foundation concrete slab Thickness, top _____ bottom _____ cellar _____
 Material of underpinning _____ Height _____ Thickness _____
 Kind of roof pitch-gable Rise per foot 6" Roof covering asphalt roofing Class C Und. lab.
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor concrete, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor _____, 2nd _____, 3rd _____, roof 24"
 Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof 10'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot 0, to be accommodated 2 number commercial cars to be accommodated 0
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 2

Portland, Maine, Nov. 8, 1956

PERMIT ISSUED
NOV 9 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location Lots 53, 54, 55 & 56 Helona St. Within Fire Limits? Dist. No.
 Owner's name and address ..Nunson I. Strout, 35 Wayne St. Telephone
 Lessee's name and address Telephone
 Contractor's name and address Telephone
 Architect Plans filed No. of sheets
 Proposed use of buildingdwelling house..... No. families
 Last use No. families
 Increased cost of work Additional fee .50

Description of Proposed Work

To provide roof over rear platform 3' x 6' 6" and enclose side walls.
 To partition off recreation room 12' x 16' in basement, 2x4 studs, 24" on centers, covered on inside with panel board.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
 Height average grade to top of plate8' ~~10'~~ Height average grade to highest point of roof 10'
 Size, front depth No. stories solid or filled land? earth or rock?
 Material of foundation Thickness, top bottom cellar
 Material of underpinning Height Thickness
 Kind of roof pitch-gable Rise per foot ..10"..... Roof covering Asphalt Class C Unit Lab
 No. of chimneys Material of chimneys of lining
 Framing lumber—Kind hemlock Dressed or full size? dressed
 Corner posts ...4x6 Sills Girt or ledger board? Size
 Girders Size Columns under girders Size Max. on centers
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2nd 3rd roof 2x6
 On centers: 1st floor 2nd 3rd roof 24"
 Maximum span: 1st floor 2nd 3rd roof

Approved: OK-11/8/56-ags

Signature of Owner Nunson I. Strout

Approved: 11/8/56



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 1

Portland, Maine, Aug. 31, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 56/496 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location	Lots 53, 54, 55 & 56 Helena St.	Within Fire Limits?	no	Dist. No.	
Owner's name and address	Munson I. Strout, 35 Wayne St.	Telephone			
Lessee's name and address		Telephone			
Contractor's name and address	OWNER	Telephone			
Architect		Plans filed	no	No. of sheets	
Proposed use of building	dwelling house	No. families	1		
Last use		No. families			
Increased cost of work	200.	Additional fee	1.00		

Description of Proposed Work

To finish off two rooms on second floor, 2x3 and 2x4 studs, 16" on centers, covered with sheetrock lath and plaster. Same on ceiling.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor....., 2nd....., 3rd....., roof.....

On centers: 1st floor....., 2nd....., 3rd....., roof.....

Maximum span: 1st floor....., 2nd....., 3rd....., roof.....

Approved: OK-8/31/56-ags

Signature of Owner [Signature]

Approved: 8/31/56 [Signature]
Inspector of Buildings

PERMIT # 958 CITY OF Portland BUILDING PERMIT APPLICATION MAP # 1 LOT# 1

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: John Rageau call when ready
 Address: 11 Helene Street, Portland
 LOCATION OF CONSTRUCTION same 883-1597
 CONTRACTOR: owner SUBCONTRACTORS: 774-87 20

ADDRESS: _____

Est. Construction Cost: 879.00 Type of Use: single family

Past Use: _____

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain construct 4 1/2' x 24' deck

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date <u>AUGUST 1, 1988</u>	Subdivision: <u>Yes / No</u>
Inside Fire Lamin _____	Name _____
Bldg Code _____	Lot _____
Time Limit _____	Block _____
Estimated Cost <u>879.00</u>	Permit Expiration: _____
Value/Structure _____	Ownership: _____
Fee <u>25.00</u>	Public _____
	Private _____

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ **PERMIT ISSUED**
3. Type Ceiling: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: 11'6" @ 10'

Roof:

1. Truss or Rafter Size _____ Size _____
2. Sheathing Type _____ **City Of Portland**
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Fixtures _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District _____ Street Frontage Req. _____ Provided _____
 Required Setbacks: Front _____ Back _____ Side _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shore and Floodplain Mgmt _____ Special Exemption _____
 Other (Explain) _____
 Date Approved _____

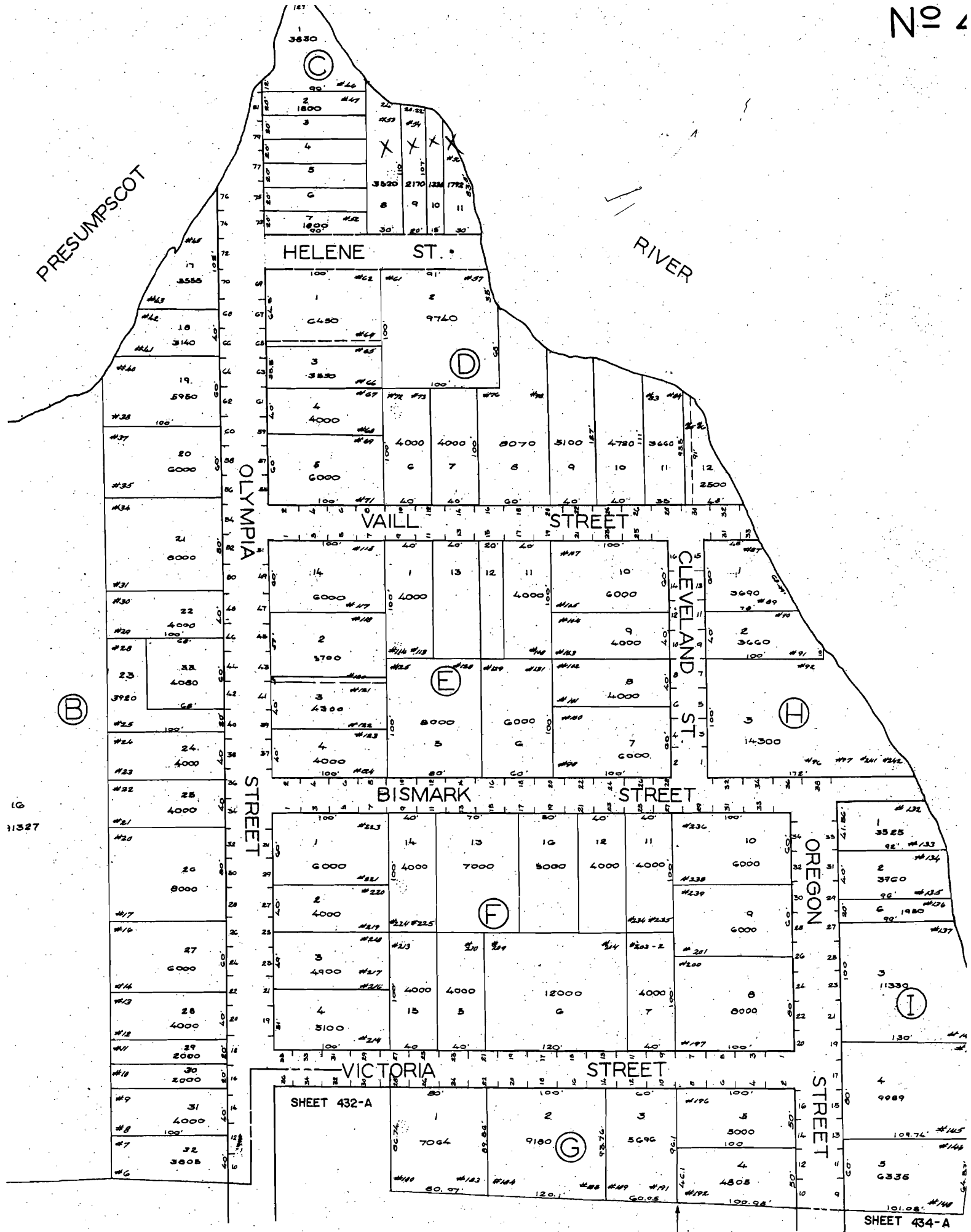
Permit Received By Joanne Guin

Signature of Applicant John P. Rageau Date August 1, 1988

Signature of CEO _____ Date _____

Inspection Dates _____





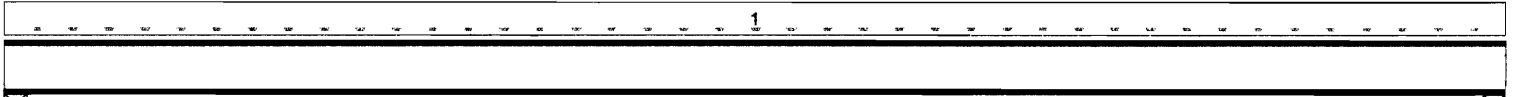
16
11327

SHEET 432-A

SHEET 434-A

Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1144

File Name: Albee Beams
Description: R01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Roof Joist (Longest Span)



15-06-00	B1, 5-1/2" DL 116 lbs SL 426 lbs
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Total Horizontal Product Length = 15-06-00

Load Summary		Load Type	Ref.	Start	End	Live	Dead	Snow	Wind	Roof Live	OCS
Tag	Description					100%	90%	115%	133%	125%	
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00		15 psf	55 psf			12"

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1893 ft-lbs	48.5%	115%	3	1 - Internal
End Reaction	510 lbs	32.0%	115%	3	1 - Right
Total Load Defl.	L/477 (0.37")	50.3%		3	1
Live Load Defl.	L/607 (0.291")	59.3%		3	1
Max Defl.	0.37"	74.0%		3	1
Span / Depth	18.6	n/a			1

Disclosure
Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

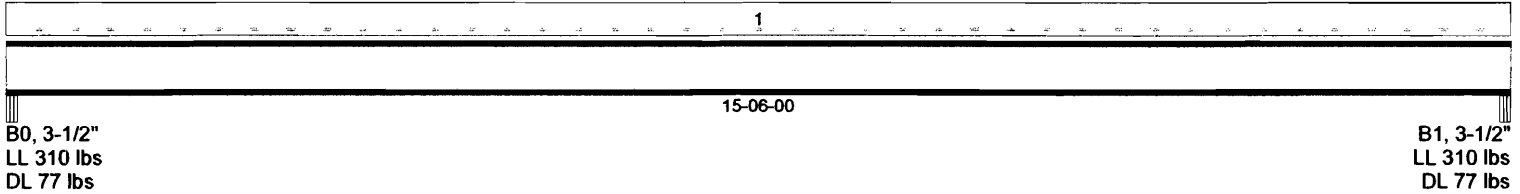
Bearing Supports	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified
B1	Wall/Plate 5-1/2" x 2-1/2"	543 lbs	n/a	n/a	Unspecified

Notes
Design meets User specified (L/240) Total load deflection criteria.
Design meets User specified (L/360) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.
Member Slope = 0, consider drainage.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCi®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1144

File Name: Albee Beams
Description: J01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Floor Joist (Longest Span)



Total Horizontal Product Length = 15-06-00

Load Summary

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	OCS
1	Standard Load	Unf. Area	Left	00-00-00	15-06-00	40 psf	10 psf				12"

Controls Summary

	Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment	1414 ft-lbs	41.6%	100%	1	1 - Internal
End Reaction	373 lbs	26.9%	100%	1	1 - Right
Total Load Defl.	L/729 (0.248")	49.4%		1	1
Live Load Defl.	L/912 (0.198")	52.7%		1	1
Max Defl.	0.248"	49.5%		1	1
Span / Depth	19.0	n/a			1

Bearing Supports

	Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0	Beam 3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0
B1	Beam 3-1/2" x 2-1/2"	388 lbs	5.9%	n/a	Versa-Lam 2.0

Notes

Design meets User specified (L/360) Total load deflection criteria.
Design meets User specified (L/480) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.
Composite EI value based on 23/32" thick sheathing glued and nailed to joist.

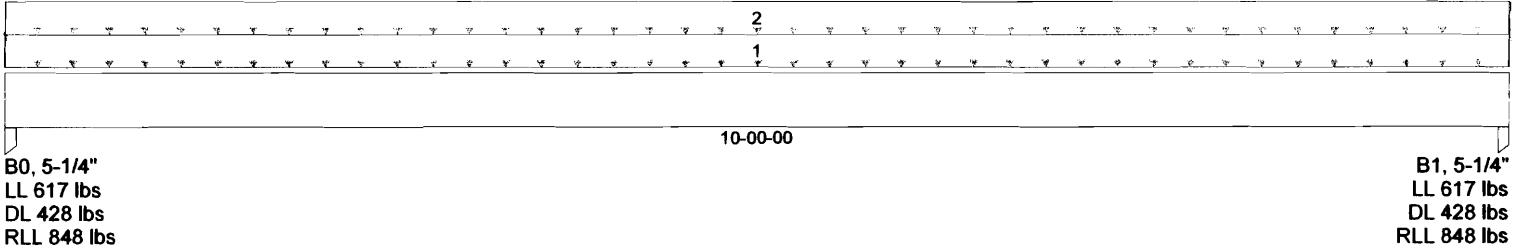
Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

Job Name: Parker Albee Addition
Address: 10 Helene Street
City, State, Zip: Portland, ME
Customer:
Code reports: ESR-1040

File Name: BC CALC Project
Description: FB01
Specifier: JCT
Designer: JCT
Company: FroMus Design & Drafting, LLC
Misc: Floor Beam (Longest Span)



Total Horizontal Product Length = 10-00-00

Load Summary

Tag	Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	Trib.
1	1st Floor Load	Unf. Area	Left	00-00-00	10-00-00	40 psf	10 psf				03-01-00
2	Roof Load	Unf. Area	Left	00-00-00	10-00-00		15 psf			55 psf	03-01-00

Controls Summary

Value	% Allowable	Duration	Load Case	Span Location
Pos. Moment 4049 ft-lbs	23.2%	125%	4	1 - Internal
End Shear 1427 lbs	18.1%	125%	4	1 - Left
Total Load Defl. L/890 (0.125")	40.4%		4	1
Live Load Defl. L/1151 (0.096")	41.7%		4	1
Max Defl. 0.125"	24.9%		4	1
Span / Depth 11.7	n/a			1

Disclosure

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Bearing Supports

Dim. (L x W)	Value	% Allow Support	% Allow Member	Material
B0 Post 5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified
B1 Post 5-1/4" x 3-1/2"	1893 lbs	n/a	13.7%	Unspecified

Cautions

Column at Bearing B0 analyzed for bearing only, column analysis has not been performed.
Column at Bearing B1 analyzed for bearing only, column analysis has not been performed.

Notes

Design meets User specified (L/360) Total load deflection criteria.
Design meets User specified (L/480) Live load deflection criteria.
Design meets arbitrary (0.5") Maximum load deflection criteria.

BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Call Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- Call Foundation Inspection: Prior to placing ANY backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Patrick Alby 6/30/08
Signature of Applicant/Designee Date
Paul Hartman 6/30/08
Signature of Inspections Official Date
CBL: 433 0008 Building Permit #: 060968