

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

LAVERTU EDWARD L & MARTHA B LAVERTU/self

Located at

70 OLYMPIA ST

PERMIT ID: 2013-00275

CBL: 433 B017001

has permission to **Demo existing 12' x 22' garage, then relocate/rebuild 12' x 22' garage attached to the house by a 6'2" x 11'3" one story addition.**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

A handwritten signature in black ink, appearing to be 'AR' or similar initials, written over a horizontal line.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

PERMIT ID: 2013-00275

Located at: 70 OLYMPIA ST

CBL: 433 B017001

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Pre-Demolition Inspection
Close-in Plumbing/Framing
Electrical - Residential
Fire Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00275	Date Applied For: 02/12/2013	CBL: 433 B017001
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Location of Construction: 70 OLYMPIA ST	Owner Name: LAVERTU EDWARD L & MART	Owner Address: 70 OLYMPIA ST	Phone: (207) 615-1708
Business Name:	Contractor Name: self	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	

Proposed Use: Single Family	Proposed Project Description: Demo existing 12' x 22' garage, then relocate/rebuild 12' x 22' garage attached to the house by a 6'2" x 11'3" one story addition.
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Dept: Zoning	Status: Approved w/Conditions	Reviewer: Ann Machado	Approval Date: 02/28/2013
Note: The whole structure is within the 75' setback of the high water mark. Using 30% rule to add floor area and volume. The proposed addition is no closer to the water. The 30% increase in volume and floor area is based on just the existing floor area and volume of the garage. Existing floor area of garage is 274.65 sf.. 30% is 82.39 sf. The proposed addition is 69.38 sf. Existing volume is 2804 cu ft. 30% increase is 841.2 cu ft. the proposed volume of addition is 719.88 cu ft.			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. This permit is being approved on the basis of plans submitted including the revised plans on 2/28/13 & 3/8/13. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved w/Conditions	Reviewer: Jon Rioux	Approval Date: 03/25/2013
Note:			OK to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery Where the roof pitch is less than three units vertical in 12 units horizontal (25-percent slope), structural members that support rafters and ceiling joists, such as ridge beams, hips and valleys, shall be designed as beams. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground. Utility connections. Service utility connections shall be discontinued and capped in accordance with the approved State and City or Portland rules and requirement. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers. 			

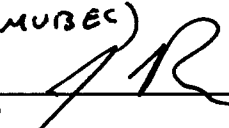
Location of Construction: 70 OLYMPIA ST	Owner Name: LAVERTU EDWARD L & MART	Owner Address: 70 OLYMPIA ST	Phone: (207) 615-1708
Business Name:	Contractor Name: self	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	

- 7) A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers.
 Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
 Stairway headroom shall be not less than 6 feet 8 inches measured vertically from the sloped plane adjoining the tread nosing or from the floor surface of the landing or platform.
 The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00275	Issue Date:	CBL: 433 B017001
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Location of Construction: 70 OLYMPIA ST	Owner Name: LAVERTU EDWARD L & MARTHA B LAVERTU	Owner Address: 70 OLYMPIA ST PORTLAND, ME 04103	Phone: (207) 615-1708
Business Name:	Contractor Name: self	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Attached	Zone: R5
Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$170.00	Cost of Work: \$15,000.00
Proposed Project Description: Demo existing 12' x 22' garage, then relocate/rebuild 12' x 22' garage attached to the house by a 6'2" x 11'3" one story addition.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	INSPECTION: Use Group: R3 Type: SB IRC, 2009 (MUBEC)
		Signature: 	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: bjs	Date Applied For: 02/12/2013	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland building <i>W/in 75' setback</i> <input type="checkbox"/> Wetland <i>meets 30% floor area!</i> <input type="checkbox"/> Flood Zone <i>volume increase</i> <input type="checkbox"/> Subdivision <i>see zoning</i> <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>2/28/13</i> <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

3-4-13 DWN rd 615-1708 Pre demo OK

garage
/

11' 3"

 / curb



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>70 Olympia Street/Portland 04103</u>		
Total Square Footage of Proposed Structure/Area <u>345.75 sq ft.</u>	Square Footage of Lot <u>3555 sq ft.</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>433 801 7001</u>	Applicant: (must be owner, lessee or buyer) Name <u>Edward Lavertu</u> Address <u>70 Olympia Street</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>207-615-1708</u>
Lessee/DBA RECEIVED FEB 12 2013 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name _____ Address _____ City, State & Zip _____	Cost of Work: \$ <u>15,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>170</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>To use as garage/Storage and entry</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Remove existing garage. Build new garage with addition. Please see plans for more details</u>		
Contractor's name: <u>Ed Lavertu</u> Email: <u>edlavertu@yahoo.com</u> Address: <u>70 Olympia Street</u> City, State & Zip <u>Portland ME 04103</u> Telephone: <u>207-615-1708</u> Who should we contact when the permit is ready: <u>Ed Lavertu</u> Telephone: <u>207-615-1708</u> Mailing address: <u>70 Olympia Street, Portland ME, 04103</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 2/11/13

This is not a permit; you may not commence ANY work until the permit is issued



Demolition Call List & Requirements

Site Address: 70 Olympia Street

Owner: Edward Laventru

Structure Type: Garage

Contractor: Edward Laventru

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>301076850 2/11/13</u>
Unitil	^{MARK ALLEN} 1-207-541-2533	<u>MARK Allen 2/11/13</u>
Portland Water District	761-8310	<u>Alicia 2/11/13</u>
Dig Safe	1-888-344-7233	<u>20130700891 2/11/13</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Jeremiah Bartlett 2/11/13</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822	<u>Carol Merritt 2/11/13</u>
Historic Preservation	874-8726	<u>Deb Andrews/Rob Wiener 2/11/13</u>
DEP – Environmental (Augusta)	287-2651	<u>SANDY 2/11/13</u> <u>FAX # 287-6220</u>

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company
- 5) Electronic files in pdf format are also required in addition to hard copy

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 – No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation.

Signed: [Signature]

Date: 2/11/13

or more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

2/11/13

To:

Neighbors of 70 Olympia Street,

This letter is to notify you that the owners of 70 Olympia Street are seeking a permit to demolish a garage located at 70 Olympia Street. If and when the demolition permit is granted from the City of Portland, demolition of stated garage shall commence thereafter.

Sincerely, Edward Lavertu







ASBESTOS BUILDING DEMOLITION NOTIFICATION

MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION
Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, Maine 04333



Maine law requires the filing of the ASBESTOS BUILDING DEMOLITION NOTIFICATION with the Department prior to demolition of any building except a single-family home.

Building owners are required to provide this notification of the demolition of a building to the DEP at least 5 working days prior to the demolition. This notification is not required before the demolition of a single-family residence or related structure (e.g., garage, shed, barn). It is also not required if previous notification of the demolition has been provided to the DEP as part of an asbestos abatement project notification. *Demolition* means the tearing down or intentional burning of a building or part of a building.

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a DEP-licensed Asbestos Consultant is required for all buildings except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector. If materials that may contain asbestos are found, then you can either assume they are ACM or hire a DEP-licensed Asbestos Consultant to test the materials.

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the *Maine Asbestos Management Regulations* by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.maine.gov for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the DEP requests that municipalities have applicants for municipal demolition permits complete this form and fax it to the DEP at 207-287-7826. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

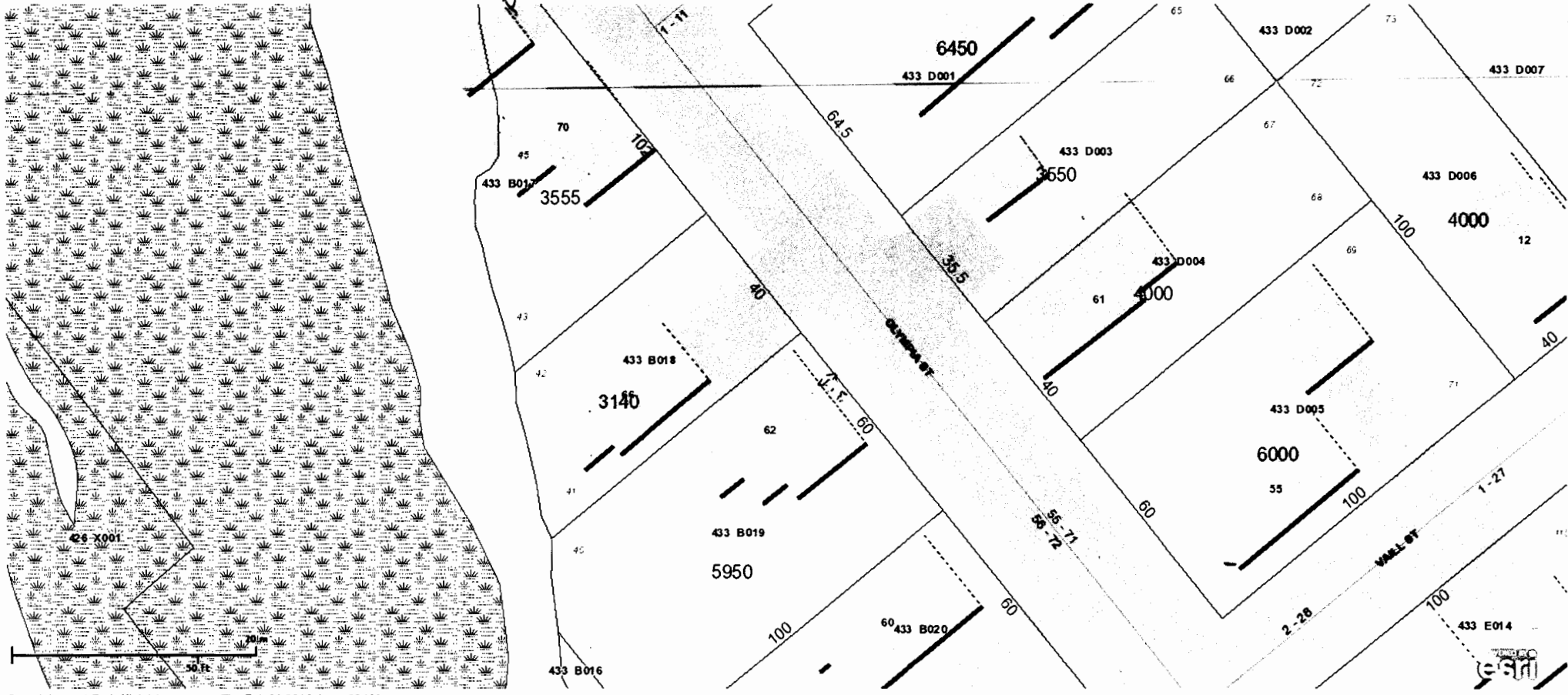
Were regulated asbestos-containing building materials found? yes no

property address: <div style="font-size: 1.2em; font-family: cursive;">70 Olympia Street Portland ME 04103</div>	building description: <input type="checkbox"/> pre-1981 residential with 2-4 units <input type="checkbox"/> post-1980 residential with 2-4 units <input checked="" type="checkbox"/> other: <div style="font-size: 1.2em; font-family: cursive;">Single Family</div>
asbestos survey/inspection performed by: (name & address)	asbestos abatement contractor
telephone: property owner: (name & address)	telephone: demolition contractor: (name & address)
<div style="font-size: 1.2em; font-family: cursive;">Edward Lavertu 70 Olympia Street, Portland ME 04103</div> telephone: <div style="font-size: 1.2em; font-family: cursive;">207-615-1708</div>	<div style="font-size: 1.2em; font-family: cursive;">Edward Lavertu 70 Olympia Street, Portland ME 04103</div> telephone: <div style="font-size: 1.2em; font-family: cursive;">207-615-1708</div>
demolition start date: <div style="font-size: 1.2em; font-family: cursive;">To Be Determined</div>	demolition end date: <div style="font-size: 1.2em; font-family: cursive;">TBD</div>

This demolition notification does not take the place of the Asbestos Project Notification if applicable

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT		
<div style="font-size: 1.5em; font-family: cursive;">Edward Lavertu</div> Print Name: Owner/Agent	<div style="font-size: 1.5em; font-family: cursive;">Owner</div> Title	<div style="font-size: 1.5em; font-family: cursive;">[Signature]</div> Signature
<div style="font-size: 1.2em; font-family: cursive;">207-615-1708</div> Telephone #	FAX #	<div style="font-size: 1.2em; font-family: cursive;">2/11/13</div> Date

70 Olympia Street



- Met w/ John Rasze 2/26/13. The front setback for #62 Olympia Street is 3' based on DPS, Engineering Division Level Book.

Jensen Baird
Gardner & Henry

OCT 06 2004

KENNETH M. COLE III
NICHOLAS S. NADZO
FRANK H. FRYE
DAVID J. JONES
MICHAEL A. NELSON
RICHARD H. SPENCER, JR.
ALAN R. ATKINS
RONALD A. EPSTEIN
WILLIAM H. DALE
JOSEPH H. GROFF III
F. BRUCE SLEEPER
DEBORAH M. MANN

LESLIE E. LOWRY III
PATRICIA MCDONOUGH DUNN
MICHAEL J. QUINLAN
R. LEE IVY
FRANK K. N. CHOWDRY
NATALIE L. BURNS
SALLY J. DAGGETT
BRENDAN P. RIELLY
SUZANNE R. SCOTT
MARCIA G. CORRADINI
J. COLBY WALLACE

ATTORNEYS AT LAW
TEN FREE STREET
P.O. BOX 4510
PORTLAND, MAINE 04112-4510
(207) 775-7271

TELECOPIER (207) 775-7935

www.jbgh.com

MERTON G. HENRY
WALTER E. WEBBER
JAMES E. KAPLAN
OF COUNSEL

RAYMOND E. JENSEN
(1908-2002)

KENNETH BAIRD
(1914-1987)

M. DONALD GARDNER
(1918-2003)

YORK COUNTY
OFFICE

11 MAIN STREET, SUITE 4
KENNEBUNK, MAINE 04043
(207) 985-4676
TELECOPIER (207) 985-4932

October 6, 2004

RECEIVED

FEB 26 2013

Dept. of Building Inspections
City of Portland Maine

John Giles
Portland Public Works
55 Portland Street
Portland, ME 04101

Dear John:

We have followed through on checking the title to the parcels adjoining the Plan of Ocean View Park and we have been able to make a determination in regard to the ownership of the land between the plotted lots and the thread of the river.

Specifically, we have located a deed dated April 3, 1907 that was recorded in Cumberland County Registry of Deeds in Book 804, Page 177, a copy of which we enclose. As you may remember, the premises from which the subdivision was derived were conveyed into Mr. Wilbur by Mark Jordan on March 2, 1898 in Book 666, Page 418. Apparently, Mr. Wilbur attempted to correct the fact that the subdivision survey did not run to the thread of the river. The enclosed deed is a deed from him to all of the grantees of the lots shown on that plan of any interest that he might have that had not previously been conveyed of every nature to the flats. There is certainly an interesting question of the legal effectiveness of this deed since it does not identify the actual grantees but names them generally and does not specify whether they are acquiring property adjoining their lots or in common. However, clearly Mr. Wilbur intended to convey the property back in 1907 to the owners who had already acquired lots on the Plan. To the extent that this deed may be considered legally effective, then the confirmation of the Bureau of Public Lands to the Stuckeys was unnecessary. Apparently no one else has discovered this particular deed to date. Our opinion would be that given its age, a court would probably interpret it as intending to convey the fee in the land adjoining the lots to the upland owners to the thread of the Presumpscot River.

Jensen Baird
Gardner & Henry

October 6, 2004
Page 2

Once you have had a chance to review the enclosed, please feel free to call me at your convenience.

Very truly yours,

A handwritten signature in black ink, appearing to be 'KMC', written over a horizontal line.

Kenneth M. Cole III

KMC/ab

Enclosures

cc: Donna Katsiaticas, Esq.

from the day of the date hereof, with interest on said sum at the rate of six per centum per annum, during said term and for such further time as said principal sum or any part thereof shall remain unpaid, payable semi-annually, then this Deed, as also one certain promissory note bearing even date with these presents, given by the said Mary Quincy to the said Arthur T. Knight to pay the sum and interest at the time aforesaid, shall both be void, otherwise shall remain in full force.

And the said Grantor hereby covenants and agrees with said Grantee that the right of redeeming the above mortgaged premises shall be forever foreclosed one year next after the commencement of foreclosure by any of the methods now provided by Law.

In Witness Whereof I, the said Grantor, and Charles B. Quincy husband of the said Mary Quincy, joining in this deed as Grantor, and relinquishing and conveying his right by descent and all other rights in the above described premises, have hereunto set our hands and seals this second day of April, in the year of our Lord one thousand nine hundred and seven.

Signed, Sealed and Delivered

in presence of
William Lyons, to both

Mary Quincy Seal
Charles B. Quincy Seal

State of Maine }
Cumberland Co.

April 2nd, A.D. 1907.

Personally appeared the above named Mary Quincy and acknowledged the above instrument to be her free act and deed.

Before me,
William Lyons
Justice of the Peace.

Recorded April 4, 1907 at 8h. 30 m. A.M. and recorded according to the original.
Attest,
Frank G. Clark Register.

Know all Men by these Presents, that I, Jacob C. Shelton of Brookline, Shelton in the county of Norfolk and state of Massachusetts, do hereby renounce, release, and forever quit claim unto the grantee of the lots shown on the (please show drawings or mentioned all my right, title, and interest, not previously conveyed, of every name and nature to the State as set forth under date from the said Grantor dated August 2, 1848, and recorded in Cumberland County Registry of Deeds, August 4, 1848, and as shown on plan of lots of Ocean View Park, said plan being made by A. L. Eliot, Surveyor, dated

August 3, 1876, and recorded in Cumberland County Registry of Deeds, Book 1141. It is therefore understood, however, that this does not convey any title to any part of the lot shown on said plan.

To have and to hold the granted premises, with all the privileges and appurtenances thereto belonging, to the said lot owners and their heirs and assigns, to their own use and behoof forever.

In witness whereof I, the said Jacob St. Helms, hereunto set my hand and seal this third day of April in the year one thousand eight hundred and seven

Signed, and sealed,
in presence of
T. D. Hall

Jacob St. Helms Seal

Commonwealth of Massachusetts

Suffolk ss.

April 3, 1877. This personally appeared the above named Jacob St. Helms and acknowledged the foregoing instrument to be his free act and deed, before me.

Haller B. Rogers
Notary Public

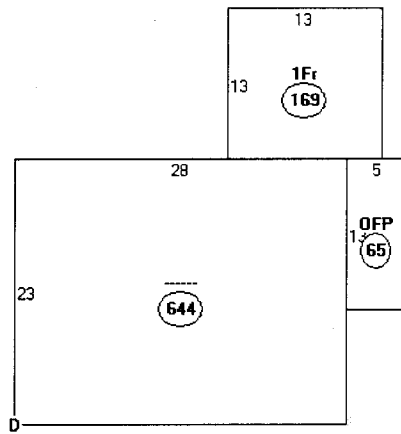


Received April 4, 1877 at 8h. 31 m. A.M. and recorded according to the original.

Frank L. Clark Register

Mechanics
Associates
vs.
James
O'Brien

Know all Men by these presents, that Mechanics Loan and Building Association, a corporation duly organized and existing under the laws of the State of Maine, and having its place of business at Portland, Maine, in consideration of One Dollar and other valuable considerations paid by Jamesette Craig of said Portland, County of Cumberland and State of Maine, the receipt whereof I do hereby acknowledge, do hereby remise, release, forgive, sell, and convey, and forever quit claim unto the said Jamesette Craig, her heirs and assigns forever, a certain lot or parcel of land situated in said Portland, bounded and described as follows, to wit: Commencing at a point on the easterly side line of a private way twenty-one (21) feet wide, distant south forty-eight (48) degrees, fifty (50) minutes west, one hundred and twenty-eight and six tenths (128.6) feet from the intersection of the easterly side of said private way with the westerly side of said Corlane Street; thence from said first named point southeasterly at right angles with said easterly line of said private way ninety and three tenths (90.3) feet to land now or formerly of Louis Goddard; thence southeasterly by the line of said Goddard's property fifty-five (55) feet to a point; thence north westerly and parallel with the first named bound to the easterly side of said



Descriptor/Area

- A: ----
644 sqft
- B: 1Fr
169 sqft
- C: OFF
65 sqft
- ~~B: OFF
264 sqft~~

= 878

Jonathan Rioux - Re: 70 olympia street garage

From: Jonathan Rioux
To: ed lavertu
Date: 3/11/2013 11:05 AM
Subject: Re: 70 olympia street garage

Morning.

Few questions, see below:

- Footing Dimensions/Depth (& wall thickness)(Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)
- Anchor Bolts/Straps, spacing (Section R403.1.6)
- Finish interior headroom(s)
- Interior/ exterior steps, door headers, & insulation
- All wall with less than 3:12 slope roof must be treated as a bearing wall.
- Framing & Connections (Section R802.3 & R802.3.1)

Jonathan Rioux
 Code Enforcement Officer/ Plan Reviewer

City of Portland
 Planning and Urban Development Department
 Inspection Services Division
 389 Congress St. Rm 315
 Portland, ME 04101
 Office: 207.874.8702
 Support Staff: 207.874.8703
jrioux@portlandmaine.gov

>>> ed lavertu <edlavertu@yahoo.com> 3/11/2013 8:46 AM >>>

Goodmorning Mr. Rioux,

per our phone conversation dating 3/6/13 at about 1:30pm, I am sending you the up to date design changes regarding the proposed garage and addition at 70 Olympia Street. Please see attachment of sketches in PDF format.

The reason for these minor design changes are due to the setback requirements which caused the addition/breezeway portion of the plan to decrease in size. The original plan was drawn to show the addition with a 6'2" width and a 13'3" length. After being reviewed by Ann in zoning, it was found that the addition needed to be set back from the street by 11.5 feet, causing the revised floor plan to become 6'2" wide by 11'2" in length.

The lost amount in square feet and volume were enough to eliminate the flat roof on the garage and have a continuous sloped roof across the entire length as you will see in attached files.

Also, I have shown the computations of volume with the new roof area above the garage and compared them to the original volumes times the 30% allowable increase. Please see attachment.

You should find three pages in the attachment; one showing the new floor plan, one showing the new front elevation with sq.ft. and volume computations, and one roof plan.

Thank you for your time Mr. Rioux. Please review and call with any questions.

Sincerely,

Edward Lavertu
207-615-1708



DECLARATION OF CONFIRMATION
of Submerged or Intertidal Land filled prior to October 1, 1975

The Bureau of Public Lands, by and through its Director, pursuant to Title 12 M.R.S.A. Section 1865, hereby declares that the following parcel of submerged or intertidal land has been confirmed to be filled land on October 1, 1975, to wit:

A certain parcel of land situated in the Town of Portland, County of Cumberland, State of Maine, more particularly described as follows:

See Attachment A

Portions of upland may be included in the above description.

This Declaration shall not be construed to create any rights of ownership in any person or entity, but is confirmation only of the status of the land. This Declaration shall not create a cause of action on behalf of any person against the State for damages or otherwise arising out of State ownership of lands prior to the effective date of P.L. 1981, c. 532. This Declaration shall not constitute a decision by the State as to which claimant, if any, may have title, and the State, its officers, agents and employees shall not be liable to any person by reason of having made this Declaration. This Declaration shall not be construed to affect the rules of law otherwise in force relating to accretion or reliction of filled or other lands along the great ponds or the coast, nor to either convey or release rights or interests acquired by the State in filled lands by gift, purchase or the power of eminent domain, or to affect any obligations, rights or liabilities created by the operation of 4701 to 4809 as later replaced by Title 38 M.R.S.A. 471 to 478 or by permits issued under those sections.

Dated: December 11, 2013

BUREAU OF PARKS AND LANDS

By: David J. Soucy
David J. Soucy, Director

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FEB 26 2013

Dept. of Building Inspections
City of Portland Maine

**Site & Topography Plan
Sq. Ft./Volume Computations
&
Special Construction
Specifications**

RECEIVED

FEB 26 2013

for

Dept. of Building Inspections
City of Portland Maine

**Proposed
Replacement of
Existing Garage
With New Addition**

**70 Olympia Street
Portland, Maine**

(Edward & Martha Lavertu: Owners)

TABLE OF CONTENTS

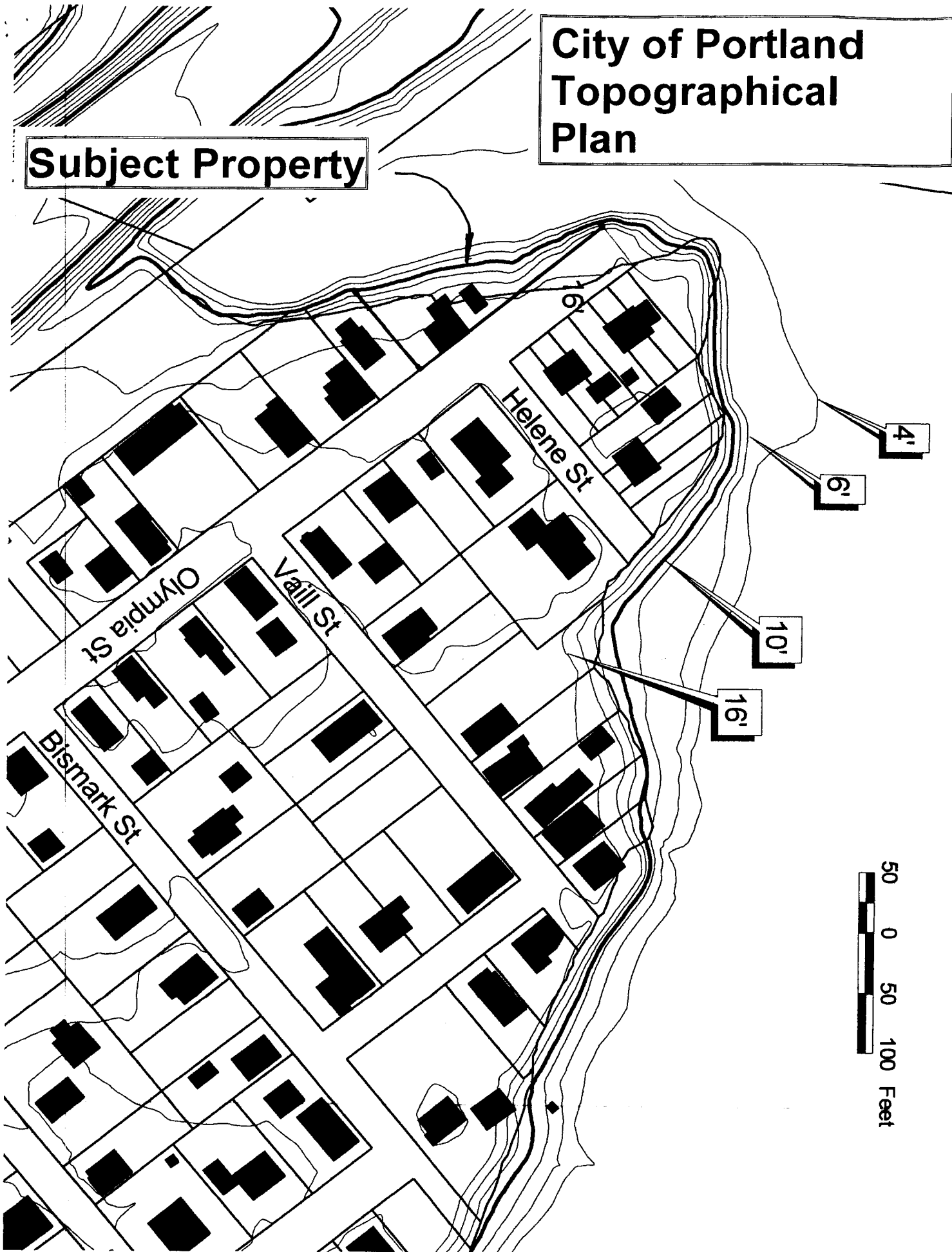
<u>Description</u>	<u>Pages</u>
SITE & TOPOGRAPHIC PLAN <i>(and Supportive Data)</i>	1 - 3
SQUARE FOOTAGES AND VOLUME COMPUTATIONS	4 - 6
SPECIAL CONSTRUCTION SPECIFICATIONS	7 - 8

Note: The Owner is a contractor by trade (Lavertu Construction, LLC) and will perform all necessary construction, except for excavation, framing and pouring of the foundation walls and concrete piers.

Note: All plans, computations and supportive data completed by John P. Rague, March 2012. Any questions or concerns should be addressed to him at 774-8720 or by email at: sandomhet2006@yahoo.com

City of Portland Topographical Plan

Subject Property



Square Footages and Volumes

Square Footages:

147" x 269" 39,543[#]

Existing Garage: 12'-3" Wide x 22'-5" Long 274.65 SF

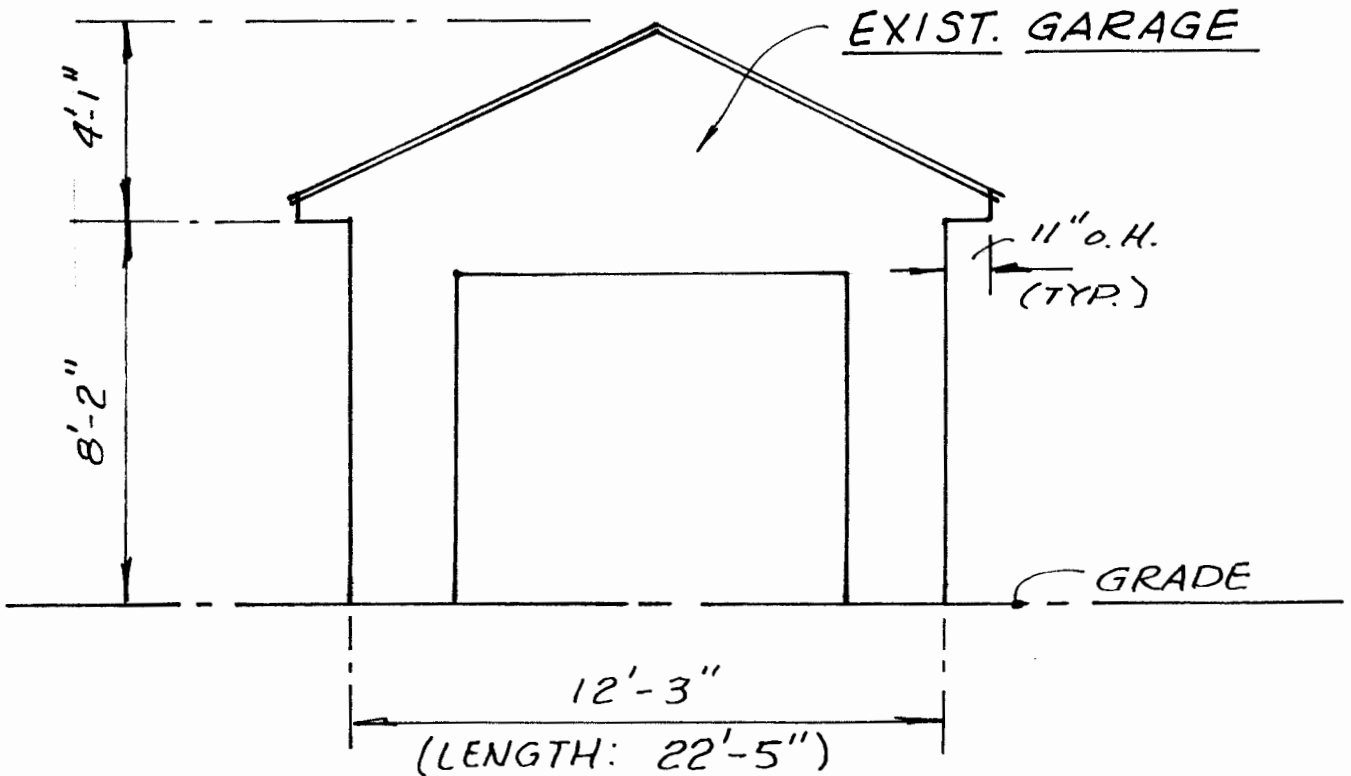
Allowable Increase: 30% = Total Square Footage Allowed: 357.04 SF

Allowable Sq. Footage less Existing Sq. Footage: 82.39 SF
(Allowable Sq. Footage Increase)

Proposed Addition: 6'-2" x 13'-3" 81.75 SF
~~(0.64 Square Feet Under Allowable)~~ 69.38 SF (OK)

revised
2/28/13

13.01



Square Footages and Volumes (cont.)

Volumes:

Existing Garage:

Volume Below Roof:

8.17' (H) x 12.25' (W) x 22.42' (L) – 2,244 Cu.Ft.

Volume of Gable/Roof:

$\frac{6.125' \times 4.08' \times 22.42' \times 2}{2}$ – +560 Cu. Ft

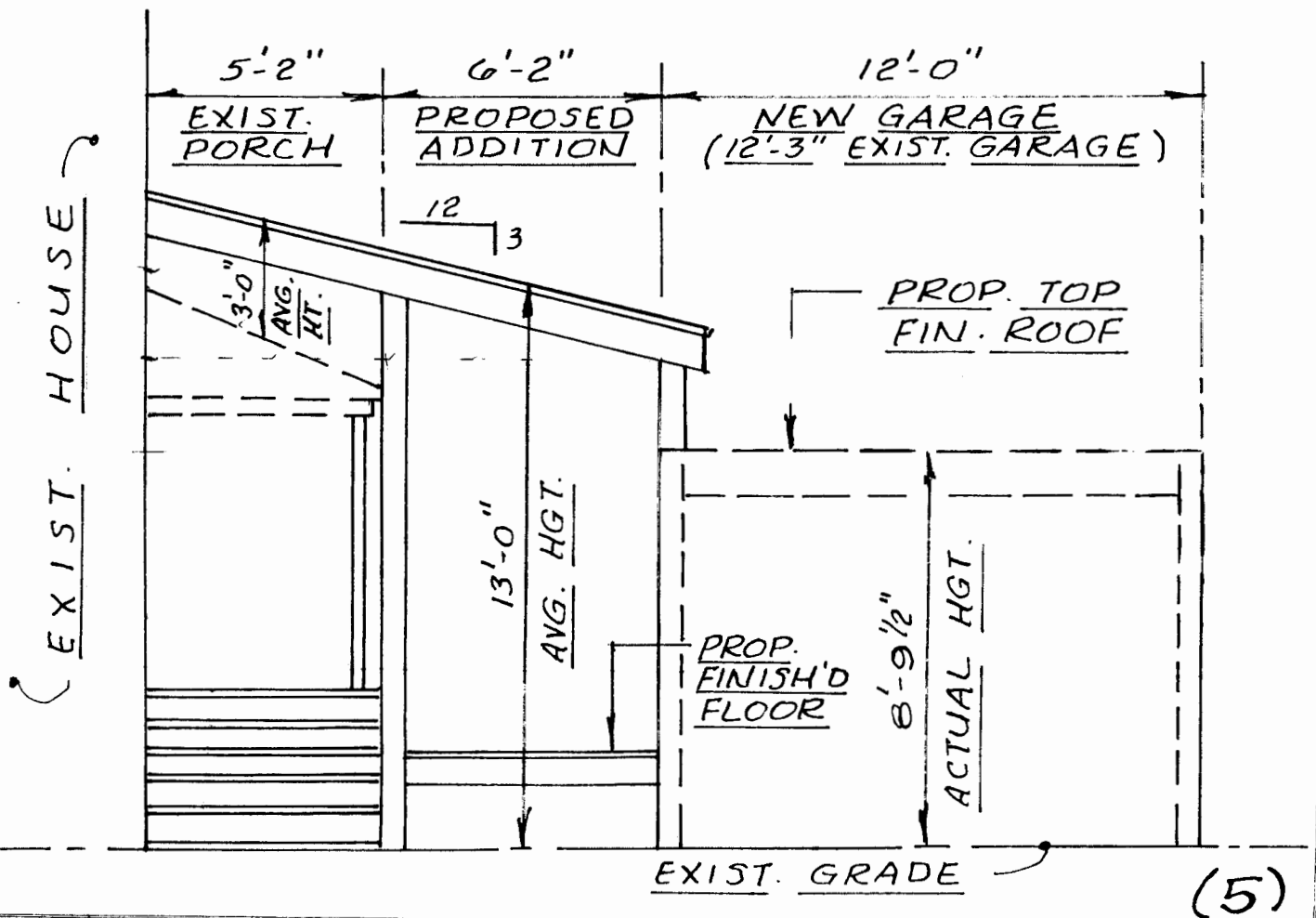
Total Existing Volume 2,804 CF

Allowable Increase: 30% = Total Cubic
Feet Allowed: 3,645 CF

*33475
- 2804

593.5 cubic feet*

increase of 841.2



Square Footages and Volumes (cont.)

New Volume Computations:

see revised sheet received 3/18/13.

New Garage:

Fin. Slab to Roof Top –

$$12.0' \text{ (W)} \times 8.95' \text{ (H)} \times 22.0' \text{ (L)} = 2320.6$$
$$2,363 \text{ CF}$$

Addition: (6'-2" x 13'-3")

(Avg. Hgt. see sketch, 13.00' Finished grade to Finished Roof)

$$6.17' \text{ (W)} \times 11.25' \text{ (L)} \times 13.0' \text{ (Avg. Hgt.)} = 902.4$$
$$1,063 \text{ CF}$$

New Volume Over Exist. Porch Roof:

(Avg. Hgt. see sketch, 3.00' Existing Porch Roof to Top of New Roof)

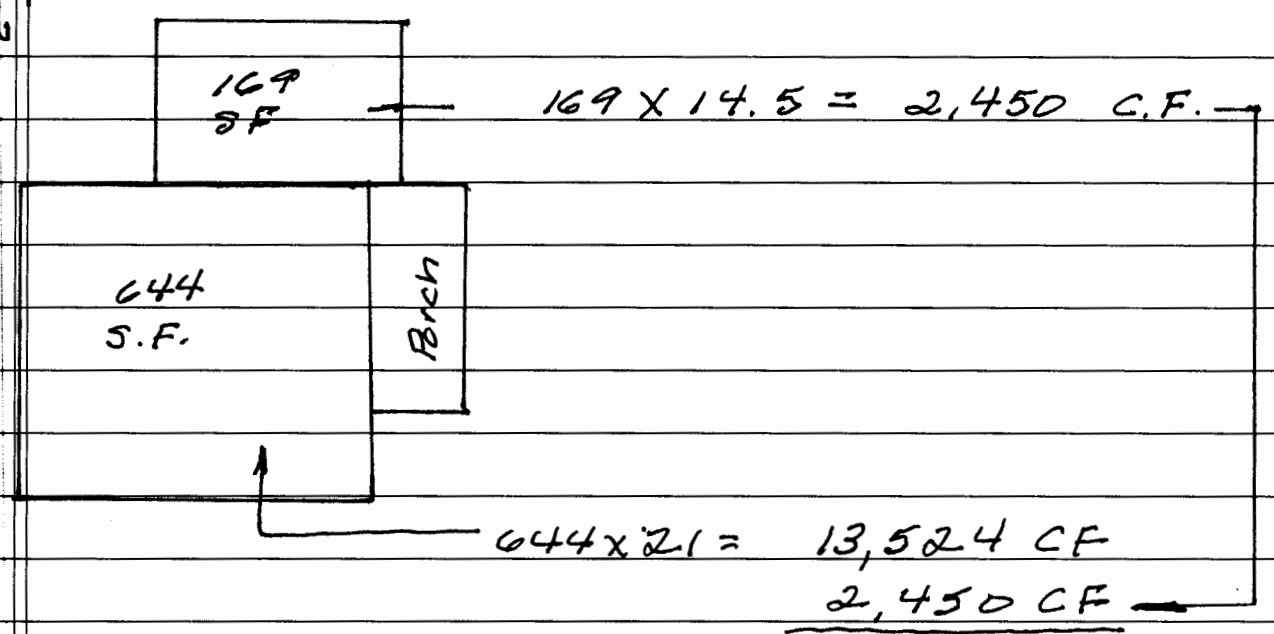
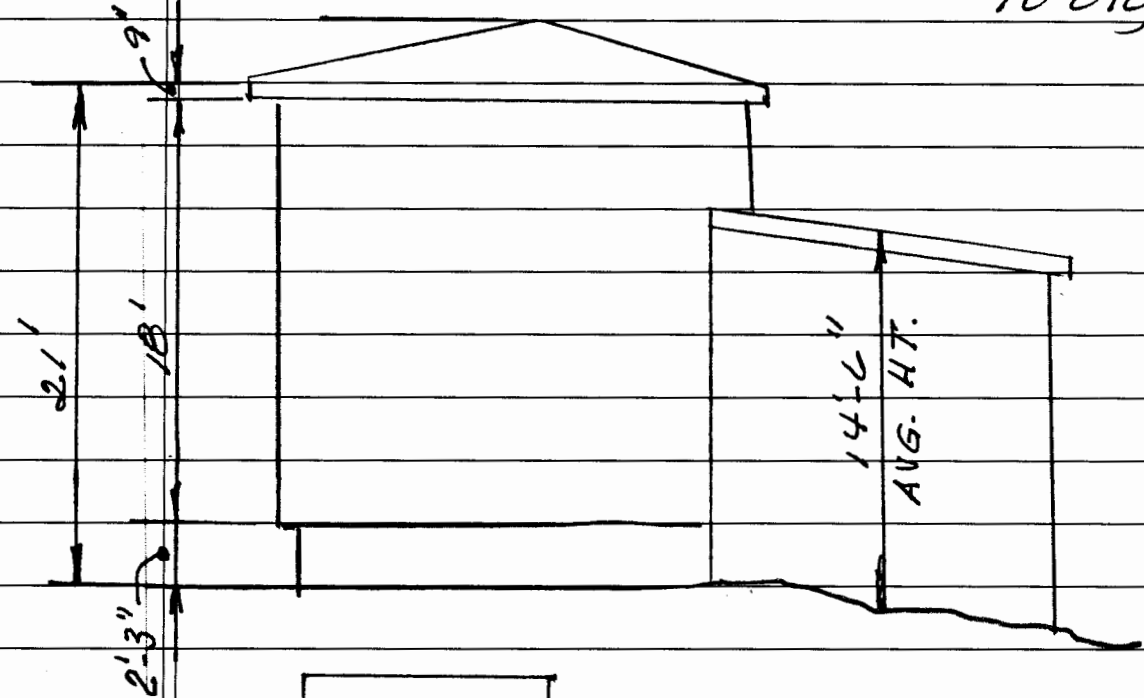
$$5.17' \text{ (W)} \times 11.25' \text{ (L)} \times 3.00' \text{ (Avg. Hgt.)} = 206 \text{ CF}$$
$$174.5$$

Total New Volume: ~~3,632~~ Cubic Feet 3397.5 (08)

Total Allowable CF: 3,645 Cubic Feet

30% more than existing

To Olympia St.



15,979 CF

SPECIAL CONSTRUCTION SPECIFICATIONS

Foundation & Slab

The concrete piers, foundation and 4" thick slab shall be poured using a minimum of 4,000 psi concrete containing fiber. They shall be poured monolithically. Expansion material shall be installed around the perimeter of the slab against the 4"x6" sills excepted at the garage door opening.

The width shown on the Foundation Plan for the garage door opening (10') may be adjusted by the owner during construction to permit a smaller door width.

The front foundation wall, throughout the width of the proposed garage door opening, shall be 24" high above the footing. The purpose of this wall is to tie the two side foundation walls together structurally. The Owner may require the foundation contractor to install reinforcing bars at all four (4) corners for this same purpose.

The proposed change in depth of the side and rear foundation walls (*at the step downs*) of 6'-3" to the top of the footing below finished grade shall be a minimum and may be adjusted deeper during construction due to field conditions as determined by the Owner.

Fire Protection

The wall and ceiling in the proposed garage, as shown on the Typical Section, which are common or adjacent to the proposed addition shall be two layers of 5/8" sheetrock or as

may otherwise be required by ordinance and/or building codes in order to provide adequate fire protection.

Windows & Doors

The doors shall be the sizes as indicated on the Floor Plans. Actual styles to be determined by the Owner during construction. Window sizes and styles to be determined by the Owner during construction.

Electrical

The Owner will perform all electrical component installations as permitted by code with the exception of the connection of proposed wiring to the electrical breaker box.

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FEB 28 2013

Dept. of Building Inspections
City of Portland Maine

11 Helene Street
Portland, Maine 04103

February 28, 2013

Ann Machado, Zoning Specialist
Planning & Urban Development Dept.
Inspections Division – City Hall
389 Congress Street
Portland, Maine 04101-3509

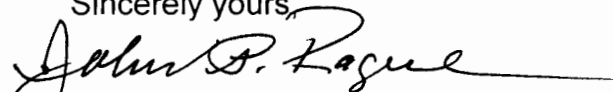
Dear Ann:

Attached hereto, per our discussions of February 26, 2013, please find a "*Revised Floor Plan*" and "*Revised Concrete Pier Locations Plan*" for the proposed addition to 70 Olympia Street.

I believe this letter and attachment satisfies all remaining requirements for the permit applicant, Edward Lavertu, in his quest to be granted a building permit to replace an existing garage along with a 6'-2" x 11'-3" addition at the above location. The addition is now setback 11.5' from the Olympia Street streetline which you determined to be the average setback required using the R5 zone setback of 20' and the existing 3' setback of the only abutter (*creating the 11.5' average*).

Ann, again I would like to thank you for your assistance in this matter. You were a big help and a pleasure to deal with. Should any remaining questions arise, please feel free to contact me at my home at 77-4870.

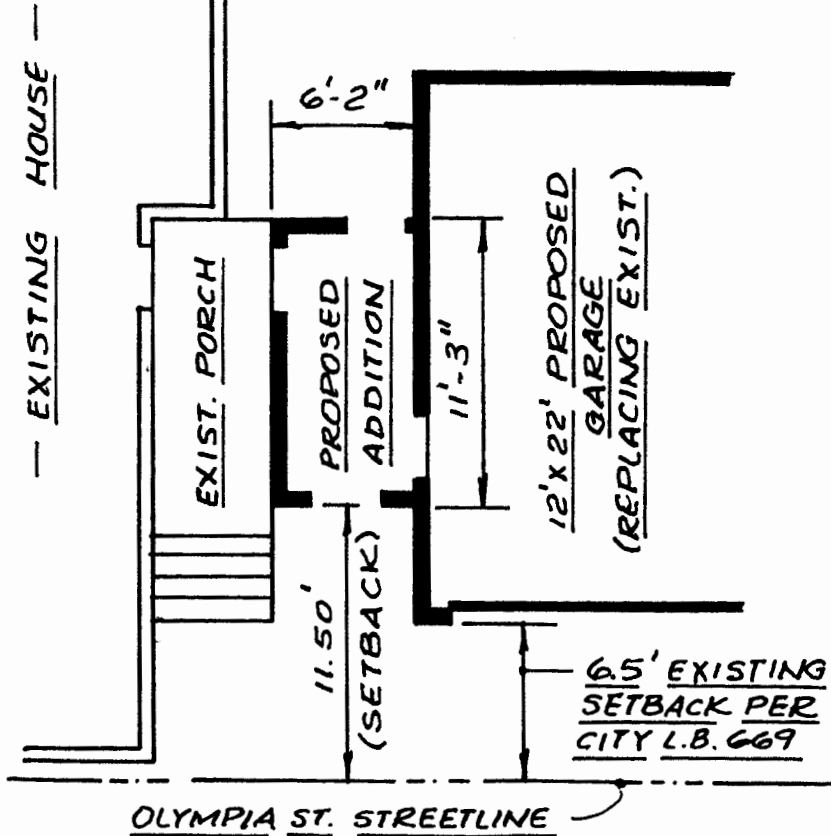
Sincerely yours,


John P. Rague

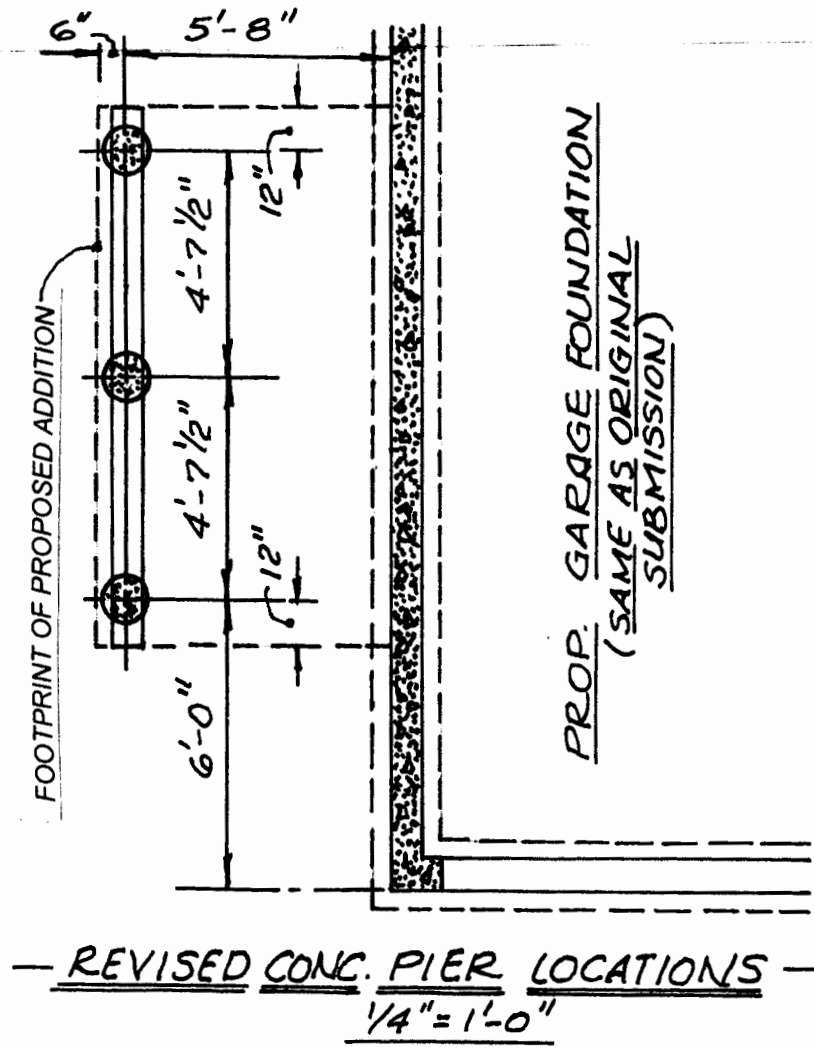
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FEB 28 2013

Dept. of Building Inspections
City of Portland Maine



— REVISED FLOOR PLAN —
1/8" = 1'-0"



**Revised Setback for Proposed Addition to 70 Olympia Street
Portland, Maine**

(Edward & Martha Lavertu, Owners)
Revision Date: February 28, 2013

From: Jonathan Rioux <JRIOUX@portlandmaine.gov>
To: ed lavertu <edlavertu@yahoo.com>
Sent: Monday, March 11, 2013 11:05 AM
Subject: Re: 70 olympia street garage

Morning.

Few questions, see below:

- Footing Dimensions/Depth (& wall thickness)(Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)
- Anchor Bolts/Straps, spacing (Section R403.1.6)
- Finish interior headroom(s)
- Interior/ exterior steps, door headers, & insulation
- All wall with less than 3:12 slope roof must be treated as a bearing wall.
- Framing & Connections (Section R802.3 & R802.3.1)

Jonathan Rioux
 Code Enforcement Officer/ Plan Reviewer

City of Portland
 Planning and Urban Development Department
 Inspection Services Division
 389 Congress St. Rm 315
 Portland, ME 04101
 Office: 207.874.8702
 Support Staff: 207.874.8703
jrioux@portlandmaine.gov

>>> ed lavertu <edlavertu@yahoo.com> 3/11/2013 8:46 AM >>>

Goodmorning Mr. Rioux,
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Thank you for your time Mr. Rioux. Please review and call with any questions.

Sincerely,

Edward Lavertu
207-615-1708

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.

Jonathan Rioux - Re: 70 olympia street garage

From: ed lavertu <edlavertu@yahoo.com>
To: Jonathan Rioux <JRIOUX@portlandmaine.gov>
Date: 3/18/2013 7:49 AM
Subject: Re: 70 olympia street garage

Goodmorning John,

I am working on a few more drawings that will show more framing detail and bearing walls due to 2/12 roof slope. I have not yet had a chance to convert the new drawings to PDF. Also, I am showing the head clearances and insulation R values in walls and ceiling/roof. I do have a drawing that shows interior elevations, stair layout/head clearances/ceiling heights. I should be able to send this to you tomorrow sometime.

The foundation plan is the same from original drawing except that we will not be using any building tubes to attach breezeway to garage. The foundation will be a continuous 4' frost wall with 8" x 16" footings and 4" slabs in garage and breezeway. The foundation and concrete contractor shall build foundation to code with proper anchor bolts and positioning of anchors.

Thank you,

Edward Lavertu

From: Jonathan Rioux <JRIOUX@portlandmaine.gov>
To: ed lavertu <edlavertu@yahoo.com>
Sent: Friday, March 15, 2013 9:09 AM
Subject: Re: 70 olympia street garage

One or Two Family is the IRC, 2009 (MUBEC).

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

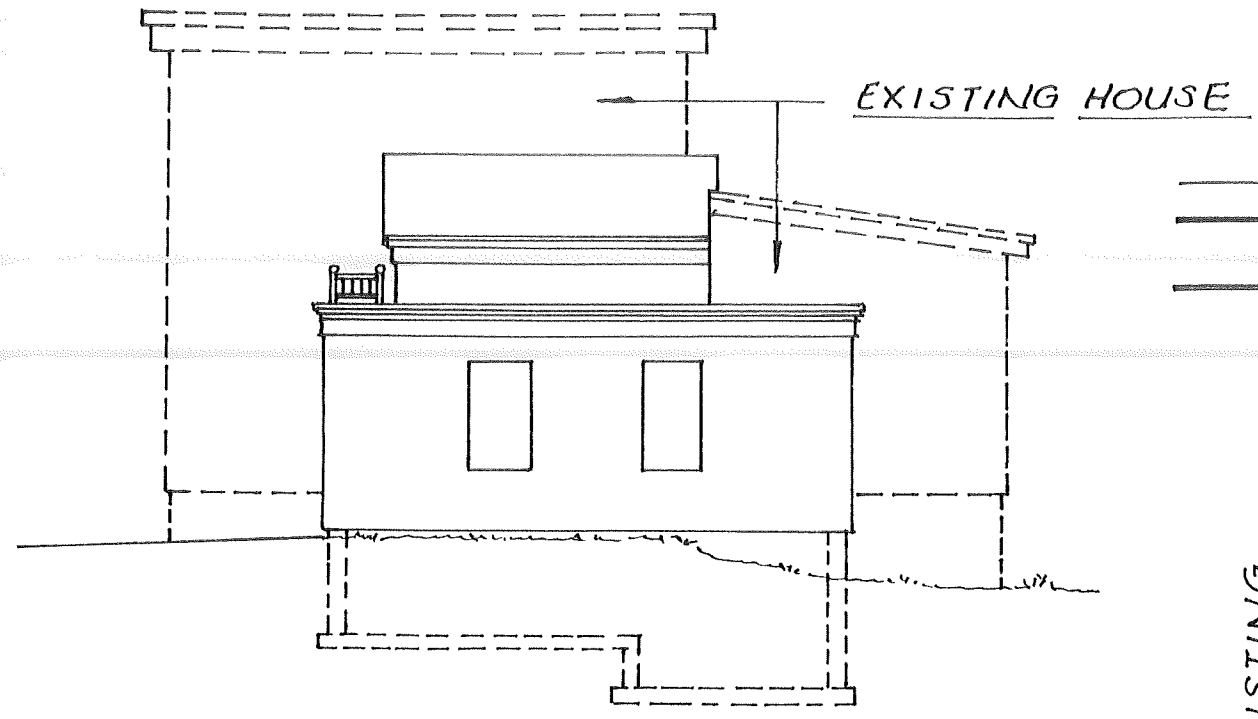
>>> ed lavertu <edlavertu@yahoo.com> 3/15/2013 8:34 AM >>>

Goodmorning John,

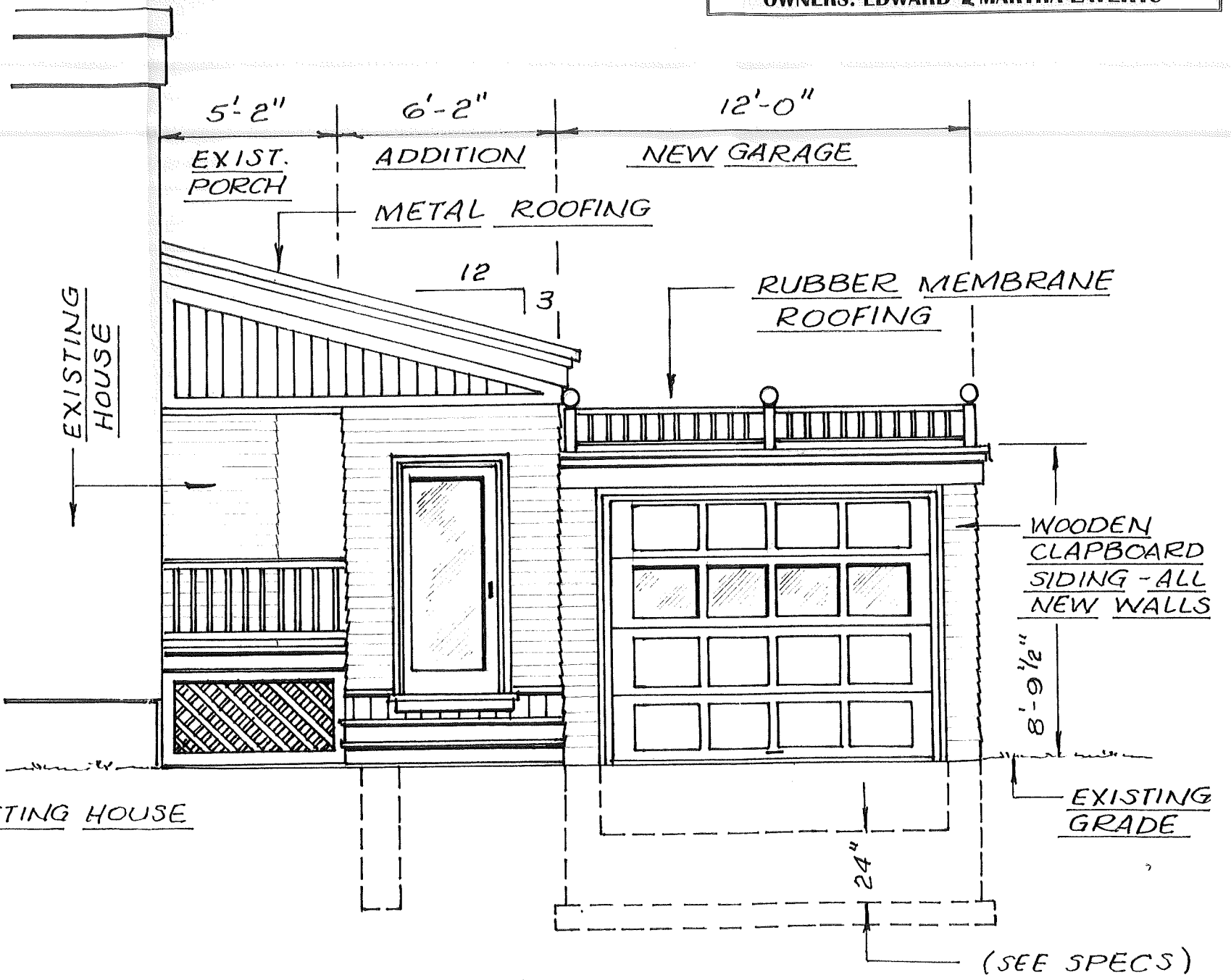
would you like me to add on a few more sketches to clarify the questions below? Also, which building code book are you referring to? Thanks again for your time in this matter.

Ed Lavertu

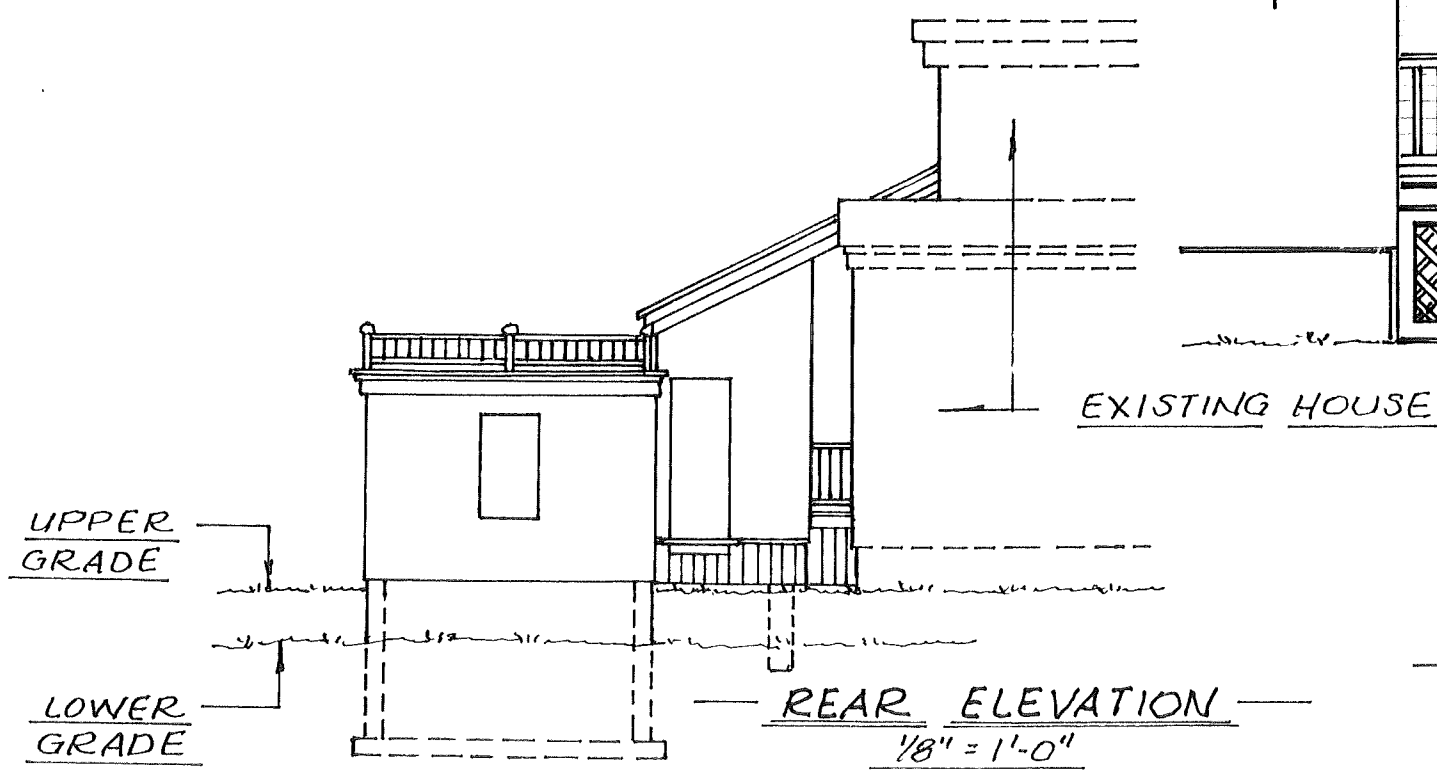
**PROPOSED REPLACEMENT
OF EXISTING GARAGE
WITH ADDITION
70 OLYMPIA STREET
PORTLAND, MAINE
OWNERS: EDWARD & MARTHA LAVERTU**



SIDE ELEVATION
1/8" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

PROPOSED GARAGE ft^2 (22' x 12') = 264 ft^2

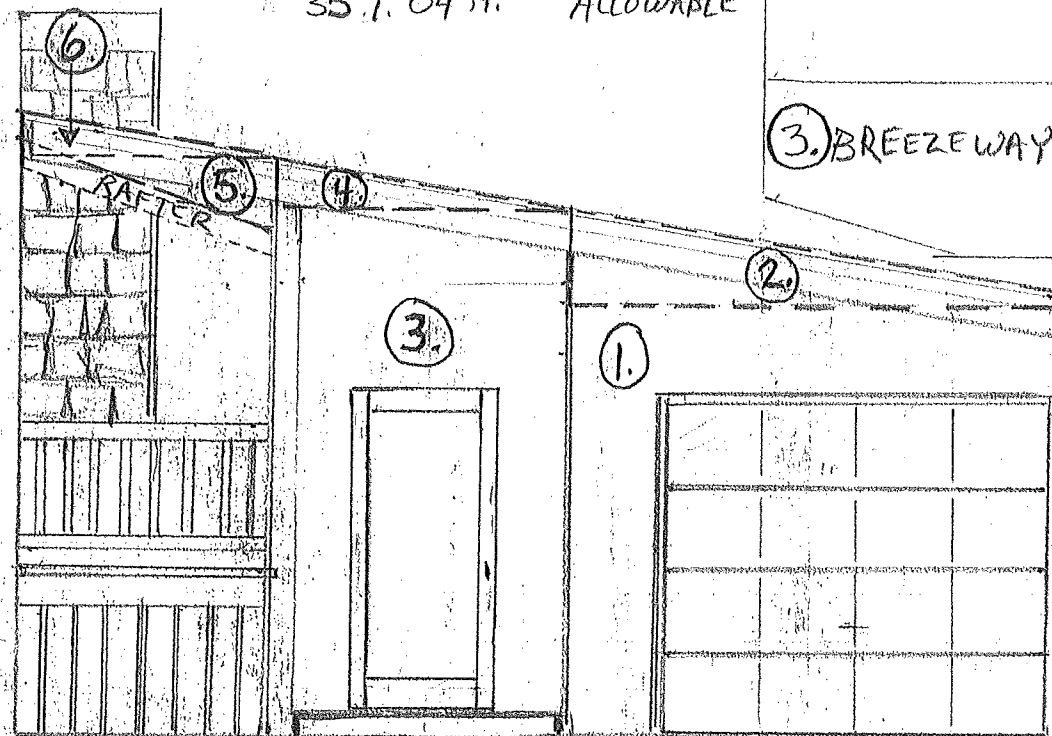
PROPOSED BREEZEWAY
ADDITION (6'2" x 11'3") = 69.38 ft^2

264 ft^2
+ 69.38 ft^2
333.38 ft^2 PROPOSED
357.04 ft^2 ALLOWABLE

VOLUMES

- ① 2376 ft^3
- ② 264 ft^3
- ③ 763.13 ft^3
- ④ 34.69 ft^3
- ⑤ 51.35 ft^3
- ⑥ + 34.23 ft^3

PROPOSED = 3523.4 ft^3
ALLOWED = 3645 ft^3



1/4" = 1'

DOTTED LINE ----- = EXISTING PORCH ROOF

DASHED LINE ----- = VOLUME COMPUTATION REFERENCE

VOLUMES

① GARAGE - 9' H x 12' W x 22' D =
2376 ft^3

② TRIANGLE ABOVE GARAGE -
2' H x 12' W x 22' D = 528 $\text{ft}^3 \div 2 =$
264 ft^3

③ BREEZEWAY - 11' H x 6'2" W x 11'3" D =
763.13 ft^3

④ TRIANGLE ABOVE
BREEZEWAY -
1' H x 6'2" W x 11'3" D =
69.38 $\text{ft}^3 \div 2 =$
34.69 ft^3

⑤ 1'6" H x 5'2" W x 13'3" D

102.69 $\text{ft}^3 \div 2 = 51.35 $\text{ft}^3$$

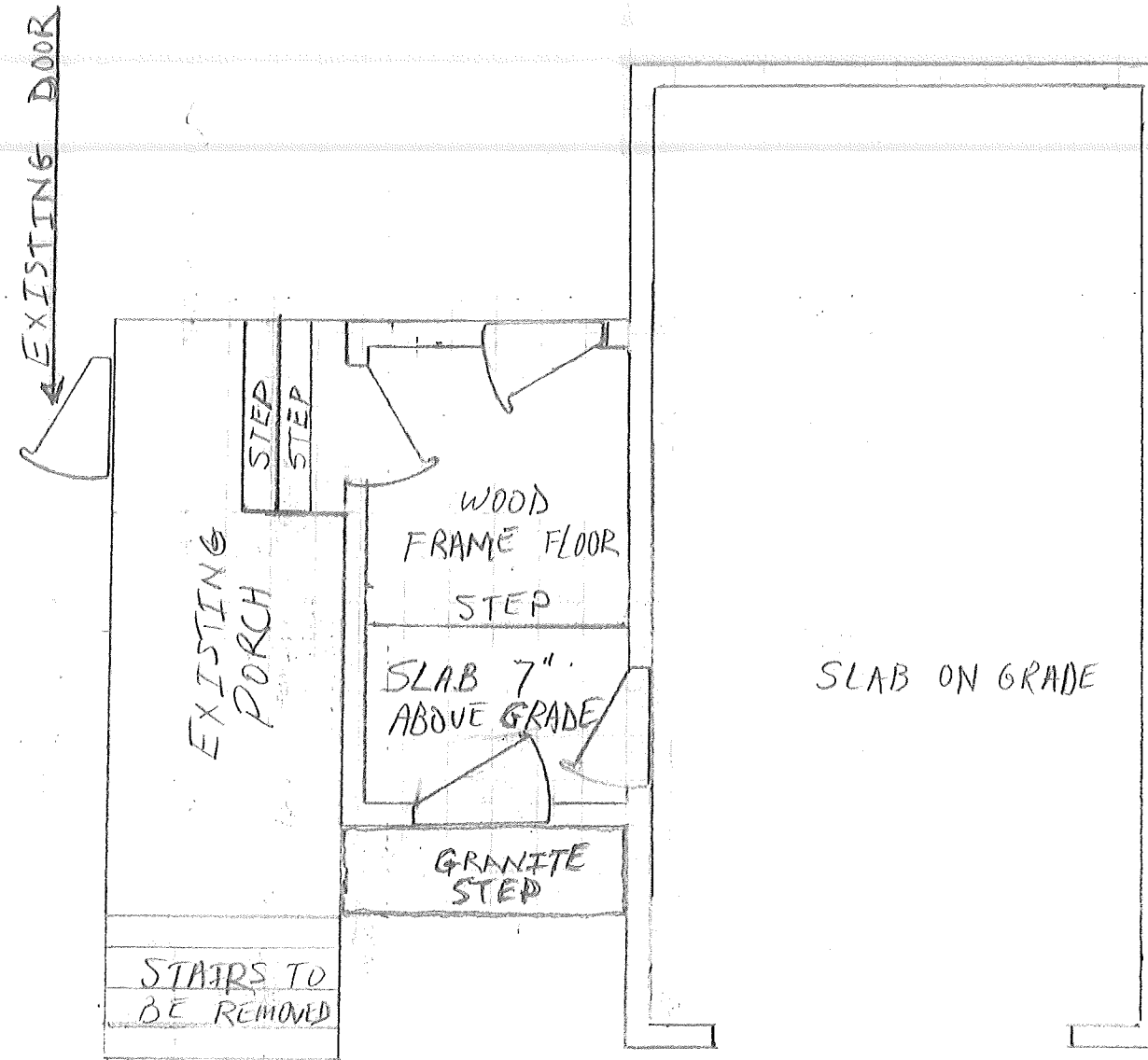
⑥ 1' H x 5'2" W x 13'3" D =
68.46 $\text{ft}^3 \div 2 = 34.23 $\text{ft}^3$$

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MAR 25 2013

Dept. of Building Inspections
City of Portland Maine

FLOOR PLAN



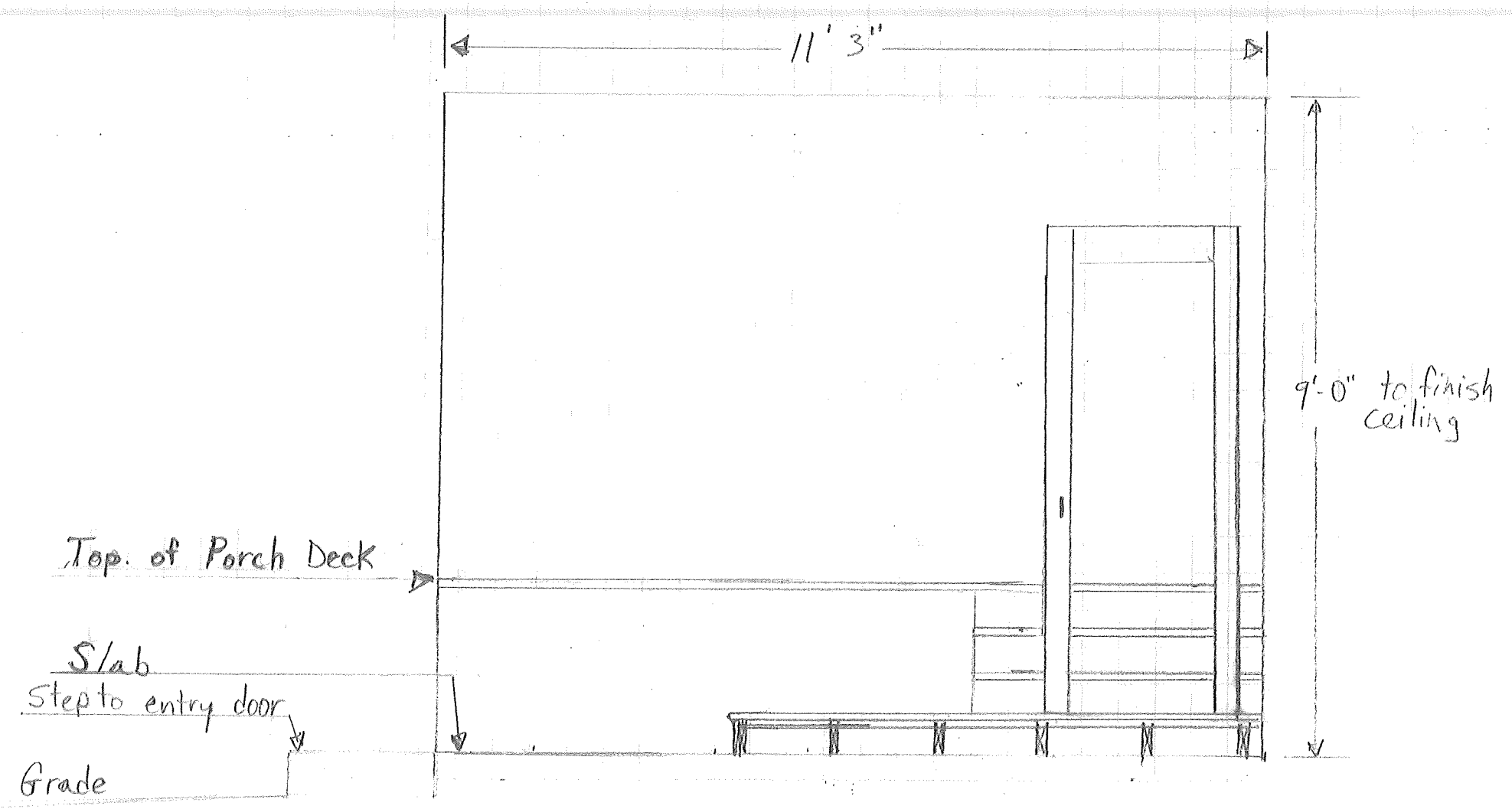
$\frac{1}{4}'' = 1'$

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City of Portland Maine

Interior Breezeway Elevation (facing existing porch)



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City of Portland Maine

Interior Breezeway &
Porch elevation

Sloped ceiling
over Porch

8'6"

6'2"

9'8"

Door to
Rear entry

Entry door to
Existing House

9'-0" T.O. Slab
to finish
ceiling

Top of Existing Porch

Wall Below Rail,
Stairs beyond

TOP of Slab
Granite Step

Grade

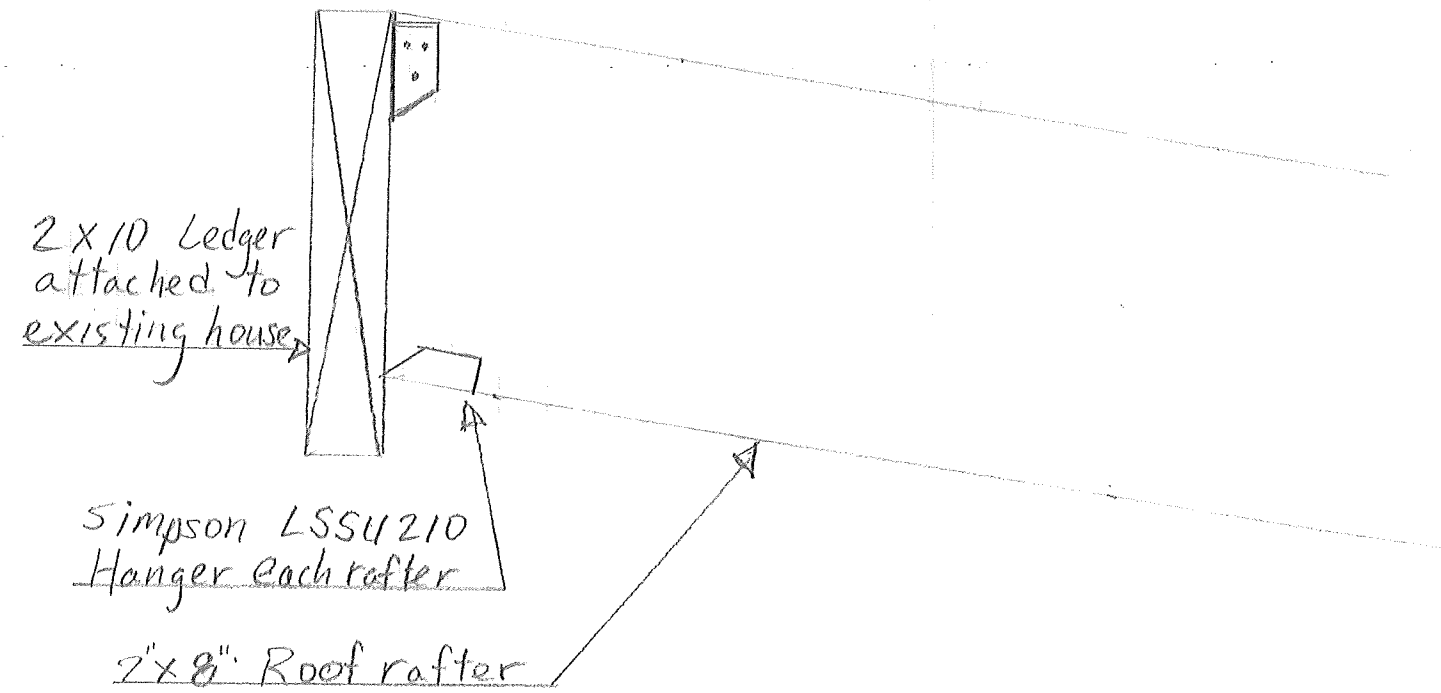
Top of Slab at garage

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Dept. of Building Inspections
City of Portland Maine

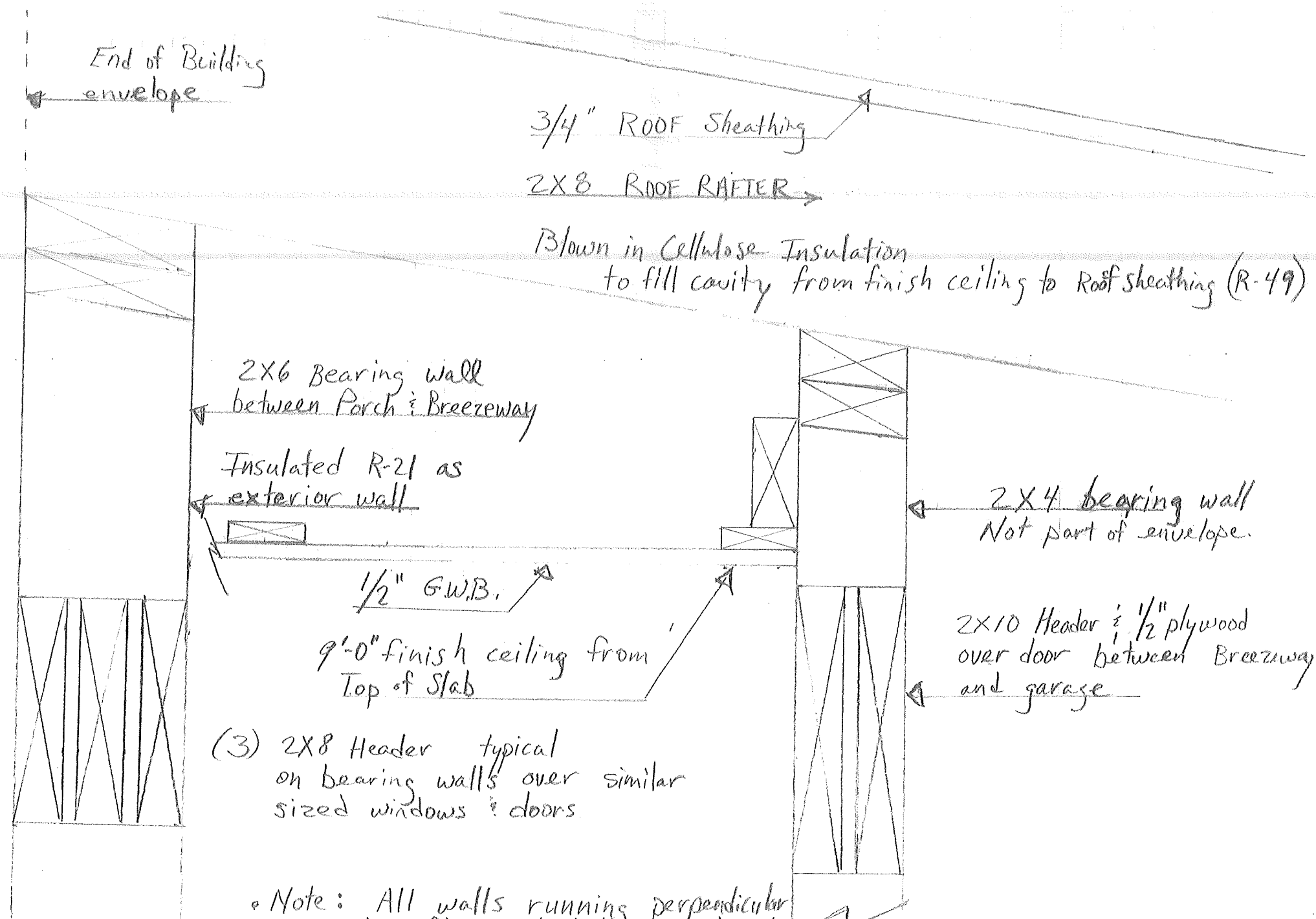
Roof Connection to Ledger



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MAR 25 2013

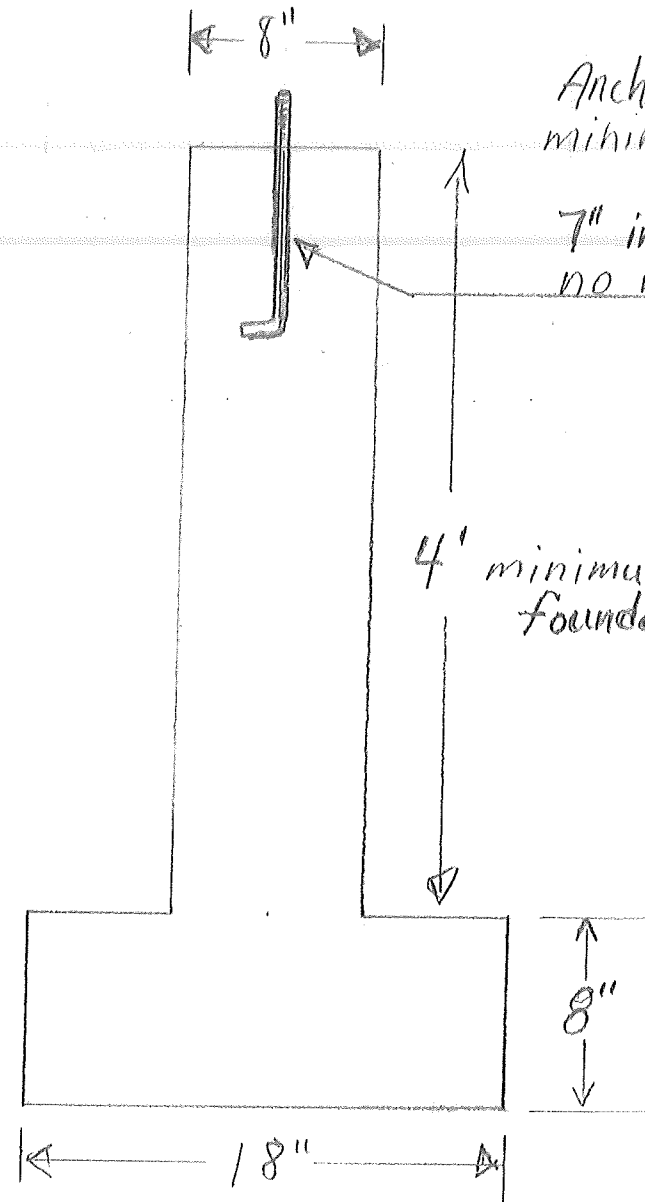
Dept. of Building Inspections
City of Portland Maine



* Note: All walls running perpendicular to rafters shall be considered bearing walls.

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Dept. of Building Inspections
City of Portland Maine

Foundation Detail



Anchor Bolt to be
minimum 1/2" Dia.

7" into concrete & spaced
no more than 6' on center

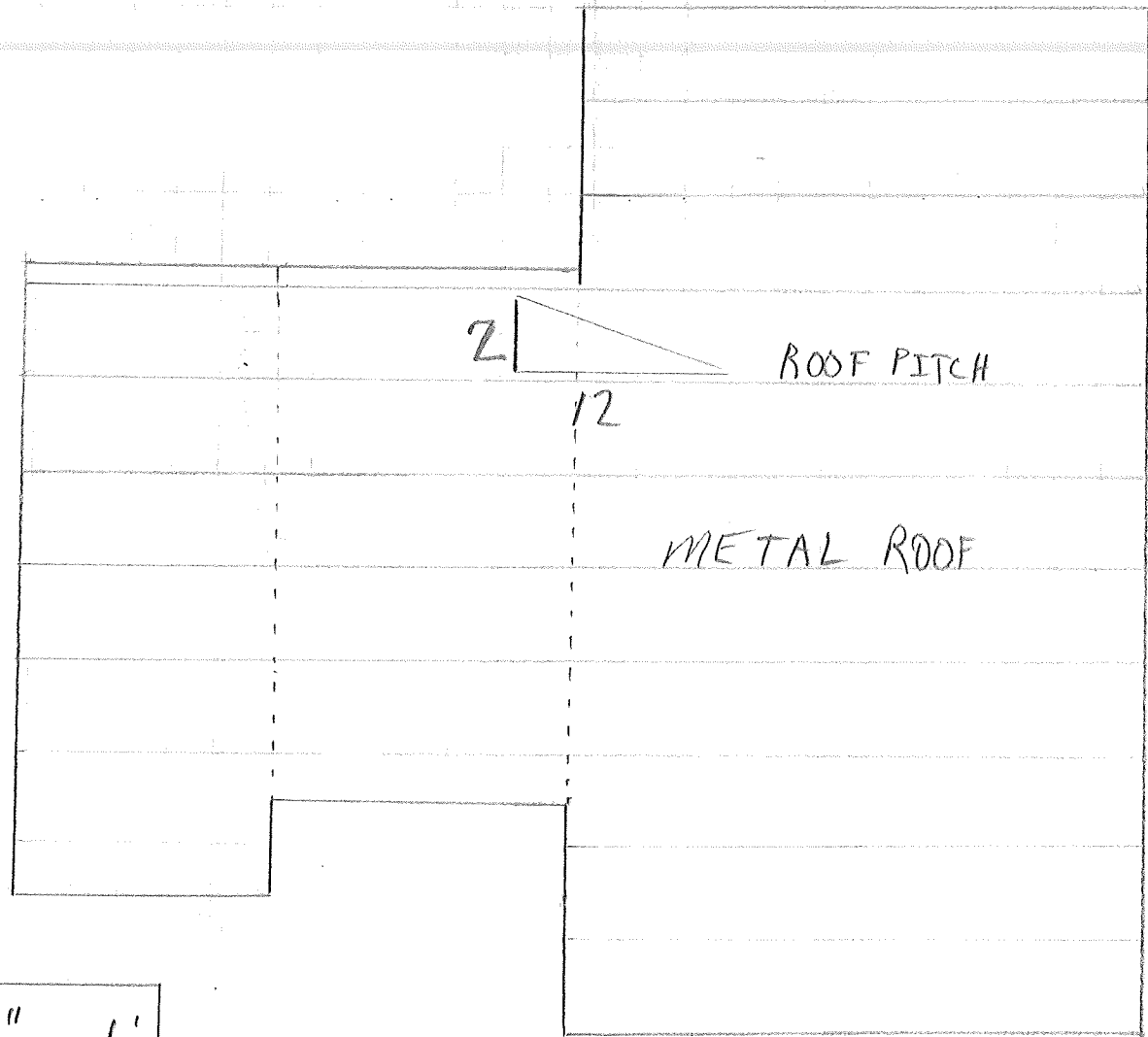
4' minimum height
foundation wall

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MAR 25 2013

Dept. of Building Inspections
City of Portland Maine

ROOF PLAN



$\frac{1}{4}'' = 1'$

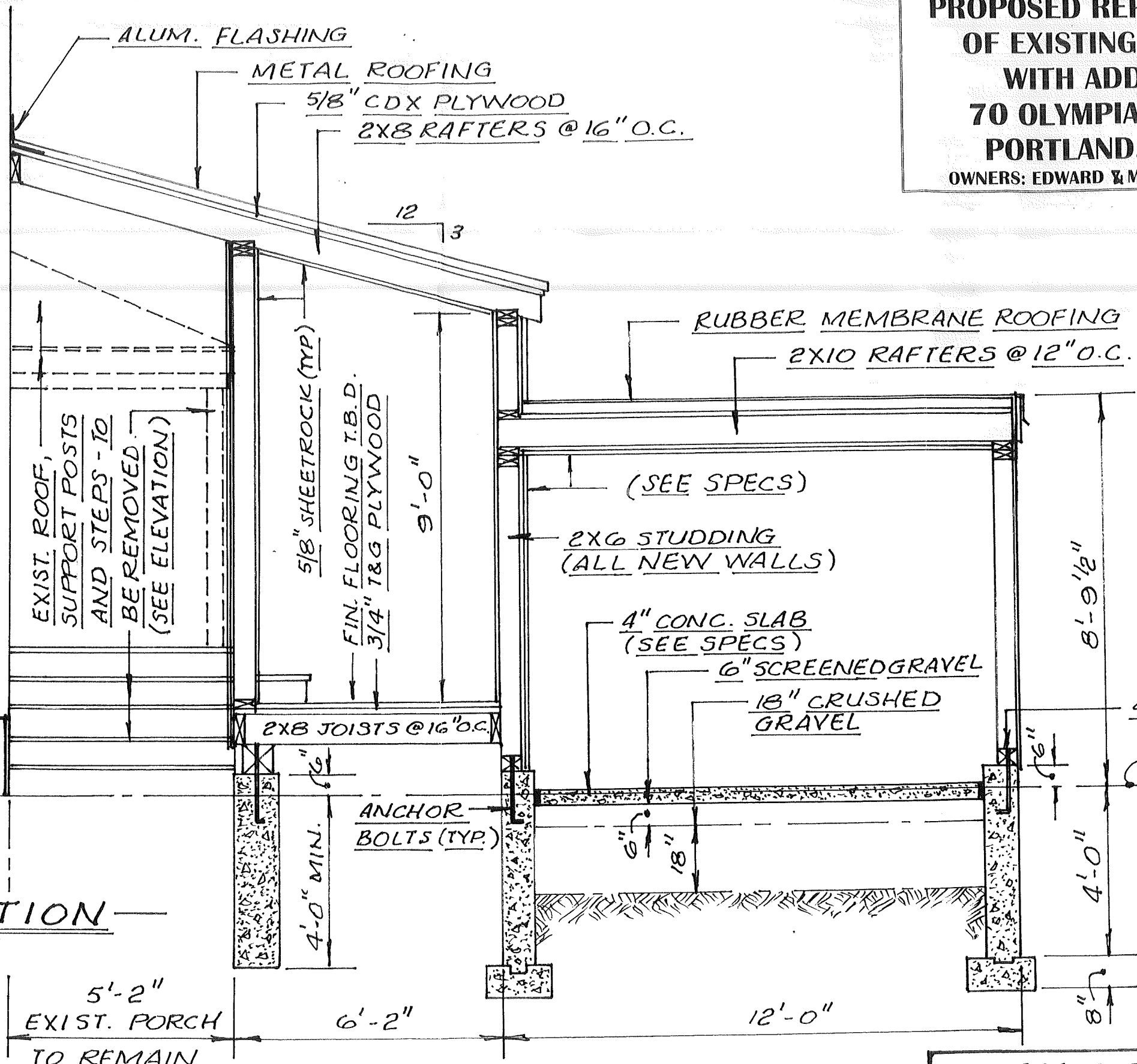
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MAR 25 2013

Dept. of Building Inspections
City of Portland Maine

**PROPOSED REPLACEMENT
OF EXISTING GARAGE
WITH ADDITION
70 OLYMPIA STREET
PORTLAND, MAINE**
OWNERS: EDWARD & MARTHA LAVERTU

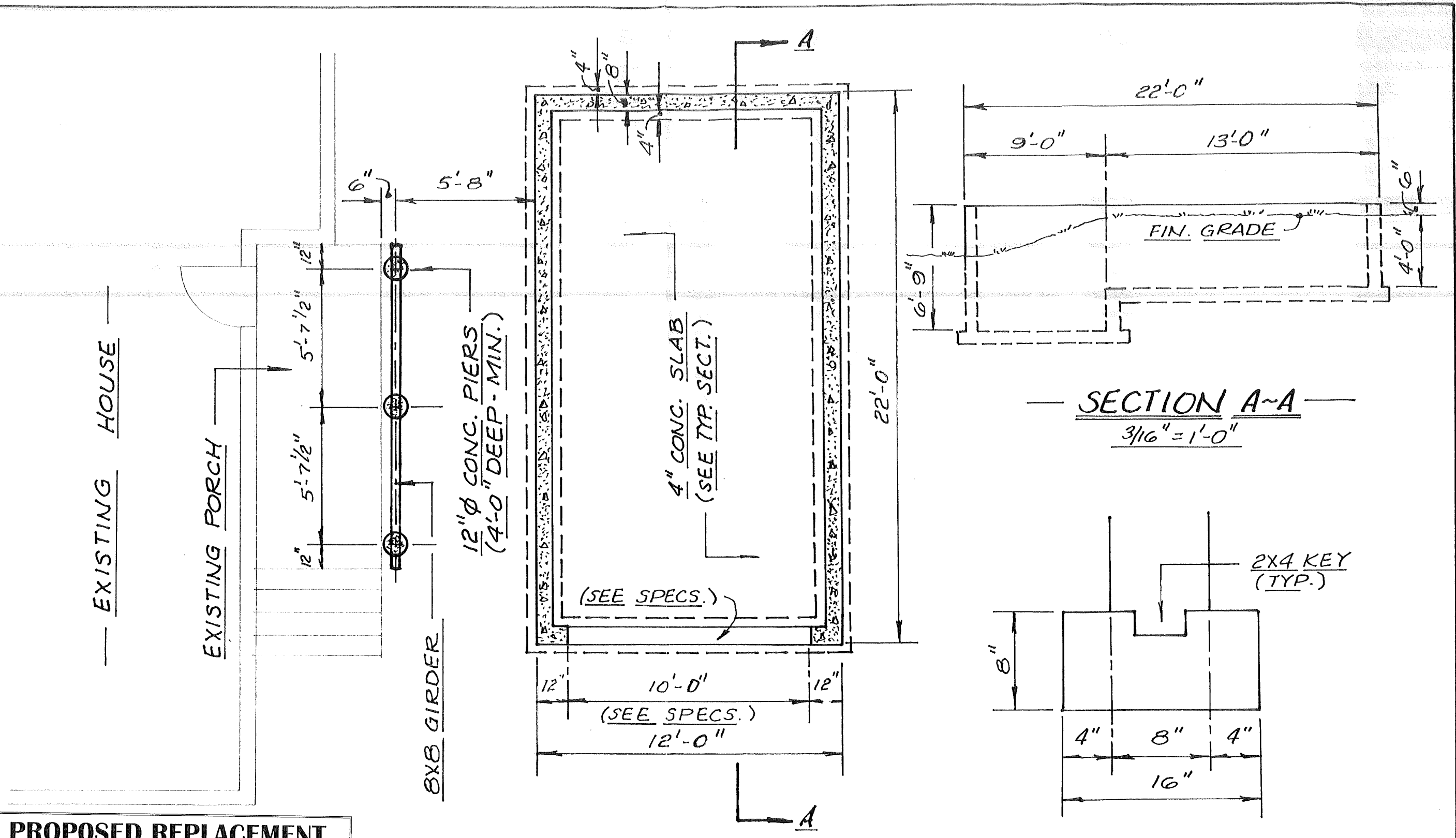
EXISTING HOUSE



TYPICAL SECTION
3/8" = 1'-0"

5'-2" EXIST. PORCH TO REMAIN
6'-2"
12'-0"

SHEET 5 OF 5 SHEETS



— FOUNDATION PLAN —
1/4" = 1'-0"

**PROPOSED REPLACEMENT
OF EXISTING GARAGE
WITH ADDITION
70 OLYMPIA STREET
PORTLAND, MAINE**
OWNERS: EDWARD & MARTHA LAVERTU

SHEET 3 OF 5 SHEETS

70 olympic st
2013-00275

PROPOSED GARAGE $ft^2 (22' \times 12') = 264 ft^2$

PROPOSED BREEZEWAY
ADDITION $(6'2" \times 11'3") = 69.38 ft^2$

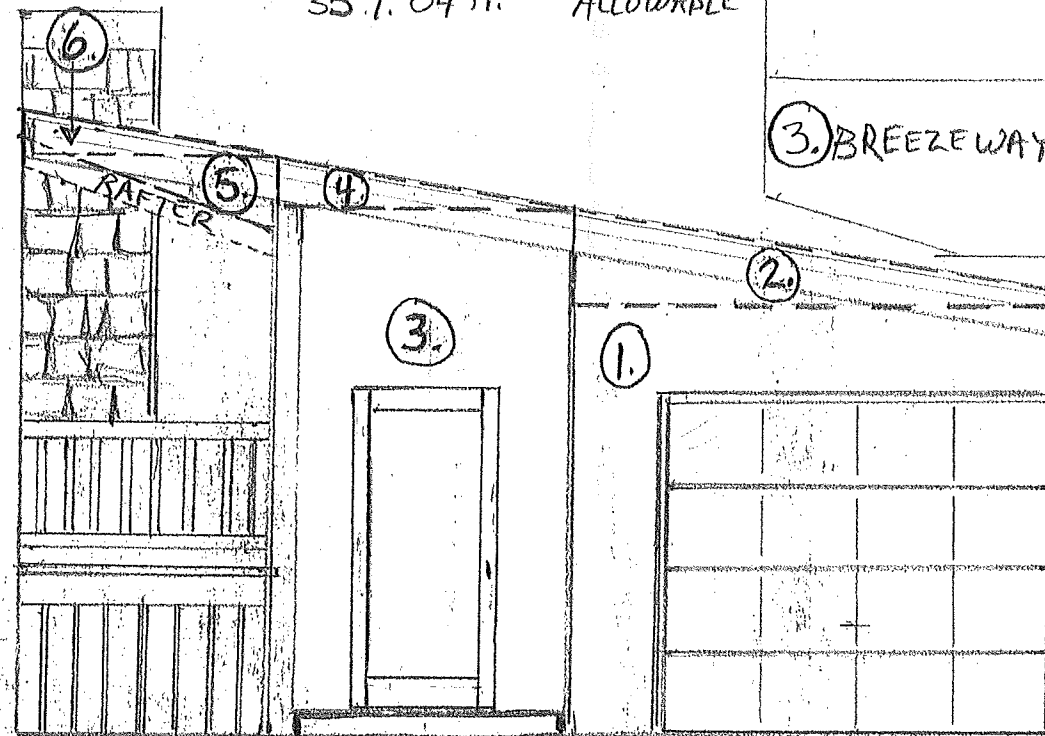
$264 ft^2$
 $+ 69.38 ft^2$
 $333.38 ft^2$ PROPOSED
 $357.04 ft^2$ ALLOWABLE

proposed " 35,238.8
existing volume 2804

increase 719.88

VOLUMES

- ① 2376 ft^3
- ② 264 ft^3
- ③ 763.54
763.13 ft^3
- ④ 34.71
34.69 ft^3
- ⑤ 51.38
51.35 ft^3
- ⑥ + 34.23 ft^3
- PROPOSED = 3523.4 ft^3
- ALLOWED = 3645 ft^3



$\frac{1}{4}'' = 1'$

DOTTED LINE ----- = EXISTING PORCH ROOF

DASHED LINE ----- = VOLUME COMPUTATION REFERENCE

VOLUMES

① GARAGE - $9'H \times 12'W \times 22'D =$
 $2376 ft^3$

② TRIANGLE ABOVE GARAGE -
 $2'H \times 12'W \times 22'D = 528 ft^3 \div 2 =$
 $264 ft^3$

③ BREEZEWAY - $11'H \times 6'2"W \times 11'3"D =$
 $763.13 ft^3$ (763, 54)

④ TRIANGLE ABOVE
BREEZEWAY -
 $1'H \times 6'2"W \times 11'3"D =$
 $69.38 ft^3 \div 2 =$
 $34.69 ft^3$ 34, 71

⑤ $1'6"H \times 5'2"W \times 13'3"D$
 $102.69 ft^3 \div 2 = 51.35 ft^3$ (51.38)

⑥ $1'H \times 5'2"W \times 13'3"D =$
 $68.46 ft^3 \div 2 = 34.23 ft^3$ (34, 23)

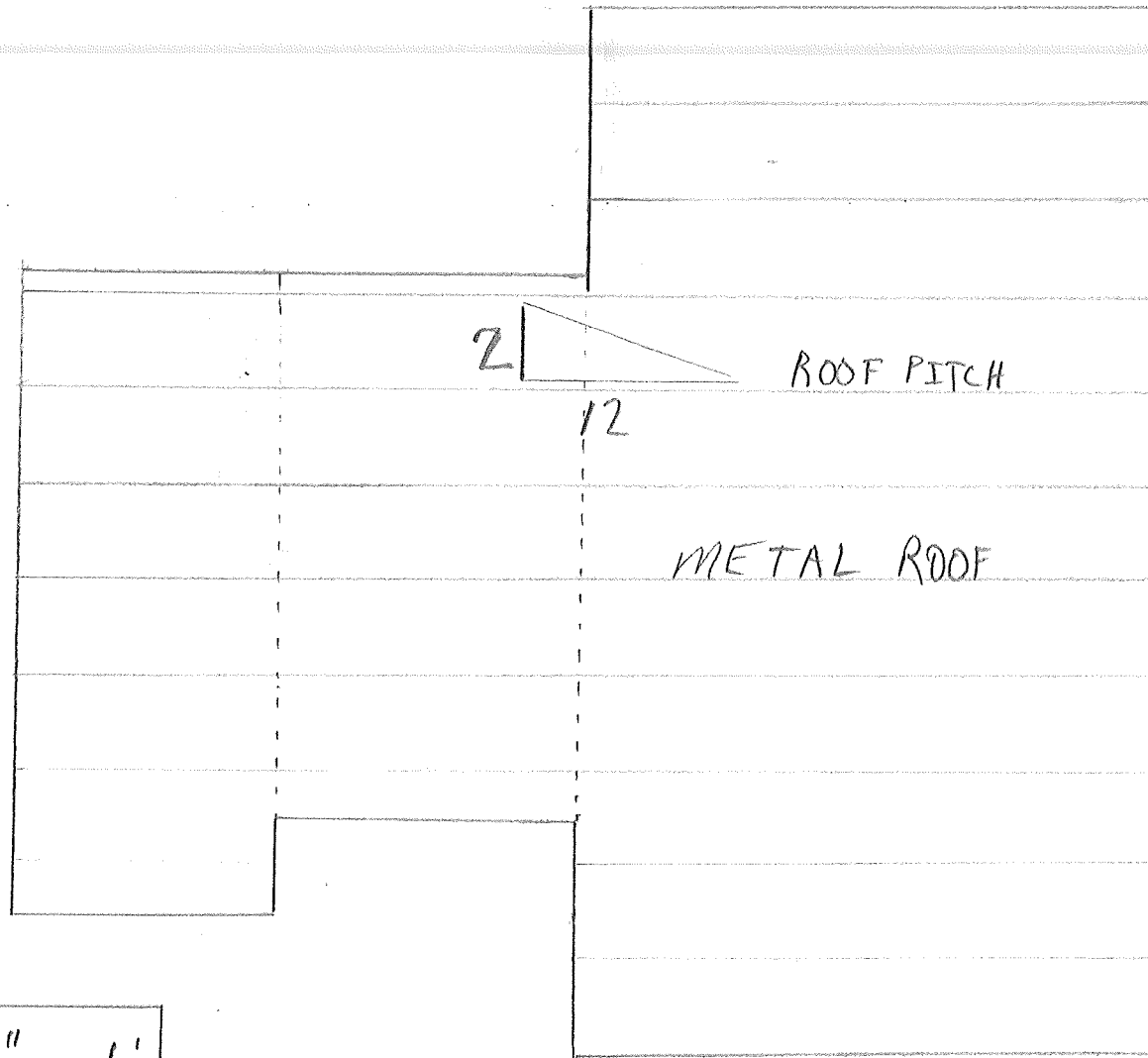
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MAR 08 2013

Dept. of Building Inspections
City of Portland Maine

70 Olympic St.
2013-00275

ROOF PLAN



$\frac{1}{4}'' = 1'$

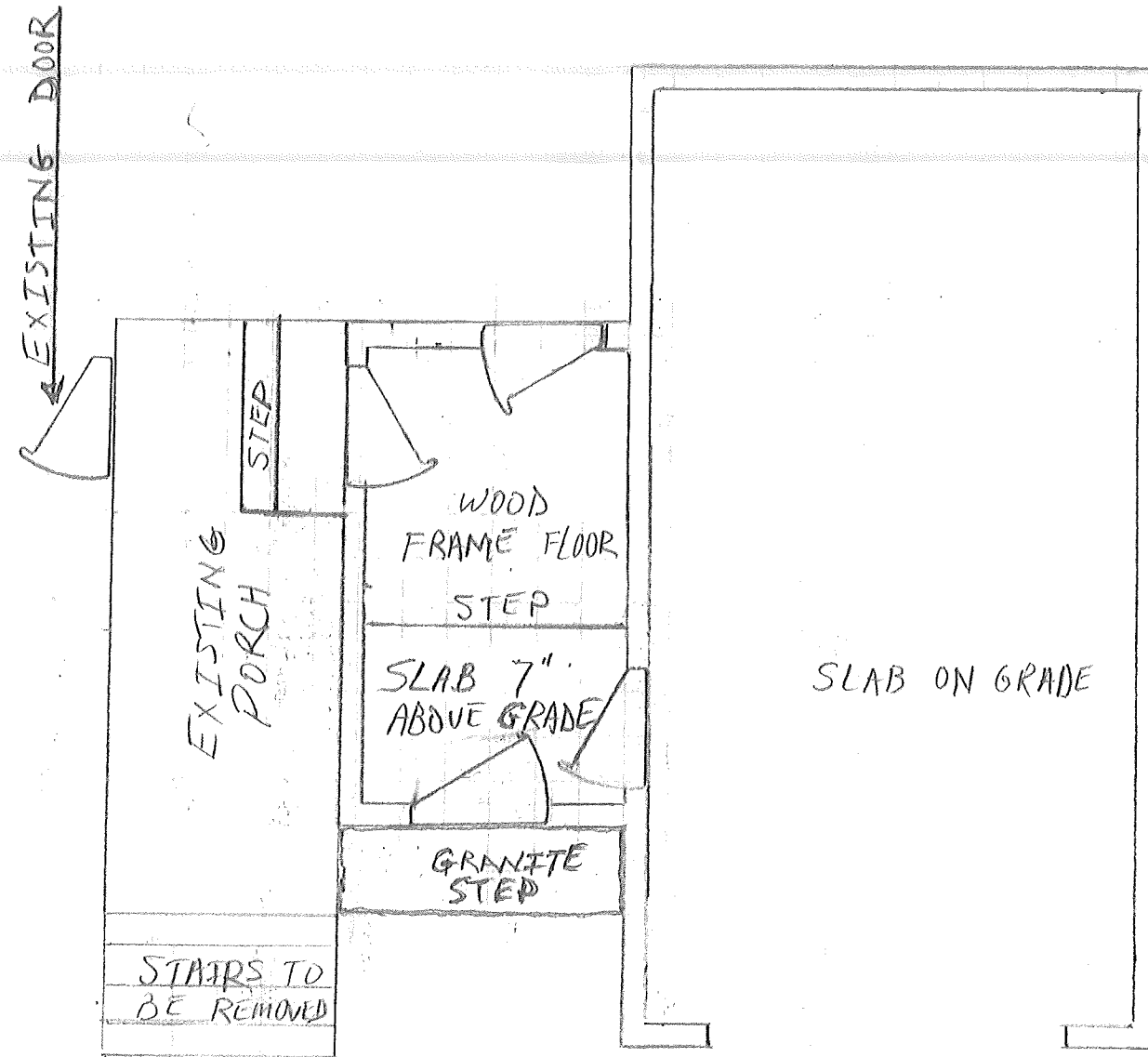
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MAR 08 2013

Dept. of Building Inspections
City of Portland Maine

70 Olympia St
2013-00275

FLOOR PLAN

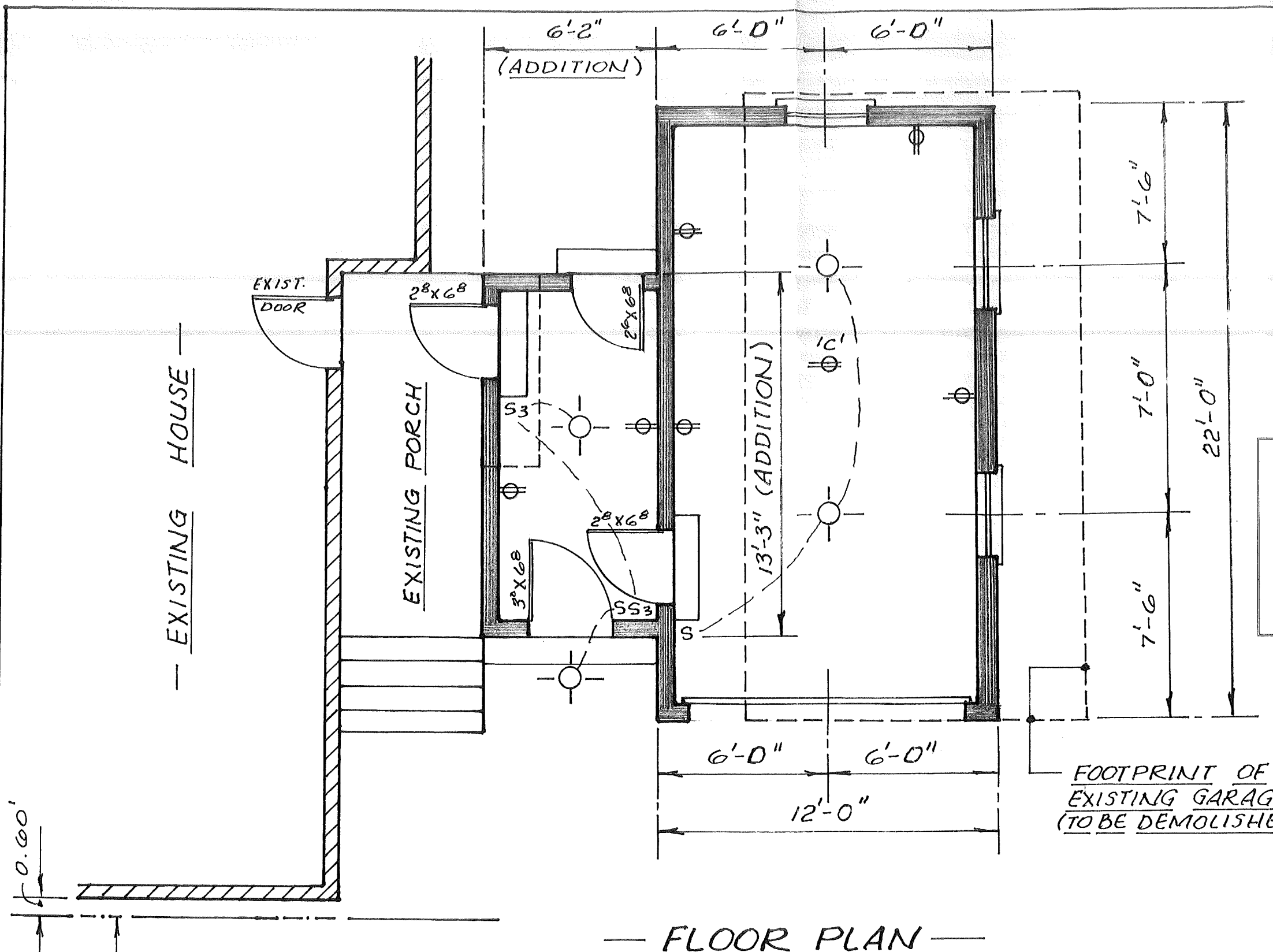


$\frac{1}{4}'' = 1'$

RECEIVED

MAR 08 2013

Dept. of Building Inspection
City of Portland, Maine



STREETLINE/PROPERTY LINE
PER CITY RECORDS
(SEE SPECS.)

FLOOR PLAN
1/4" = 1'-0"

- ELECTRICAL LEGEND
- ⊕ DUPLEX WALL OUTLET
 - ⊕ 'c' CEILING DUPLEX OUTLET - FUTURE GARAGE
 - ⊖ DOOR OPENER
 - OVERHEAD LIGHT
 - S SINGLE SWITCH
 - S3 3-WAY SWITCH

**PROPOSED REPLACEMENT
OF EXISTING GARAGE
WITH ADDITION
70 OLYMPIA STREET
PORTLAND, MAINE**
OWNERS: EDWARD & MARTHA LAVERTU

LOTS 43, 44 & 45 AS SHOWN ON PLAN OF "OCEAN VIEW PARK" RECORDED IN CCRD, PLAN BOOK 8, PAGE 141 ON OCTOBER 17, 1898 (See Supportive Data in Spec. Book)

APPROXIMATE BANKS OF PRESUMPCOT RIVER AT TIME OF ORIGINAL RECORDING (See Supportive Data in Spec. Book)

PROPOSED REPLACEMENT OF EXISTING GARAGE WITH ADDITION 70 OLYMPIA STREET PORTLAND, MAINE
OWNERS: EDWARD & MARTHA LAVERTU

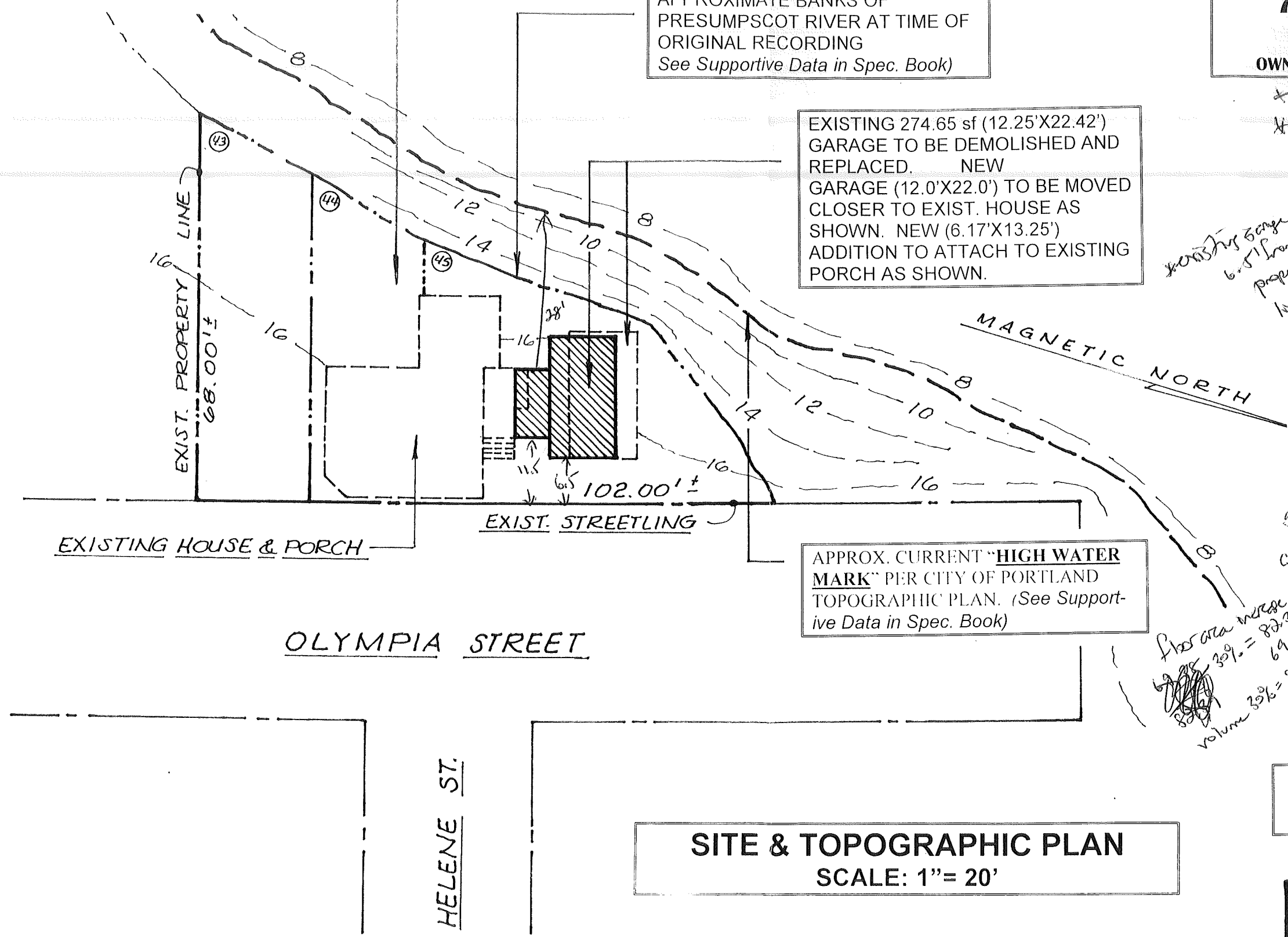
EXISTING 274.65 sf (12.25'X22.42') GARAGE TO BE DEMOLISHED AND REPLACED. NEW GARAGE (12.0'X22.0') TO BE MOVED CLOSER TO EXIST. HOUSE AS SHOWN. NEW (6.17'X13.25') ADDITION TO ATTACH TO EXISTING PORCH AS SHOWN.

APPROX. CURRENT "HIGH WATER MARK" PER CITY OF PORTLAND TOPOGRAPHIC PLAN. (See Supportive Data in Spec. Book)

* not quite to scale.
 * assumption is structures are to fully min 75' setbacks
 R-5
 lot size - 38854
 rear setback 20' - 28' to high water of main which is property line
 side - #1A
 front 20' or average
 3120' = 25' = 11.5'
 lot coverage = 40% = 14224

house - 878.
 garage - 12x22 = 264
 connector - 6.17x13.25 = 81.75
 1222.21
 1221.41
 75' setback from upland edge of construction lands.

Area merge allowed
 69.95 - 30% = 82.39
 69.95 actual
 volume 30% = 8412
 543.5 actual

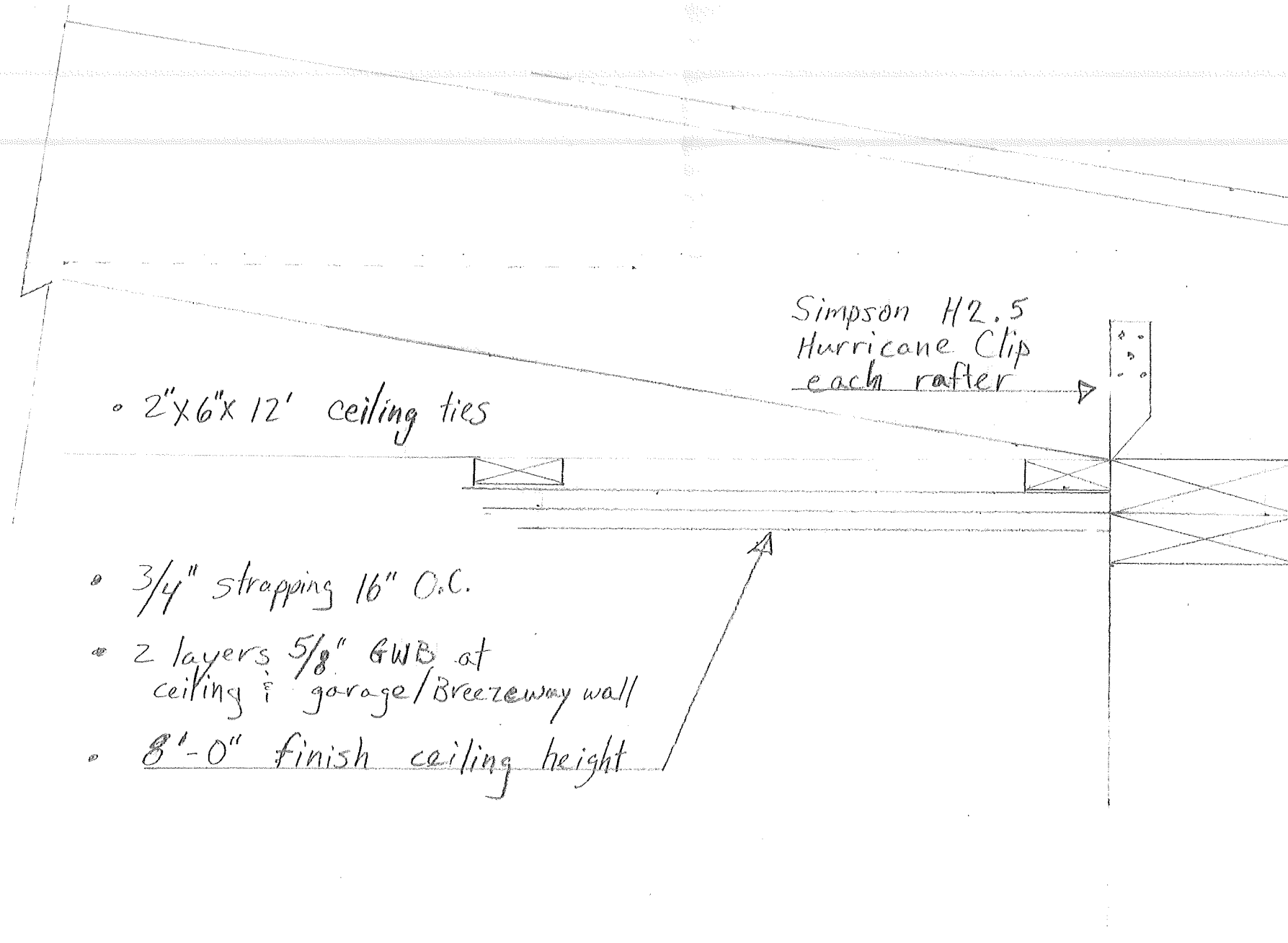


SITE & TOPOGRAPHIC PLAN
SCALE: 1" = 20'

ALL PLANS DRAWN BY:
JOHN P. RAGUE
 APRIL 2012

SHEET 1 OF 5 SHEETS

GARAGE SECTION



RECEIVED

MAR 25 2013

Dept. of Building Inspections
City of Portland Maine