

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0698 Issue Date: JUL - 2 2001 CBI: 24 432 F003001

Location of Construction: 244 Veranda St Owner Name: Higgins Timothy A Owner Address: 244 Veranda St Phone: 838-5870  
Business Name: n/a Contractor Name: no contractor/self Contractor Address: n/a n/a Phone:  
Lessee/Buyer's Name: n/a Phone: n/a Permit Type: Multi Family Zone: R-5

Past Use: Vacant Lot Proposed Use: New 2 Family Home; 6761 SqFt. Site Plan #2001-0147. Permit Fee: Cost of Work: \$140,000.00 CEO District: 2 Zone: 9001#

FIRE DEPT:  Approved  Denied INSPECTION: Use of 6001 Type: 5B WITH REQUIREMENTS 30CA/30/1999  
Signature: [Signature]

Proposed Project Description: Built New 6761 SqFt Two Family Residence  
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: Date:

Permit Taken By: cih Date Applied For: 06/14/2001 Zoning Approval

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  
2. Building permits do not include plumbing, septic or electrical work.  
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..  
Special Zone or Reviews:  Shoreland  Wetland  Flood Zone  Subdivision  Site Plan # 2001-0147  
Zoning Appeal:  Variance  Miscellaneous  Conditional Use  Interpretation  Approved  Denied  
Historic Preservation:  Not in District or Landmark  Does Not Require Review  Requires Review  Approved  Approved w/Conditions  Denied  
Date: 6/20/01

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

# All Purpose Building Permit Application

01-0698

2001-0147

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 244 VERANDA ST.

Total Square Footage of Proposed Structure 6761 Square Footage of Lot 9001

Tax Assessor's Chart, Block & Lot Number Chart# <u>432</u> Block# <u>F</u> Lot# <u>003001</u>	Owner: <u>Timothy A. Higgins</u> <u>242 VERANDA ST.</u>	Telephone#: <u>838-5870</u>
--	--	-----------------------------

Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address: <u>Tim Higgins 242 Veranda St.</u>	Cost Of Work: <u>864 - WAIVED</u> Fee: <u>\$ 14000.00</u>
-------------------------------------	---	--

Current use: Two Family Vacant Lot

If the location is currently vacant, what was prior use:  
Approximately how long has it been vacant:

Proposed use: Two Family

Project description:

Contractor's Name, Address & Telephone: SAME AS ABOVE

Applicants Name, Address & Telephone:

Who should we contact when the permit is ready: 838-5870.

Telephone:

If you would like the permit mailed, what mailing address should we use:

6/14  
Rec'd By: CH

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**


- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

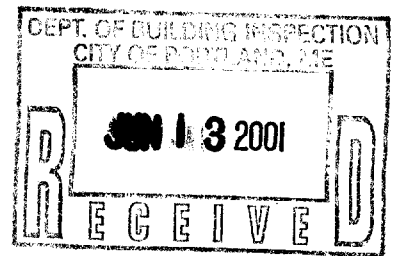
Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: 6-14-01
---	---------------



**Site Review Pre-Application  
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling  
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Timothy A. Higgins  
Applicant

6-13-01  
Application Date

242 VERANDA ST  
Applicant's Mailing Address

Two-Family  
Project Name/Description

\_\_\_\_\_  
Consultant/Agent

244 VERANDA ST  
Address Of Proposed Site

838-5870  
Applicant/Agent Daytime telephone and FAX

432-F003001  
Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply)  New Building  Building Addition  Change of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other(Specify) \_\_\_\_\_

\_\_\_\_\_  
Proposed Building Square Footage and /or # of Units

9001 sq. ft.  
Acreage of Site

R-5  
Zoning

Major Site Plan \_\_\_\_\_

Minor Site Plan

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant: Timothy A. Higgins Date: 6-13-01

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



## CITY OF PORTLAND

### To Applicants for Development in Portland:

The City of Portland has instituted the following fees to recover the costs of reviewing development proposals under the Site Plan and Subdivision ordinances: application fee, engineering fee, and inspection fee. Performance and defect guarantees are also required by ordinance to cover all site work proposed.

The **Application Fee** covers general planning and administrative processing costs, and is paid at the time of application for review.

Prior to issuance of a building permit, an **Engineering Review Fee** will be assessed. This fee is assessed by the Planning Office engineer for review of on-site improvements of a civil engineering nature, such as stormwater management as well as the engineering analysis of related improvements within the public right-of-way, such as public streets and utility connections, as assessed by the Department of Public Works. The Engineering Review fee must be paid before a building permit can be issued. The Planning Office will mail an invoice for this fee, usually within a week of approval of a project.

A **Performance Guarantee** letter of credit or escrow account will be required following approval of development plans. This guarantee covers all required improvements within the public right-of-way, plus certain site improvements such as landscaping, paving, and civil engineering. The Planning Office will provide a work sheet for figuring the amount of the performance guarantee, as well as model language for the guarantee instrument.

An **Inspection Fee** must also be submitted to cover inspections to ensure that sites are developed in accordance with the approved plan and adhere to required erosion and sedimentation controls. The inspection fee is 2.0% of the performance guarantee amount, or as assessed by the planning or public works engineer. Minimum inspection fees are \$100 for single and two family homes, and \$300 for all other development, unless no site improvements are proposed. At least four site visits are typical, at the outset of construction when the site is "opened", before pouring foundation, at time of paving, and at completion prior to issuance of a Certificate of Occupancy. Public Works inspects streets and utilities, including pipe-laying and connections. (The contractor must work with inspectors to coordinate timely inspections, and should provide adequate notice before inspections, especially in the case of final inspection.) **No building permit will be issued until the performance guarantee, engineering fee and inspection fee are received.**

Upon completion of a development project, the performance guarantee is released, and a **Defect Guarantee** in the amount of 10% of the performance guarantee must be provided. The Defect Guarantee will be released after a year, including a full winter season, elapses. Other reimbursements to the City include actual or apportioned costs for advertising and mailed notices.

These costs are a necessary part of the City of Portland land development review program. We strive to make the review process as fair, efficient, and economical as possible for all concerned. Please contact me or the planner assigned to your project for further information and guidance about how to navigate smoothly through this process. We are always interested in feedback as to the quality and responsiveness of the development review services we provide.

Alexander Jaegerman, AICP  
Chief Planner

Portland Planning Office  
Development Review and Rezoning Fee Schedule  
Effective June 1998

**APPLICATION FEES:**

- Major Development Application (More than 10,000 sq. ft.) (Parking area - 50 spaces or more) \$500.00
- Minor Development Application (Less than 10,000 sq. ft.) \$400.00
- Minor-Minor Site Plan Application \$200.00
- Subdivision Application \$25.00/lot
- PRUD Application \$500.00 + \$25.00/lot

**ENGINEERING FEES:**

- Engineering Review Fee Assessed by Engineer
- Engineering Inspection Fee 2.0% of Performance Guarantee or as assessed by Planning or Public Works Engineer, but minimum of \$300.00
- Single Family Engineering Inspection Fee \$100.00

**PERMIT FEES:**

- Building Permit Fee (Based on cost of work - estimated cost of labor and materials) \$30.00 for the first \$1,000.00 (\$6.00 per additional \$1,000.00)

**ZONE CHANGES**

	<u>1-25 Units</u>	<u>26-50 Units</u>	<u>51-75 Units</u>	<u>75 &amp; Over</u>
Residential Zones	\$350.00	\$400.00	\$450.00	\$500.00
Nonresidential Zones	\$350.00	\$400.00	\$450.00	\$500.00
	0-15,000 sq. ft. or 0-5 acres (whichever is less)	15,000-30,000 sq. ft. or 6-10 acres (whichever is less)	30,000-45,000 sq. ft. or 10-15 acres (whichever is less)	45,000-60,000 sq. ft. or 15-20 acres (whichever is less)

- Legal Advertisements (one for workshop and one for public hearing) percent of total bill
- Notices (one for workshop and one for public hearing) 40 cents each
- Text Amendments \$300.00

**CITY OF PORTLAND, MAINE  
SITE PLAN CHECKLIST**

244 Veeman St Two Family  
Project Name, Address of Project

\_\_\_\_\_  
I.d. Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
_____	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
_____	(2)	Name and address of applicant and name of proposed development	a
_____	(3)	Scale and north points	b
_____	(4)	Boundaries of the site	c
_____	(5)	Total land area of site	d
_____	(6)	Topography - existing and proposed (2 feet intervals or less)	e
_____	(7)	Plans based on the boundary survey including:	2
_____	(8)	Existing soil conditions	a
_____	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
_____	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
_____	(11)	Approximate location of buildings or other structures on parcels abutting the site	d
_____	(12)	Location of on-site waste receptacles	e
_____	(13)	Public utilities	e
_____	(14)	Water and sewer mains	e
_____	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
_____	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
_____	(17)	Location and dimensions of on-site pedestrian and vehicular accessways	g
_____	(18)	Parking areas	g
_____	(19)	Loading facilities	g
_____	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
_____	(21)	Curb and sidewalks	g
_____	(22)	Landscape plan showing:	h
_____	(23)	Location of existing proposed vegetation	h
_____	(24)	Type of vegetation	h
_____	(25)	Quantity of plantings	h
_____	(26)	Size of proposed landscaping	h
_____	(27)	Existing areas to be preserved	h
_____	(28)	Preservation measures to be employed	h
_____	(29)	Details of planting and preservation specifications	h
_____	(30)	Location and dimensions of all fencing and screening	i
_____	(31)	Location and intensity of outdoor lighting system	j
_____	(32)	Location of fire hydrants, existing and proposed	k
_____	(33)	Written statement	c
_____	(34)	Description of proposed uses to be located on site	l
_____	(35)	Quantity and type of residential, if any	l
_____	(36)	Total land area of the site	b2
_____	(37)	Total floor area and ground coverage of each proposed building and structure	b2
_____	(38)	General summary of existing and proposed easements or other burdens	c3
_____	(39)	Method of handling solid waste disposal	4





BUILDING PERMIT REPORT

DATE: 16 June 2001 ADDRESS: 244 Veranda St. CBL: 432-F-003

REASON FOR PERMIT: To Construct a Two Family dwelling (Section 310.5)

BUILDING OWNER: Timothy A. Higgins

PERMIT APPLICANT: CONTRACTOR SAO

USE GROUP: R-3 CONSTRUCTION TYPE: 5A 3 stories CONSTRUCTION COST: \$140,000.00 PERMIT FEES: Paid of Proceeding Permit

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1 \*2 \*3 \*4 \*5 \*6 \*8 \*9 \*10 \*11 \*14 \*16 \*18 \*20 \*22 \*28 \*29 \*30 \*31 \*32 \*33 \*35 \*36 \*37 \*38 \*39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

**X20.** All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

**X** 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

**X** 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**

**X** 29. All requirements must be met before a final Certificate of Occupancy is issued.

**X** 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

**X** 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

**(32)** Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheets shall be met.*

**X** 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

**X** 34. Bridging shall comply with Section 2305.16.

**X** 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

**X** 36. All flashing shall comply with Section 1406.3.10.

37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

**X** 37 ~~Roofing shall comply with section 1505.10~~

**X** 38 ~~Two family dwelling units in two-family dwelling shall be separated from each other by wall and/or floor assemblies of not less than 1-hour fire-resistive rating when tested in accordance with ASTM E 19. Fire-resistive-rated floor-ceiling and wall assemblies shall extend to and be tight against the exterior wall. The wall assemblies shall extend to the underside of the roof sheathing.~~

**X** 39 ~~This structure is Type 5A Const, because its 3 stories and shall comply with these fire resistance rating. (see attached C.~~

*[Signature]*  
Sandra Hoffses, Building Inspector

*[Signature]*  
Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

**X40.** The proposed steel beam shall require a design by a professional engineer or architect. This design shall be submitted to this office for approval - Sec. 107.8.

PSH 10/1/00

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$140,000.00 Plan Review # 752/01

Fee: Fees paid on previous permit Date: 14 June 2001

Building Location: 244 Veranda St. CBL: 432-F-003

Building Description: Two Family dwelling

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Two Family Type of Construction: 5A (3 stories.)  
 \*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a Certificate of occupancy can or will be issued.	111.0 118.0
2.	Dwelling units in two-family dwellings shall be separated from each other by wall and/or floor assemblies of not less than 1-hour fire-resistive rating when tested in accordance with ASTM E 119. Fire-resistive-rated floor-ceiling and wall assemblies shall extend to and be tight against the exterior walls and wall assemblies shall extend to the underside of the roof sheathing.	810.5 711.0
3.	Due to the fact this structure is 3 stories, the type of construction is 5A, and shall comply with the fire resistance rating of structure elements of Table 606. (see attached)	Table 606.0
4.	Private garages located shall comply with section 407.0	407.0
5.	Chimneys and vents shall comply with NFPA 211 & the manufacturer's requirements	NFPA 211
6.	Sound transmission shall comply with section 1214.0	1214.0
7.	Guardrails & handrails shall comply with section 1021.0	1021.0

REV: PSH 4-7-00



## Foundations (Chapter 18)

### Wood Foundation (1808)

NA Design  
NA Installation

### Footings (1807.0)

- Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- NA Insulated footing provided *work done on other permit.*
- Soil bearing value (table 1804.3)
- Footing width
- Concrete footing (1810.0) 3.1, 3.2
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Foundation Walls

- Design (1812.1) *Work completed on first permit.*
- Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
- Water proofing and damp proofing Section 1813
- Sill plate (2305.17)
- Anchorage bolting in concrete (2305.17)
- Columns (1912)
- SA Crawl space (1210.2) Ventilation
- SA Crawl opening size (1210.2.1)
- SA Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

### Floors (Chapter 16-23)

- Joists - Non sleeping area LL40PSF (Table - 1606)
- Joists - Sleeping area LL30PSF (Table - 1606)
- Grade
- Spacing
- Span
- Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~59~~ Bridging (2305.16)
- ~~57~~ Boring and notching (2305.5.1)
- ~~90~~ Cutting and notching (2305.3)
- ~~59~~ Fastening table (2305.2)
- ~~X~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~X~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~57~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~59~~ Notching and boring: (2305.4.4) studs
- ~~A~~ Non load bearing walls (2305.5)
- ~~X~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~59~~ Metal construction *beams*
- ~~X~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~119~~ Veneers (1405)
- ~~119~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- Roof rafters - Design (2305.15) spans
- Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- Roof trusses (2313.3.1)

- 
- 
- 
- 
- 

**Roof Coverings (Chapter 15)**

- Approved materials (1404.1)
- Performance requirement (1505)
- Fire classification (1506)
- Material and installation requirements (1507)
- Roof structures (1510.0)
- Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- Masonry (1206.0)
- Factory - built (1205.0)
- Masonry fireplaces (1404)
- Factory - built fireplace (1403)
- NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- 
- 
- 
- 
- 
- 
-

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Load Design Criteria**

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>48 PSF</u>	<u>X</u>
Seismic Zone	<u>.2</u>	<u> </u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

**Glazing (Chapter 24)**

<u>SA</u>	Labeling (2402.1)
<u> </u>	Louvered window or jalousies (2402.5)
<u> </u>	Human impact loads (2405.0)
<u> </u>	Specific hazardous locations (2405.2)
<u> </u>	Sloped glazing and skylights (2404)
<u> </u>	
<u> </u>	
<u> </u>	
<u> </u>	

**Private Garages (Chapter 4)**

<u>SA</u>	General (407)
<u> </u>	Beneath rooms (407.3)
<u> </u>	Attached to rooms (407.4)
<u> </u>	Door sills (407.5)
<u> </u>	Means of egress (407.8)
<u> </u>	Floor surface (407.9)
<u> </u>	
<u> </u>	



**Egress (Chapter 10)**

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 36" W 80" H
- ~~SA~~ Landings (1014.3.2) stairway
- ~~NO~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~NO~~ Winders (1014.6.3)
- ~~NO~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation  
Table 602**

1 Hour 310.5 See report

Electrical  
NFPA # 20

Applicant: Tim Higgins

Date: 6/28/01

Address: 244 VERANDA ST

C-B-I: 432-F-003 & 4

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing & Additions

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - TO reduce previously approved then appealed & denied 3 unit to A 2 unit building - see revised floor plans

Sewage Disposal - City Building Construction will remain the SAME

Lot Street Frontage - 50' req - 50' + shown (100.08')

Front Yard - 20' req or averaging used (neighbors = 12' + 20' - 32' ÷ 2 = 16' req) 16' shown

Rear Yard - 20' req - 20' + shown

Side Yard - 2 1/2 stories shown - 14' req - 9' & 20' shown - is allowed to reduce, one side down to no less than 8' (9' shown) 28' total needed 29' shown

Projections - left side stairs RT side stairs

Width of Lot - 60' req - 100.08' shown

Height - 35' MAX allowed - 30.85' scaled

Lot Area - 6,000 sq ft - 9001 sq ft given

Lot Coverage/Impervious Surface - 40% MAX - 9001 x 40% = 3600.4 MAX 3333.31 sq ft

Area per Family - 3,000 sq ft/family of 6,000 sq ft total

Off-street Parking - 4 req - 6 shown

Loading Bays - N/A

Site Plan - minor # 2001-01A7

Shoreland Zoning/Stream Protection - within 250' but well over 75' from HWM

Flood Plains - Panel Bdb 17 Zone C

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Insp Copy**

2001-0147  
Application I. D. Number  
  
06/13/2001  
Application Date  
  
Veranda St. New 2 Units  
Project Name/Description

Higgins Timothy A  
Applicant  
244 Veranda St, Portland, ME 04103  
Applicant's Mailing Address  
Timothy A. Higgins  
Consultant/Agent  
Applicant Ph: (207) 838-5870 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

244 - 244 Veranda St, Portland, Maine  
Address of Proposed Site  
432 F003001  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

1800 SqFt  
Proposed Building square Feet or # of Units                      Acreage of Site                      Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date: \_\_\_\_\_

**Insp Approval Status:**

Reviewer Marge Schmuckal

- Approved                       Approved w/Conditions  
See Attached                       Denied

Approval Date 06/28/2001                      Approval Expiration 06/28/2002                      Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance                      Marge Schmuckal                      06/28/2001  
signature                      date

Performance Guarantee  Required\*                       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>02/28/2001</u> date	<u>\$10,900.00</u> amount	<u>02/28/2002</u> expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	<u>05/01/2001</u> date	<u>\$3,890.00</u> remaining balance	<u>Jay Reynolds</u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

2001-0147

Application I. D. Number

06/13/2001

Application Date

Veranda St. New 2 Units

Project Name/Description

Higgins Timothy A

Applicant

244 Veranda St, Portland, ME 04103

Applicant's Mailing Address

Timothy A. Higgins

Consultant/Agent

Applicant Ph: (207) 838-5870      Agent Fax:

Applicant or Agent Daytime Telephone, Fax

244 - 244 Veranda St, Portland, Maine

Address of Proposed Site

432 F003001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 That the applicant add two additional trees of a size consistent with the City's landscape standards for a total of 4 trees (2 per unit)

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Please note that you are presently very close to the maximum lot coverage. This may restrict any future additions.
- 4 Please note that there may be some appeal rights with the issuance of this permit.
- 5 The issuance of this permit will automatically remove the present stop order on this job. Work corresponding to this submittal is allowed to proceed. All previous permits are made void by the issuance of this permit.
- 6 There shall be NO ALLOWANCE to pre-wire or pre-plumb a third kitchen in anticipation of future changes.

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (6) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 244 Veranda Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Planning Copy**

2001-0147  
Application I. D. Number  
  
06/13/2001  
Application Date

**Higgins Timothy A**  
Applicant  
**244 Veranda St, Portland, ME 04103**  
Applicant's Mailing Address  
**Timothy A. Higgins**  
Consultant/Agent  
**Applicant Ph: (207) 838-5870 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Veranda St. New 2 Units**  
Project Name/Description

**244 - 244 Veranda St, Portland, Maine**  
Address of Proposed Site  
**432 F003001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1800 SqFt**  
Proposed Building square Feet or # of Units      Acreage of Site      Zoning

**Check Review Required:**

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance		<input type="checkbox"/> Other _____

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

**Planning Approval Status:**      Reviewer **Jonathan Spence**

Approved       Approved w/Conditions See Attached       Denied

Approval Date **06/28/2001**      Approval Expiration **06/28/2002**      Extension to \_\_\_\_\_       Additional Sheets Attached

OK to Issue Building Permit      **Jonathan Spence**      **06/28/2001**  
signature      date

**Performance Guarantee**       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<b>02/28/2001</b> date	<b>\$10,900.00</b> amount	<b>02/28/2002</b> expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	<b>05/01/2001</b> date	<b>\$3,890.00</b> remaining balance	<b>Jay Reynolds</b> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0147**

Application I. D. Number

**06/13/2001**

Application Date

**Veranda St. New 2 Units**

Project Name/Description

**Higgins Timothy A**

Applicant

**244 Veranda St, Portland, ME 04103**

Applicant's Mailing Address

**Timothy A. Higgins**

Consultant/Agent

**Applicant Ph: (207) 838-5870      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**244 - 244 Veranda St, Portland, Maine**

Address of Proposed Site

**432 F003001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 That the applicant add two additional trees of a size consistent with the City's landscape standards for a total of 4 trees (2 per unit)

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Please note that you are presently very close to the maximum lot coverage. This may restrict any future additions.
- 4 Please note that there may be some appeal rights with the issuance of this permit.
- 5 The issuance of this permit will automatically remove the present stop order on this job. Work corresponding to this submittal is allowed to proceed. All previous permits are made void by the issuance of this permit.
- 6 There shall be NO ALLOWANCE to pre-wire or pre-plumb a third kitchen in anticipation of future changes.

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (6) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 244 Veranda Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
DRC Copy**

2001-0147  
Application I. D. Number  
  
06/13/2001  
Application Date  
  
Veranda St. New 2 Units  
Project Name/Description

**Higgins Timothy A**  
Applicant  
**244 Veranda St, Portland, ME 04103**  
Applicant's Mailing Address  
**Timothy A. Higgins**  
Consultant/Agent  
**Applicant Ph: (207) 838-5870 Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**244 - 244 Veranda St, Portland, Maine**  
Address of Proposed Site  
**432 F003001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**1800 SqFt**  
Proposed Building square Feet or # of Units      Acreage of Site      Zoning

**Check Review Required:**

<input checked="" type="checkbox"/> Site Plan (major/minor)	<input type="checkbox"/> Subdivision # of lots _____	<input type="checkbox"/> PAD Review	<input type="checkbox"/> 14-403 Streets Review
<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Historic Preservation	<input type="checkbox"/> DEP Local Certification
<input type="checkbox"/> Zoning Conditional Use (ZBA/PB)	<input type="checkbox"/> Zoning Variance		<input type="checkbox"/> Other _____

Fees Paid:    Site Plan \_\_\_\_\_    Subdivision \_\_\_\_\_    Engineer Review \_\_\_\_\_    Date \_\_\_\_\_

**DRC Approval Status:**      Reviewer Jay Reynolds

Approved       Approved w/Conditions See Attached       Denied

Approval Date 06/28/2001      Approval Expiration 06/28/2002      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance      Jay Reynolds      06/28/2001  
signature      date

**Performance Guarantee**       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>02/28/2001</u> date	<u>\$10,900.00</u> amount	<u>02/28/2002</u> expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date	_____ amount	
<input type="checkbox"/> Building Permit Issue	_____ date		
<input checked="" type="checkbox"/> Performance Guarantee Reduced	<u>05/01/2001</u> date	<u>\$3,890.00</u> remaining balance	<u>Jay Reynolds</u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released	_____ date	_____ signature	

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2001-0147**

Application I. D. Number

**06/13/2001**

Application Date

**Veranda St. New 2 Units**

Project Name/Description

**Higgins Timothy A**

Applicant

**244 Veranda St, Portland, ME 04103**

Applicant's Mailing Address

**Timothy A. Higgins**

Consultant/Agent

**Applicant Ph: (207) 838-5870      Agent Fax:**

Applicant or Agent Daytime Telephone, Fax

**244 - 244 Veranda St, Portland, Maine**

Address of Proposed Site

**432 F003001**

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

- 1 That the applicant add two additional trees of a size consistent with the City's landscape standards for a total of 4 trees (2 per unit)

**Approval Conditions of Insp**

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 Separate permits shall be required for future decks, sheds, pools, and/or garage.
- 3 Please note that you are presently very close to the maximum lot coverage. This may restrict any future additions.
- 4 Please note that there may be some appeal rights with the issuance of this permit.
- 5 The issuance of this permit will automatically remove the present stop order on this job. Work corresponding to this submittal is allowed to proceed. All previous permits are made void by the issuance of this permit.
- 6 There shall be NO ALLOWANCE to pre-wire or pre-plumb a third kitchen in anticipation of future changes.

**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (6) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now 244 Veranda Street, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 6 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 7 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

2001-0147

Application I. D. Number

6/13/01

Application Date

Veranda St. New 2 Units

Project Name/Description

Higgins Timothy A

Applicant

244 Veranda St, Portland, ME 04103

Applicant's Mailing Address

Timothy A. Higgins

Consultant/Agent

Applicant Ph: (207) 838-5870 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

244 - 244 Veranda St, Portland, Maine

Address of Proposed Site

432 F003001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_


1800 SqFt

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

- |  |   |   |  |
|--|---|---|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review   | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation  | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input checked="" type="checkbox"/> Other  |  |

Fees Paid: Site Plan \_\_\_\_\_ Subdivision \_\_\_\_\_ Engineer Review \_\_\_\_\_ Date \_\_\_\_\_

**Insp Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions  
See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets  
Attached

Condition Compliance \_\_\_\_\_  
signature \_\_\_\_\_ date \_\_\_\_\_

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

Inspection Services  
Michael J. Nugent  
Manager



Department of Urban Development  
Joseph E. Gray, Jr.  
Director

## CITY OF PORTLAND LEGAL NOTICE

June 14, 2001

**Site Location:** 244 Veranda Street  
**Nature of Project:** Building addition to an existing 2 unit  
**C/B/L:** 432-F-003/432-F-004

Dear Property Owner;

Mr. Timothy Higgins has submitted an application for minor site plan review for an addition to the existing two-family structure at the above address. The addition may not constitute a third dwelling unit in accordance with a recent decision by the Board of Appeals.

In accordance with section 14-32.3 of the Portland Land Use Ordinance notices of site plan applications must be sent to immediate abutters. The purpose of the notice is to invite comment from the abutters.

Staff review of the application has begun, but is not yet complete, and no decision has been made by the planning authority. The staff's action on this matter will not occur prior to June 28, 2001.

It should be noted that, while seeking site plan approval of an addition to the existing two unit, the applicant has stated that he will appeal last week's decision by the board of appeals which determined that the land area was too small to accommodate a three unit building.

Submissions, which accompanied the application, may be reviewed during regular business hours at:

Portland City Hall, Planning Office, 389 Congress St., 4<sup>th</sup> floor.

**From:** Sarah Hopkins  
**To:** Jay Reynolds; Jodine Adams; LITTELL, PENNY; Nug...  
**Date:** Wed, Jun 13, 2001 2:27 PM  
**Subject:** Higgins

Jodine,

We determined that Tim Higgins will have to reapply for Site Plan Review due to the upheld appeal on his 3 unit. He will apply for a 2 unit. Since it was an interpretation problem with this project, we thought it would be appropriate to waive the Minor Site Plan Review fee.

Also, given the concern raised by neighbors, we'd like to send out a more involved notice. Jay is going to draft it up. Do you want us to give it to you or do you just want to give us the mailing list and have us send it out? Whatever works for you...

-Sarah

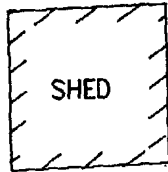
**CC:** ADELSON, MARK ; JAEGERMAN, ALEX

80.06'

LANDSCAPE EASEMENT TO BUFFER PARKING

N72°00'00"E

100.08'



SHED

LOT AREA =  
9,000 S.F.

90.00'

N20°13'00"W

2 CAR  
GARAGE

2 CAR  
GARAGE

2 CAR  
GARAGE

LOT AREA =  
9,001 S.F.

EXISTING 2 UNIT HOUSE

to remain 2 D.U.

PORCH

2 UNIT  
HOUSE

DECK

2 STORY  
PORCH

FRONT SETBACK EVEN  
WITH ADJACENT STRUCTURES



90.00'

S20°13'00"E

WOOD RETAINING WALL  
SHRUBS

IPF

PAVED DRIVE

PAVED DRIVE

WALK

80.06'  
N72°00'00"E

PAVED SIDEWALK

13'

100.08'  
N72°00'00"E

STOCKADE FENCE

IPF

9'

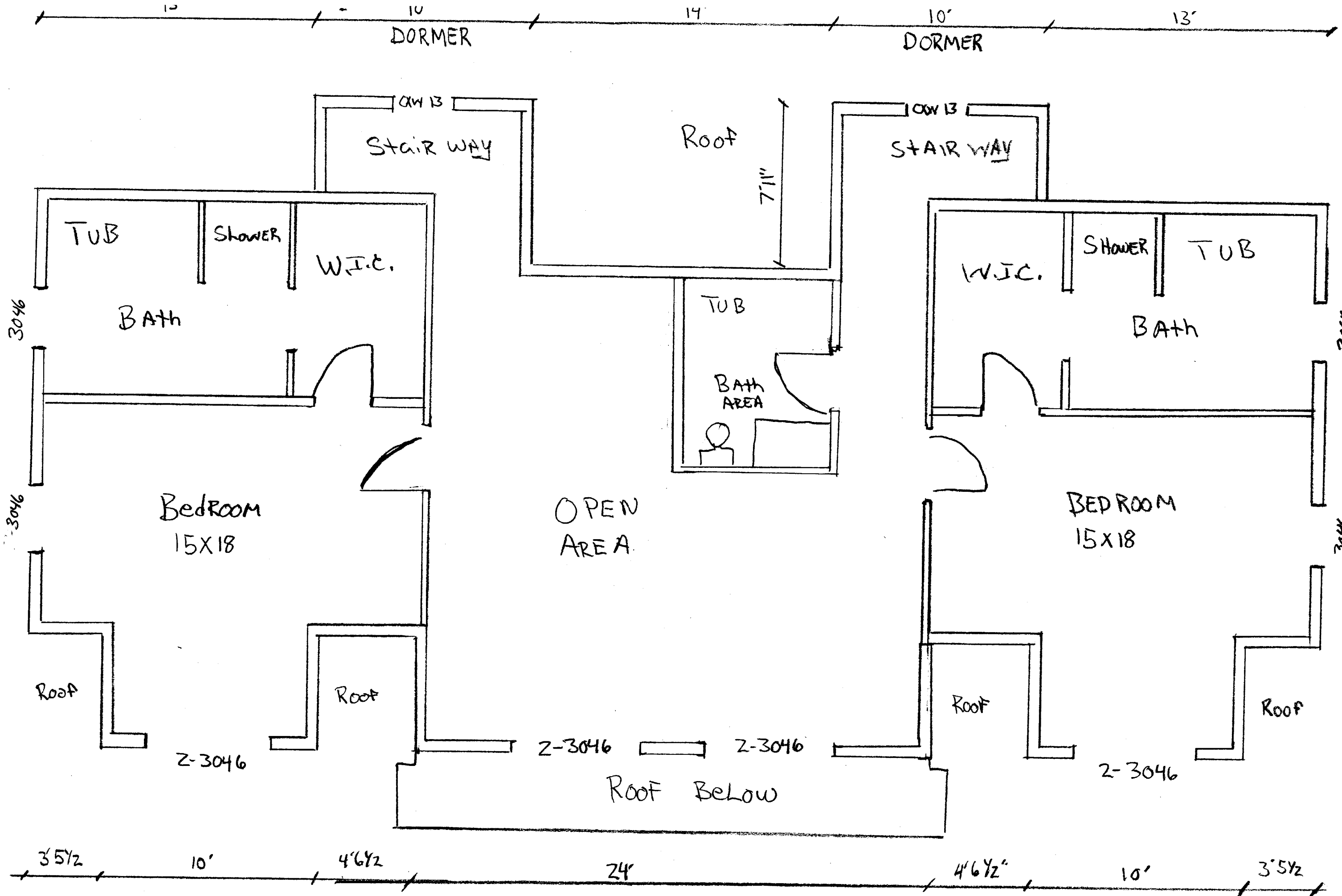
20'

20'

n

s





Third Floor PLAN

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUN 15 2001  
RECEIVED



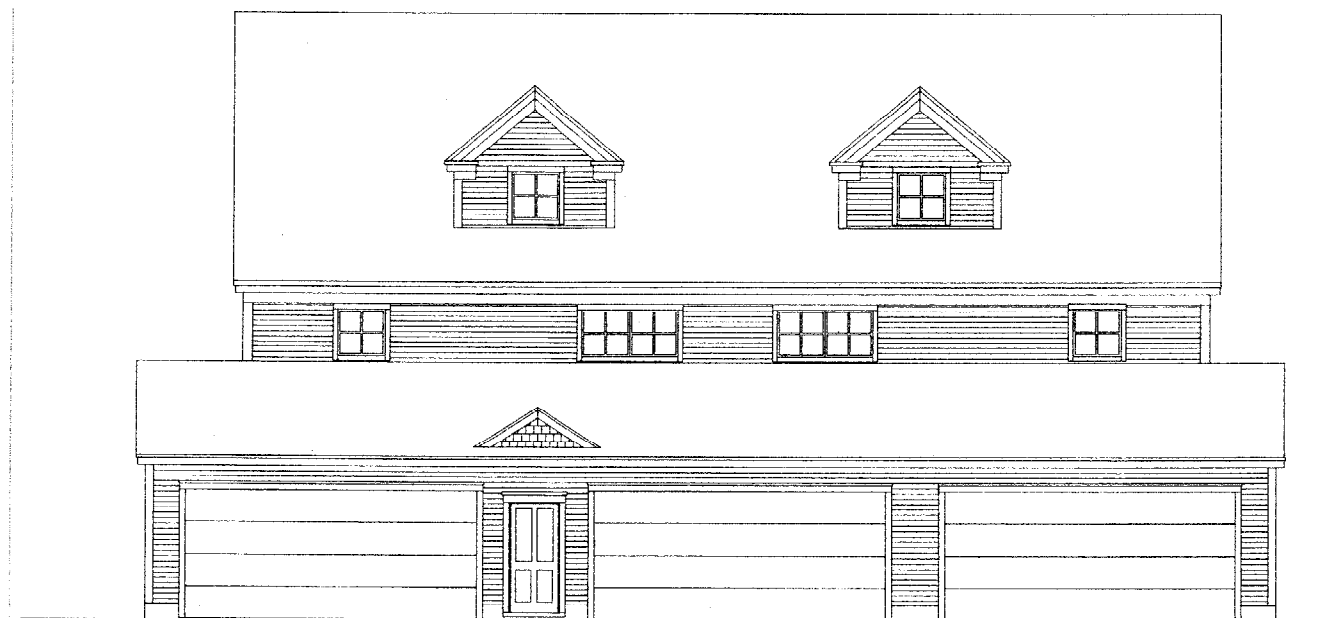
VERANDA STREET ELEVATION

16/June/01  
Plans reviewed  
on larger plans.  
H

Tim Higgins  
242 VERANDA ST  
PORTLAND ME  
tel. 838-5870

Owner <b>HIGGINS CONSTRUCTION</b> PORTLAND, MAINE	
Professional Civil Engineer <b>Stephen W. Tibbets, P.E.</b> 1104 Elm St., Portland, ME 04111 (603) 751-5617 Fax (603) 751-6108	
Project <b>BUILDING ADDITIONS AND ALTERATIONS</b> 241 VERANDA STREET, PORTLAND, MAINE	
Date JUN 15 2001	Scale AS NOTED
<b>ELEVATIONS</b>	
<b>A-1</b>	

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUN 15 2001  
RECEIVED



NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Owner:  
HIGGINS CONSTRUCTION  
PORTLAND, MAINE

Stephen W. Tibbets, P.E.  
Professional Civil Engineer  
11 Oak Ridge Road, Brunswick, Maine 04011  
(207) 725-3067 Fax (207) 725-6108

Project:  
BUILDING ADDITIONS  
AND ALTERATIONS  
341 VERNON STREET, PORTLAND, MAINE

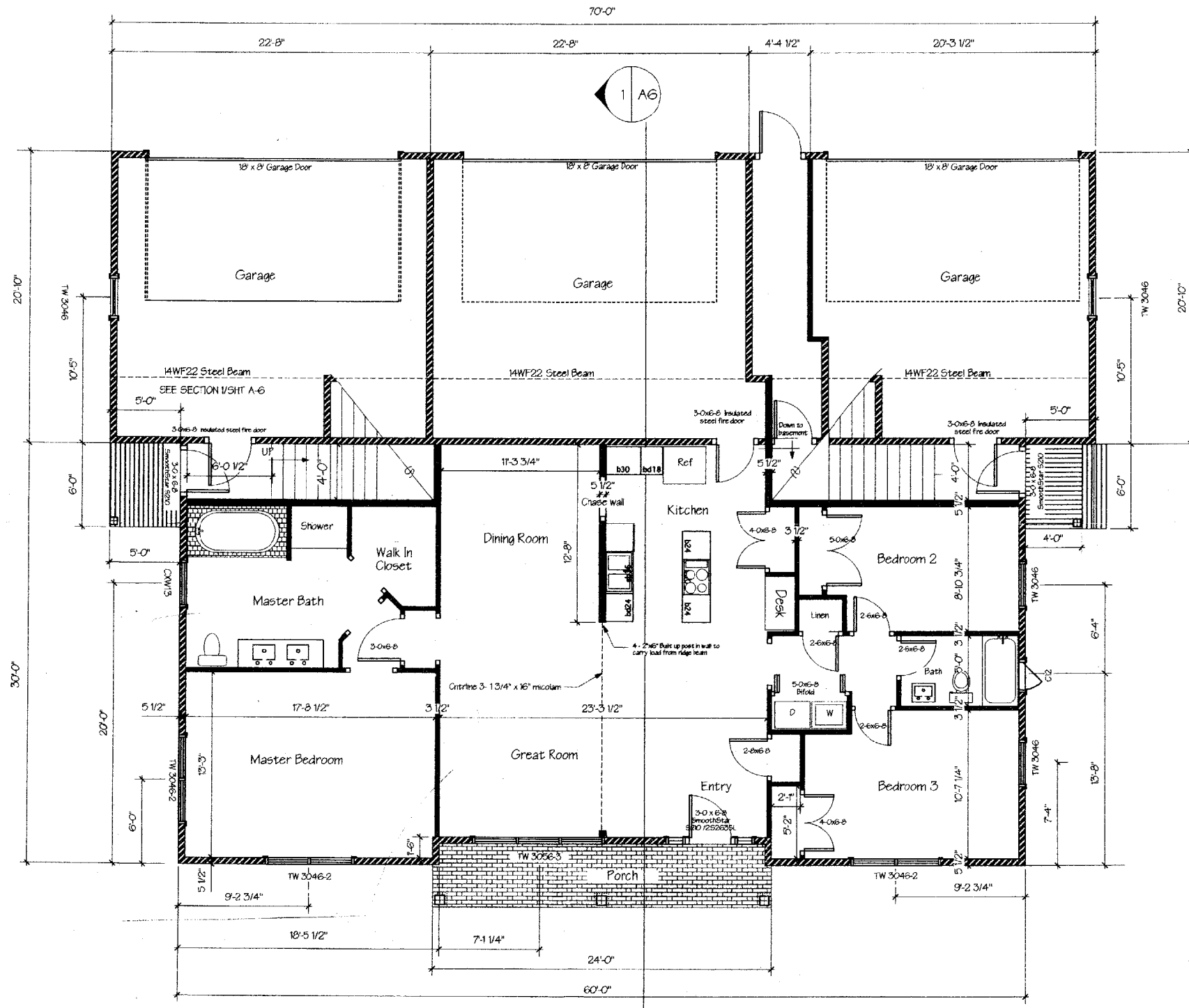
DATE	REVISION	BY	CHKD.

ELEVATIONS

A-2



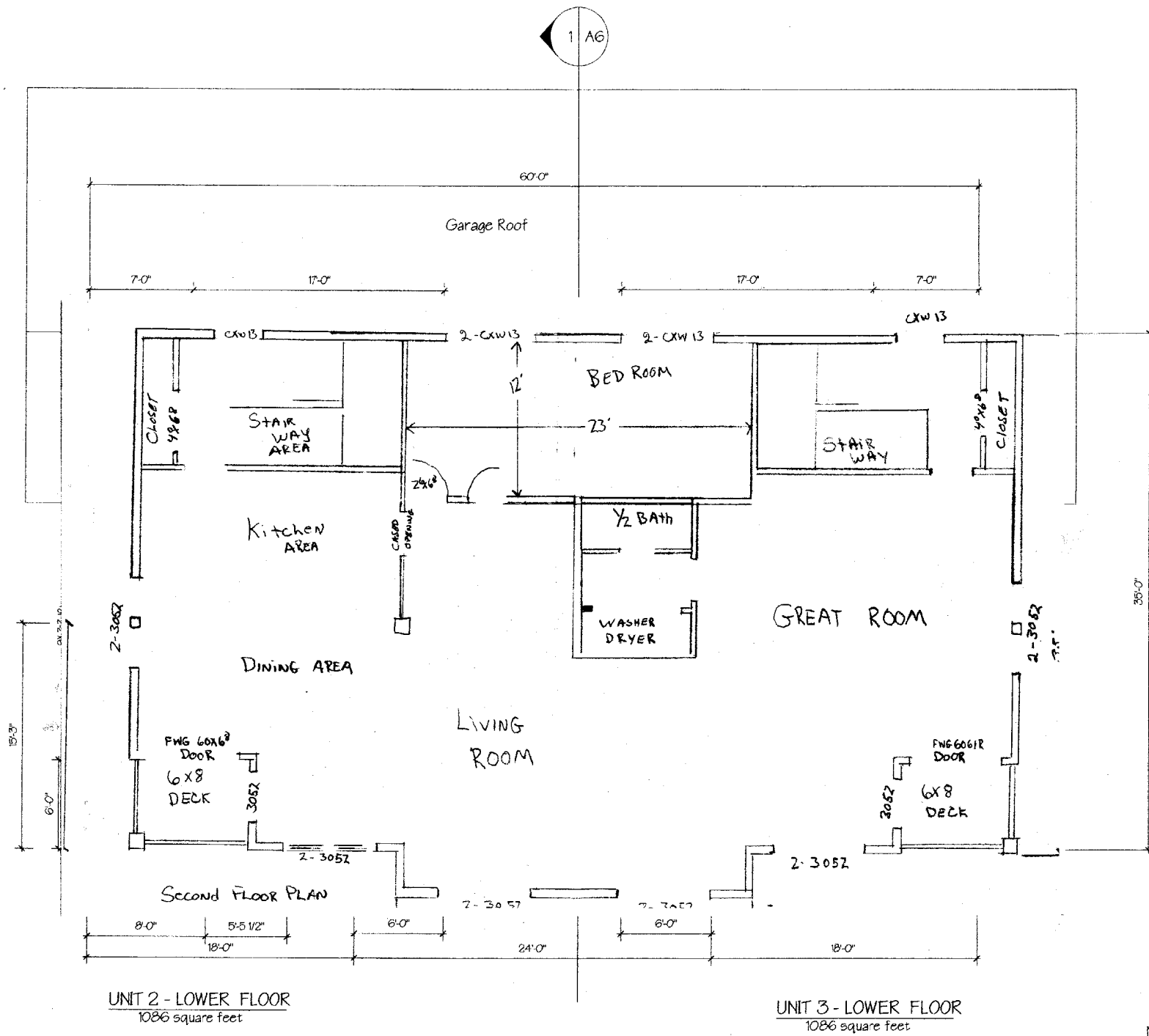
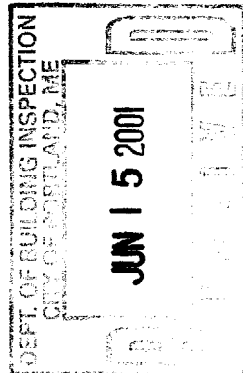
JUN 15 2001  
 RECEIVED  
 ARCHITECTURE DEPARTMENT  
 1000 STATE STREET, PORTLAND, MAINE



First Floor Plan - Unit 1  
1705 sq ft

NOTES:  
 1.0 All windows to meet egress requirements.  
 2.0 All windows are Anderson Tilt Wash with screens, grilles per elevations, low E glazing.

	<b>HIGGINS CONSTRUCTION</b> PORTLAND, MAINE	
<b>Stephen W. Tibbets, P.E.</b> Professional Civil Engineer <small>15 Oak Ridge Road, Westbrook, Maine 04092          (207) 725-5867 Fax (207) 725-6188</small>		
<b>BUILDING ADDITIONS          AND ALTERATIONS</b> <small>24 WILSON STREET, PORTLAND, MAINE</small>		
<b>FIRST FLOOR PLAN</b>		
<b>A-3</b>		



UNIT 2 - LOWER FLOOR  
1086 square feet

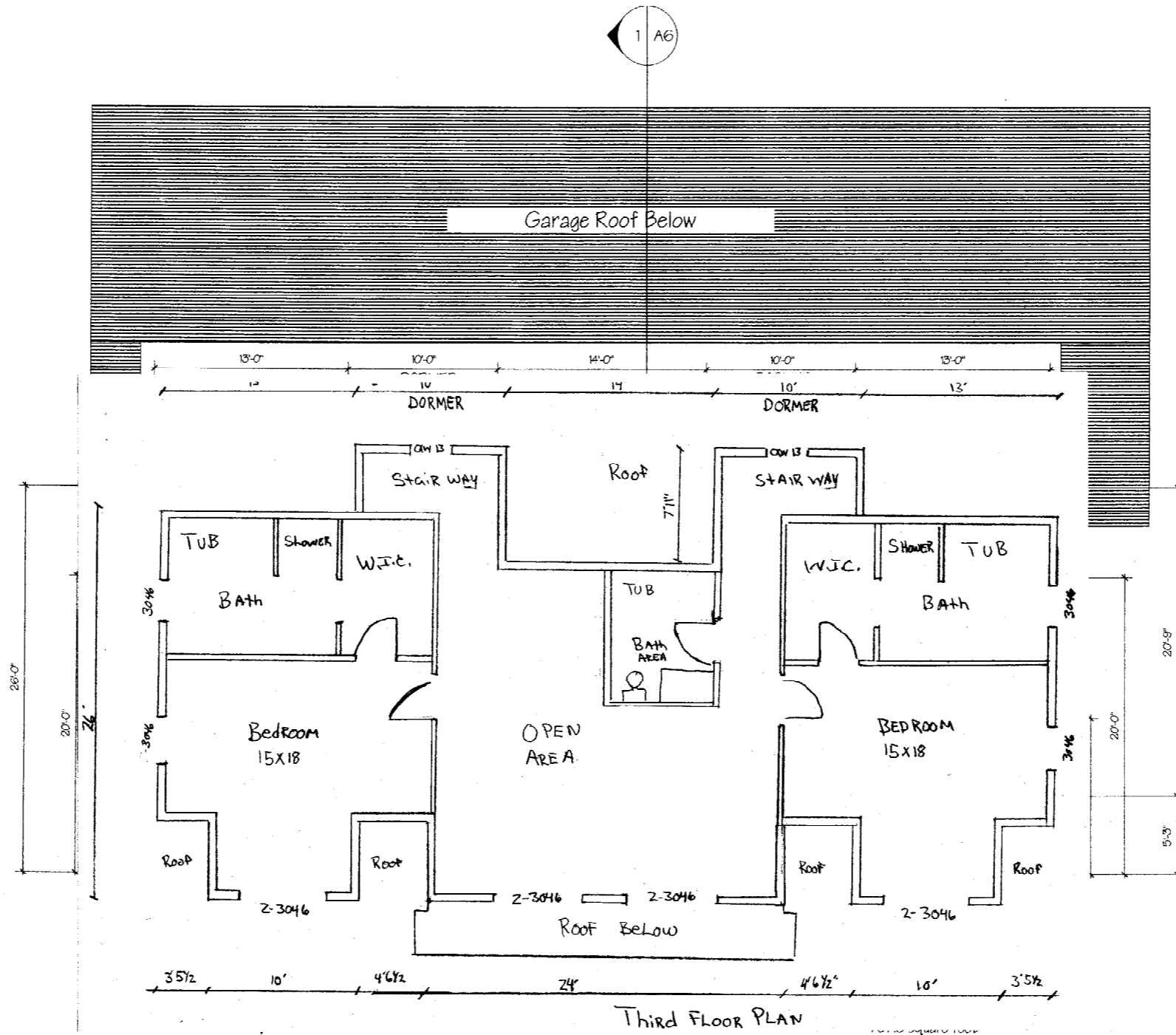
UNIT 3 - LOWER FLOOR  
1086 square feet

Second Floor Plan  
2172 square feet

- NOTES:  
 1.0 All windows to meet egress requirements.  
 2.0 All windows are Anderson Tilt Wash with screens, grilles per elevations, low E glazing.

Owner <b>HIGGINS CONSTRUCTION</b> PORTLAND, MAINE	
Project <b>BUILDING ADDITIONS AND ALTERATIONS</b> 24 WINDY STREET, PORTLAND, MAINE	
Date JUN 15 2001	Inspector Stephen W. Tibbatts, P.E. Professional Civil Engineer 13 Oak Ridge Road, Portland, Maine 04101 (603) 755-5667 Fax (603) 755-5668
<b>SECOND FLOOR PLAN</b>	
<b>A-4</b>	

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
JUN 15 2001  
217 E



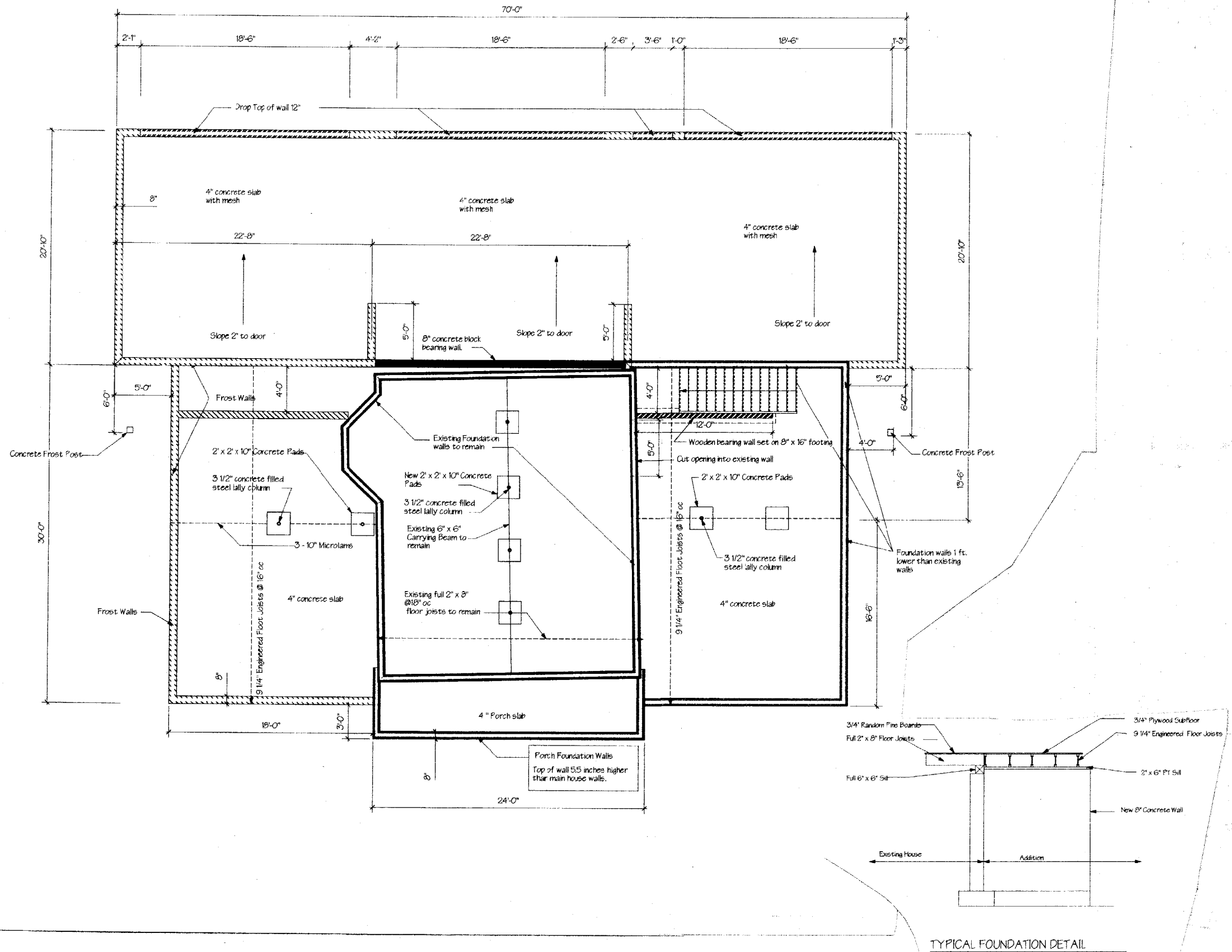
Third Floor PLAN  
1414.6 square feet.

NOTES:  
1.0 All windows to meet egress requirements,  
2.0 All windows are Anderson Tilt Wash with screens, grilles per elevations, low E glazing.

Owner		HIGGINS CONSTRUCTION PORTLAND, MAINE	
Professional		Stephen W. Tibbets, P.E. Professional Civil Engineer 11 Oak Ridge Road, Brunswick, Maine 04011 (207) 725-3867 Fax (207) 725-6188	
Project		BUILDING ADDITIONS AND ALTERATIONS 34 WILSON STREET, PORTLAND, MAINE	
DATE	BY	DATE	BY
THIRD FLOOR PLAN		A-5	



DEPT. OF BUSINESS & ECONOMIC DEVELOPMENT  
**JAN 15 2001**  
**RECEIVED**



Owner: **HIGGINS CONSTRUCTION**  
 PORTLAND, MAINE

Stephen W. Tibbets, P.E.  
 Professional Civil Engineer  
 15 Oak Edge Road, Brunswick, Maine 04011  
 (603) 753-5667 Fax (603) 753-6188

**BUILDING ADDITIONS AND ALTERATIONS**  
 241 FEDERAL STREET, PORTLAND, MAINE

No.	DATE	AS NOTED

**FOUNDATION PLAN**

**A-7**