

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0329	Issue Date: <b>MAY - 2</b>	CBL: 432 F003001
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Location of Construction: 244 Veranda St	Owner Name: Higgins Timothy A	Owner Address: 244 Veranda St	Phone: 838-5870
Business Name: n/a	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: <b>K-5</b>

**CITY OF PORTLAND**

Past Use: Multi Family / 2 Units	Proposed Use: Additions to two family to add garages and 3rd unit. Call owner when ready.	Permit Fee: \$984.00	Cost of Work: \$160,000.00	CEO District: 2
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FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R-2</b> Type: <b>53</b>
<b>PERMIT ISSUED WITH REQUIREMENTS</b>	
Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>

**Proposed Project Description:**  
Additions to Multi Family To Change from 2 to 3 Units with Garages Per Plans.

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action:	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Signature:	Date:	

Permit Taken By: cjh	Date Applied For: 04/09/2001	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>over 75' to HWM</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>Panel B Zone C</i> <input type="checkbox"/> Subdivision <i>N/A</i> <input checked="" type="checkbox"/> Site Plan <i># 2001-0008</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>5/1/01</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review for New Detached Single Family Dwelling,  
All Purpose Building Permit Application**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <u>244 VERANDA ST.</u>
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Total Square Footage of Proposed Structure <u>5379</u>	Square Footage of Lot <u>9001</u>
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Tax Assessor's Chart, Block & Lot Number Chart# <u>432</u> Block# <u>F</u> Lot# <u>003</u>	Owner: <u>Timothy A. Higgins</u>	Telephone#: <u>838-5870</u> <u>773-8362</u>
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Lessee/Buyer's Name (If Applicable) <u>N/A.</u>	Owner's/Purchaser/Lessee Address: <u>242 VERANDA ST. PORT.</u>	Cost Of Work: <u>\$160,000.-</u> Fee: <u>\$ 984.<sup>00</sup></u>
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Current use: <u>Two Family <del>Detached</del></u> Proposed use: <u>Three Family</u>
Project description: <u>Additions to two Family to Add Garages AND third unit.</u>

Contractor's Name, Address & Telephone <u>* Timothy A. Higgins 242 VERANDA ST. PORT.</u>	<u>8385870</u> <u>773-8362</u> Rec'd By: <u>CH</u>
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**A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:**

\* Call when ready

- 4 copies of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"

**On all commercial permits the following must be submitted:**

- 1 copy of the site/plot plan
- 1 copy of the building/construction plan on 32" x 48"
- 1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"

Please note that single family additions and alterations may be hand drawn on regular paper, however the below details will still apply.

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**A PLOT PLAN INCLUDES THE FOLLOWING:**

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation ( based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

**A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:**

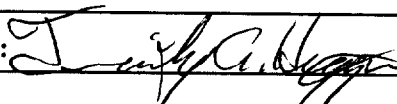
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
  - Floor Plans & Elevations
  - Window and door schedules
  - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS**

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

**Certification**

*I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: 	Date: April 9, 01
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

**ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED**

BUILDING PERMIT REPORT

DATE: 4/10/01 ADDRESS: 244 Veranda St CBL: 432-F-003001

REASON FOR PERMIT: Additions To Multi Family To Change From 2 To 3 12/4/10/1/99

BUILDING OWNER: Addition to add garage + 3rd unit

PERMIT APPLICANT: Tim Hissler CONTRACTOR Same

USE GROUP: R-2 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 160,000 PERMIT FEES: 984.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*10\*8 11 \*13\*6 \*14\*20 \*15\*17; \*27, \*28 \*29, \*30, \*31, \*33, \*35, \*36, \*38, \*39

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

\* 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

\* 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

\* 29. All requirements must be met before a final Certificate of Occupancy is issued.

\* 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

\* 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)

*All previous requirements and conditions are still in force*

\* 32. Please read and implement the attached Land Use Zoning report requirements.

\* 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

\* 34. Bridging shall comply with Section 2305.16.

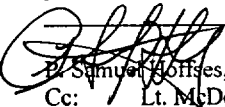
\* 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

\* 36. All flashing shall comply with Section 1406.3.10.

\* 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

\* 38. A 2hr fire resistance rating assemblies shall be constructed between the dwelling units.

\* 39. The proposed steel beam shall require a design by a professional engineer - submit this info. before work is started.



D. Samuel Hoffes, Building Inspector

Cc: Lt. McDougall, PFD

Marge Schmuckal, Zoning Administrator

Michael Nugent, Inspection Service Manager

PSH 10/1/00

\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

Applicant: Timothy Higgins  
 Address: 244 Veranda St  
 Foundation permit # 2001-010164  
 Date: 3/7/01  
 C-B-L: 432-F-003

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing  
 Now for additional construction

Zone Location - R-S

Interior or corner lot - Interior  
 Proposed Use/Work - change of use from 2 to 3 D.U. with demo. ~~Attache~~ Additional  
 This is for ~~A foundation only~~

Sevage Disposal - City

Lot Street Frontage - ~~20' req. or averaging~~ 50' req - 50'+ shown

Front Yard - 20' req. or averaging ~~used~~ (Neighbors = 12+20' = 32' ÷ 2 = 16' req)  
 (50' can be allowed - 24' shown)  
 16' OK

Rear Yard - 20' req - 20' shown

Side Yard - 2 1/2 stories shown - 14' req - 9' & 20' shown - is allowed to reduce one side down to no less than 8' (9' shown) - 28 total needed, 29' shown

Projections - left side stairs - rt side stairs

Width of Lot - 60' req - 100.00' shown

Height - to be determined when the construction permit is applied for  
 35' MAX allowed - 32.25' scaled

Lot Area - 9001# shown

Lot Coverage/ Impervious Surface - 40% MAX - 9001 x .40 = 3600.4# MAX  
 showing 3270#

Area per Family - 3,000# / fam or 9000# req - 9001# shown

Off-street Parking - 2 per unit req or 6 - 6 spaces shown

Loading Bays - N/A

Site Plan - immot # 2001-0008

Shoreland Zoning/ Stream Protection - within 250', but well over 75' from HWM

Flood Plains - Zone C  
 Panel 8 of 17  
 Unit Plat Area  
 unit 1 = 1705# 707.3 1793.3# 3333.31  
 unit 2 = 1006# + 726 = 1732#  
 unit 3 = 1006# + 707.3 = 1713.3#

Handwritten calculations and notes:

- 3600.4# MAX
- showing 3270#
- 3333.31#
- 70' x 20' 10" = 1458.31
- 20.833
- 30 x 18 = 540
- 24 x 33 = 729
- 30 x 18 = 540
- 5 x 6 = 30
- 6 x 9 = 54
- 36



CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

2001-0008

Application I. D. Number

01/18/2001

Application Date

Veranda St #244

Project Name/Description

Higgins Timothy A

Applicant

244 Veranda St, Portland, Me 04103

Applicant's Mailing Address

Timothy A. Higgins

Consultant/Agent

Applicant Ph: (207) 838-5870      Agent Fax:

Applicant or Agent Daytime Telephone, Fax

244 - 244 Veranda St, Portland, Maine

Address of Proposed Site

432 F003001

Assessor's Reference: Chart-Block-Lot

**Approval Conditions of Planning**

1. No building permit will be issued unless applicant has re-submitted a revised drawing to the Planning Dept., showing that the      Westerly sideslopes that meet final grading specifications (3 to 1 max.)
2. A cost estimate of Site improvements to be covered by performance guarantee must be submitted and approved      Prior to the issuance of a building permit.

**Approval Conditions of Insp**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits shall be required for future decks, sheds, pool, and/or garage.
3. A separate permit shall be required for the construction work. All necessary plans shall be submitted to show that further requirements, such as, height, floor area, exiting, structurals etc., have been met.

**Approval Conditions of DRC**

1. See Planning conditions of approval.

**Approval Conditions of Fire**

1. Building shall be sprinklered



Revised  
2nd & 3rd floor plans

received 4/26/01 Late in Afternoon

2nd floor =  $2172^{\#} \times \underset{\substack{\downarrow \\ 2/3}}{.66} = 1433.52^{\#}$

of

for 1/2 story status, this may not be more than  
 $\frac{2}{3}$  the square footage of the floor direct below.

3rd floor

$707.3^{\#} =$  upper floor of unit 2

$707.3^{\#} =$  upper floor of unit 3

$1414.60^{\#}$  total 3rd floor

can be considered  
 $2\frac{1}{2}$  stories for  
purposes of set back

Inspection Services  
Michael J. Nugent  
Manager



Department of Urban Development  
Joseph E. Gray, Jr.  
Director

## CITY OF PORTLAND LEGAL NOTICE

April 12, 2001

**Site Location:** 244 Veranda Street  
**Nature of Project:** add 3<sup>rd</sup> living unit & garage  
**C/B/L:** 432-f-003

Dear Property Owner;

A Building Permit Application was submitted to the City of Portland Inspections Office on April 9, 2001 from Timothy Higgins. The applicant is requesting to add a third unit to the existing 2-unit residence. The applicant is requesting a footprint expansion of 30' x 60' for living space and a 21' x 70' foot print expansion for a garage.

In accordance with section 14-32.3 of the Portland Land Use Ordinance notices of site plan applications must be sent to immediate abutters. Unfortunately, the process was not implemented when the site plan application was submitted, therefore we feel obligated to notify you at this time.

The review of the application is now starting and it must go through several steps prior to approval, including staff technical review.

The technical submissions are available in the Inspections Office, 389 Congress St., 3rd floor.

Michael Nugent



## CITY OF PORTLAND

April 12, 2001

Elizabeth Holton  
18 Victoria Street  
Portland, ME 04103

RE: 244 Veranda Street project – R-5 zone – 432-F-003

Dear Elizabeth,

Mayor Cheryl Leeman asked me to confirm our conversation of April 5, 2001. Again, I want to remind you that you still have some appeal rights. As I mentioned, I will let you know when the structural permit is issued for 244 Veranda Street. You would have 30 days from that date in which to file an appeal. I am enclosing information at this time that explains the appeal process and what you would need to do to file an appeal.

As I stated, the R-5 zone presently does allow the addition of one more unit to an existing building still using the 3,000 sq. ft. of land area per unit. However, Mayor Leeman has requested that City staff revisit this section of the ordinance to either clarify it, or to perhaps completely modify it. I am setting up a staff meeting to begin this review sometime next week. Any text changes to the ordinance that the staff proposes will require a review by the Planning Board. These will be public meetings. We will make sure that you will be notified of these meetings. After the Planning Board reviews the revisions and gives their input, they will make a recommendation to the City Council. Then the City Council will review those revisions and may make their own changes or will adopt the proposal. It will then become part of the land use ordinance.

During our review of the permitted uses I am sure we will be looking at whether to allow an additional third unit to an existing building, still using the 3,000 square foot land area per unit requirement. Limiting addition sizes during this type of change of use would also be a consideration.

If you would like to discuss any of these types of changes, I would be happy to discuss them with you. Please feel free to contact me at 874-8695.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal", with a long, sweeping horizontal stroke extending to the right.

Marge Schmuckal  
Zoning Administrator

CC: Mayor Cheryl Leeman  
Mark Adelson, Housing and Neighborhood Services  
Alex Jaegerman, Planning  
Sarah Hopkins, Planning  
Penny Littell, Corporation Counsel

File

REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE

CURR. DESC. LAND NOS. STREET BLDG. NO. CARD NO. DEVELOPMENT NO. AREA DIST. ZONE CHART BLOCK LOT  
 242-246 Veranda  
 3 F 432

TAXPAYER ADDRESS AND DESCRIPTION

100 VERANDA ST  
 PORTLAND MAINE  
 CITY  
 LAND & BLDGS VERANDA ST #242-246  
 LOTS 166-167-168 REC PL OCEAN  
 VIEW PARK PORTLAND MAINE  
 ASSESSORS PLAN 432-F-3  
 AREA 6000 SQ FT

RECORD OF TAXPAYER

YEAR BOOK PAGE

PROPERTY FACTORS IMPROVEMENTS

LEVEL	WATER	✓
HIGH	SEWER	
LOW	GAS	
ROLLING	ELECTRICITY	
SWAMPY	ALL UTILITIES	✓
STREET	TREND OF DISTRICT	
PAVED	IMPROVING	✓
SEMI-IMPROVED	STATIC	
DIRT	DECLINING	
SIDEWALK	PASTURE	NO
	WOODED	
	WASTE	

LAND VALUE COMPUTATIONS AND SUMMARY

LAND VALUE COMPUTATIONS AND SUMMARY

LAND	275
BLDGS	2050
TOTAL	2325
LAND	300
BLDGS	2200
TOTAL	2500

FRONTAGE	100	DEPTH	100	UNIT PRICE	8.25	FRONT FT.	100
DEPTH	100	FRONT FT.	100	PRICE	11.50	YEAR	1958

LAND VALUE COMPUTATIONS AND SUMMARY

LAND VALUE COMPUTATIONS AND SUMMARY

TOTAL VALUE LAND	480
TOTAL VALUE BLDINGS	3640
TOTAL VALUE LAND AND BLDINGS	4120

TOTAL VALUE LAND	460
TOTAL VALUE BLDINGS	3470
TOTAL VALUE LAND AND BLDINGS	3930

LAND VALUE COMPUTATIONS AND SUMMARY

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TOTAL VALUE LAND	125
TOTAL VALUE BLDINGS	2075
TOTAL VALUE LAND AND BLDINGS	2200

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TOTAL VALUE BLDINGS	2075
TOTAL VALUE LAND AND BLDINGS	2200

YEAR	1958	ORIG. COST	8500
YEAR	1958	SALE PRICE	8500
U. S. R. S.			
NET			

YEAR	1958	ORIG. COST	8500
YEAR	1958	SALE PRICE	8500
U. S. R. S.			
NET			

BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
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BLK.	LOT	SQ. FT. TO-FROM CH.
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BLK.	LOT	SQ. FT. TO-FROM CH.
BLK.	LOT	SQ. FT. TO-FROM CH.

BLK.	LOT	SQ. FT. TO-FROM CH.
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COLE-LAYNE-TRUMBLE-CC-DAYTON, OHIO

B... ..

RECORD OF BUILDINGS  
 GRADE DENOTES QUALITY OF CONSTRUCTION: A-EXCELLENT; B-GOOD; C-AVERAGE; D-CHEAP; E-VERY CHEAP

YEAR 19  
 YEAR 19

FOUNDATIONS  
 CONCRETE  
 CONCRETE BLOCK  
 BRICK OR STONE  
 PIERS  
 CELLAR AREA FULL  
 NO. CELLAR  
 EXTERIOR WALLS  
 CLAPBOARDS  
 WIDE SIDING  
 DROP SIDING  
 NO SHEATHING  
 WOOD SHINGLES  
 ASBES. SHINGLES  
 STUCCO ON FRAME  
 STUCCO ON TILE  
 BRICK VENEER  
 BRICK ON TILE  
 SOLID BRICK  
 STONE VENEER  
 CONC. OR CIND. BL.  
 TERRA COTTA  
 VITROLITE  
 PLATE GLASS  
 INSULATION  
 WEATHERSTRIP  
 ROOFING  
 ASPH. SHINGLES  
 WOOD SHINGLES  
 ASBES. SHINGLES  
 SLATE  
 TILE  
 METAL  
 COMPOSITION  
 ROLL ROOFING  
 INSULATION

FLOOR CONSTRUCTION  
 WOOD JOIST  
 STEEL JOIST  
 MILL TYPE  
 REIN. CONCRETE  
 FLOOR FINISH  
 B 1 2 3  
 CEMENT  
 EARTH  
 PINE  
 HARDWOOD  
 TERRAZZO  
 TILE

PLUMBING  
 BATHROOM  
 TOILET ROOM  
 WATER CLOSET  
 LAVATORY  
 KITCHEN SINK  
 STD. WAT. HEAT  
 AUTO. WAT. HEAT  
 ELECT. WAT. SYST.  
 LAUNDRY TUBS  
 NO PLUMBING  
 TILING  
 BATH FL. & WCOT.  
 TOILET FL. & WCOT.  
 LIGHTING  
 ELECTRIC  
 NO LIGHTING

NO. OF ROOMS  
 BSMT. 2ND 4TH  
 1ST 2ND 3RD  
 OCCUPANCY  
 SINGLE FAMILY  
 TWO FAMILY  
 APARTMENT  
 STORE  
 THEATRE  
 HOTEL  
 OFFICES  
 WAREHOUSE  
 COMM. GARAGE  
 GAS STATION  
 ECONOMIC CLASS  
 UNDER BUILT  
 CYBER BUILT

HEATING  
 PIPELESS FURNACE  
 HOT AIR FURNACE  
 FORCED AIR FURN.  
 STEAM  
 HOT W/T. OR VAPOR  
 NO HEATING

RECORD OF BUILDINGS

YEAR	TAX VAL.	OLD VAL.	CHANGE
1931			
SUMMARY OF BUILDINGS			
TYPE	GR.	AGE	REMOD.
A 2	C	47	F
B	C-36		F.P.
C 2 5/8	C		
D			
E			
F			
G			

UNIT	1931	1958	COMPUTATIONS
44's. F.	4070		
ADDITIONS		1650	
EASEMENT		240	
WALLS 45		380	
ROOF			
FLOORS			
ATTIC			
FINISH			
FIREPLACE			
HEATING			
PLUMBING			
TILING			
TOTAL	6620	6510	
FACT.	200	260	
REP. VAL.	6420	6310	

1931  
 1958

1951  
 1958

3640  
 200

2185

2075

3640

200

1951  
 1958

04/12/2001

3:48 PM

BROOKS ROBERT E  
18 VICTORIA ST  
PORTLAND, ME 04103

CONNOLLY GEORGIA M  
22 VICTORIA ST  
PORTLAND, ME 04103

HIGGINS TIMOTHY A  
242 VERANDA ST  
PORTLAND, ME 04103

Elizabeth  
Holton  
18 Victoria St  
04103

Murphy  
↑  
Connolly

Ben

Antonio + Maria Bifulco  
252 Veranda St  
Portland

Jamie + Dana Ben  
9 Victoria St  
Pat.

GAIL Murphy  
17 Victoria

**Labels Requested For CBL:**

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432 F002

432 F004

433 G001

433 G002



17 Victoria Street  
Portland, ME 04103

April 16, 2001

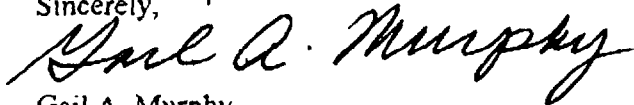
Michael J. Nugent  
Department of Urban Development  
389 Congress Street  
Portland, ME 04101

Re: 244 Veranda Street

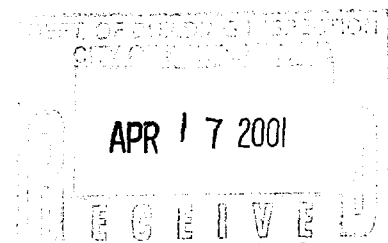
Dear Mr. Nugent;

This East Deering neighborhood is extremely upset with this construction project. We were not aware that 244 Veranda Street was anything but a single family residence. However, our main concerns are the views of Casco Bay that we will be losing and concern over the quality and the appropriateness of work done by Mr. Higgins. Our neighborhood is known as "Ocean View Park" nevertheless, if this project is allowed, the only one with a view will be Mr. Higgins. We strongly object to this. Neighbors on Victoria Street that have enjoyed a water view, no matter how diminutive will now be subjected to a view of the rear of Mr. Higgins' 6 car garage. Do we have no recourse? Mr. Higgins has had the building next door to 244 Veranda Street under construction for 2 plus years with results that are less than pleasing. Please let me know what we as a neighborhood can do to save our much loved views.

Sincerely,



Gail A. Murphy  
W 828-3025  
H 774-1978  
Web [gailmurphy@webtv.net](mailto:gailmurphy@webtv.net)



Our neighborhood is comprised of about 70 homes, 80% of which are single family, 2 story homes. Less than 25% of homes have a garage (none more than 2 car). There are currently only 2 structures that have 3 stories, and one is owned by the same person currently adding on to 244 Veranda (he added the 3rd story onto his other property 2 years ago). The other 3 story building is the only 3 family dwelling in the neighborhood, and is over 50 years old.

My neighbors and I are very proud of our little East Deering neighborhood, and I feel fortunate that my husband and I are able to raise our 3 children here. We are committed to preserving the character of the area, since we plan to live here a long time. Although I'm not averse to property additions and improvements, I think you will agree that a building of the magnitude proposed will not fit into a mostly single family neighborhood (I have attached a garage view of the building plan for you to look at).

We are all dismayed and cannot believe that we were not advised of this construction, and had no knowledge as to the extent of the alteration until 5 days ago. Since that time, we have been researching the Code of Ordinances and have been in contact with the permit office, who have advised us that there is nothing we can do. You have been a forceful advocate for our neighborhood in the past, and we hope that you will be able to help us again. Since the project is underway, I'm sure you will understand our anxiety, and our need to seek answers quickly.

If you wish to contact myself, or any other members of our committee, please find names and phone numbers listed at the end of this letter. Thank you very much for your consideration of this matter, I shall follow up either by phone or by email by midweek.

Yours sincerely,

Elizabeth Holton  
18 Victoria St  
Portland, ME 04103

Organizing Committee:

- Elizabeth Holton 775-6267
- Gail Murphy 774-1978
- Georgia Connolly 772-6602
- Dana Ben 828-0412

LB 4.10  
Amc 4.10.01

4/5/01 12:30-1:00  
Spoke to Elizabeth Holton

244 Veranda  
432-F-003

These folks  
Should get a  
copy of Notice



VERANDA STREET ELEVATION

838-5870  
773-8362

Tim Higgins  
242 VERANDA ST  
PORTLAND, ME  
04103

<p>Owner: <b>HIGGINS CONSTRUCTION</b> PORTLAND, MAINE</p>	
<p>Project: <b>BUILDING ADDITION AND ALTERATIONS</b> 241 VERANDA STREET, PORTLAND, MAINE</p>	
<p>Date: MARCH 28, 2000</p>	<p>Scale: AS NOTED</p>
<p>Revisions:</p>	
<p><b>ELEVATIONS</b></p>	
<p><b>A-1</b></p>	

Stephen W. Tibbetts, P.E.  
Professional Civil Engineer  
15 Oak Ridge Road, Brunswick, Maine 04011  
(207) 725-3667 Fax (207) 725-6168



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Owner:

**HIGGINS CONSTRUCTION**  
PORTLAND, MAINE

**Stephen W. Tibbetts, P.E.**  
Professional Civil Engineer

15 Oak Ridge Road, Brunswick, Maine 04011  
(207) 725-2657 Fax (207) 725-6168

Project:

**BUILDING ADDITION  
AND ALTERATIONS**  
34 VEBANDA STREET, PORTLAND, MAINE

Date:

MARCH 28, 2000

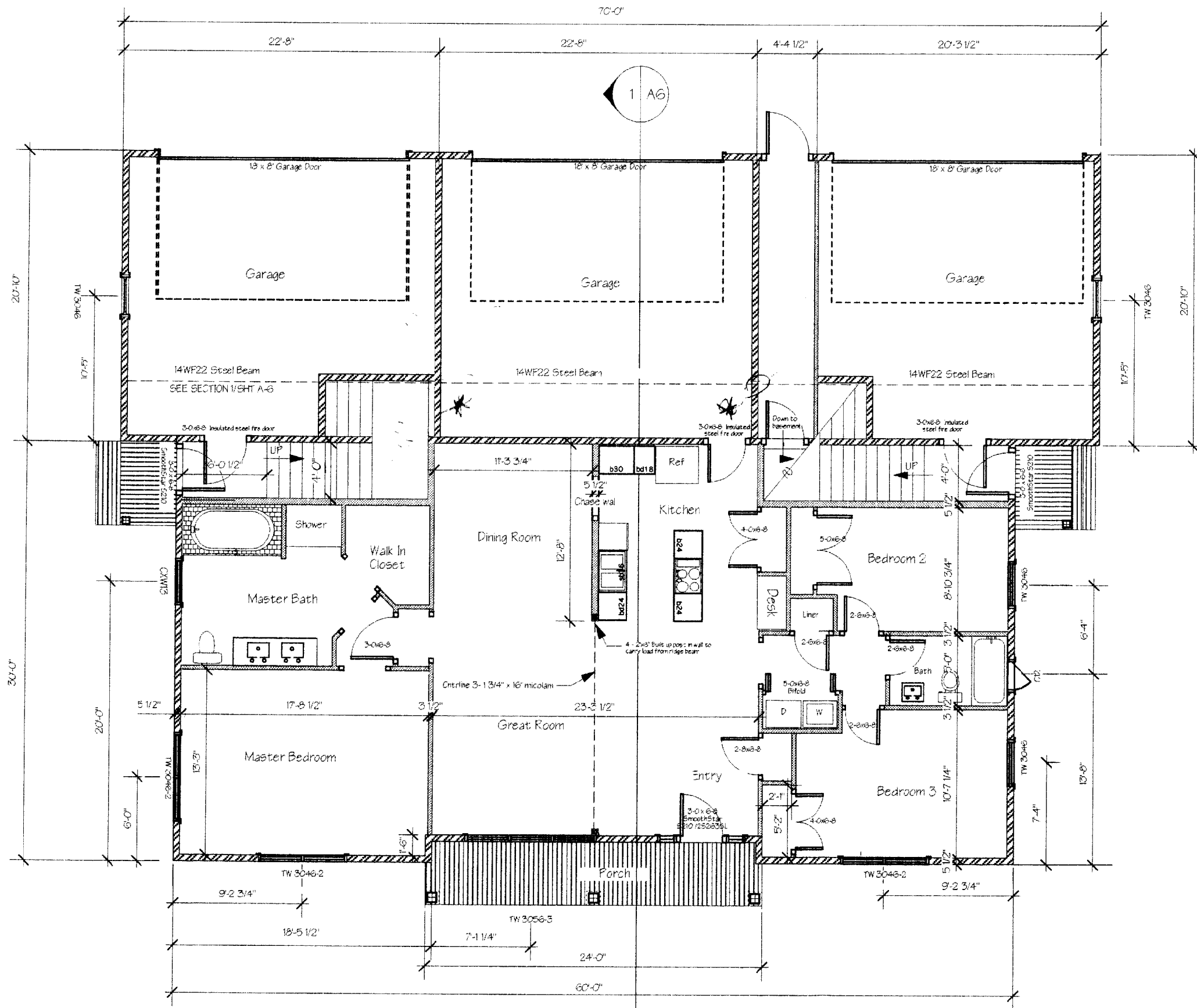
Revision:

Scale:

A3 (NOTED)

**ELEVATIONS**

**A-2**



First Floor Plan - Unit 1  
1705 sq ft

- NOTES:  
 1.0 All windows to meet egress requirements,  
 2.0 All windows are Anderson Tilt Wash with screens, grilles per elevations, low E glazing.

Owner:  
**HIGGINS CONSTRUCTION**  
 PORTLAND, MAINE

Stephen W. Tibbetts, P.E.  
 Professional Civil Engineer  
 15 Oak Ridge Road Brunswick, Maine 04011  
 (207) 725-2667 Fax (207) 725-6168

Project:  
**BUILDING ADDITION  
 AND ALTERATIONS**  
 244 VERANDA STREET, PORTLAND, MAINE

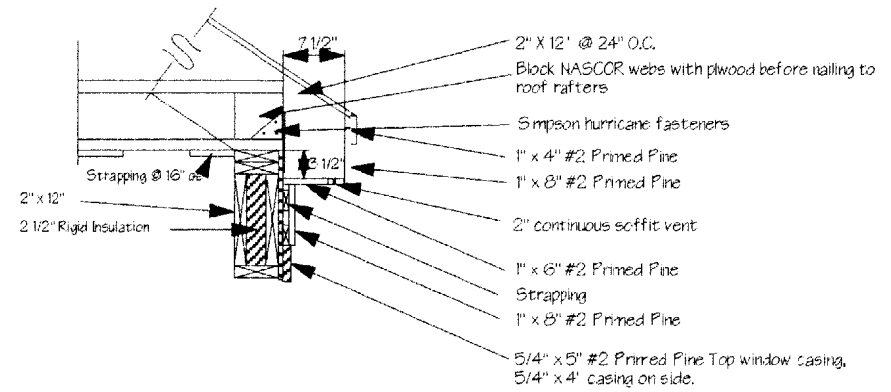
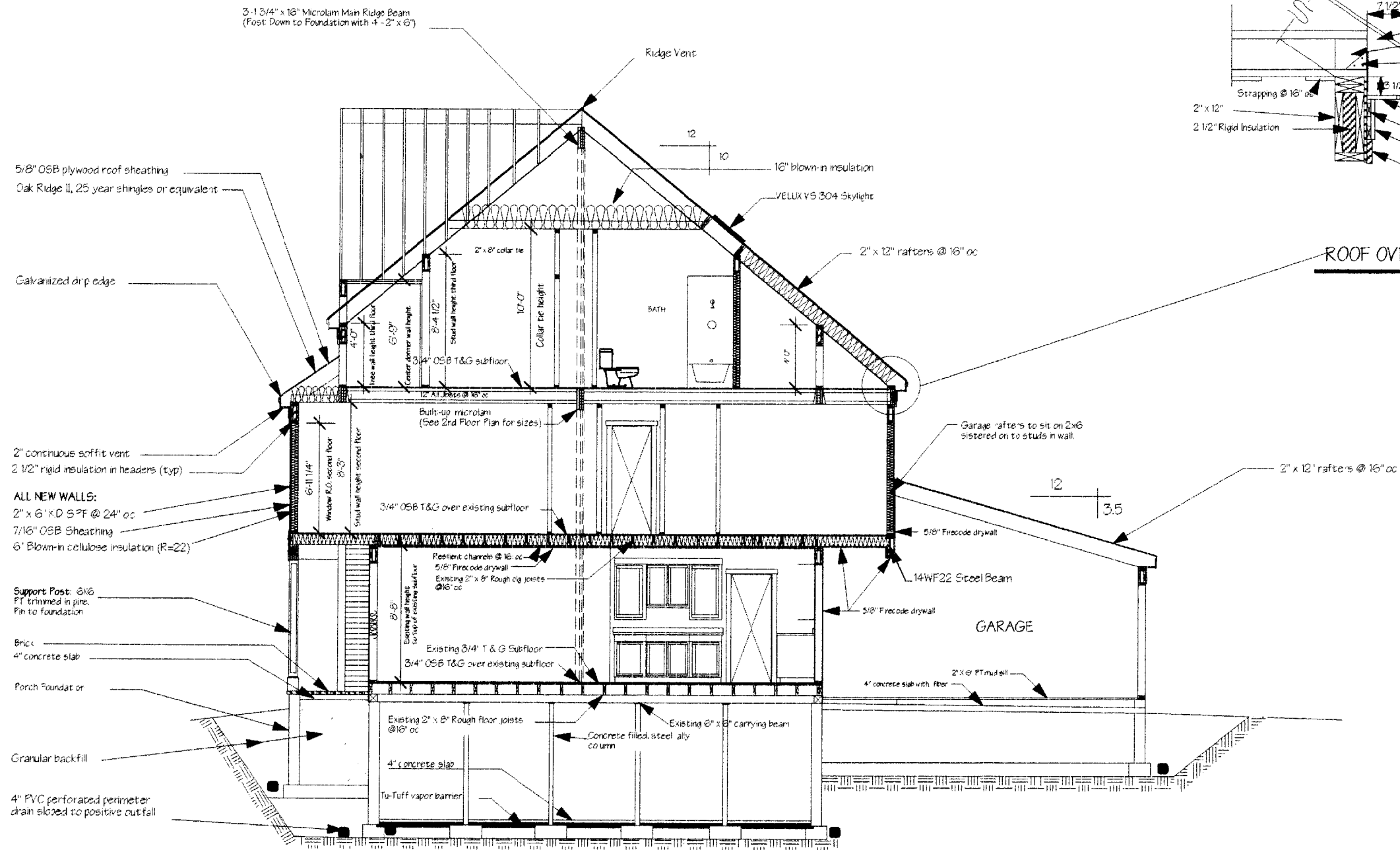
Date: MARCH 28, 2000  
 Scale: AS NOTED  
 Revision:

FIRST FLOOR PLAN

A-3







ROOF OVERHANG DETAIL

1 CROSS-SECTION  
1/4" = 1'-0"

Owner:  
**HIGGINS CONSTRUCTION**  
PORTLAND, MAINE

Project:  
**Stephen W. Tibbetts, P.E.**  
Professional Civil Engineer  
15 Oak Ridge Road, Brunswick, Maine 04011  
(207) 725-2667 Fax (207) 725-6168

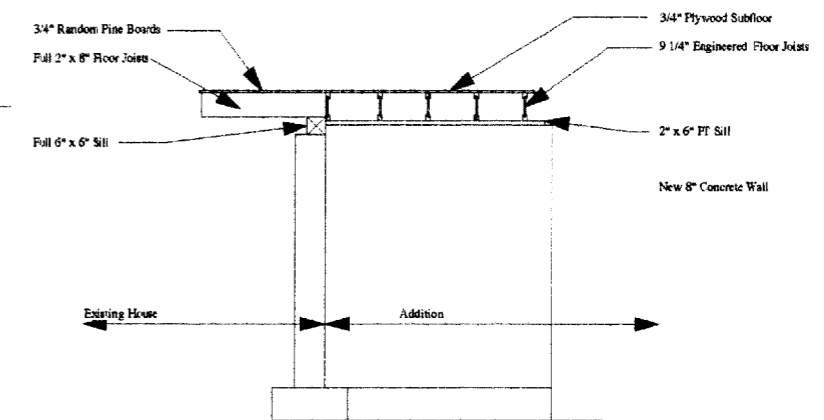
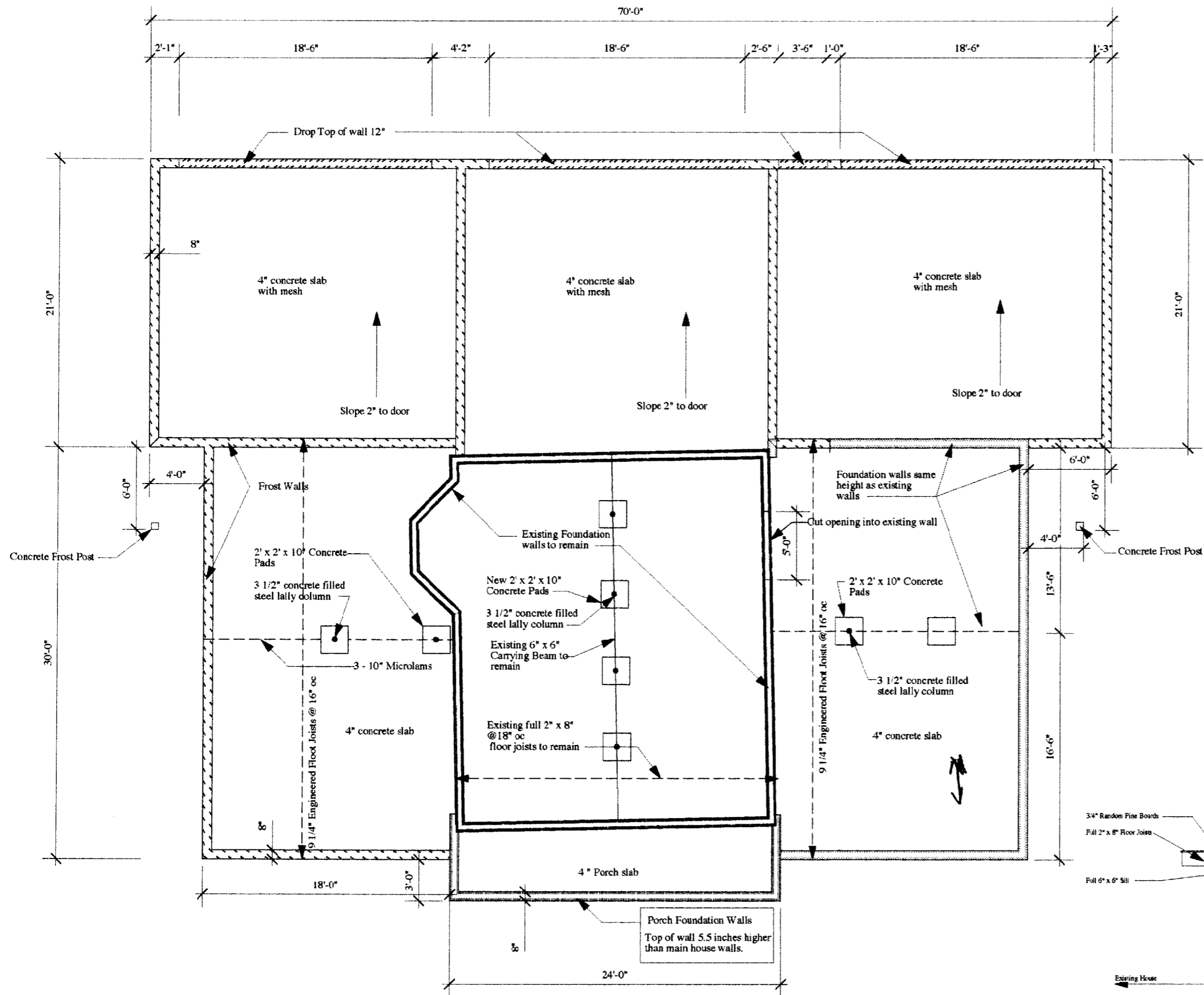
Project:  
**BUILDING ADDITION AND ALTERATIONS**  
244 VERANDA STREET, PORTLAND, MAINE

Scale	AS NOTED
Date	MARCH 28, 2000
Revision	

CROSS-SECTIONS

A-6





TYPICAL FOUNDATION DETAIL

Owner:  
**HIGGINS CONSTRUCTION**  
PORTLAND, MAINE

Stephen W. Tibbetts, P.E.  
Professional Civil Engineer  
15 Oak Ridge Road Brunswick, Maine 04011  
(207) 725-2667 Fax (207) 725-6168

Project:  
**BUILDING ADDITION  
AND ALTERATIONS**  
241 VERNON STREET, PORTLAND, MAINE

Date: MARCH 28, 2000  
Scale: AS NOTED  
Revision:

FOUNDATION PLAN

F1