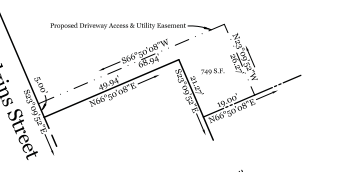


Location Map
Not to Scale

Shared Driveway & Utility Easement Detail:



Locus Deed References:

Kenneth M. Cournoyer
Steven E. Cope & Roberta S. Cope
 dated November 20, 2012 and reworked November 20, 2012 at the Cumberland County Registry of Deeds in Book 30374, Page 1.
 (Lots A, B1, and B2)

Steven E. Cope & Roberta S. Cope
 To
Steven E. Cope
 dated February 12, 2011 and reworked February 15, 2012 at the Cumberland County Registry of Deeds in Book 30394, Page 128.
 (Lot A)

General Notes:

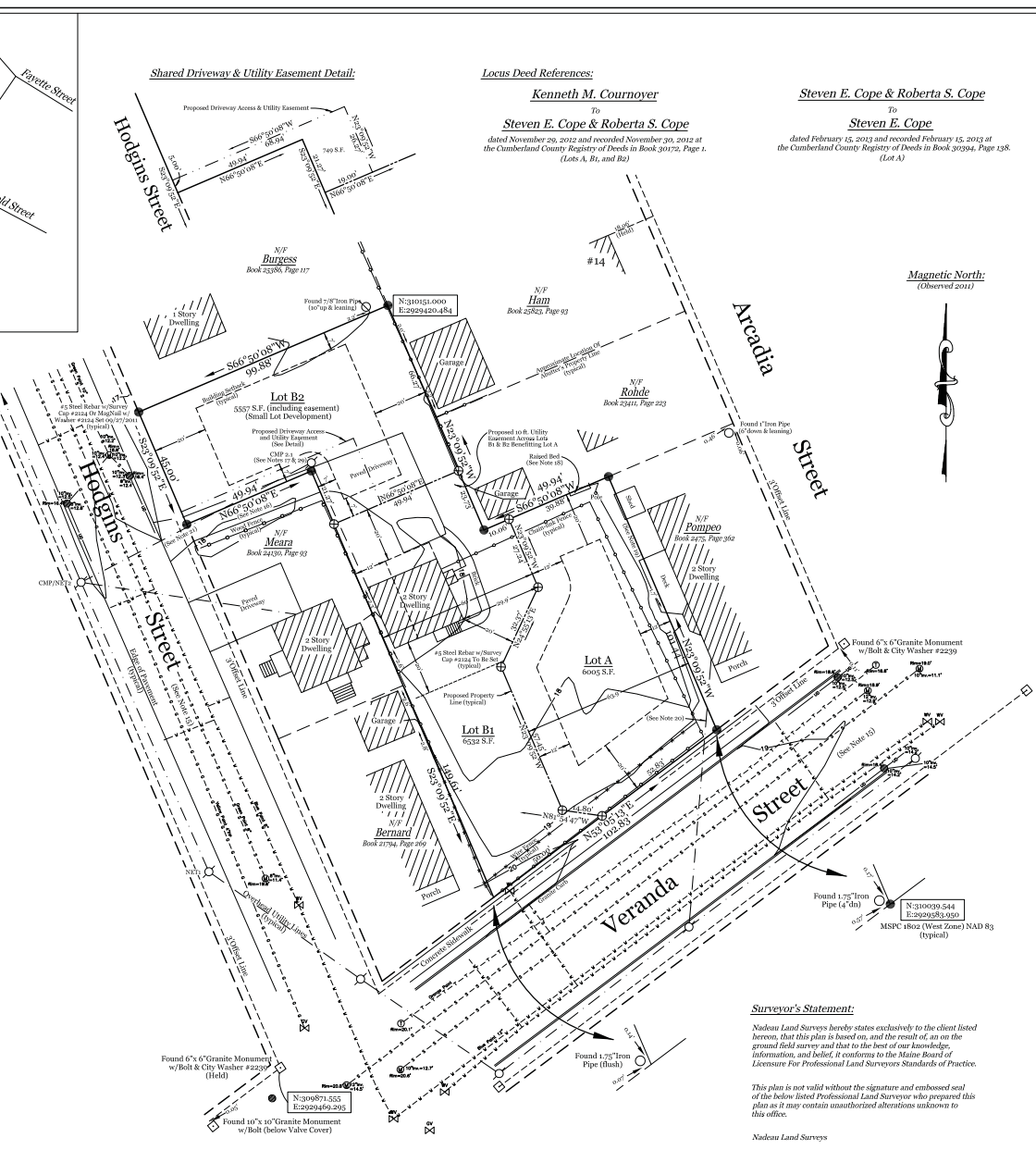
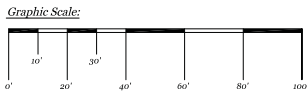
- This plan is not intended to depict limits or extent of fee title ownership. An opinion of title should be rendered by a title attorney.
- This office reserves the right to be held harmless by all 3rd party claims.
- This survey does not purport to reflect any of the following:
 - assessments other than those that are visible or specifically stated in the referenced documents.
 - building setback compliance or restrictive covenants.
 - zoning or other land use regulations.
 - the location of any underground utilities or structures.
- This office reserves the right to be held harmless for unknown or unobtainable private records which could affect the results of this survey.
- Reference is made to "Contract For Land Surveying Services" between Nadeau Land Surveys and the below listed clients, which shall be considered an integral part of this survey.
- N/F is an abbreviation for Now or Formerly.
- All deeds referenced on this plan are recorded at the Cumberland County Registry of Deeds (CCRD).
- This office does not accept any liability for errors in the Plan References listed hereon, except Plan References 6 & 7.
- Locus Parcel is shown on the City of Portland Assessor's Map 431, Block M, as Lots C-6, C-7, and is listed as 120 Veranda Street.
- Area of Locus Parcel is 18,004 square feet (0.42 acres).
- The apparent right of way lines depicted on this plan are based on the Plan References listed hereon, information found in the field, and City of Portland Engineering Street Notes. Right of way width of Veranda Street is 60 feet and Hodgins Street is 50 feet per the Plan References listed hereon and said Street Notes.
- The Locus Parcel does not scale in a Special Flood Hazard Area per FEMA Flood Insurance Rate Map Community-Panel Number 230021 0000C, index dated December 8, 2008. The parcel scales in Zone X.
- All building corner offsets to boundary lines are from cornerboards and not building foundation.
- Call 1-888-DIGSAFE at least three business days before performing ANY excavation.
- Per City of Portland Records Vol. 57, Page 345, Hodgins Street was accepted December 9, 1931 as 100' (50' feet wide). Per City of Deering Records, Veranda Street was accepted December 21, 1900 as 100' and widened to 60' (50' feet wide) (See Cumberland County Commissioners Records Vol. 10, Page 942, January Term 1900).
- See CCRD Book 1474, Page 160, dated March 28, 1935, for Agreement for ten (10') foot wide gravel driveways.
- See CCRD Book 2004, Page 160, dated September 17, 1921, for Easement to Central Maine Power Company and English Telephone and Telegraph Company, from Hodgins Street to pole number 2.1.
- Abetter's raised flower bed appears to encroach on Locus Parcel.
- Abetter's shed and deck appear to encroach on Locus Parcel.
- Abetter's overhead utility lines appear to encroach on Locus Parcel.
- Overhead utility lines serving Locus Parcel appear to encroach on abutter.
- This office has not performed any research since the date of Plan Reference 6 and does not accept any liability and/or responsibility for record documents since then which may exist that are pertinent to this Locus Parcel.
- Locus Parcel is located in R-2 Residential Zone.
 Minimum Lot Size: 6,000 S.F. (Small Lot Development: 4,000 S.F.)
 Minimum Street Frontage: 50 feet
 Minimum Lot Width: 60 feet (1 + 1.5 story); 42 feet (2 story); (1.5 + 2 story)
 Minimum Front Yard: 20 feet
 Minimum Side Yard: 8 feet (1 + 1.5 story); 12 feet (2 story); (1.5 + 2 story)
 Minimum Rear Yard: 20 feet
 Building setbacks depicted hereon should be verified with the City of Portland prior to any construction. This office recommends review of the proposed subdivision by the Code Enforcement Officer for zoning ordinance compliance.
- Vertical Datum is NGVD89. Benchmark established with GPS static observations taken on December 20, 2012.
- No underground utility locating service has been used for this project. Underground utility lines are based on observed structures and point lines observed in street. Nadeau Land Surveys has made no determination as to the existence and/or location of underground structures or utilities.
- Lot A may be developed as a single family or 2-unit development. Lots B1 and B2 development shall be restricted to single family dwelling.
- All proposed utilities serving Lots A and B2 shall be placed underground.
- The Applicant and their assigns agree to the conditions set forth in the Stormwater Inspection and Maintenance Plan as indicated in the Stormwater Management Plan.
- Per C.M.P. requirements, a ten (10') foot setback shall be maintained from their utility pole to any new building construction.

Plan References:

- "Plan Of Lots, Arcadia Park, Portland, Me. East Deering District, F.A. Merriam & Co.", by Blake & Cummings, Portland, Maine, recorded November 22, 1914 at the Cumberland County Registry of Deeds in Plan Book 10, Page 101.
- "Richards Standard Atlas Of The City Of Portland", dated 1914, on file at the Cumberland County Registry of Deeds.
- "Deering Station Map, Atlantic & S. Lawrence R.R. Operated By The Grand Trunk Ry. Co. Of Canada, Station 872-440 To Station 8615-035, Office Of Chief Engineers Montreal, Canada", dated June 29, 1917, revised August 5, 1924, on file with St. Lawrence & Atlantic Railroad in V.25/21.
- "Southern Insurance Maps Of Portland, Maine, Volume Two", dated 1909, last revised September 1951, on file at the Cumberland County Registry of Deeds.
- "Veranda Street Monument Layout Plan", Washington Avenue to Wordsworth Street, Sheets 1 & 2 of 2, dated January 1995 by City of Portland, Maine Public Works Department Engineering Section, on file with them as 944/5A.
- "Plan Depicting The Results Of A Boundary Survey Made For Kenneth M. Cournoyer, Northeastly Sideline Of Hodgins Street & Northwestly Sideline Of Veranda Street, Portland, Maine", dated March 22, 2011, last revised August 15, 2011 by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine.
- "Plan Depicting A Proposed Lot Division Made For Steven E. Cope & Roberta S. Cope, Northwestly Sideline Of Hodgins Street & Northwestly Sideline Of Veranda Street, Portland, Maine", dated December 24, 2012 by James D. Nadeau, LLC Professional Land Surveyors, Portland, Maine.

Approved By The City Of Portland Planning Board:

Name: _____ Date: _____



Surveyor's Statement:

Nadeau Land Surveys hereby states exclusively to the client listed hereon, that this plan is based on, and the result of, an on the ground field survey and that to the best of our knowledge, information, and belief, it conforms to the Maine Board of Licensure For Professional Land Surveyors Standards of Practice.

This plan is not valid without the signature and embossed seal of the below listed Professional Land Surveyor who prepared this plan as it may contain unauthorized alterations unknown to this office.

Nadeau Land Surveys
 James D. Nadeau, P.L.S. #2124 (agent) Date: _____

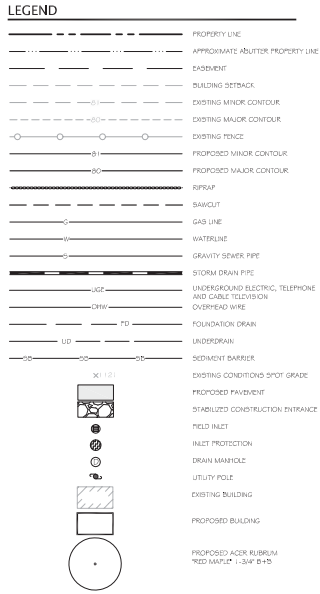
Plan Depicting A Proposed Subdivision
 Made For
Steven E. Cope & Roberta S. Cope
 Northeastly Sideline Of Hodgins Street
 & Northwestly Sideline Of Veranda Street
 Portland, Maine

PREPARED BY: **Nadeau Land Surveys**
 Professional Land Surveyors
 Certified Floodplain Managers

918 BRIGHTON AVENUE
 PORTLAND, ME 04102

PH (207) 878-8790
 FAX (207) 878-8781

RECORD NUMBER:	DRAWN BY: TPB/MLC/RRB	PLAN DATE:	3/29/2013
Steven E. & Roberta S. Cope 170 Crawford Street Portland, Maine	CHECKED BY: JDN	SURVEY DATE:	Mar. 2011-Feb. 2012
04192	INSTR: Topcon GPT-3005W	SCALE:	1" = 20'
FIELD BOOK: PB 398 & Topcon Ranger	JOB No: 212431818	SHEET No:	1 of 1



UTILITY NOTES:

- ALL SANITARY SEWER WORK INCLUDING SECTIONS TO REMAIN PRIVATE SHALL BE IN ACCORDANCE WITH THE PORTLAND WATER & SANITARY DISTRICT STANDARDS AND SPECIFICATIONS AND SHALL BE APPROVED BY THE DISTRICT. SHOP DRAWING SUBMITTALS OF ALL MATERIALS USED SHALL BE SUBMITTED TO THE DISTRICT FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- ALL WATERLINE WORK SHALL BE INCLUDING SECTIONS TO REMAIN PRIVATE SHALL BE IN ACCORDANCE WITH THE PORTLAND WATER DISTRICT STANDARDS AND SPECIFICATIONS AND SHALL BE APPROVED BY THE ASSOCIATION. SHOP DRAWING SUBMITTALS OF ALL MATERIALS USED SHALL BE SUBMITTED TO THE ASSOCIATION FOR APPROVAL PRIOR TO ORDERING MATERIALS.
- THE CONTRACTOR SHALL TEST THE WATER AND SEWER SYSTEMS ACCORDING TO THE SANITARY DISTRICT AND WATER ASSOCIATION STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL SCHEDULE THE TEST TO HAVE A REPRESENTATIVE FROM THE RESPECTIVE ENTITY PRESENT DURING THE TEST.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS AND SHALL BE RESPONSIBLE FOR PAYING ANY FEES FOR ANY POLE RELOCATION AND FOR THE ALTERATION OR ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARMS AND ANY OTHER PRIVATE OR PUBLIC UTILITIES.
- FIN ELEVATIONS OF PROPOSED SANITARY SEWER MANHOLES AND ASSOCIATED STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. ADJUST ALL OTHER FIN ELEVATIONS OF MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO PROPOSED GRADE WITHIN THE LIMITS OF WORK.
- THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY AND APPROVED BY THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC AND CABLE, ETC.). FINAL DESIGN LOADS AND LOCATIONS SHALL BE COORDINATED WITH THE OWNERS.
- THE CONTRACTOR SHALL HELP VERIFY THE LOCATION, SIZE, HEIGHTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINT OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONTACT WITH THE PROPOSED WORK, THE LOCATION, SITUATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNERS REPRESENTATIVE.

GRADING & EROSION CONTROL NOTES:

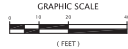
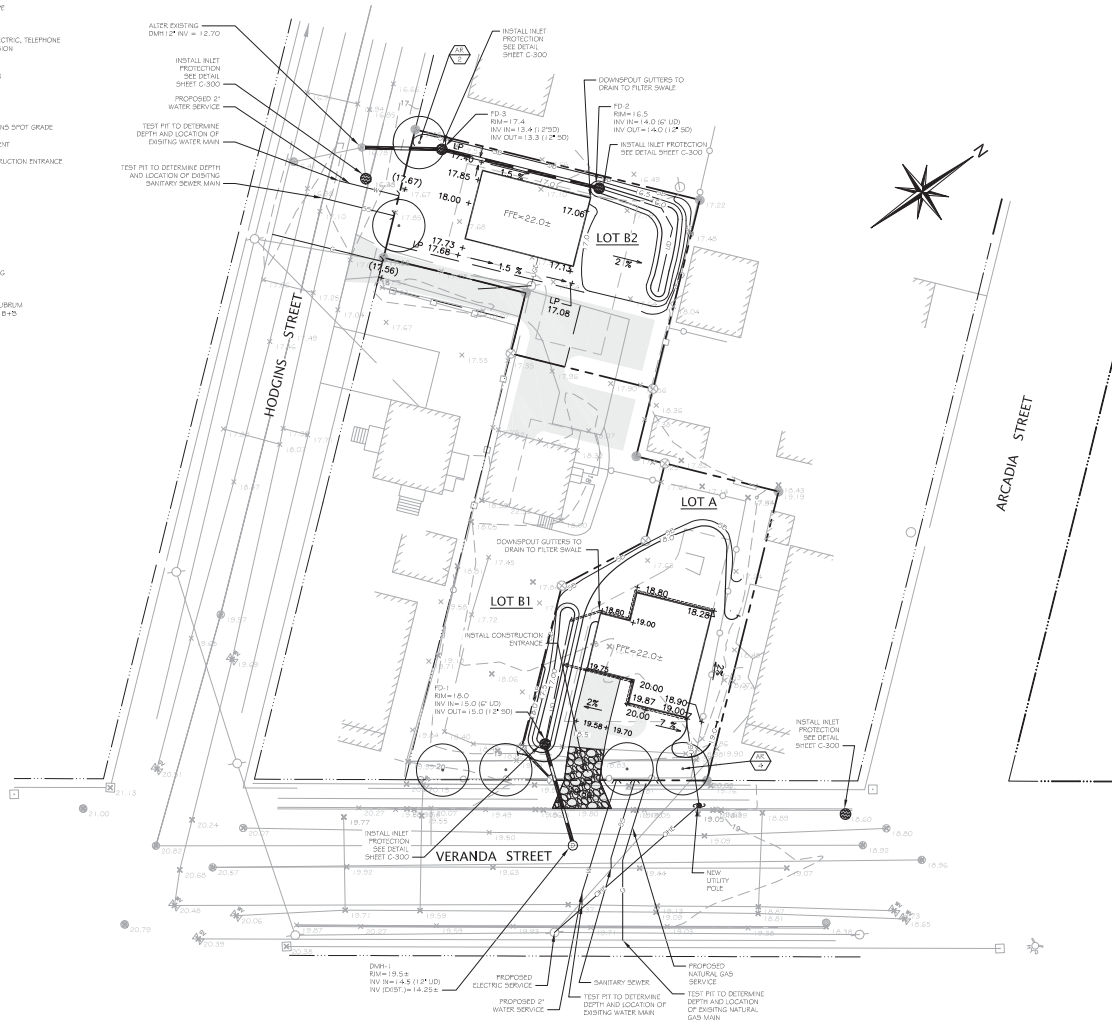
- THE CONTRACTOR SHALL REVIEW THE PROPOSED GRADES FOR CONSTRUCTIBILITY PRIOR TO COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS, WALKWAYS, DRIVEWAYS, AND PARKING AREAS WITH NO FLOODING. PROPOSED GRADES SHALL MATCH EXISTING GRADES SMOOTHLY AND CONTINUOUSLY.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROVIDED IN ACCORDANCE WITH THE LATEST "MAINE EROSION AND SEDIMENT CONTROL BMP" BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- THE CONTRACTOR SHALL ONLY DISTURB THE AREAS OF THE PROPOSED CONSTRUCTION AND GRADING. ANY DISTURBANCE OUTSIDE THESE LIMITS MUST BE APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE EROSION CONTROL PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUPERVISING EROSION CONTROL METHODS BEYOND THE CONTROL SPRAWN ON THE PLANS IN ORDER TO MEET THE ABOVE REFERENCED EROSION CONTROL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR RE-GRADING. ALL DISTURBED AREAS ON SITE NOT COVERED BY BUILDINGS OR DESIGNATED PARKING AREAS, DRIVEWAYS, OR SIDEWALKS SHALL BE STABILIZED WITH LOGS AND SEED OR OTHER METHODS AS REQUIRED DESCRIBED IN THE MAINE DOT BMP STANDARDS.
- PERMANENT SEEDING OR STABILIZATION SHALL BE PERFORMED IMMEDIATELY AFTER FINAL GRADING IS COMPLETED OR TEMPORARY MEASURES SHALL BE APPLIED SUCH AS MULCHING OR SEEDING UNTIL PERMANENT MEASURES ARE IN PLACE.
- WITHIN 7 CALENDAR FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE, AND PRIOR TO ANY STORM EVENT, MULCH MUST BE SPREAD ON ANY EXPOSED SOILS.
- THE CONTRACTOR SHALL STABILIZE ANY SOIL STOCKPILES WHICH WILL REMAIN UNUSED FOR MORE THAN 7 DAYS, OR PRIOR TO A STORM EVENT.
- ALL EROSION CONTROL DEVICES MUST BE CHECKED WEEKLY AND AFTER EACH SIGNIFICANT RAINFALL TO MINIMIZE FLOODING, DAMAGE, DEGRADATION OR UNDERMINING. ANY PROBLEMS SHALL BE REPAIRED IMMEDIATELY. TRAPPED SEDIMENT SHALL BE REMOVED WHEN IT HAS ACCUMULATED TO NO MORE THAN HALF THE ORIGINAL HEIGHT OF ANY BARRIER OR AS OTHERWISE SHOWN ON THE PLANS.
- ALL TRAFFIC INTO AND OUT OF THE SITE SHALL BE OVER THE STABILIZED CONSTRUCTION DIRT.
- SEDIMENT BARRIERS MUST BE MAINTAINED UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
- EROSION CONTROL DEVICES SHALL BE REMOVED WITHIN 30 DAYS OF FINAL STABILIZATION.
- SEEDING AREAS SHALL BE FERTILIZED AND RE-SEEDING AS NECESSARY TO ENSURE VEGETATION IS ESTABLISHED.

STORMWATER TREATMENT NOTES:

- CONTRACTOR TO REFER TO DRAWING D-1.00, PRE # 203 DEVELOPMENT DRAINAGE PLAN, AND COMPLY WITH GRADING SPECIFICATIONS AND TREATMENT CALCULATIONS AS PROVIDED ON D-1.00.

CONSTRUCTION NOTES:

- ALL WORK WITHIN RIGHT OF WAY SHALL MEET CITY OF PORTLAND TECHNICAL STANDARDS.
- OWNER/CONTRACTOR TO COORDINATE ALL VERANDA STREET OPENINGS PRIOR TO THE RE-SURFACING OF VERANDA STREET.



PROGRESS PLAN FOR STAFF REVIEW
 THE DOCUMENT IS ISSUED FOR INFORMATIONAL PURPOSES ONLY. THE DATA SHOWN HEREON IS SUBJECT TO REVISION.
 APRIL 1, 2013

REVISIONS		DESCRIPTION
No.	DATE	REVISIONS BY CITY REVIEW
1.	02/07/13	

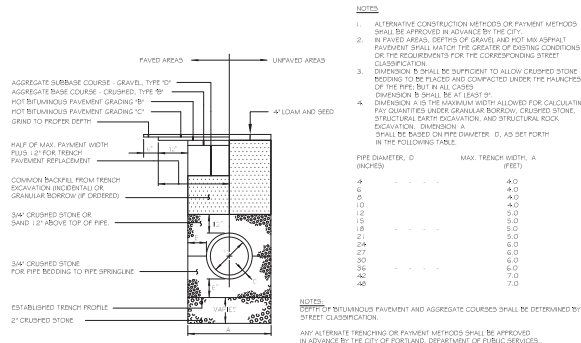


Blais
 civil engineers
 730 BRIDGEMAN, 50 PORTLAND, ME 04106
 (207) 757-9300
 blais@blais.com

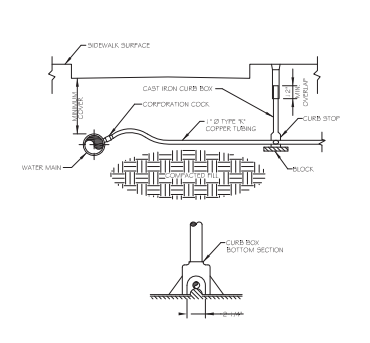
SITE UTILITIES & GRADING PLAN
PROPOSED SUBDIVISION
 120 VERANDA STREET
 OWNER:
 STEVEN E. COPE & ROBERTA S. COPE
 171 CONCORD STREET
 PORTLAND, MAINE 04103

LATEST REVISION	DATE	BY
NO. 6, 2013	FEBRUARY 6, 2013	DESIGNED BY: JV
		DRAWN BY: JW
		CHECKED BY: JIV/SB
		BCE PROJECT NO: 121164

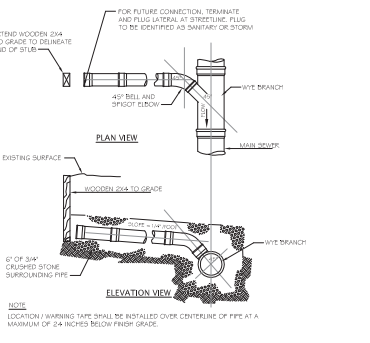
C-100



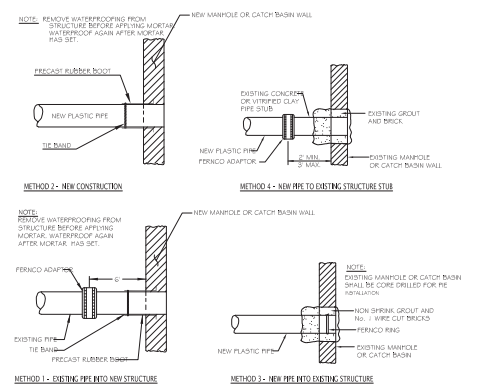
1 TYPICAL PIPE TRENCH INSTALLATION
NOT TO SCALE



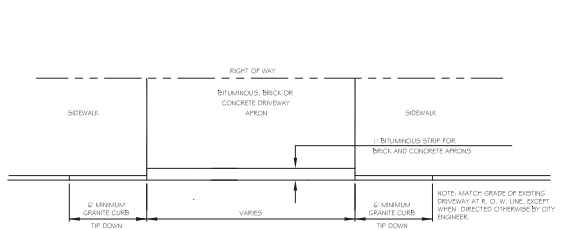
4 TYPICAL COPPER HOUSE SERVICE DETAIL
NOT TO SCALE



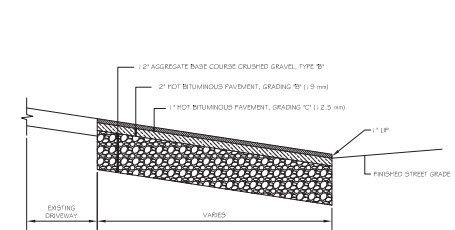
7 TYPICAL LATERAL WYE CONNECTION
NOT TO SCALE



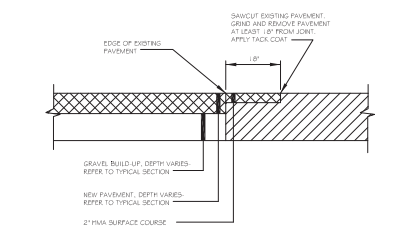
10 PIPE CONNECTION DETAILS
NOT TO SCALE



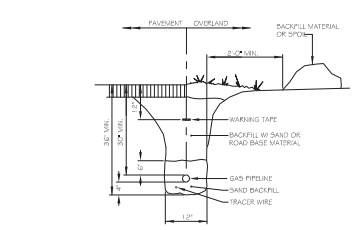
2 DRIVEWAY APRON LAYOUT
NOT TO SCALE



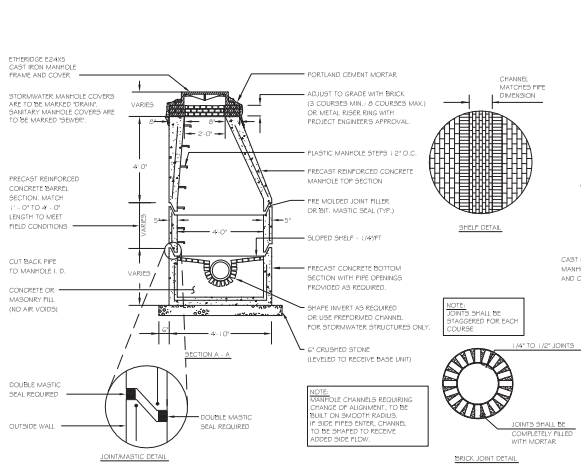
5 BITUMINOUS DRIVEWAY APRON
NOT TO SCALE



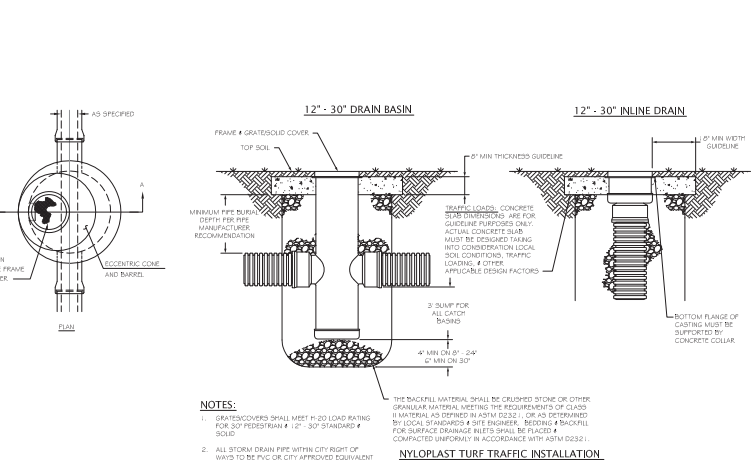
8 PAVEMENT BUTT-JOINT DETAIL
NOT TO SCALE



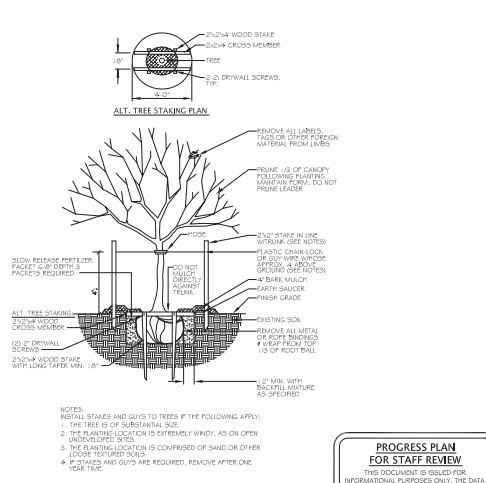
11 GAS PIPING TRENCH SECTION
NOT TO SCALE



3 PRECAST CONCRETE MANHOLE
NOT TO SCALE



6 NYOPLAST FIELD INLET (By HANCOR)
NOT TO SCALE



9 DECIDUOUS TREES
NOT TO SCALE

PROGRESS PLAN FOR STAFF REVIEW
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APRIL 1, 2013

REVISIONS	
No.	DESCRIPTION
1.	REVISION PER CITY REVIEW
2.	
3.	

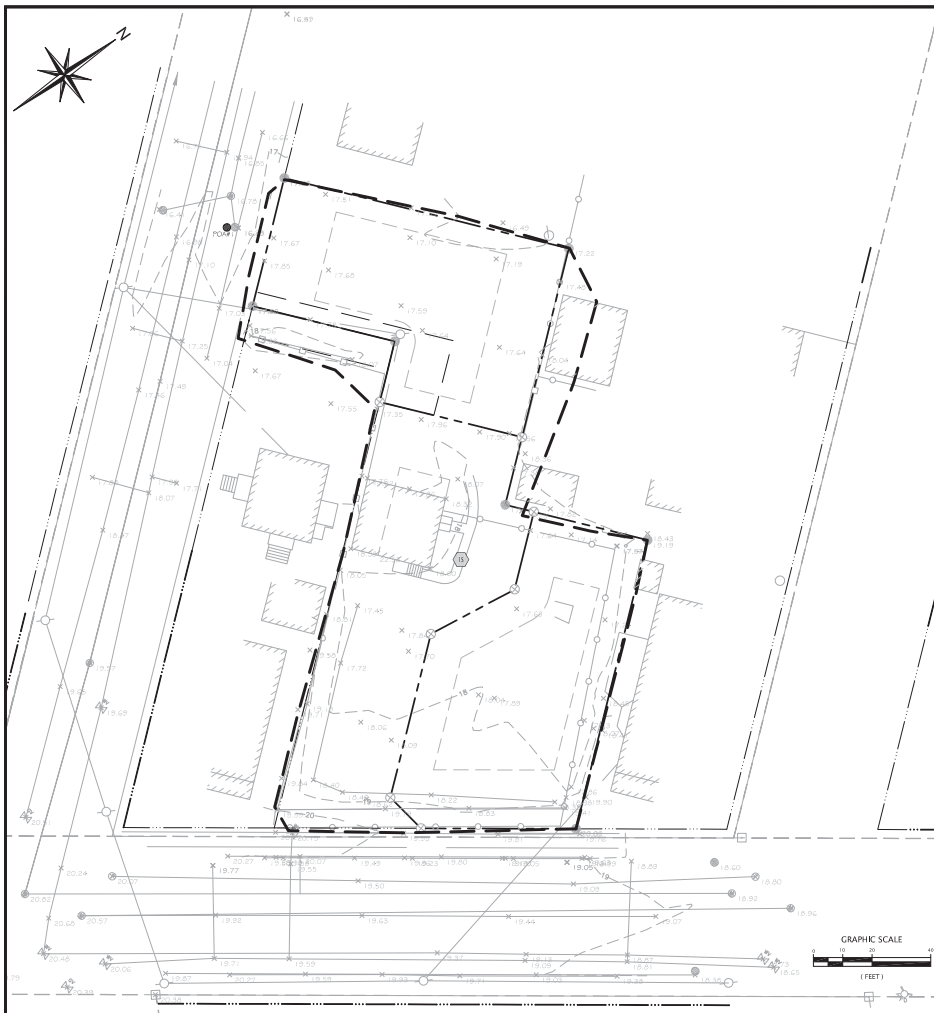


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730 BROADWAY, 50 PORTLAND, ME 04106
(207) 752-7300
BLAIS@BLAISENGINEERS.COM

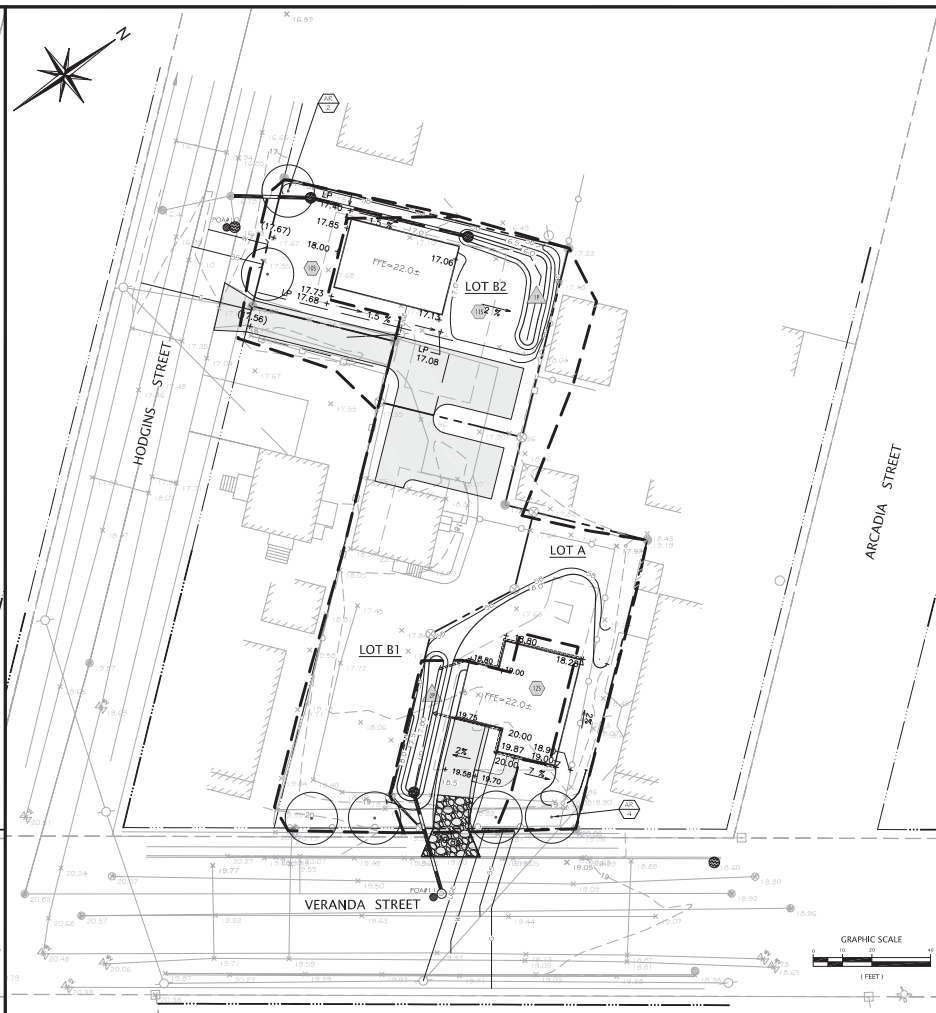
SITE DETAILS
PROPOSED SUBDIVISION
120 VERANDA STREET
OWNER:
STEVEN E. & ROBERT A. COPE
177 CONCORD STREET
PORTLAND, MAINE 04103

LATTER REVISION: 04/16/2013
DATE: FEBRUARY 6, 2013
DESIGNED BY: JLV
DRAWN BY: JLV
CHECKED BY: JLV/SB
BCE PROJECT NO: 121164

C-301



PRE DEVELOPMENT



POST DEVELOPMENT

LEGEND

- EXISTING SUBCATCHMENT LABEL
- EXISTING POND LABEL
- EXISTING REACH LABEL
- EXISTING REACH PATH
- EXISTING TIME OF CONCENTRATION (TC) PATH
- EXISTING SUBCATCHMENT DIVIDE
- EXISTING SOIL BOUNDARY
- EXISTING POINT OF ANALYSIS
- DIRECTION OF FLOW
- EXISTING SPOT GRADE
- EXISTING PAVEMENT

PRE DEVELOPMENT			
DESCRIPTION	IMPERVIOUS AREA (S.F.)		
TOTAL EXISTING PARCELS	2,365		

POST DEVELOPMENT			
DESCRIPTION	IMPERVIOUS AREA (S.F.)	PERCENT IMP. AREAS OF TOTAL IMP. IMP.	PERCENT IMP.
LOT A	1,640	70%	LOSP #2
LOT B1	1,800	50%	LOSP #1
LOT B2	2,340	100%	LOSP #1
TOTALS	5,780	40.00%	LOSP #1, #2

*PROPOSED UNTREATED IMPERVIOUS=2,265 S.F. EXISTING IMPERVIOUS OF 2,365 S.F.

PLAN REFERENCE:

1. PLAN DEPICTING A PROPOSED SUBDIVISION MADE FOR STEVEN E. COPE & ROBERTA S. COPE NORTHEASTERLY SIDELINE OF HODGINS STREET & NORTHWESTERLY SIDELINE OF VERANDA STREET PORTLAND, MAINE. PREPARED BY: NADEAU LAND SURVEYS PROFESSIONAL LAND SURVEYORS CERTIFIED FLOODPLAIN MANAGERS. DRAWN BY: TFS/MALC CHECKED BY: JDN, JOB No: 2121351 SUB, DATED: 1/22/2012. SCALE: 1"=20', SHEET 1 OF 1.

PROGRESS PLAN FOR STAFF REVIEW
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 APRIL 1, 2013

LEGEND

- SUBCATCHMENT LABEL
- POND LABEL
- REACH LABEL
- REACH PATH
- TIME OF CONCENTRATION (TC) PATH
- SUBCATCHMENT DIVIDE
- SOIL BOUNDARY
- POINT OF ANALYSIS
- DIRECTION OF FLOW
- EXISTING SPOT GRADE
- PROPOSED PAVEMENT

REVISIONS	
NO.	DATE
1.	03/29/13
	ENTRUSTED FOR CITY REVIEW



Blais
 civil engineers
 750 BROADWAY, 501 PORTLAND, ME 04106 (207) 757-2300
 601 BROADWAY, 501 PORTLAND, ME 04106

PRE & POST DEVELOPMENT DRAINAGE PROPOSED SUBDIVISION
 120 VERANDA STREET
 OWNER: STEVEN E. & ROBERTA S. COPE
 777 CONCORD STREET, PORTLAND, MAINE 04103

LATEST REVISION: 03/29/2013
 DATE: FEBRUARY 6, 2013
 DESIGNED BY: JVN
 DRAWN BY: MW
 CHECKED BY: JY/SB
 BCE PROJECT NO: 121164

D-100