

4-11 FOLDING STRIP



Full cut • 9205 • Half cut • 9205R • Thin cut • 9205R • Fifth cut • 9205R

City of Portland, Maine
Board of Appeals
—ZONING—

Sustained
3/2/53
53/19

March 12 9 , 19 53

To the Board of Appeals :

Your appellant, Mrs. Frank Sylvester , who is the owner of property at 9-11 Hodgins Street , respectfully petitions the Board of Appeals of the City of Portland to permit an exception to the regulations of the Zoning Ordinance relating to this property, as provided by Section 18, Paragraph E of said Zoning Ordinance.

Building permit for construction of a one-story addition six feet by seven feet for use as a bathroom on the rear of the dwelling at 9-11 Hodgins Street is not issuable under the Zoning Ordinance because the addition would extend to within five feet six inches of the rear lot line, whereas a clearance from that line of 20% of the depth of the lot or ten feet is specified by Section 10B of the Zoning Ordinance applying to the Residence C Zone where the property is located.

The facts and conditions which make this exception legally permissible are as follows :

An exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

Mrs. Frank Sylvester
Appellant

After public hearing held on the 13th day of March , 1953 , the Board of Appeals finds that an exception is necessary in this case to grant reasonable use of property and can be granted without substantially departing from the intent and purpose of the Zoning Ordinance.

It is, therefore, determined that exception to the Zoning Ordinance be permitted in this specific case.

Edward J. Colley
Henry C. Frost
Frank H. [unclear]
Ben Wilson
William H. O'Brien
BOARD OF APPEALS

DATE: MARCH 13, 1953

HEARING ON APPEAL UNDER THE Zoning Ordinance OF Mrs. Frank Sylvester

AT 9-11 Hodgins Street

Public hearing on above appeal was held before the Board of Appeals.

<u>Board of Appeals</u>	<u>NOTE</u>		<u>Municipal Officers</u>
	Yes	No	
Edward T. Colley	(S)	()	
Helen C. Frost	(S)	()	
Robert L. Getchell	(S)	()	
William H. O'Brion	(S)	()	
Ben B. Wilson	(S)	()	
	()	()	
	()	()	
	()	()	
	()	()	

Record of Hearing:

NO OPPOSITION.

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

March 10, 1953

TO WHOM IT MAY CONCERN:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine on Friday, March 13, 1953 at 10:30 a. m. Eastern Standard Time to hear the appeal of Mrs. Frank Sylvester requesting exception to the Zoning Ordinance to authorize construction of a one-story addition six feet by seven feet for use as a bathroom on the rear of the dwelling at 9-11 Hodgins Street.

This permit is presently not issuable under the Zoning Ordinance because the addition would extend to within five feet six inches of the rear lot line, whereas a clearance from that line of 20% of the depth of the lot or ten feet is specified by Section 10B of the Zoning Ordinance applying to the Residence C Zone where the property is located.

If you are interested either for or against this appeal, please be present or be represented at this hearing.

Board of Appeals

Edward T. Colley

Chairman

K

Marie C. Pasquale Weir
120 Veranda Street
Portland, Maine

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

March 10, 1953

Mrs. Frank Sylvester
11 Hodgins Street
Portland, Maine

Dear Mrs. Sylvester:

The Board of Appeals will hold a public hearing in the Council Chamber at City Hall, Portland, Maine on Friday, March 13, 1953 at 10:30 a. m. to hear your appeal under the Zoning Ordinance.

Please be present or be represented at this hearing in support of your appeal.

Board of Appeals
Edward T. Colley
Chairman

K

WARREN McDONALD
INSPECTOR OF BUILDINGS

On reply refer
to file AP 9-11 Hodgins St.

CITY OF PORTLAND, MAINE
Department of Building Inspection

FU

March 4, 1953

Mrs. Frank Sylvester
11 Hodgins St.
Portland, Maine

Copies to: Corporation Counsel ✓

Mr. Ernest Sylvester
4 Richmond St.

Dear Mr. Sylvester:-

We are unable to issue a building permit for construction of a one-story addition six feet by seven feet for use as a bathroom on the rear of the dwelling at 9-11 Hodgins St. because the addition would extend to within five feet six inches of the rear lot line, whereas a clearance from that line of 20% of the depth of the lot or 10 feet is specified by Sect. 10B of the Zoning Ordinance applying to the Residence C Zone where the property is located. You have expressed a desire to exercise your appeal rights concerning this matter and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Corporation Counsel, who acts as clerk for the Board of Appeals.

In order for the appeal to be considered at the next meeting of the Appeal Board, the appeal should be filed without delay.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/G

Enclosure: Outline of appeal procedure

C
O
P
Y



(50) PERMIT NO. 10100

APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, March 2, 1953

00343
1953

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~reconstruct~~ install the following building ~~structure~~ requirements in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, sub. issued herewith and the following specifications:

Location 11 Hodzins St. Within Fire Limits? no Dist. No. _____
 Owner's name and address Mrs. Frank Sylvester, 11 Hodzins St. Telephone _____
 Lessee's name and address _____ Telephone _____
 Contractor's name and address Ernest Sylvester, 4 Richmond St. Telephone 3-8224
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building dwelling house No. families 1
 Last use " " No. families 1
 Material wood No. stories 1 1/2 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 500. Fee \$ 2.00

General Description of New Work

To construct 1-story frame addition for bathroom 6' x 7' on rear of dwelling.
To cut in door between house and new addition.

PERMIT NOT COMPLETE
5/13/53
Appeal 3/13/53

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Ernest Sylvester

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
 Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
 Height average grade to top of plate 13' Height average grade to highest point of roof 17'
 Size, front _____ depth _____ No. stories 1 solid or filled land? _____ earth or rock? _____
 Material of foundation concrete block wall at least 4' below grade Thickness, top 12" bottom 12" cellar yes
 Material of underpinning " " " to sill Height _____ Thickness _____
 Kind of roof pitch-gable Rise per foot _____ Roof covering Asphalt Class C Lind Lab
 No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
 Framing lumber—Kind he-lock Dressed or full size? dressed
 Corner posts 4x4 Sills 4x6 Girt or ledger board? _____ Size _____
 Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
 Joists and rafters: 1st floor 2x6, 2nd _____, 3rd _____, roof 2x6
 On centers: 1st floor 16", 2nd _____, 3rd _____, roof 16"
 Maximum span: 1st floor 7', 2nd _____, 3rd _____, roof 3'
 If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

with memo by RJS

Miscellaneous

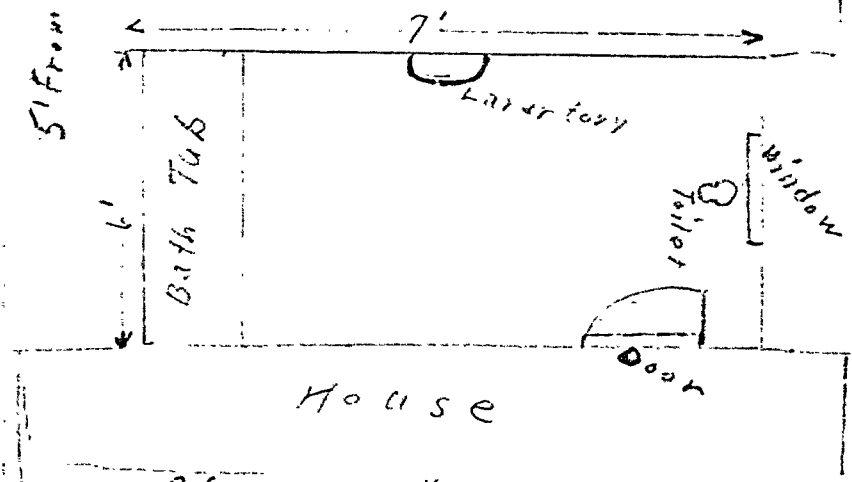
Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Mrs. Frank Sylvester

Signature of owner by: Ernest Sylvester

INSPECTION COPY

Bath Room Addition
Location 11 Hodgkinson Street



Studs 16" on center

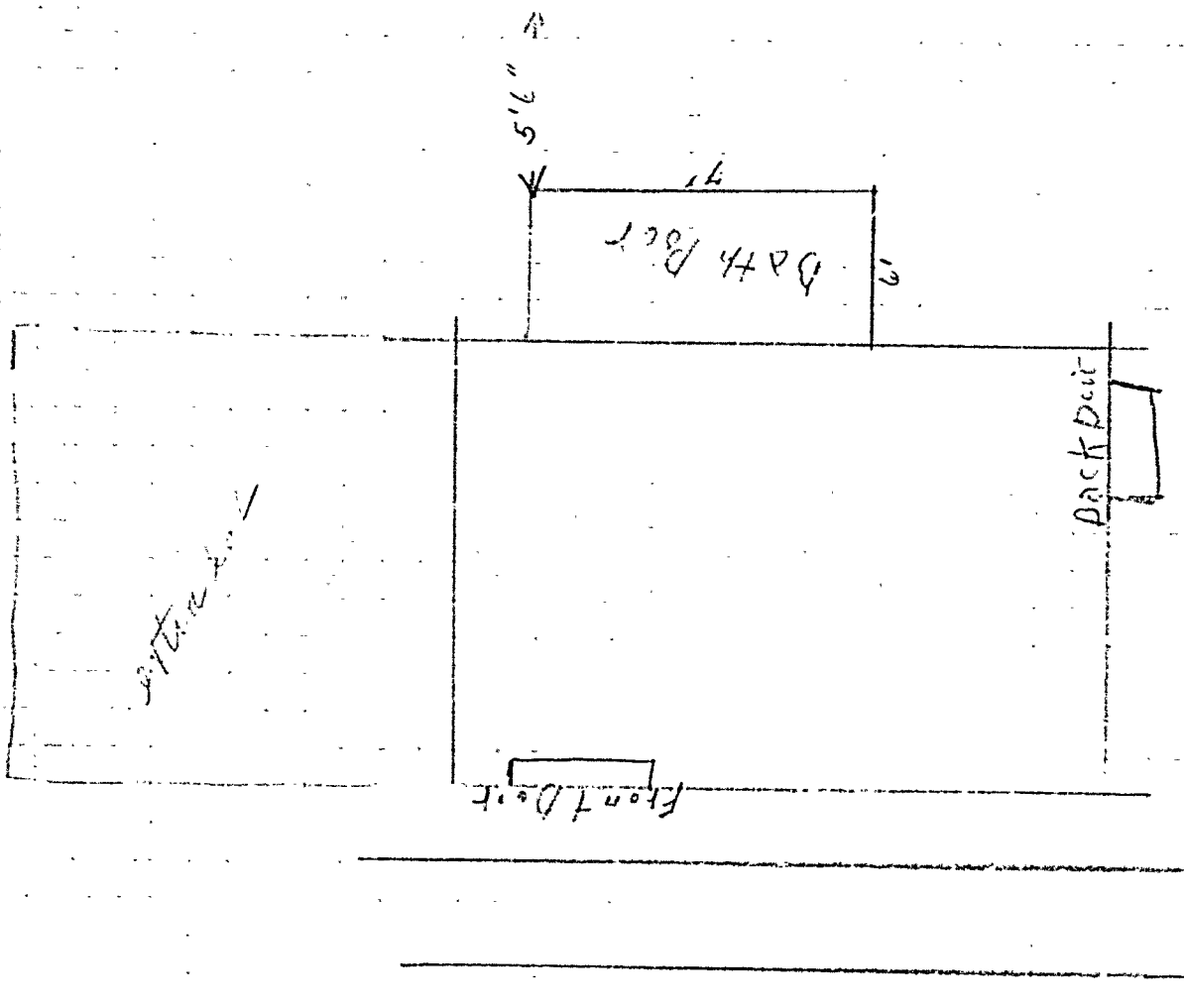
Foundation Cement Blocks
down 4' Below Frost

Sills 4" x 6" to set on foundation

2x6 stringers

outside Boarded

and CL boarded



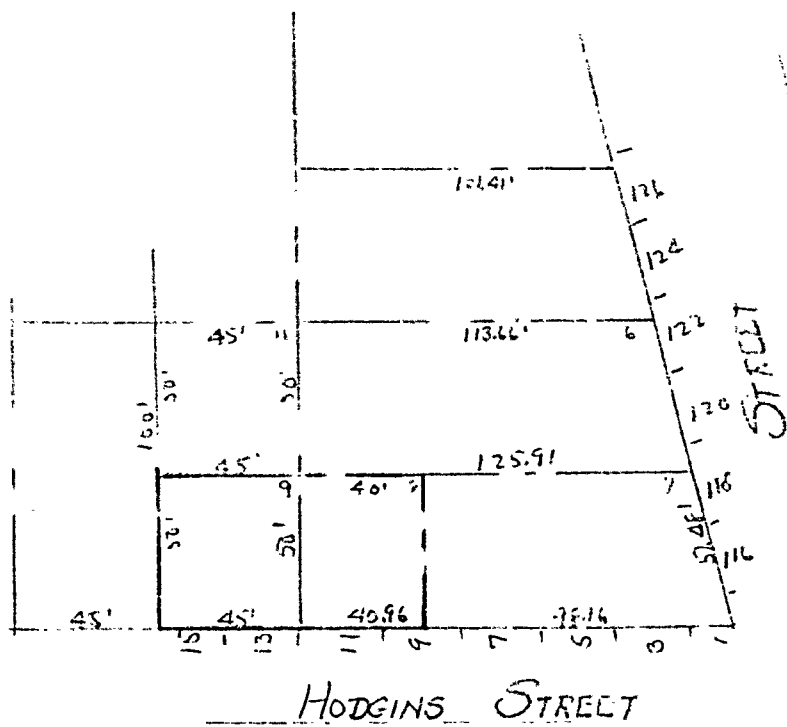
20/25/10
 11-1-64
 42
 2000
 212

Ernest A. Sphar

RECEIVED
 APR 2 1963
 DEPT. OF BLD'G. INSP.
 CITY OF PORTLAND

11 Hodgins St

431-17



- 7- ROSINA SYLVESTER
- 8- ANNA & RAY SYLVESTER
- 9- " " " "
- 11- CHRISTINA PASQUALE

100.00-24 x 27
x 27' high

VERANDA

HODGINS STREET

STREET

Memorandum from Department of Building Inspection, Portland, Maine

11 Hodgins St.—Construction of 1-story frame addition 6' x 7' for
Mrs. Frank Sylvester by Ernest Sylvester—3/17/53

The appeal under the Zoning Ordinance having been sustained, building permit for construction of a one story addition 6' x 7' on the rear of the dwelling at 11 Hodgins St. is issued herewith. Attention is called to the requirement of the Building Code that a poured concrete footing at least eight inches deep shall be provided for the support of the 12" concrete block foundation walls. It should be noted that these blocks are required to be 1 1/2 inches instead of eight inches thick because the space inside the walls is to be excavated.

Concrete blocks are required to be made with gravel or stone—not cinders—where below surface of ground and are required to be laid in cement mortar rather than lime mortar.

If the above is not understood, or, if you are unable or unwilling to comply with these requirements, it is important that you do not start the work, and that you furnish more information as to how you propose to comply with the law.

AJS/S

CC: Mrs. Frank Sylvester
11 Hodgins St.

igned) Warren McDonald
Inspector of Buildings

AP 9-11 Hodg St.

March 4, 1953

Mrs. Frank Sylvester
11 Hodgins St.
Portland, Maine

Copies to: Corporation Counsel
Mr. Ernest Sylvester
4 Richmond St.

Dear Mr. Sylvester:-

We are unable to issue a building permit for construction of a one-story addition six feet by seven feet for use as a bathroom on the rear of the dwelling at 9-11 Hodgins St. because the addition would extend to within five feet six inches of the rear lot line, whereas a clearance from that line of 20% of the depth of the lot or 10 feet is specified by Sect. 10B of the Zoning Ordinance applying to the Residence 3 Zone where the property is located. You have expressed a desire to exercise your appeal rights concerning this matter and accordingly we are enclosing an outline of the appeal procedure and are certifying the case to the Corporation Counsel, who acts as clerk for the Board of Appeals.

In order for the appeal to be considered at the next meeting of the Appeal Board, the appeal should be filed without delay.

Very truly yours,

Warren McDonald
Inspector of Buildings

AMS/G
Enclosure: Outline of appeal procedure

STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for addition Date 3/2/53
at 11 Hodrins St.

1. In whose name is the title of the property now recorded? Mrs. Frank Sylvester
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? fence
3. Is the outline of the proposed work now staked out upon the ground? yes
If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? _____
4. What is to be maximum projection or overhang of eaves or drip? 12"
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? yes
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? yes
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? yes

Ernest A. Sylvester



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

00962
CITY OF PORTLAND

Portland, Maine, 6/4/61

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 11 Hodgins St. Use of Building Dwelling No. Stories 2 Existing ~~XXXXXX~~
Name and address of owner of appliance Mrs. Frank Sylvester, 11 Hodgins St.
Installer's name and address Ballard Oil & Equipment Co. Telephone 2-1991

General Description of Work

To install one fully automatic oil burner under steam boiler with all controls for safe operation

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance
If wood, how protected? Kind of fuel
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace
From top of smoke pipe From front of appliance From sides or back of appliance
Size of chimney flue Other connections to same flue
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Ballard 4XR 3S Labelled by underwriters' laboratories? Yes
Will operator be always in attendance? No Does oil supply line feed from top or bottom of tank? Bottom
Type of floor beneath burner Cement
Location of oil storage Basement Number and capacity of tanks 1 - 275 gal.
If two 275-gallon tanks, will three-way valve be provided?
Will all tanks be more than five feet from any flame? Yes How many tanks fire proofed?
Total capacity of any existing storage tanks for furnace burners None

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance
If wood, how protected?
Minimum distance to wood or combustible material from top of appliance
From front of appliance From sides and back From top of smoke pipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

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.....
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.....
.....
.....

Amount of fee enclosed? \$2.00 (\$3.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

6-5-61 [Signature]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes

INSPECTION COPY

Signature of Installer Ballard Oil & Equipment Co. By: [Signature]



(L) LOCAL BUSINESS ZONE Permit No. _____
APPLICATION FOR PERMIT **PERMIT ISSUED**

Class of Building or Type of Structure 3rd. **0529**
MAY 8 1934
Portland, Maine, May 8 1934

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to ~~erect~~ ^{rebuild} alter ~~install~~ the following building structure ~~equipment~~ in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 11 Hodgins Ward 9 Within Fire Limits? no Dist. No. _____
Owner's or lessor's name and address Frank Sylvester 11 Hodgins St. Telephone _____
Contractor's name and address Albert Molbeck 16 Oregon St. Telephone 3-7827
Architect's name and address _____
Proposed use of building Dwelling House No. families 1
Other buildings on same lot None
Plans filed as part of this application? no No. of sheets _____
Estimated cost \$ 125.00 Fee \$.75

Description of Present Building to be Altered

Material wood No. stories 2 Heat _____ Style of roof _____ Roofing _____
Last use Dwelling house No. families 1

General Description of New Work

To demolish existing platform (front and side) and ~~and side porches~~ and side porches. To rebuild 2-story open front porch ~~on the side~~, each to be 5' x 8'. The front porch will not be any closer to street line than it is at present, and the side porch will be 10' from side line.

NOTIFICATION BEFORE LATHING OR CLOSING-IN IS WAIVED.
CERTIFICATE OF OCCUPANCY REQUIREMENT IS WAIVED.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the presence of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front 8' 8" depth 5' No. stories 1 Height average grade to highest point of roof 10'
To be erected on solid or filled land? solid earth or rock? earth
Material of foundation iron rosts Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof Flat Rise per foot 5" Roof covering Asphalt roofing Class C Und Lab
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts 6x8 Sills 4x8 Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor 2x8, 2nd _____, 3rd _____, roof 2x4
On centers: 1st floor 18", 2nd _____, 3rd _____, roof 22"
Maximum span: 1st floor 5', 2nd _____, 3rd _____, roof 5'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? YEE

INSPECTION COPY

Signature of owner Frank Sylvester
By Albert Molbeck

18/203

Ward 9 Permit No. 34/529

Location 11 Higgins St.

Owner Frank Sylvestri

Date of permit 5/8/34

Notif. closing-in _____

Inspn. closing-in _____

Final Notif. _____

Final Inspn. 6/5/34. O.B.

Cert. of Occupancy issued MM

5/16/34. NOTES
Not started. O.B.
5/27/34. Work started. O.B.
5/31/34. Work well along.
O.B.



FILL IN COMPLETELY AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Permit No. 2641
PERMIT ISSUED

November 17, 1930

NOV 27 1930

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

Portland, Maine,

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 4 Hodgkins St. Frank Sylvester, 4 Hodgkins St. Use of Building dwellling house 9

Name and address of owner A. E. Moody, 471 Auburn St. Ward P 1156

Contractor's name and address _____ Telephone _____

General Description of Work

To install steam heating system

IF HEATER, POWER BOILER OR COOKING DEVICE yes Kind of Fuel coal

Is heater or source of heat to be in cellar? _____ If not, which story _____ Kind of Fuel coal

Material of supports of heater or equipment (concrete floor or what kind) _____ Kind of Fuel coal

Minimum distance to wood or combustible material, from top of boiler or casing top of furnace, _____

from top of smoke pipe _____, from front of heater _____ from sides or back of heater _____

IF OIL BURNER

Name and type of burner _____ Approved by Underwriters' Laboratories? _____

Location oil storage _____ No. and capacity of tanks _____

Will all tanks be more than seven feet from any flame? 1.00 How many tanks fireproofed? _____

Amount of fee enclosed? _____ (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Signature of contractor A. E. Moody

INSPECTION COPY

3703A

1129 Wood St
Ward 9 Permit No. 30/2641
Location 4 Hodgkins St
Owner Frank Sylwester
Date of permit 11/27/30
Notif. closing-in
Inspn. closing-in
Final Notif. 12/1/30
Final Inspn. 1/19/31 C.D.L.
Cert. of Occupancy issued None

do this as soon as possible, by Mr Sylwester, C.D.L.

12/2/30. NOTES
Smoke pipe and heater clearances are O.K.
Coverings should be removed when closing to smoke pipe and heater thru 12" floor joists and against chimney. Mrs Sylwester is going to consult a carpenter as to the best method of getting them away. I told her cutting them and bracing off with a post each side for support looked the best.

Mr.
12/17/30
Carpenter busy will



Location, Ownership and detail must be correct, complete and legible.
 Separate application required for every building.
 Plans must be filed with this application.

Application for Permit for Alterations, etc.

To the Inspector of Buildings Portland, October 23, 1923 192

INSPECTOR OF BUILDINGS:

(See 9-11) The undersigned applies for a permit to alter the following described building:--
4 Hodgkins Street Ward 9 in fire-limits? no
 Name of Owner or Lessee Frank Sylvester Address 4 Hodgkins Street
 " " Contractor L E Butland " 175 Coyle street
 " " Architect " "
 Material of Building is wood Style of Roof pitch Material of Roofing shingle
 Size of Building is 24ft feet long: 16ft feet wide. No. of Stories 1 1/2
 Cellar Wall is constructed of stone is _____ inches wide on bottom and batters to _____ inches on top.
 Underpinning is brick is _____ inches thick: is _____ feet in height.
 Height of Building 20ft Wall, if Brick: 1st _____ 2d _____ 3d _____ 4th _____ 5th _____
 What was Building last used for? dwelling No. of families? 1
 What will Building now be used for? dwelling (one family)

Description of Present Bldg.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK

Detail of Proposed Work

Addition 12x24 feet two stories high, raise roof of present building
so as to be two stories high, put in concrete foundation,
all to comply with the building ordinance

Estimated Cost \$ 2500.

If Extended On Any Side

Size of Extension, No. of feet long? 24ft; No. of feet wide? 12ft; No. of feet high above sidewalk 20ft
 No. of Stories high? 2; Style of Roof? pitch; Material of Roofing? asphalt
 Of what material will the Extension be built? wood Foundation? concrete
 If of Brick, what will be the thickness of External Walls? _____ inches; and Party Walls _____ inches.
 How will the extension be occupied? dwelling How connected with Main Building? joined

When Moved, Raised or Built Upon

No. of Stories in height when Moved, Raised, or Built upon? _____ Proposed Foundations _____
 No. of feet high from level of ground to highest part of Roof to be? _____
 How many feet will the External Walls be increased in height? _____ Party Walls _____

If Any Portion of the External or Party Walls Are Removed

Will an opening be made in the Party or External Walls? _____ in _____ Story.
 Size of the opening? _____ How protected? _____
 How will the remaining portion of the wall be supported? _____

Signature of Owner or Authorized Representative Lyle E. Butland
 Address 175 Coyle St.

125

