

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

# PERMIT

Permit Number: 081254

Please Read Application And Notes, If Any, Attached

This is to certify that PALMER RONALD R & JOANNE JTS ARCHITECTS INC Builders

has permission to Replacement Windows and Doors. Replace Deck and Stairs. Replace Front Porch Steps.

AT 4 LENNOX ST City of Portland 431 F004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name \_\_\_\_\_

CITY OF PORTLAND

*Thomas H. Mackley*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1254	Issue Date:	CBL: 431 F004001
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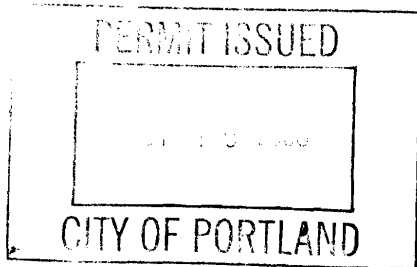
Location of Construction: 4 LENNOX ST	Owner Name: PALMER RONALD R & JOAN E J	Owner Address: 12 LENNOX ST	Phone: 207-650-2615
Business Name:	Contractor Name: MSP Custom Builders	Contractor Address: PO Box 336 So Freeport	Phone: 2076502615
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Replacement Windows and Doors. Replace & enlarge deck(105 sf) - Replace Front Porch Steps in same footprint.	Permit Fee: \$220.00	Cost of Work: \$20,000.00	CEO District: 4
Proposed Project Description: Replacement Windows and Doors. Replace & enlarge deck (105sf). Replace Front Porch Steps in same footprint..		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	
		Signature: <i>Jm 10/14/08</i>		
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: lmd	Date Applied For: 10/06/2008	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input checked="" type="checkbox"/> Shoreland house outside of 250's shoreland zone. <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/14/08 <i>JBM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>



### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## Footings

07-09-09 I inspected Front Porch w/in existing footprint; 80" by 13 ft, pre-cast  
sore tubes greater than 4 ft, advised owner/contractor that  
they would need to seal off between closed in porch & house,  
& call for final inspection, side porch, & set back when complete,  
& if curing will be added. JGR.

07-10-09 spoke w/ Ron Palmer he will be in to  
submit permit to include front enclosed  
porch. JAR

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 081254

Please Read Application And Notes, If Any, Attached

This is to certify that PALMER RONALD R & JOAN E JTS / M Builders

has permission to Replacement Windows and Doors - Replace Deck and Stairs - Replace Front Porch Steps.

AT 4 LENNOX ST City 431 F004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name \_\_\_\_\_

*Thomas H. Mackley*  
 Director - Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
- Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

X Ronald R Palmer  
Signature of Applicant/Designee

10/15/08  
Date

Thomas W. MacCarty  
Signature of Inspections Official

10/14/08  
Date



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>4 LENNOX ST</b>		
Total Square Footage of Proposed Structure/Area <b>Deck 120 SQFT</b>	Square Footage of Lot <b>8483 SQFT</b>	Number of Stories <b>1</b>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <b>431 - F - 4 - 3</b>	Applicant <b>"must be owner, Lessee or Buyer"</b> Name <b>RONALD R PALMER</b> Address <b>12 LENNOX ST</b> City, State & Zip <b>PORTLAND ME 04103</b>	Telephone: <b>H 774-9763</b> <b>Cell 233-2482</b>
Lessee/DBA (If Applicable)  <b>OCT 6 2008</b>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <b>20000.00</b> C of O Fee: \$ _____ Total Fee: \$ <b>220<sup>00</sup></b>
Current legal use (i.e. single family) <b>Single</b>	Number of Residential Units <b>1</b>	
If vacant, what was the previous use? <b>N/A</b>		
Proposed Specific use: <b>N/A</b>		
Is property part of a subdivision? <b>NO</b>	If yes, please name _____	
Project description: <b>REPLACE WINDOWS AND DOORS - REPLACE DECK AND STAIRS REPLACE FRONT PORCH STEPS - ADD INSULATION - REPLACE SIDING.</b>		
Contractor's name: <b>MSP CUSTOM BUILDERS</b>		
Address: <b>P.O BOX 334</b>		
City, State & Zip <b>SO FREEPORT, ME 04078</b>		Telephone: <b>650-2615</b>
Who should we contact when the permit is ready: <b>RONALD R PALMER</b>		Telephone: <b>H 774 9763</b> <b>Cell 233 2482</b>
Mailing address: <b>12 LENNOX ST PORTLAND, ME 04103</b>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Ronald R Palmer      Date: 10-6-08

This is not a permit; you may not commence ANY work until the permit is issue

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1254	<b>Date Applied For:</b> 10/06/2008	<b>CBL:</b> 431 F004001
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<b>Location of Construction:</b> 4 LENNOX ST	<b>Owner Name:</b> PALMER RONALD R & JOAN E J	<b>Owner Address:</b> 12 LENNOX ST	<b>Phone:</b> 207-650-2615
<b>Business Name:</b>	<b>Contractor Name:</b> MSP Custom Builders	<b>Contractor Address:</b> PO Box 336 So Freeport	<b>Phone:</b> (207) 650-2615
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family Home - Replacement Windows and Doors. Replace & enlarge deck (105 sf) - Replace Front Porch Steps in same footprint.	<b>Proposed Project Description:</b> Replacement Windows and Doors. Replace & enlarge deck (105sf). Replace Front Porch Steps in same footprint..
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 10/09/2008
<b>Note:</b> Current footprint of house existed on pre 1957 assessor's card.			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 10/14/2008
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

<b>Comments:</b> 10/9/2008-amachado: Spoke to Ronald Palmer. The proposed larger deck does not meet the front setback. He has revised his proposal to rebuild the existing deck at the original 5' width for the first five feet and then extend it out 3' wider to 8' for the last 10'. The new deck will be a total of 105 sf. He also confirmed that the front steps would be rebuilt within the existing footprint. See email dated 10/9/08
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Ronald & Joan Palmer  
Owners  
4 Lennox Street  
Portland, Maine  
Permit Request

Scope of work

- Remove windows and install 14 new Anderson windows.
- Bedrooms windows replaced one in each bedroom with Anderson Egress type windows TW3046 UG 23 15/16 X 31.
- Bathroom Window Anderson # AN - 281 with tempered Glass.
- Kitchen Window Anderson # CN - 125 crank out.
- Remove and replace 6 porch and 4 house Windows with new Anderson windows TW2646.
- Insulate walls with fiberglass insulation.
- Wrap walls with house wrap.
- Insulate front porch with fiberglass insulation and house wrap.
- Remove shingles and replace with Maibec white cedar shingles.
- Remove and replace front and side doors and storm doors with 2 ft 8 in X 6 ft 8 in doors.



- Replace front porch stairs, 4 ft wide, hand rails to meet or exceed City of Portland Code guide lines.
- Remove existing 5 X 15ft deck Replace with a 8 X 15ft deck. Stairs 4ft wide and hand rails to meet or exceed (see City of Portland Code building a deck guide lines).
- Build stairs to code requirement. Riser maximum  $7\frac{3}{4}$  inch, minimum riser 4 inches. Minimum tread 10 inches. Tread less than 11 inches requires nosing (see City of Portland tread & riser dimension and detail information sheet)

— see email going to rebuild deck in existing footprint  
~~5 x 15~~  
! add 3' on for the last 10!

**From:** "R Palmer" <rjpal65@maine.rr.com>  
**To:** <amachado@portlandmaine.gov>  
**Date:** 10/9/2008 11:57:47 AM  
**Subject:** Deck and stairs 4 Lennox St

Reference our phone conversation this morning regarding the 25ft front set back and rethinking your suggestion I would like to change my mind and add the expansion to the deck and reduce the length by 5ft changing the deck size addition from 3X15ft to 3X10ft. The original deck size 5X15ft will be rebuilt in the same foot print.

The front stairs will be rebuilt in the existing foot print.

Thank you very much for help this. Please call with any questions.

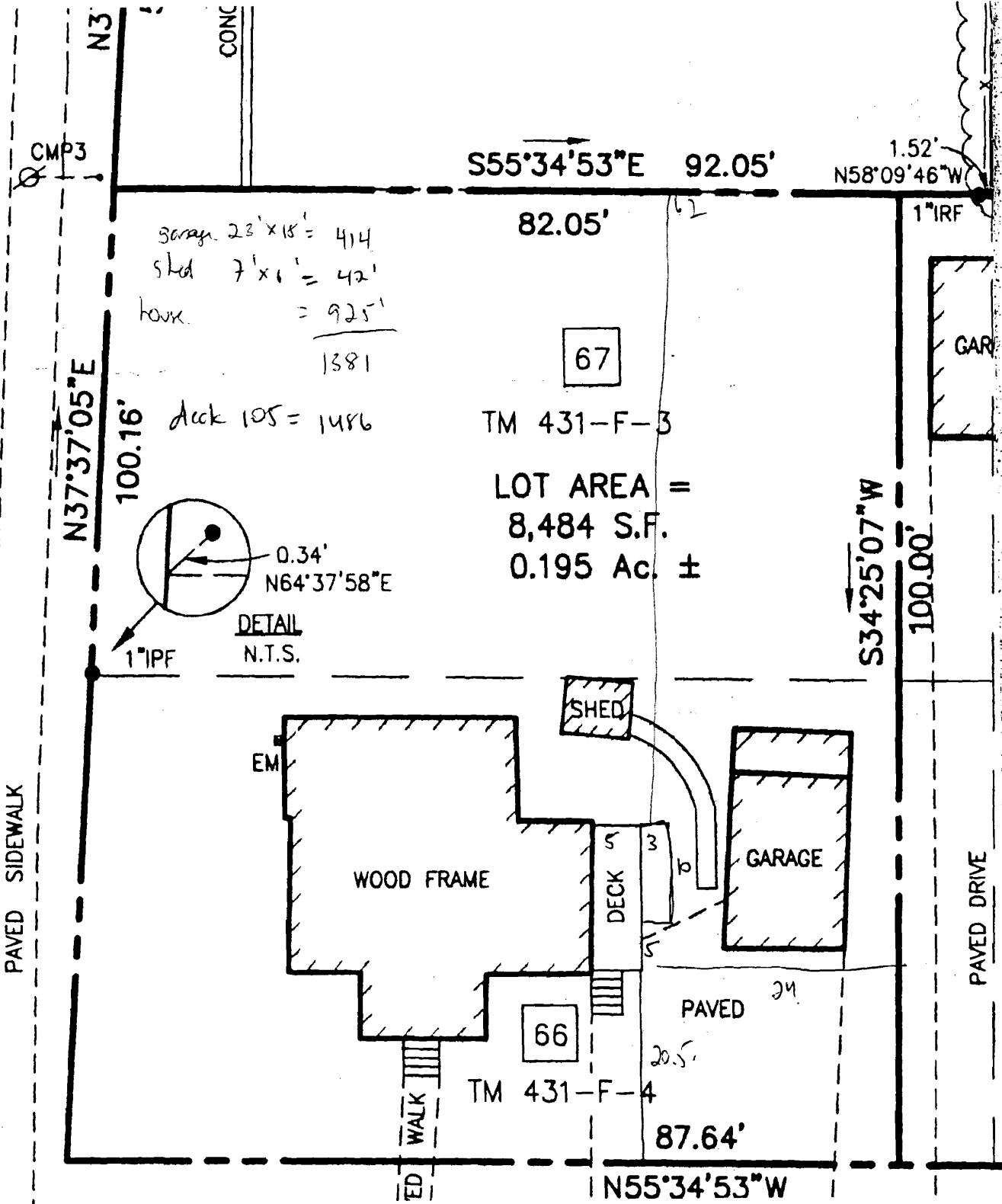
Ron Palmer

Cell 233-2482

Home 774-9763

# WINDSOR TERRACE

PAVED - PUBLIC 50' WIDE



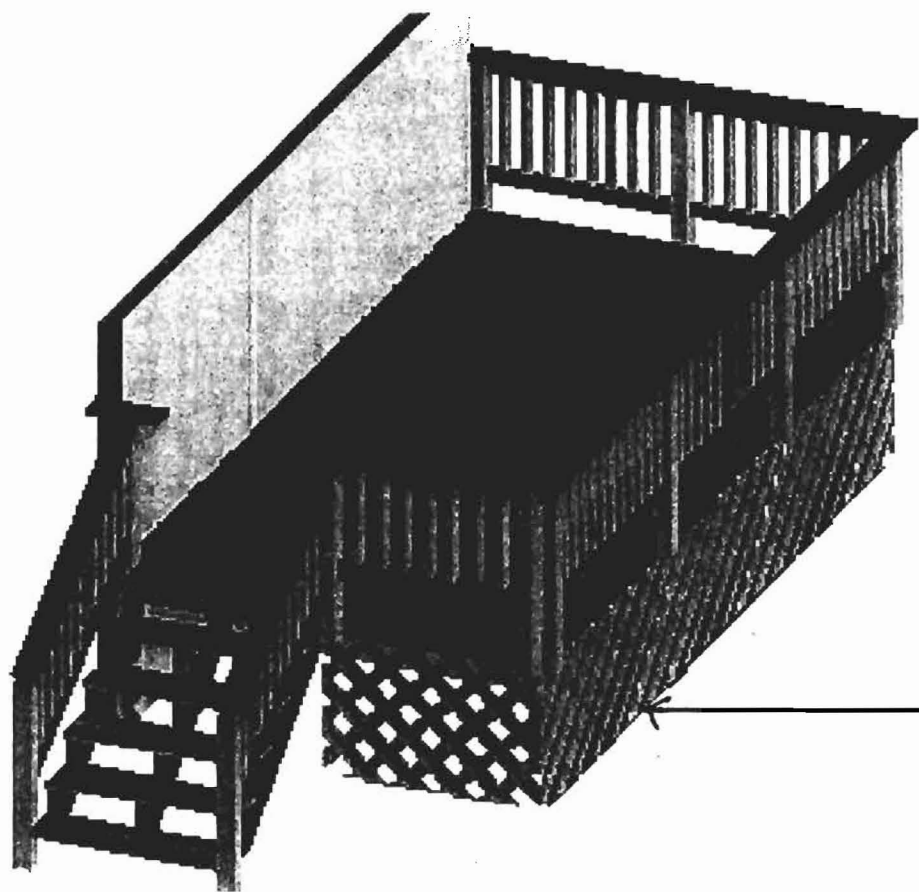
R3

lot size - 8483 ±  
 land area per du - 6500 ±  
 \* front 25'  
 deck extension not meet. - 20.5'  
 side - ~~24~~ 8' - 24 blk  
 rear - 25' - 6710k  
 lot coverage = 35% = 2967 ±  
 1486 ±

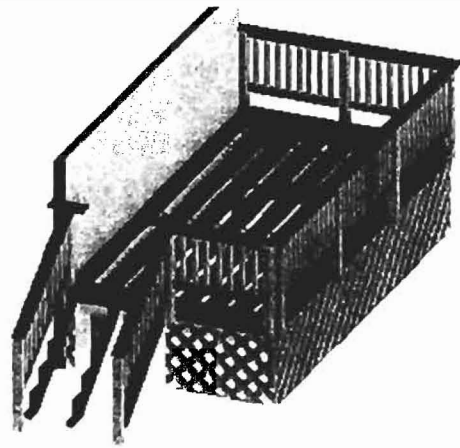
PAVED SIDEWALK

PAVED WALK

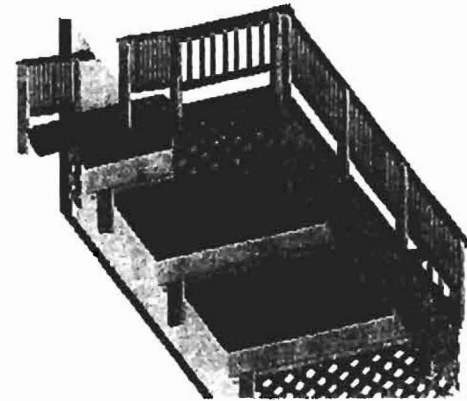




Lattice SKIRTING

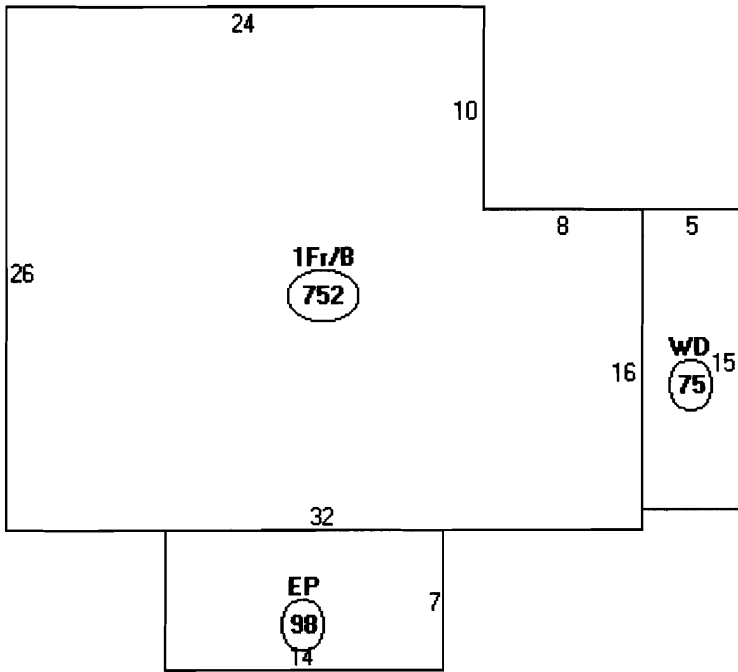


Top view without planks



Bottom view with planks





Descriptor/Area

A: 1Fr/B  
752 sqft

B: WD = 925  
75 sqft

C: EP  
98 sqft

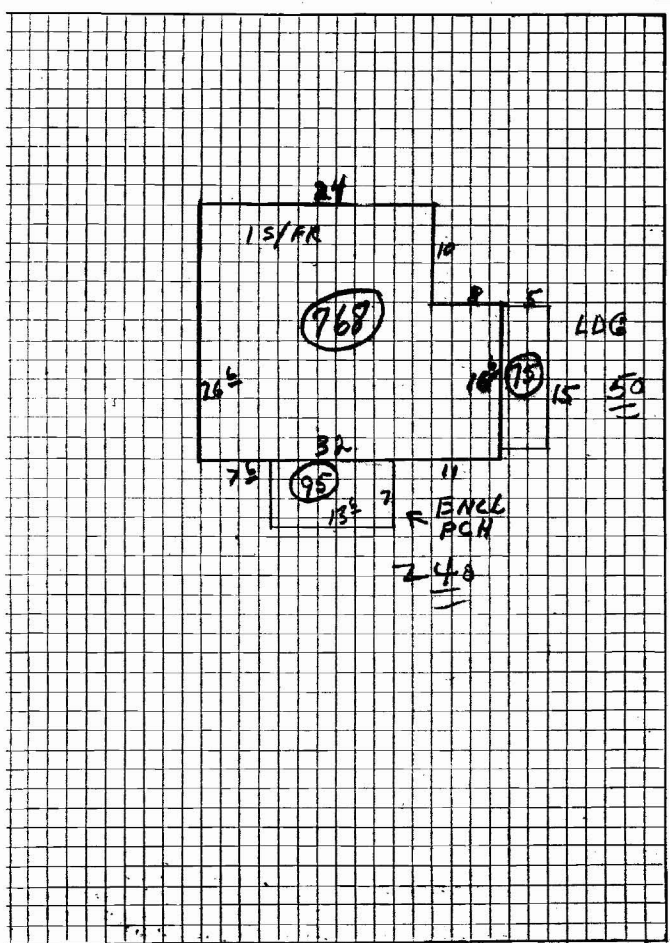
RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

1951 cad



CONSTRUCTION		
FOUNDATION	FLOOR CONST.	PLUMBING
CONCRETE	WOOD JOIST	BATHROOM
CONCRETE BLOCK	STEEL JOIST	TOILET ROOM
BRICK OR STONE	MILL TYPE	WATER CLOSET
PIERS	REIN. CONCRETE	LAVATORY
CELLAR AREA FULL	FLOOR FINISH	KITCHEN SINK
1/4 1/2 3/4	B 1 2 3	STD. WAT. HEAT
NO. CELLAR	CEMENT	AUTO. WAT. HEAT
EXTERIOR WALLS	EARTH	ELECT. WAT. SYST.
CLAPBOARDS	PINE	LAUNDRY TUBS
WIDE SIDING	HARDWOOD	NO PLUMBING
DROP SIDING	TERRAZZO	TILING
NO SHEATHING	TILE	BATH FL. & WCOT.
WOOD SHINGLES		TOILET FL. & WCOT.
ASBES. SHINGLES		LIGHTING
STUCCO ON FRAME	ATTIC FLR. & STAIRS	ELECTRIC
STUCCO ON TILE	INTERIOR FINISH	NO LIGHTING
BRICK VENEER	B 1 2 3	NO. OF ROOMS
BRICK ON TILE	PINE	BSMT.
SOLID BRICK	HARDWOOD	2ND
STONE VENEER	PLASTER	1ST
CONC. OR CIND. BL.	UNFINISHED	3RD
TERRA COTTA	METAL CLG.	OCCUPANCY
VITROLITES		SINGLE FAMILY
PLATE GLASS	RECREAT. ROOM	TWO FAMILY
INSULATION	FINISHED ATTIC	APARTMENT
WEATHERSTRIP	FIREPLACE	STORE
ROOFING	HEATING	THEATRE
ASPH. SHINGLES	PIPELESS FURNACE	HOTEL
WOOD SHINGLES	HOT AIR FURNACE	OFFICES
ASBES. SHINGLES	FORCED AIR FURN.	WAREHOUSE
SLATE TILE	STEAM	COMM. GARAGE
METAL	HOT WAT. OR VAPOR	GAS STATION
COMPOSITION	NO HEATING	ECONOMIC CLASS
ROLL ROOFING	GAS BURNER	OVER BUILT
INSULATION	OIL BURNER	UNDER BUILT
	STOKER	DT. 9/19/50
		AR. BA
		LD. 100
		PD. CH
		MS. 14
		CK. 51

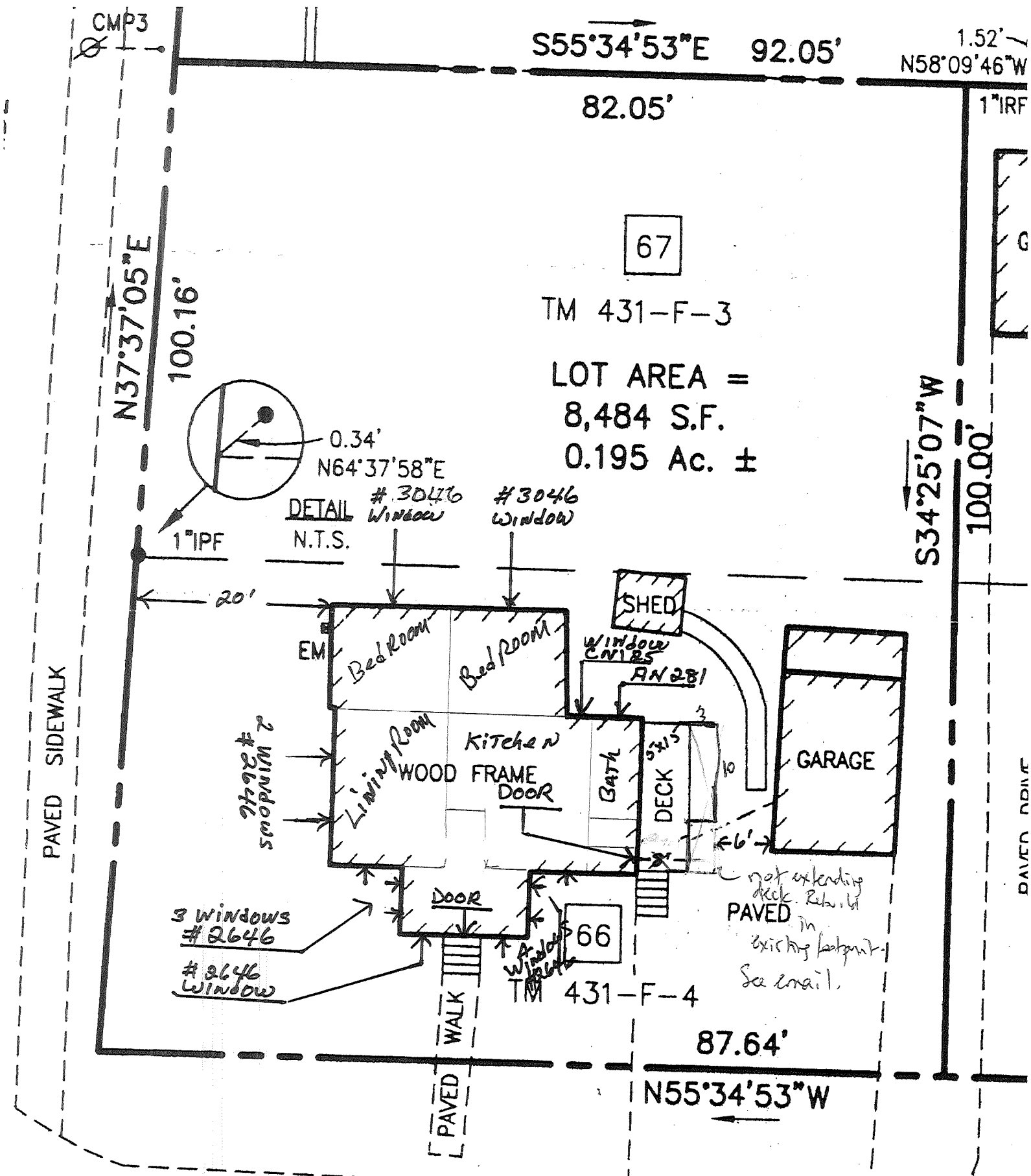
COMPUTATIONS		
UNIT	1951	
768 S. F.	3160	
S. F.		
ADDITIONS	+290	
BASEMENT		
WALLS		
ROOF		
FLOORS		
ATTIC		
FINISH		
FIREPLACE		
HEATING		
PLUMBING	+70	
TILING		
TOTAL	3520	
FACT. - 10	320	
REP. VAL.	3200	

SUMMARY OF BUILDINGS

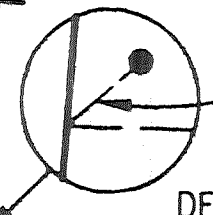
OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	YI
DWA	A 15/FR	C			F	3200	40	1920	A		1150	
GAR	B 1 CAR FR 12'x18'				F	240	60	100	B		50	
SHED (1)	C 5'x6'								C	N.V.		
D									D			
E									E			
F									F			
G									G			

YEAR	1951	1951 TOTAL BLDGS.		2020	1200
TAX VAL.		19	19	19	
OLD VAL.		19	19	19	
CHANGE		19	19	19	





67  
 TM 431-F-3  
 LOT AREA =  
 8,484 S.F.  
 0.195 Ac. ±



0.34'  
 N64°37'58"E  
 #3046 Window  
 #3046 Window  
 DETAIL N.T.S.

- 2 Bed Room Windows ANDERSON Egress #3046  $3'1\frac{5}{8}'' \times 4'8\frac{7}{8}''$  UNOBSTRUCTED GLASS
- 1-BATH ANDERSON AN 281  $2'7\frac{1}{2}'' \times 1'8\frac{1}{2}''$  AWING TEMP GLASS
- 1-KITCHEN ANDERSON CN-125-  $1'8\frac{1}{2}'' \times 2'4\frac{3}{8}''$  CRANK OUT
- 2-Jeldwen DOORS  $2'8'' \times 6'8''$
- 2-Jeldwen STORM DOORS  $2'8'' \times 6'8''$
- 10-Remaining House Windows ANDERSON #2646  $4'8\frac{7}{8}'' \times 2'7\frac{5}{8}''$

CMP2

