

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE

PERMIT ISSUED

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

JAN - 6 2005
Permit Number: 051732
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

This is to certify that CAIRNS ROSEMARY KENNEDY /Joel Yeak
has permission to adding height ~~Add height to existing~~ Amendment to ~~to create~~ Permit # ~~Brd floor before putting on roof~~ 051033

AT 30 WINDSOR TER 431 E017001

provided that the person or persons who apply for or accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is leased or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept _____
Health Dept. _____
Appeal Board _____
other _____
Department Name

[Signature] 12/22/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 05-1732
 Issue Date: JAN - 6 2005
 CBL: 43 E017001

Location of Construction: 30 WINDSOR TER	Owner Name: CAIRNS ROSEMARY KENNEY	Owner Address: 30 WINDSOR TER	Phone: CITY OF PORTLAND
Business Name:	Contractor Name: Joel York	Contractor Address: Portland	Phone: 2078461666
Lessee/Buyer's Name	Phone:	Permit Type: <u>Amendment</u> <u>Alterations - Dwellings</u>	Zone: <u>R-3</u>

Past Use: Single Family	Proposed Use: Single Famil add height to existing story to create 3rd floor before putting on the roof. <u>amendment to permit # 051013</u>	Permit Fee: \$75.00	Cost of Work: \$6,000.00	CEO District: 4	
Proposed Project Description: Add add height to existing story to create 3rd floor before putting on roof. <u>amendment to permit # 051013</u>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <u>N/A</u> Signature: _____	INSPECTION: Use Group: <u>R-3</u> Type: <u>5B</u> <u>IRC 2003</u> Signature: _____		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____					

Permit Taken By: dmartin	Date Applied For: 11/30/2005	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable <i>State</i> and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <u>12/22/05</u>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <u>12/22/05</u>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1732	Date Applied For: 11/29/2005	CBL: 431 E017001
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Location of Construction: 30 WINDSOR TER	Owner Name: CAIRNS ROSEMARY KENNEY	Owner Address: 30 WINDSOR TER	Phone:
Business Name:	Contractor Name: Joel York	Contractor Address: Portland	Phone (207) 846-1666
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family add 6' in height to existing story to create 3rd floor before putting on the roof.	Proposed Project Description: Add 6' in height to existing story to create 3rd floor before putting on roof.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 12/22/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) All previous conditions issued under all other permits for this property apply to this amendment.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 12/22/2005
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) The windows in the stairway must be tempered glass.			
2) All previous conditions issued under all other permits for this property apply to this amendment.			

Comments:
 12/6/05-tmm: spoke w/Joel York - need to show design to structure can carry another story and need floor hanger detail.
 12/13/05-tmm: Mike N. spoke w/designer and went over the above items - they will resubmit engineering.
 12/22/05-tmm: rec'd additional engineering -ok to issue



Randy D. Scamfer, P.E.
(207) 273-3021
Fax 273-3021

PO Box 1042
Warren, Maine 04864
rds@midcoast.com

December 19, 2005

Joel York
Logix ICF

RE: Rosemary Cairns 3 story addition

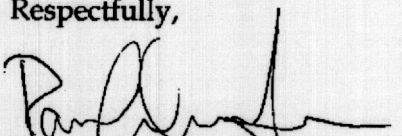
Dear Joel,

I analyzed the 3 story addition from the plans you sent to me for the Cairns single family residential project in Portland. The addition is 18 feet wide by 28 feet long with a connector to the main house. The walls are 6 1/4" Logix ICF with a truss roof system and wood floor system. The walls have #4 bars vertical space 24" oc and #4 bars horizontal spaced 16" oc. The tables for design from the Logix engineering manual are limited to up to 2 stories. Therefore the project with 3 stories required further engineering analysis.

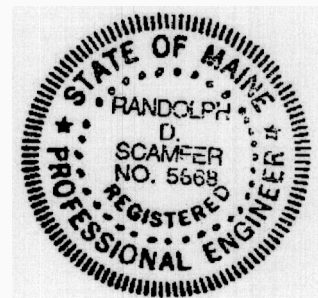
I was asked to review the Logix engineering data with respect to the three story condition of the project. Table 2, Vertical Reinforcement for Above Grade Walls, of section 6.1 of the Logix engineering manual shows that #4 bars spaced 24" oc in a 6.25" wall are adequate for wind speeds up to 140 mph with a combined axial load of up to 4500 plf. The Cairns project has a design roof snow load of 55 psf, 3rd floor live load of 30 psf (sleeping), 2nd floor live load of 40 psf (living) and dead loads of 10 psf for all floors and roof. With the weight of the concrete the maximum axial load on the ICF wall is 2645 PLF well below the 4500 PLF limit of Table 2. Therefore the 6 1/4" ICF wall for this specific project is adequate for a 3 story residential structure as presented.

No other aspects of the project have been reviewed including the roof trusses, floor framing, slab on grade, attachment to the existing building or any other part of the project other than the ICF wall reinforcing with respect to a 3 story condition.

Respectfully,



Randy D. Scamfer, P.E.



From: Mike Nugent
To: Tammy Munson
Date: Mon, Dec 19, 2005 4:51 PM
Subject: Fwd: Fw: City of Portland

>>> "Joel York" <ryork2@maine.rr.com> 12/19/2005 4:34:04 PM >>>

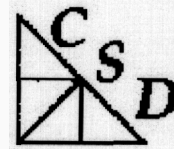
Mike Nugent

Attached is a letter from Randy Scamfer P.E. whom we asked to review the design for the third floor addition at 30 Windsor Terrace, the home of Rosmary Carnes. As I suspected the design is more than adequate for all conditions required by the Codes of the City of Portland.

Joel

Joel R. York

Designs In Time



Civil & Str

Randy D. Scamfer, P.E.
(207) 273-3021
Fax 273-3021

December 19, 2005

Joel York
Logix ICF

RE: Rosemary Cairns 3 story addition

Dear Joel,

I analyzed the 3 story addition from the Cairns single family residential project in Portland, ME, which is 28 feet long with a connector to the main house with a truss roof system and wood floor system. The Logix engineering manual are limited to up to 3 stories required further engineering analysis.

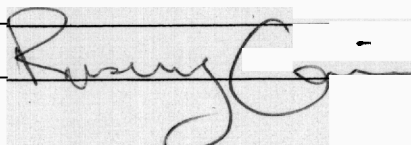
I was asked to review the Logix engineering manual, Table 2, Vertical Walls, of section 6.1 of the Logix engineering manual.



Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 431 E 017		Owner: Rosemary Cairns	Telephone: 207-774-1931
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:		Cost Of Work: \$ 6,000.00 Fee: \$ 75.00 C of O Fee: \$
Current Specific use: _____	Proposed Specific use: _____		
Project description: ADD A 3 rd FLOOR - 6' ± walls to existing structure before we put the ROOF ON.			
Contractor's name, address & telephone:		DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME NOV 29 2005 RECEIVED	
Who should we contact when the permit is ready: Rosemary Cairns			
Mailing address: _____ Phone: 207-774-1931 OR JOEL YORK (Contractor) 846 1666			

**Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.**

In order to be sure the **City** fully understands the full **scope** of the project, the **Planning** and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the **Building Inspections** office, room 315 City Hall or call 874-8703.

Signature of applicant: 	Date:
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1732	Date Applied For: 11/29/2005	CBL: 431 E017001
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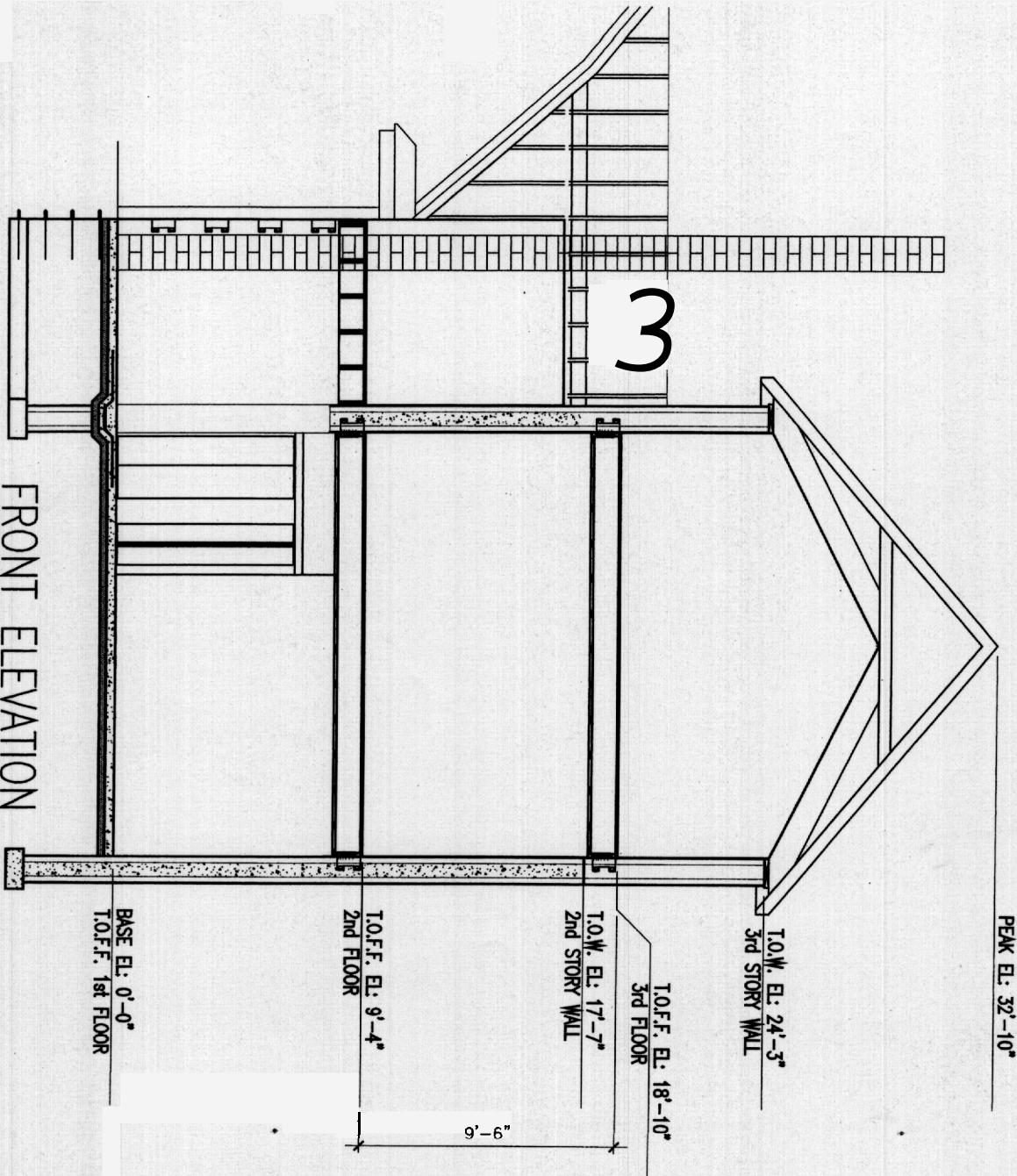
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12/13/05-tmm: Mike N. spoke w/designer and went over the above items - they will resubmit engineering.
12/22/05-tmm: rec'd additional engineering -ok to issue

PEAK EL: 32'-10"



FRONT ELEVATION
SCALE: N.T.S.

REVISION TO CAIRNES ADDENDUM

DESIGNS IN TIME

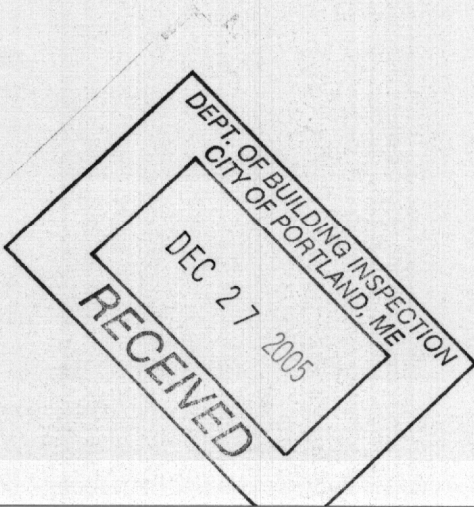
SH: 4

30 Windwor Terrace
Portland, Me 04101
774-1931

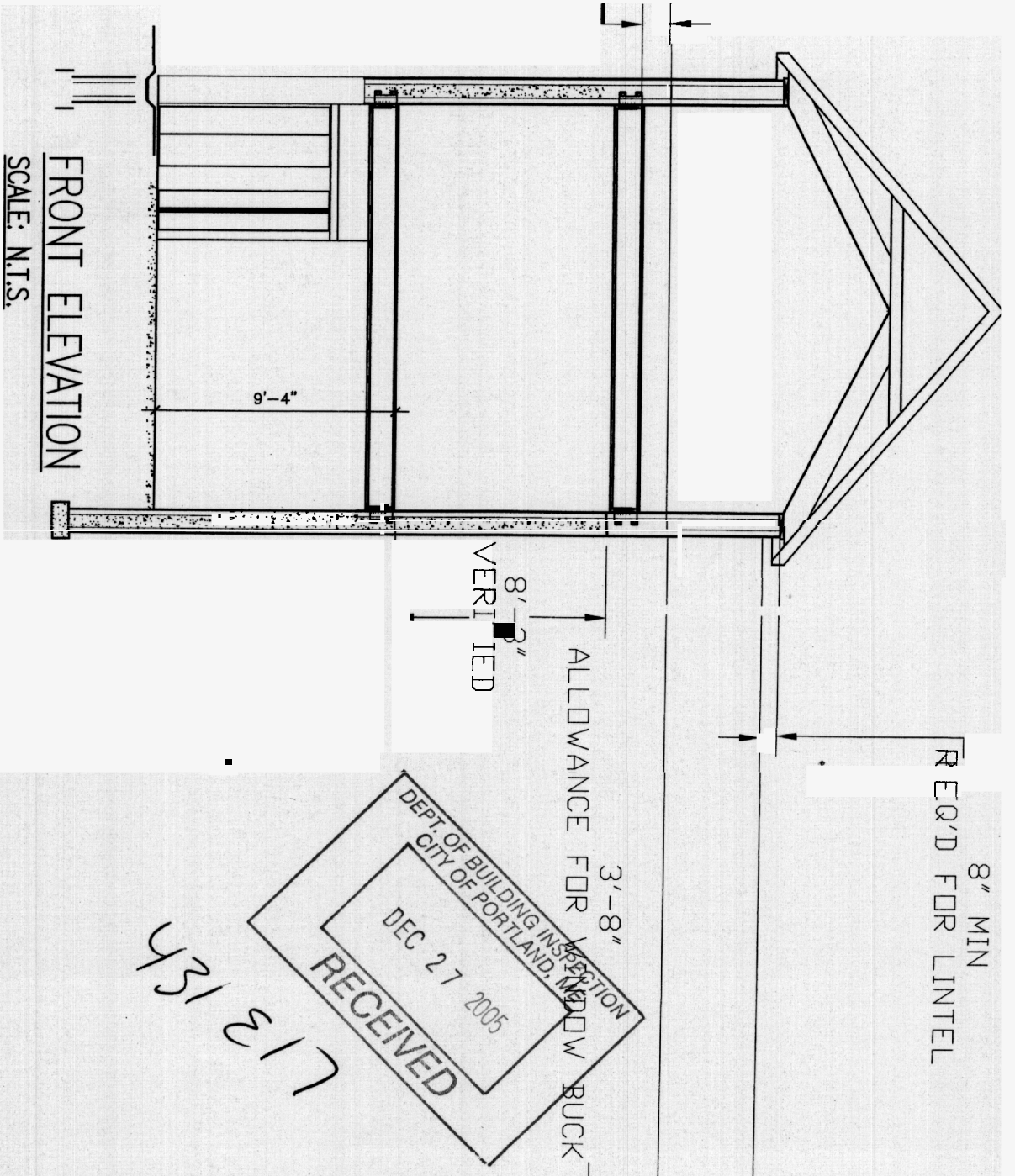
277 West Main Street
Yarmouth, ME 04096
846-1666

I:\Base2\DESIGN\LOGIX\ROSEMARY CAIRNS RESIDENCE\Cairns Residence Addendum Rev A.dwg, Layout 4, 12/22/2005 11:16:43 PM

431 217



1'-1 3/4" TO
INVERT @ WINDOW BUCK



REVISION TO CAIRNES ADDENDUM

30 Windwor Terrace
Portland, Me 04101
774-1931

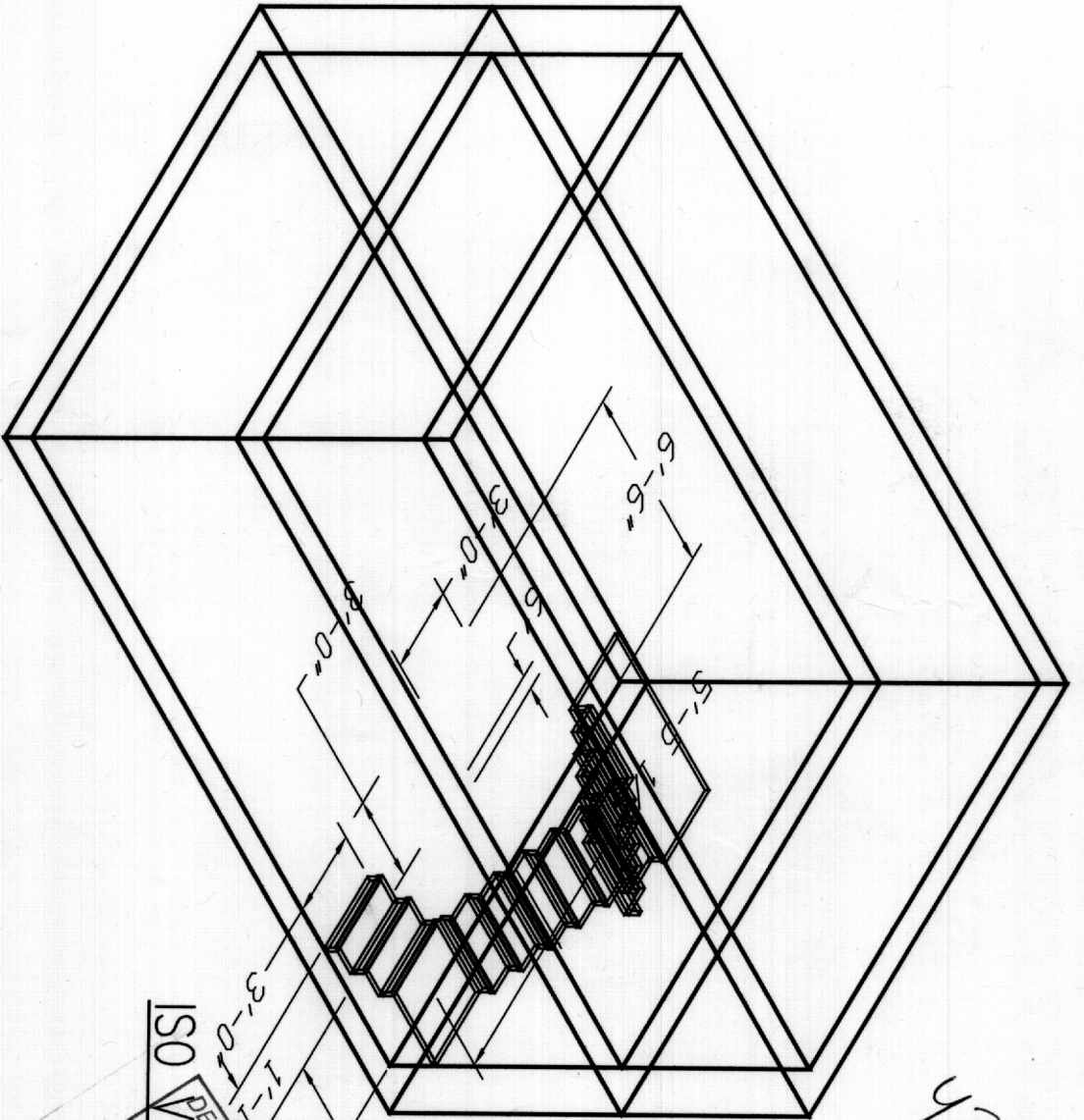
DESIGNS IN TIME

277 West Main Street
Yarmouth, ME 04096
846-1666

SH: 5

\\Base2\A\DESIGN\LOGIX\ROSEMARY CAIRNS RESIDENCE\Cairns Residence Addendum Rev A. 4g, Layout 5, 12/22/2005 11:16:00 PM

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
DEC 27 2005
RECEIVED
431 817



4/3/217

ISO VIEW
 RECEIVED
 DEC 27 2005
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME

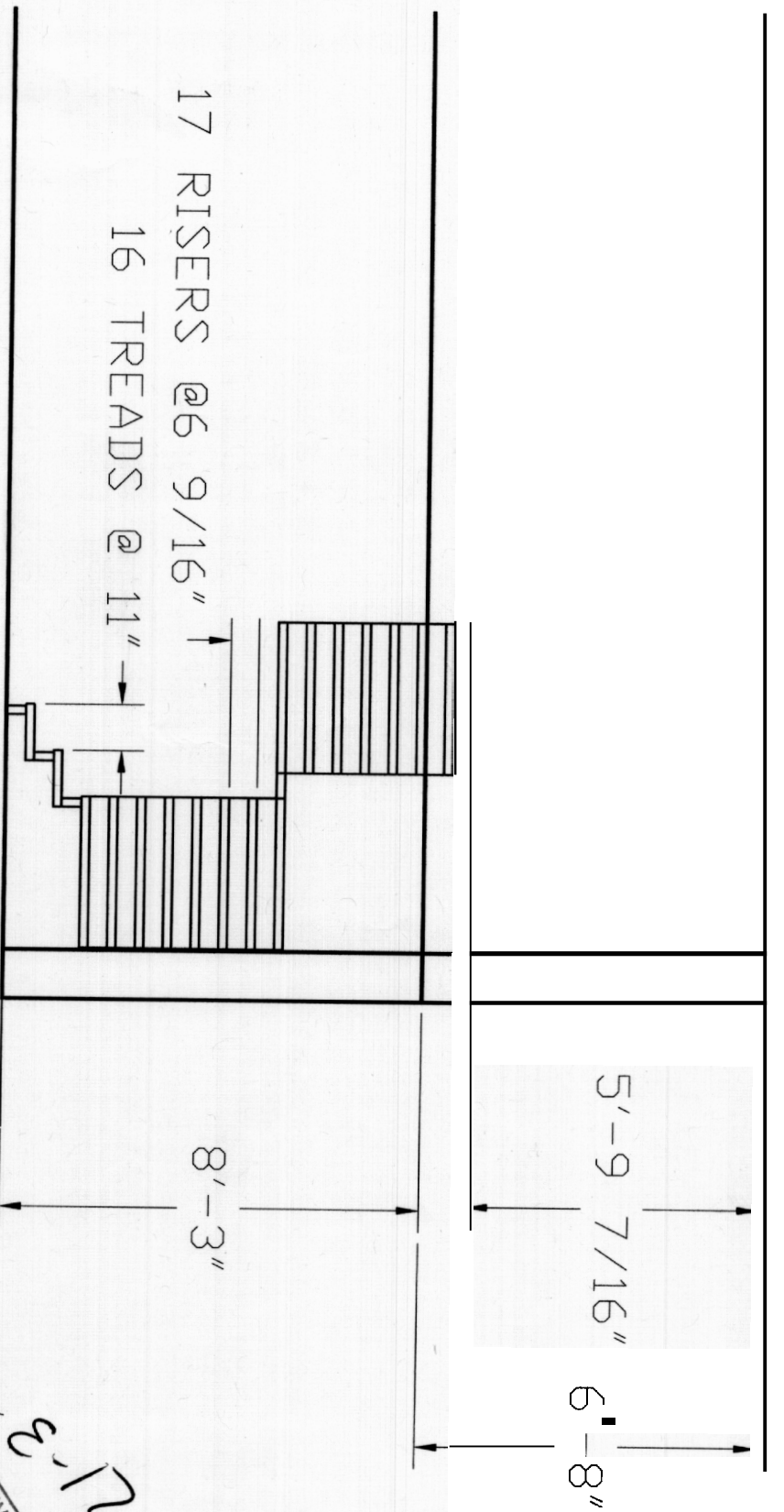
REVISION TO CAIRNES ADDENDUM

30 Windwor Terrace
 Portland, Me 04101
 774-1931

DESIGNS IN TIME

277 West Main Street
 Yarmouth, ME 04096
 846-1666

SH: 1



ELEVATION LKG WEST

REVISION TO CAIRNES ADDENDUM

30 Windwor Terrace
 Portland, Me 04101
 774-1931

DESIGNS IN TIME

277 West Main Street
 Yarmouth, ME 04096
 846-1666

SH: 3

