

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>	
Permit No: 02-0927	Issue Date: Sep 13 2002
CEL: 17-18-19-2	431 E017001

<b>Location of Construction:</b> 30 Windsor Ter	<b>Owner Name:</b> Cairns Rosemary Kenney	<b>Owner Address:</b> 30 Windsor Ter	<b>Phone:</b> 774-1931
<b>Business Name:</b>	<b>Contractor Name:</b> M & M Builders	<b>Contractor Address:</b> 16 Tenney Street Yarmouth	<b>Phone:</b> 2078460774
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-3

<b>Past Use:</b> Single Family	<b>Proposed Use:</b> Single Family	<b>Permit Fee:</b> \$226.00	<b>Cost of Work:</b> \$29,000.00	<b>CEO District:</b> 2	
<b>Proposed Project Description:</b> Construct 18' x 14' Family Room and 12' x 14' Bedroom/Bath		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>MA</i>	<b>INSPECTION:</b> Use Group: R-3 Type: SB BOLA 99 <i>gn</i>		
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>					
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
Signature: _____ Date: _____					

<b>Permit Taken By:</b> gg	<b>Date Applied For:</b> 08/15/2002	<b>Zoning Approval</b>		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 9/13/02	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 9/13/02
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

## PERMIT

Permit Number: 020927

This is to certify that Cairns Rosemary Kenney/M Build M  
has permission to Construct 18' x 14' Family Room and 12' x 14' Bedroom/Bath  
AT 30 Windsor Ter 431 E017001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_

**PERMIT ISSUED**  
SEP 13 2002  
**CITY OF PORTLAND**

*[Signature]*  
Director - Building & Inspection Services

Penalty for removing this card

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$7500~~ fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

       If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

       **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]  
Signature of applicant/designee

9-13-02  
Date

[Signature]  
Signature of Inspections Official

9/13/02  
Date

CBL: 431-E-17 Building Permit #: 02-0927

02-0927

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

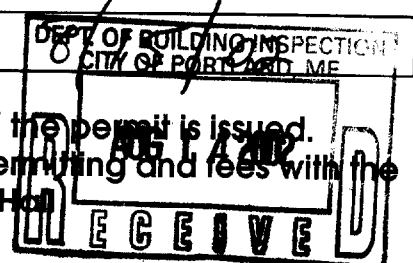
Location/Address of Construction: <u>30 WINDSOR TERRACE PORTLAND ME</u>		
Total Square Footage of Proposed Structure <u>840 sq Ft</u>	Square Footage of Lot <u>24,035 sq Ft</u> <u>24,035 sq Ft</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>431</u> Block# <u>E-017</u> Lot# <u>001</u>	Owner: <u>ROSEMARY K CAIRNS</u>	Telephone: <u>774-1931</u>
Lessee/Buyer's Name (If Applicable) <u>/</u>	Applicant name, address & telephone: <u>ROSEMARY CAIRNS</u> <u>30 WINDSOR TER</u> <u>PORTLAND ME</u>	Cost Of Work: \$ <u>29,000.</u> Fee: \$ <u>22600</u>
Current use: <u>SIF</u>		
If the location is currently vacant, what was prior use: <u>side yard</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>ADDITION TO RESIDENCY</u>		
Project description: <u>remodel 18' x 14' + 12' x 14' bath + bedroom</u>		
Contractor's name, address & telephone: <u>M+M Builders - BOB MARCOUX</u> <u>JENNEY ST YARMOUTH ME</u>		
Who should we contact when the permit is ready: <u>OWNER</u>		
Mailing address: <u>30 WINDSOR TERRACE</u> <u>PORTLAND ME 04103</u> <u>Call</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>774 1931</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rosemary Cairns</u>	Date: _____	DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Delete Schedule Add End Images Print Permit Print C of O Print Insp Taxes Due Close

Prmt Text93 43908 Constr Type New Num1 20927

<b>Permit Nbr</b>	02-0927	<b>Location of Construction</b>	30 Windsor Ter	<b>Appl. Date</b>	08/15/2002
<b>Status</b>	Open	<b>Permit Type</b>	Additions - Dwellings	<b>Issue Date</b>	09/13/2002
<b>CBL</b>	431 E017001	<b>Territory Nbr</b>	2	<b>Estimated Cost</b>	\$29,000.00
				<b>Date Closed</b>	

Comment Date	Comment	Add	Delete	Save
09/05/2002	Need more info - need to know beam size, headers, landing size, egress windows, use, and handrails size. - Left message w/owner to have builder call to discuss these items.			
	<b>Name</b> <span>tmm</span> <b>Follow Up Date</b> <span></span> <b>Completed</b> <input type="checkbox"/>			
09/10/2002	Spoke w/builder regarding the above - he told me he would submit info and I told him we could not hold this for more than a week.			
	<b>Name</b> <span>tmm</span> <b>Follow Up Date</b> <span></span> <b>Completed</b> <input type="checkbox"/>			
09/13/2002	rec'd all of the above info - ok to issue.			
	<b>Name</b> <span>tmm</span> <b>Follow Up Date</b> <span></span> <b>Completed</b> <input type="checkbox"/>			

**CreatedBy** gg **CreateDate** 08/16/2002 **ModBy** tmm **ModDate** 09/13/2002

CAIRNS

R-3

Front - 25' - 62' shown  
Rear 25' - 14' - 46' shown  
Side 14' - 88' shown

sideyard on side street - 20' - 116'  
lot cov. 25% - OK

shown

BACK LINE

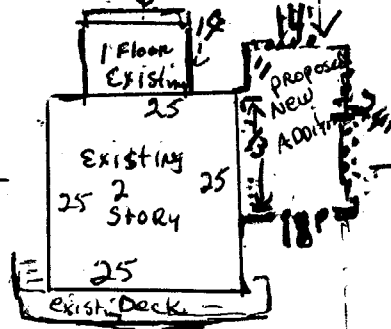
35' +

40'

116' +

SIDE LINE

SIDE LINE



lot 17

lot 18

lot 19

lot 20

50' +

62' +

FRONT LINE

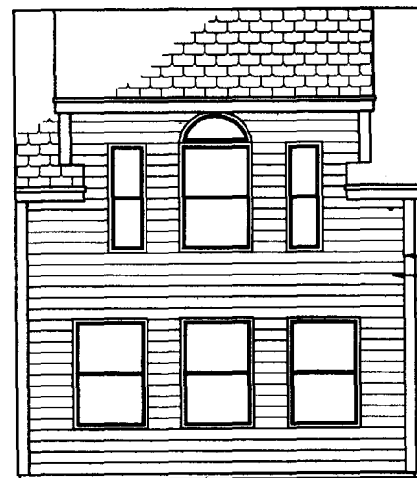
30 WINDSOR TERRACE

TAMMY MAXSON  
CITY OF PORTLAND

CODE ENFORCEMENT

1. CHIRKS RESIDENCE 3 WINDOW TERR.  
PORTLAND
2. HEADER SIZE 2x8 DOORS  
2x8 WINDOWS
3. LANDING 3'0" X 3'0"
4. HAND RAIL ON EXT. WALL - STAIR WELL IS  
ENCLOSED, HAND RAIL AT 32" FROM POINT
5. BEAM IS 2 - 2x10 MICRO LKS - THRUOUT  
BOLTED
6. EGRESS WINDOW ON 2ND FLOOR FRONT ELEVATION  
2ND FLOOR ROOM IS OPEN FRONT TO BACK

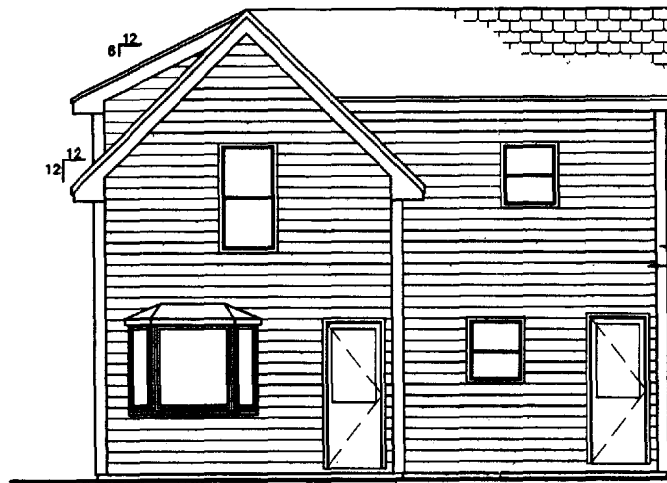
EXTERIOR ELEVATIONS  
 CAIRNS RESIDENCE  
 PORTLAND, ME



1 FRONT ELEVATION  
 1/4" = 1'-0"

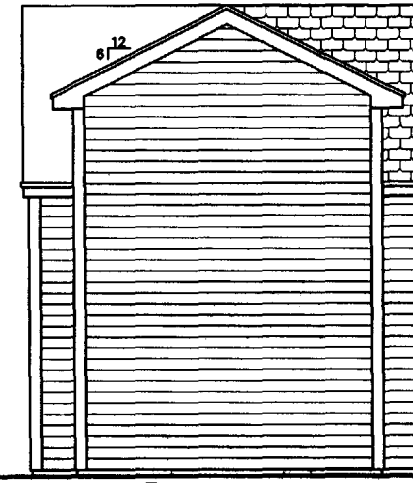
NOTE:  
 CONTRACTOR IS TO  
 VERIFY ALL  
 DIMENSIONS AND  
 LOCATION OF  
 BUILDING PRIOR TO  
 CONSTRUCTION

TRIM MATCH EXISTING  
 MATCH EXISTING SIDING



1 RIGHT ELEVATION  
 1/4" = 1'-0"

TRIM MATCH EXISTING  
 MATCH EXISTING SIDING



1 REAR ELEVATION  
 1/4" = 1'-0"

NOTE:  
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 LOCATION OF  
 BUILDING PRIOR TO  
 CONSTRUCTION

NOTE:  
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 AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

REVISIONS

CODE:

DATE: 8/14/02

SCALE: 1/4"=1'-0"

DRAWN: FMC/JR

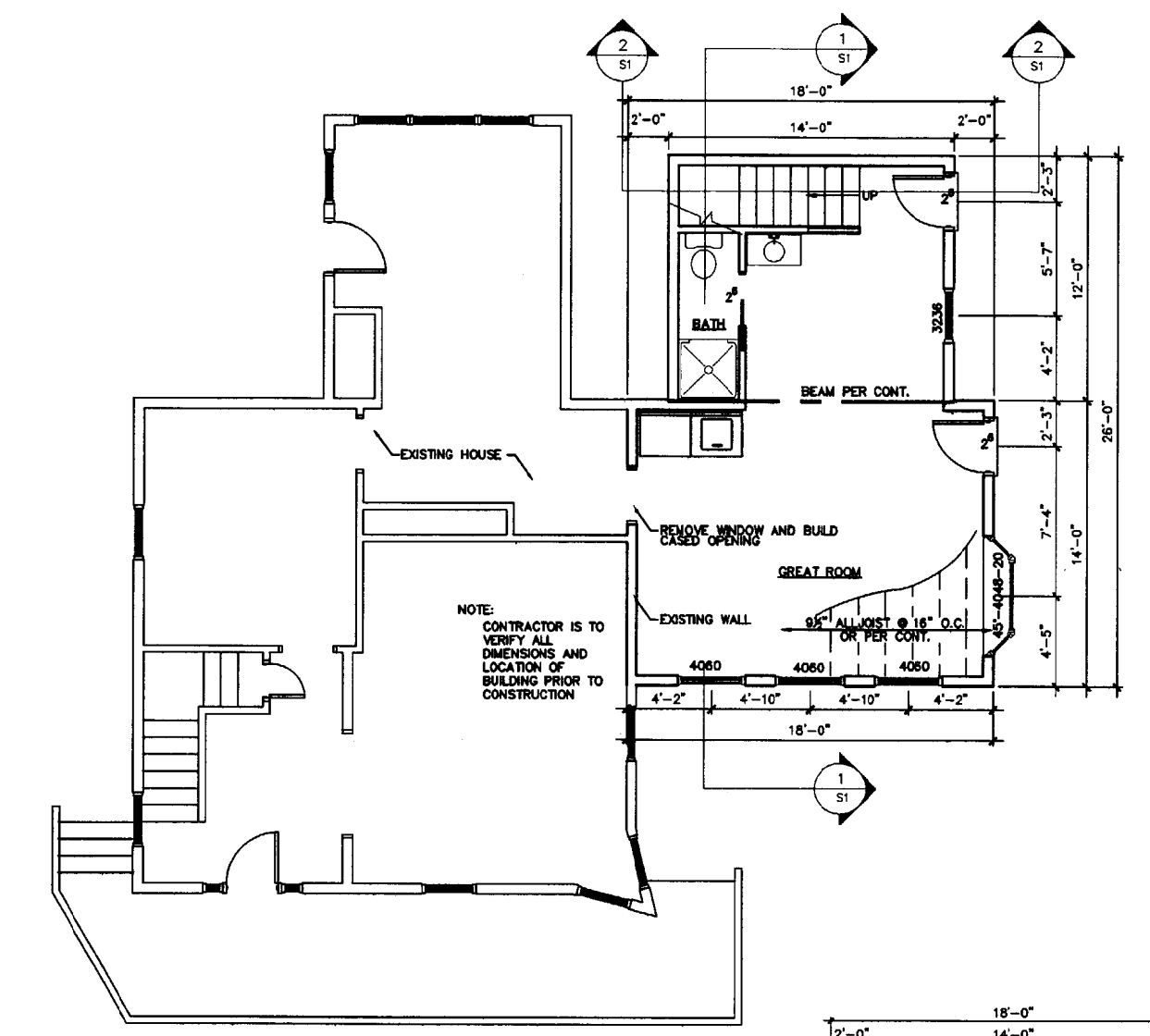
FILE: 02-0579

SHEET:

A1

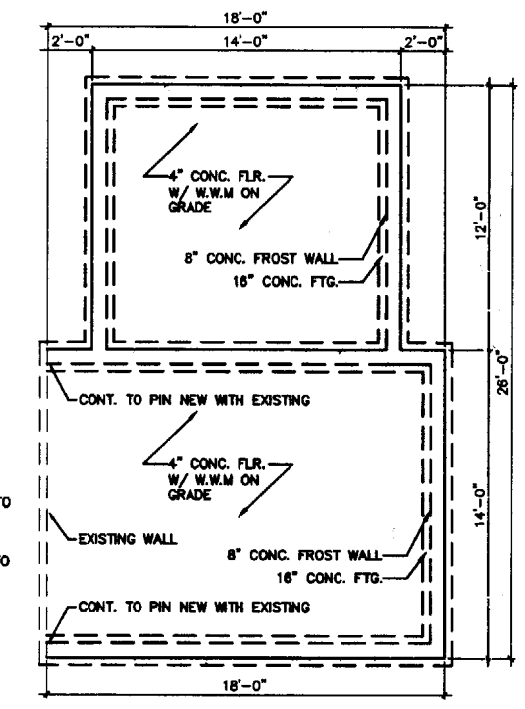


FIRST & SECOND FLOOR PLAN  
 CAIRNS RESIDENCE  
 PORTLAND, ME

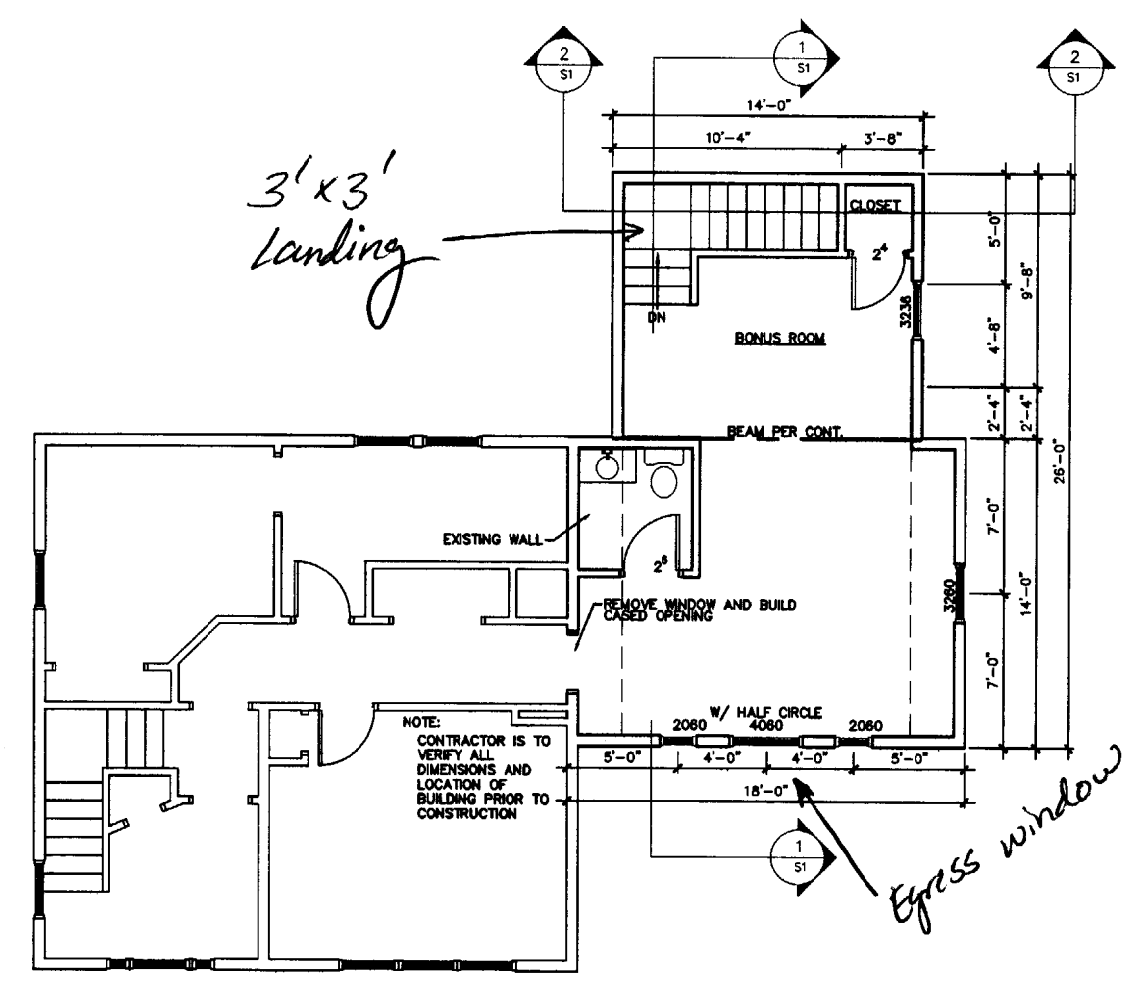


1 EXISTING FIRST FLOOR PLAN  
 1/4" = 1'-0"

1 FIRST FLOOR PLAN  
 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
 1/4" = 1'-0"



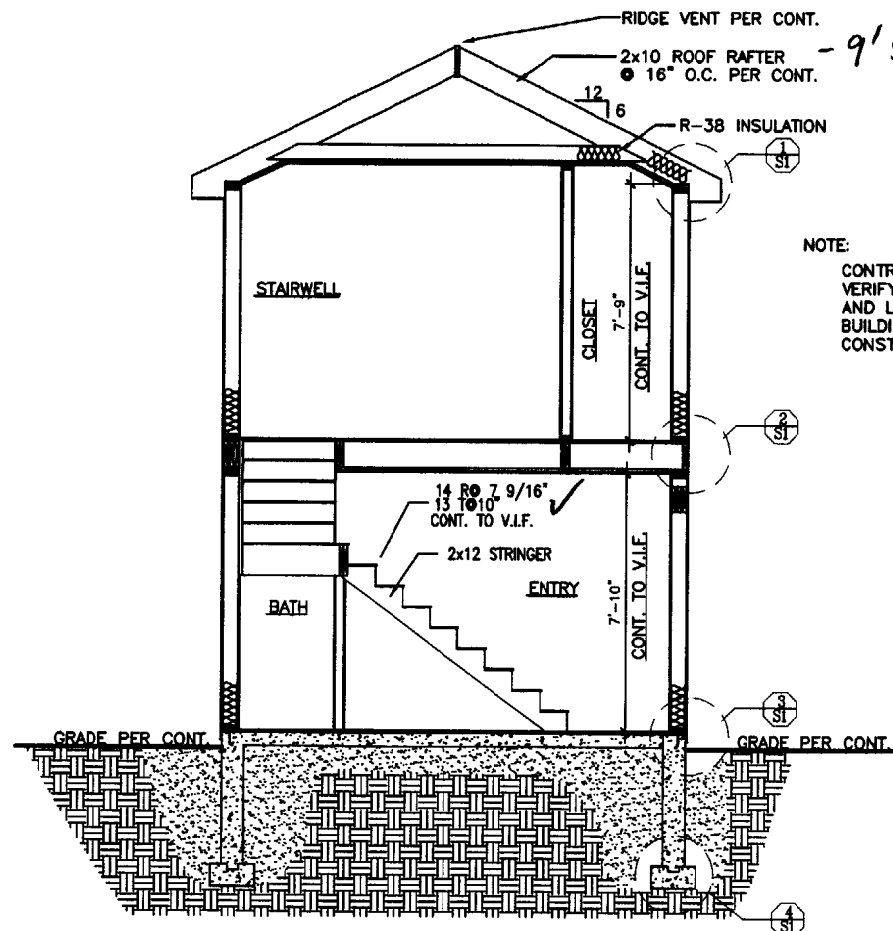
2 EXISTING SECOND FLOOR PLAN  
 1/4" = 1'-0"

2 SECOND FLOOR PLAN  
 1/4" = 1'-0"

All Headers - 2-2"x8"s

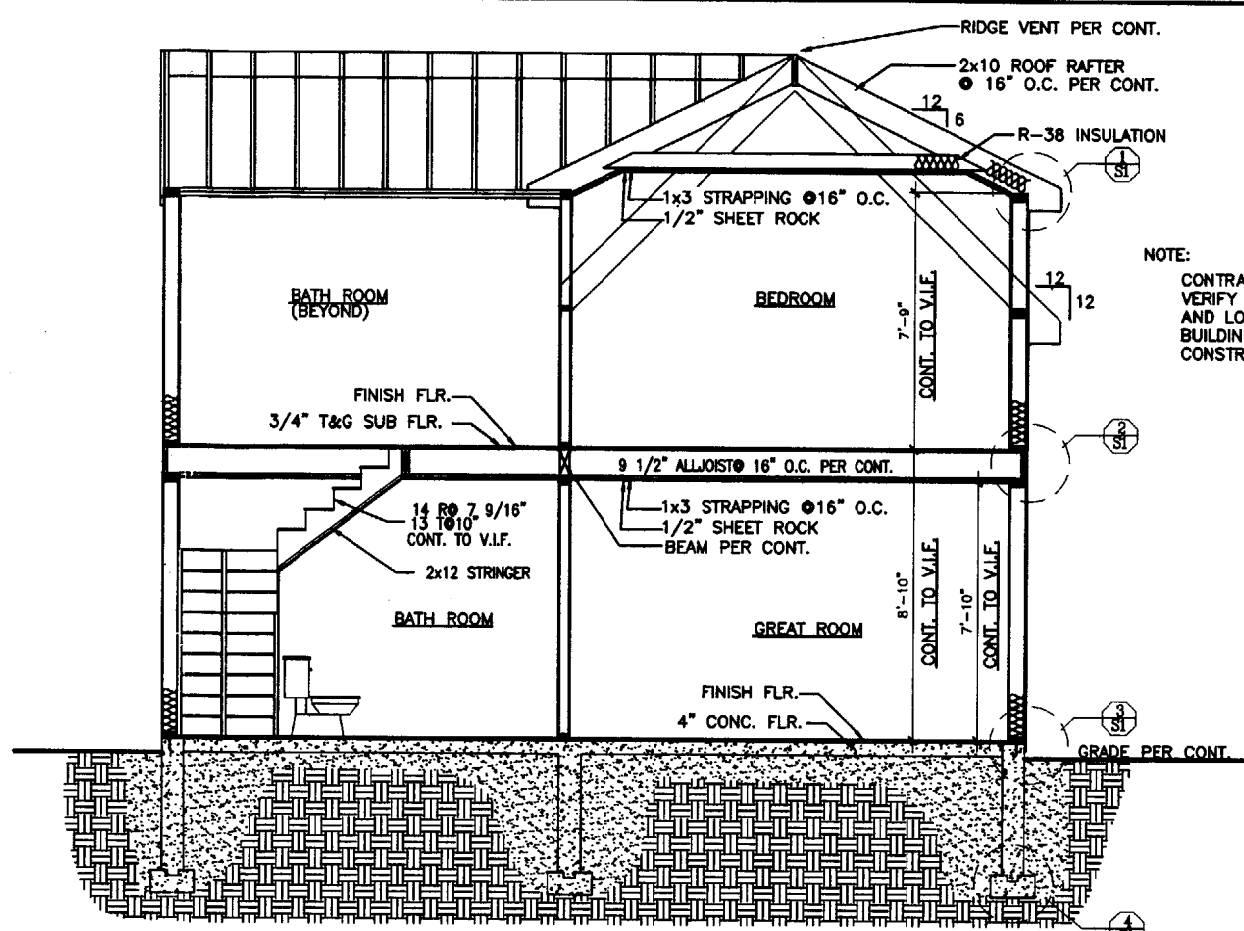
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REVISIONS	DATE	SCALE	DRAWN	FILE	SHEET
CODE:	8/14/02	1/4"=1'-0"	FMC/JR	02-0579	A2



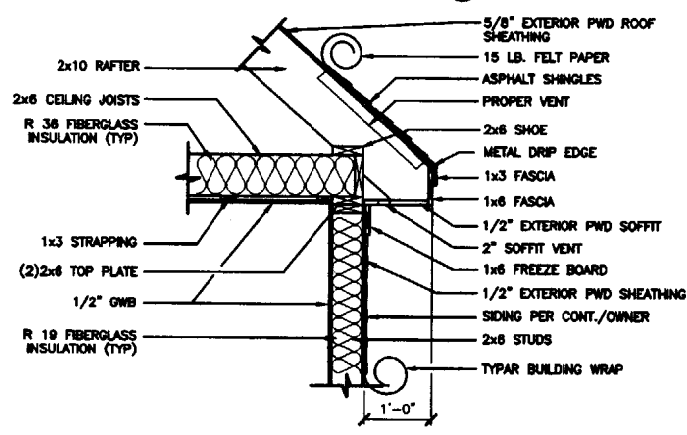
2 BUILDING SECTION  
3/8" = 1'-0"

NOTE:  
CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND LOCATION OF BUILDING PRIOR TO CONSTRUCTION



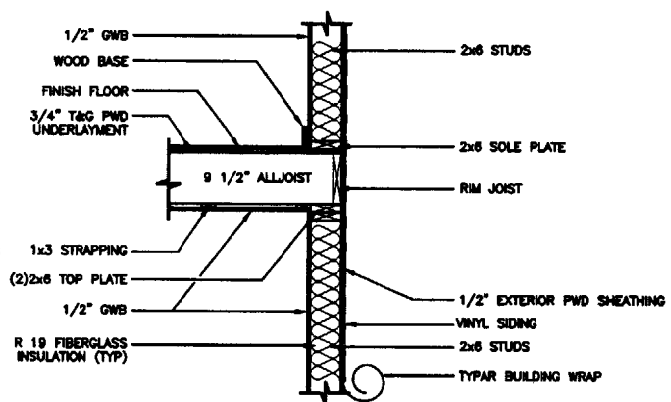
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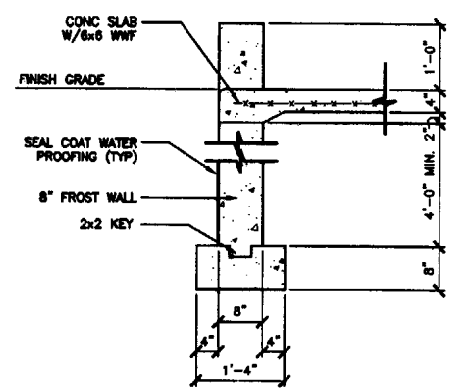
1 SOFFIT DETAIL  
SCALE: 3/4" = 1'-0"

NOTE:  
SUBSTITUTE JOIST AND RAFTER SIZES WITH PLAN CALL-OUT.



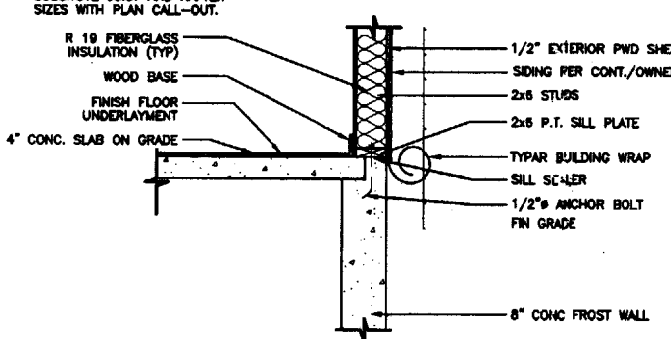
2 EXTERIOR WALL DETAIL  
SCALE: 3/4" = 1'-0"

NOTE:  
SUBSTITUTE JOIST AND RAFTER SIZES WITH PLAN CALL-OUT.



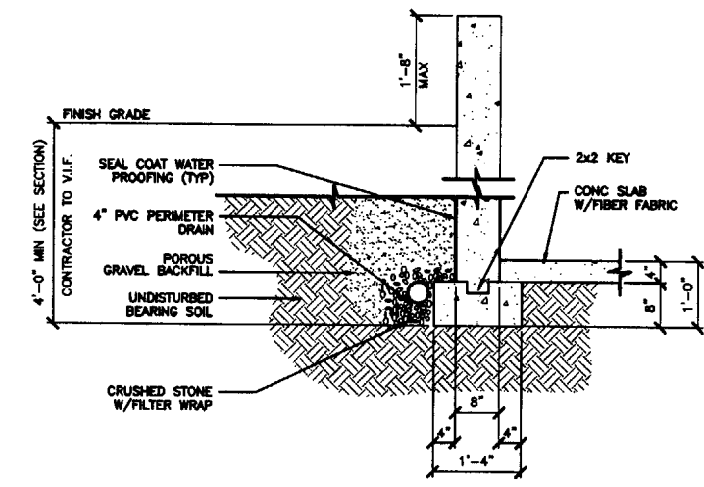
3 SLAB ON WALL DETAIL  
SCALE: 3/4" = 1'-0"

NOTE:  
SUBSTITUTE FOOTING AND WALL SIZES WITH PLAN CALL-OUT.



4 WALL BASE DETAIL  
SCALE: 3/4" = 1'-0"

NOTE:  
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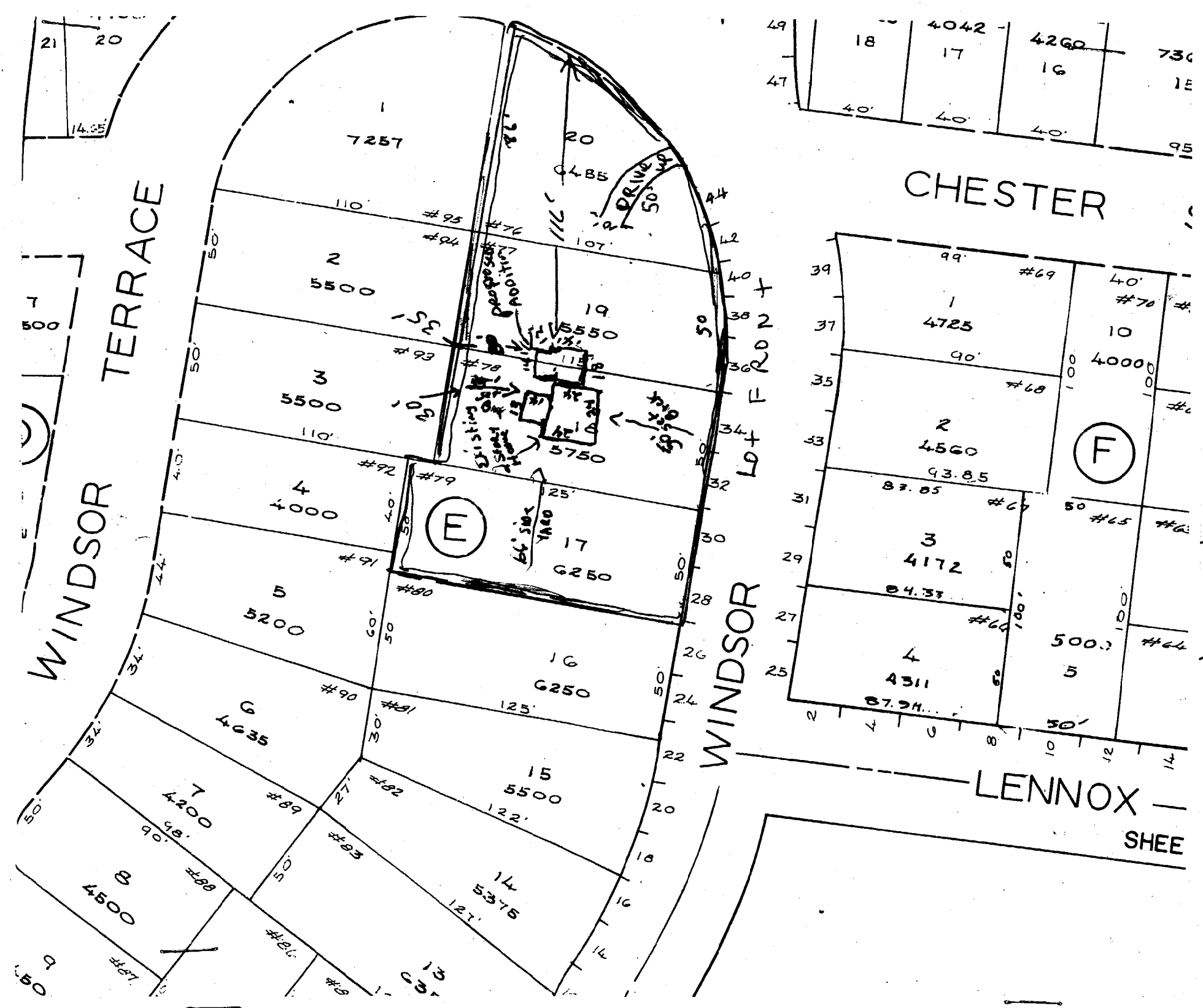


5 FOOTING DETAIL  
SCALE: 3/4" = 1'-0"

NOTE:  
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REVISIONS	
CODE:	
DATE:	8/14/02
SCALE:	1/4" = 1'-0"
DRAWN:	FMC/JR
FILE:	02-0579
SHEET:	DS



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PLOT PLAN  
 CAIRNS RESIDENCE  
 PORTLAND, ME

REVISIONS
CODE:
DATE: 8/14/02
SCALE: N.T.S.
DRAWN: FMC/JR
FILE: 02-0579
SHEET: A4