



Planning &amp; Urban Development Department

Director of Planning and Urban Development  
Jeff LevineInspection Services, Director  
Tammy M. Munson

May 1, 2015

LIBBY NELSON J  
8 WINDSOR TER  
PORTLAND, ME 04103**CBL: 431 E012001**  
**Located at: 8 WINDSOR TER****Certified Mail 7010 1870 0002 8136 7674**

Dear Mr. Libby,

An evaluation of the above-referenced property on **04/30/2015** shows that the structure fails to comply with Chapter 6.Article V. and Chapter 22of the Code of Ordinances of the City of Portland, The Housing Code. Attached is a list of the violations.

This is a notice of violation pursuant to Section 6-118 of the Code. All referenced violations shall be corrected within **30 days** of the date of this notice. A re-inspection of the premises will occur on **06/01/2015** at which time compliance will be required. Failure to comply will result in this office referring the matter to the City of Portland Corporation Counsel for legal action and possible civil penalties, as provided for in Section 1-15 of the Code.

This constitutes an appealable decision pursuant to Section 6-127 of the Code.

Please feel free to contact me if you wish to discuss the matter or have any questions.

Please be advised that the Portland City Council has amended the Building regulations to include a \$150.00 re-inspection fee. This violation will automatically cause a re-inspection at no charge. If there are any subsequent inspections, however, the \$150.00 fee will be assessed for each inspection.

Sincerely,

A handwritten signature in black ink, appearing to read "Chuck Fagone".

Chuck Fagone  
Code Enforcement Officer  
(207) 874-8789

**CITY OF PORTLAND**  
**DEPARTMENT OF PLANNING & URBAN DEVELOPMENT**

389 Congress Street  
 Portland, Maine 04101

**Inspection Violations**

<b>Owner/Manager</b> LIBBY NELSON J		<b>Inspector</b> Chuck Fagone	<b>Inspection Date</b> 4/30/2015
<b>Location</b> 8 WINDSOR TER	<b>CBL</b> 431 E012001	<b>Status</b> Re-Inspect 30 Days	<b>Inspection Type</b> Complaint-Inspection

Code	Int/Ext	Floor	Unit No.	Area	Compliance Date
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1) 22.3.3(a) Exterior Yard

**Violation: PREMISES TO BE KEPT FREE FROM RODENT HARBORAGE**  
 The owner of a two (2) or more family residential building and the owner or occupant of a single family residential building shall maintain the building and the lot on which the building is located free from any accumulation of any putrid substance, garbage, rubbish, old lumber, debris or rubble, except in watertight covered containers.

**Notes:**

2) 6-109.5. (d)

**Violation: STAIRWAYS, STAIRS, & PORCHES**  
 Every outside stairway, stairwell, stairs and porch and any appurtenances thereto shall be structurally sound, in good repair and safe to use. Every outside stairway, stairwell, stairs and porch and any appurtenances thereto shall be structurally sound, in good repair and safe to use.

**Notes:**

3) 6-109.5. (f) Exterior Through Out

**Violation: RODENT AND VERMIN CONTROL**  
 All unoccupied structures and exterior property shall be kept free from rodent and vermin infestation. Where rodents and vermin are found, they shall be promptly exterminated by approved processes which will not be injurious to human health. Every owner or operator of an unoccupied residential structure shall be responsible for the extermination of such

**Notes:** rodent and vermin or pest whenever infestation exists.

4) 6-109.5. (c) Exterior Through Out

**Violation: EXTERIOR WINDOWS, DOORS AND SKYLIGHTS**  
 Every window or door, including basement or cellar door and hatchway, and skylight shall be substantially weather tight, water tight and vermin-proof, and shall be kept secured to prevent ingress of people and animals.

**Notes:**

**Comments:** Trash, debris and garbage throughout the property. The dwelling and the outbuildings are unsecured. The front deck has collapsed and is no longer structurally safe.

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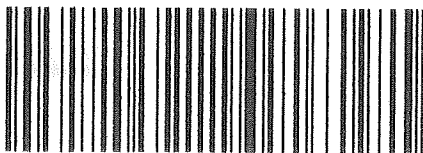
Portland, Maine



Yes. Life

Planning & Urban Developm  
Inspection Division

389 Congress Street, Room 3...  
Portland, Maine 04101-3509



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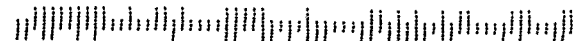
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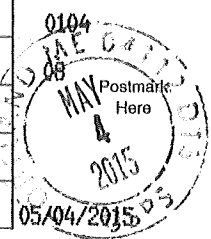
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Certified Fee		\$3.30
Return Receipt Fee (Endorsement Required)		\$2.70
Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$6.49



Sent To Nelson Libby  
 Street, Apt. No., or PO Box No. 8 Windsor Ter  
 City, State, ZIP+4 Portland ME 04103