

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that NINA & MIKE MILLER

Located At 76 WATSON ST.

Job ID: 2011-02-481-ADDR

CBL: 431 - - B - 005 - 001 - - - -

has permission for Exterior Seawall/ Deck Repairs and Modifications- Permit # 2011-2681

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

08/11/2011

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. All Previous Inspections Apply, See Permit # 2011-5681

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-02-481-ADDR

Located At: 76 WATSON

CBL: 431 - - B - 005 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued with the condition that the existing wooden deck and wooden walk are nonconforming and if are removed during the sea wall repair, the footprint and the height of the replacement deck and wooden walk must be exactly the same as the existing conditions.
4. The conditions of the easement deed between the City of Portland and Michael and Nina Miller regarding the "current deck" located in the easement area must be maintained.

Zoning

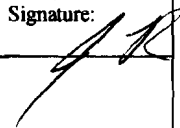
1. All original conditions are still in force.


Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. This permit is approved under repair of an Existing Structures, which allows the alteration or replacement of existing stairs to not meet new construction dimensions when the space is restricted. Guardrails and handrails, stair rise/run profile and continuity shall comply with new codes to the fullest extent possible.
3. Prior to the final inspection a sealed letter from your Engineer shall be submitted to this office confirming that based on inspections performed all discrepancies have been corrected and the structural work is in substantial compliance with the approved plans.
4. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
5. The deck Beams or Girders shall comply with the engineered specifications in accordance with MUBEC.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-02-481-ADDR #2011-5681 amend	Date Applied: 08/03/2011	CBL: 431 - - B - 005 - 001 - - - - -	
Location of Construction: 76 WATSON ST	Owner Name: NINA & MIKE MILLER	Owner Address: 76 WATSON ST PORTLAND, ME - MAINE 04103	Phone: 508- 277- 5575
Business Name:	Contractor Name: Robert Anderson	Contractor Address: 352 Memorial Highway NORTH YARMOUTH MAINE 04097	Phone: (207) 415-3919
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to amend the original permit based upon slopes	Cost of Work: \$83,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: Type: See wall/ Perch. IRC, 2009 Signature: 
Proposed Project Description: 76 Watson		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>within see original</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>8/10/11</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

Amendment
2011-568



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>76 WATSON STREET, PORTLAND, ME 04103</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>431</u> <u>B</u> <u>5</u>	Applicant *must be owner, Lessee or Buyer* Name <u>MIKE & NINA MILLER</u> Address <u>76 WATSON STREET</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>(508) 277-5575 - Mike</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>- Same -</u> Address City, State & Zip	Cost Of Work: \$ <u>8,000</u> C of O Fee: \$ <u>100</u> Total Fee: \$ <u>100</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>MODIFICATION TO UPDATE A PERMIT APPROVAL ON AN EXISTING PROJECT. PROJECT PERMITS TO DATE INCLUDE A SITE PLAN 10-7990027 AND A BUILDING PERMIT (JOB ID: 2011-02-481-ADDR) (CBL: 431-B-005-001). MODIFICATION IS REQUIRED TO MATCH PROPOSED SLOPE WITH EXISTING BUILDING FOUNDATION. SEE ATTACHED E-MAIL TO PHILIP DIPIERRO AND THE DEP. THE DEP HAS SIGNED OFF ON THIS. THE PLANNING DEPT. HAS SIGNED OFF ON THIS.</u>		
Contractor's name: <u>ROBERT ANDERSON</u>		
Address: <u>352 MEMORIAL HIGHWAY</u>		
City, State & Zip <u>NORTH YARMOUTH, ME 04097</u>		Telephone: <u>207-829-3489</u>
Who should we contact when the permit is ready: <u>MIKE & NINA MILLER</u>		Telephone: <u>(508) 277-5575 - Mike</u>
Mailing address: <u>76 WATSON ST, PORTLAND, ME 04103</u>		<u>(508) 523-5700 - Nina</u>

1188

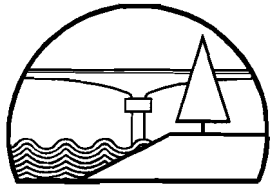
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: *Robert Anderson* Date: 03 AUGUST 2011

This is not a permit; you may not commence ANY work until the permit is issue



BAKER DESIGN CONSULTANTS
Civil, Marine and Structural Engineering

To: Mr. Jonathan Rioux
Code Enforcement Officer/Plan Reviewer
City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress Street, Room 315
Portland, ME 04101

RECEIVED

AUG - 5 2011

Dept. of Building Inspections
City of Portland Maine

From: Barney Baker, PE

Date: August 3, 2011

Subject: Miller Seawall Repair – Application for Amendment to Building Permit

Copy: File, Mike and Nina Miller, Robert Anderson (Transmittal only)

Job No: 09041

C:\BDC\3500\PROJECTS\0909-41 MILLER SEAWALL\PERMIT\PORTLAND\MODIFICATION\TRANSMITTAL.DOC

TRANSMITTAL

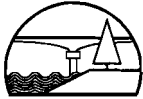
- Reviewed
- For your use
- As per your request

Jonathan,

VIA: Attached are the following to support the building permit modification for the Millers at 76 Watson Street, Portland:

- Personal Delivery
- Special Delivery
- Messenger
- U.S. Mail
- U.S. Express Mail
- Overnight Express
- UPS
- Separate Cover
- Fax
- Modem

1. New Building Permit Application (page 1) for amendment/modification, and required fee (\$100).
2. Copy of the original Building Permit dated March 18, 2011.
3. Agent Authorization
4. Email instructions from J. Rioux dated July 21, 2011.
5. Email sign-off of Jean Fraser, Planner, City of Portland dated July 19, 2011.
6. Email sign-off of Bob Green, DEP dated July 15, 2011.
7. Explanation to Philip DiPierro and Robert Green for modification dated July 13, 2011, and supporting drawing "Sheet C6c: Top Landing Option 3".



Miller Seawall Repair- Building Permit Amendment
August 3, 2011

Page 2 of 2

The plan is for the work to start as soon as we can obtain the permit. Please call or email with any further information required. Thanks in advance for your help with this.

Thank you for your help and direction in this.

Barney J. Baker, PE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND



BUILDING PERMIT

is to certify that NINA A & MILLER

Located At 76 WATSON

D: 2011-02-481-ADDR

CBL: 431 - - B - 005 - 001 - - - - -

17 18

mission to Sea Wall Repair

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certificate of occupancy is required, it must be

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Code Enforcement Officer / Plan Reviewer

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PENALTY FOR REMOVING THIS CAR



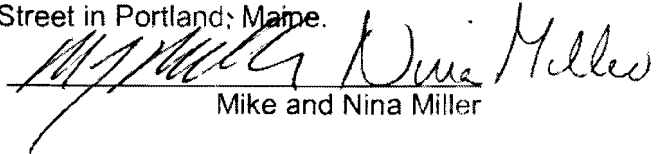
Agent Authorization

Mike and Nina Miller
4 Catherine Drive

Scarborough, ME 04074

By signing below, I authorize Barney Baker PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for Miller Slope Stabilization at my property located at 76 Watson Street in Portland, Maine.

Signed:


Mike and Nina Miller

Public Notice Certification

By signing below, the applicant or authorized agent certifies that:

A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;

A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;

A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and

Provided notice of and held a public informational meeting, if required, in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 13, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

A Public Meeting was not required for this application. However the project will be subject to local planning Board and Selectman approval, with requisite public meetings.



November 3, 2009

SIGNATURE OF AGENT/APPLICANT DATE

Barney Baker

From: Jonathan Rioux [JRIOUX@portlandmaine.gov]
Sent: Thursday, July 21, 2011 2:54 PM
To: bbaker@maine.rr.com; Gayle Guertin; Lannie Dobson
Cc: Jean Fraser; Marge Schmuckal; Philip DiPierro; Tammy Munson
Subject: RE: Miller Seawall Repair - Site plan approval 10-79900027

Mr. Baker,

The Owner or authorized agent should fill out page one (1) on the link below:

<http://www.portlandmaine.gov/planning/commercialinterior.pdf>

Our Support Staff will accompany page one (1) with the approved site plan (10-79900027), and original permit. The amended building permit application will then be reviewed by Zoning and Building.

Fee Schedule (See Amendments):

<http://www.portlandmaine.gov/planning/buildingpermitsfees.pdf>

Any questions please feel free to contact me, JGR.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

Barney Baker

From: Jean Fraser [JF@portlandmaine.gov]
Sent: Tuesday, July 19, 2011 1:38 PM
To: Barney Baker
Cc: Jeanie Bourke; Philip DiPierro; Tammy Munson
Subject: Miller Seawall Repair - Site plan approval 10-79900027
Attachments: Miller Seawall- Sheet C-6.pdf

Barney,

I am writing to confirm that the proposed revisions to the deck structural support details are approved as di minimus revisions to the approved site plan, as based on the information in your e-mail to Phil diPierro of 7.13.2011 and Plan C6c Rev 3 dated 6.7.11 (plan attached).

This approval is subject to the revisions being approved by the Inspections Division as amendments to the Building Permit - please contact the Inspections Division directly to clarify the changes in the proposals and ensure the documentation is complete from their point of view.

Thank you
Jean

*Jean Fraser, Planner
City of Portland
874 8728*

Barney Baker

From: Green, Robert [Robert.Green@maine.gov]
Sent: Friday, July 15, 2011 3:32 PM
To: Barney Baker; Philip DiPierro
Cc: Nina Miller; Mike Miller; Robert Anderson
Subject: RE: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N

Good afternoon,

The proposed change is di minimus in nature, so no modification of the permit is required. I will add the plan sheet and this e-mail correspondence to the file record. I do not know what the City may ask for; you will have to contact them directly.

Bob.

Robert L. Green, Jr., Project Manager
Division of Land Resource Regulation
Bureau of Land and Water Quality
Phone #207-615-2214
fax: 207-822-6303

From: Barney Baker [mailto:bbaker@maine.rr.com]
Sent: Wednesday, July 13, 2011 10:20 AM
To: 'Philip DiPierro'; Green, Robert
Cc: Nina Miller; Mike Miller; Robert Anderson
Subject: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N

Hi Phil, Bob,

The work on this embankment stabilization project has proceeded according to the permit plan sets to date. All work is complete with the exception of the top of slope section and the plantings.

Because of field conditions, we have had to make a change to the detail at the top of the slope to account for shallower existing building foundations than were anticipated with the initial design. Refer to the attached drawing that replaces the proposed and permitted concrete slab on grade with pressure treated cribwork. The deeper construction associated with the cribwork is necessary to protect the integrity of the residential building at the interface with the reconstructed coastal slope that has been the focus of the project.

My thinking is that this is a minimal change to the project, i.e. the footprint and elevation of the revised construction in this area are essentially unchanged from that which preexisted at the property prior to the work starting. This work is entirely on the clients property and will not impact adjacent property owners.

The attached plan details the revised work. Could you let me know what is required to effectively make this drawing part of the permit set with the DEP and the City? My client is very anxious to proceed with this work to stabilize that area and finish the project and is willing to do the legwork necessary to execute any signatures or paperwork required.

Thanks in advance for your prompt consideration.

Best,
Barney

Barney Baker, PE
Baker Design Consultants
11 Stony Brook Lane
Yarmouth Maine 04096
phone.207 846-9724
fax. 207 846-3620

Barney Baker

From: Barney Baker [bbaker@maine.rr.com]
Sent: Wednesday, July 13, 2011 10:20 AM
To: 'Philip DiPierro'; Robert L Green (robert.green@maine.gov)
Cc: Nina Miller (PSOHorn@aol.com); Mike Miller (doclung@aol.com); Robert Anderson (randerson_anderson@maine.rr.com)
Subject: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N
Attachments: Miller Seawall- Sheet C-6.pdf

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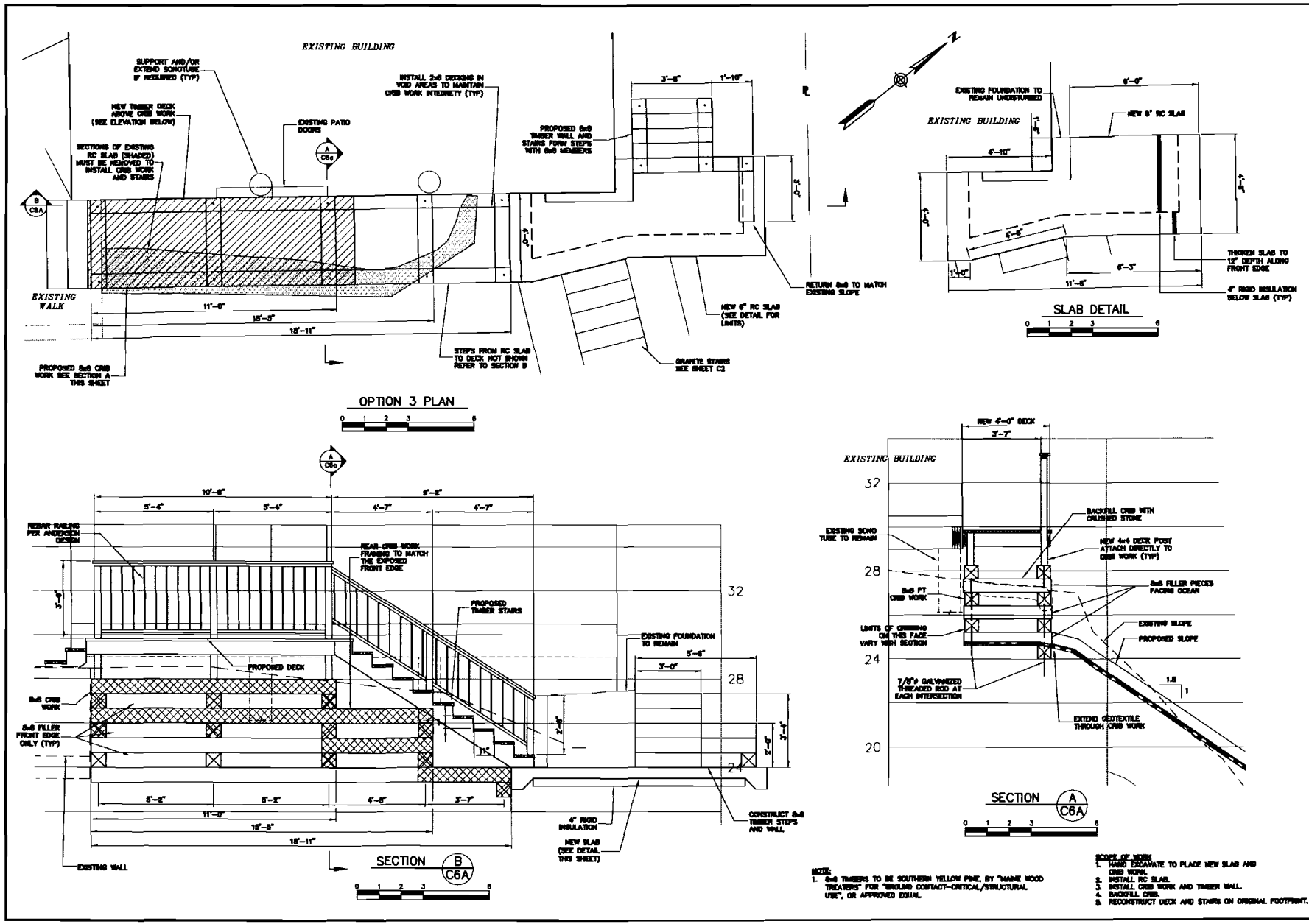
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Thanks in advance for your prompt consideration.

Best,
Barney

Barney Baker, PE
Baker Design Consultants
11 Stony Brook Lane
Yarmouth Maine 04096
phone.207 846-9724
fax. 207 846-3620

E:\bjb\botb\landprojects\2009\09041 - Miller Seawall\09041 - Plans 10-2-09.dwg, C6c, 7/7/2011 3:46:45 PM



- NOTES:**
1. 8x8 TIMBERS TO BE SOUTHERN YELLOW PINE, BY "MAINE WOOD TREATING" FOR "LANDING CONTACT-CRITICAL/STRUCTURAL USE", OR APPROVED EQUAL.
 2. HAND EXCAVATE TO PLACE NEW SLAB AND CRIB WORK.
 3. INSTALL RC SLAB.
 4. INSTALL CRIB WORK AND TIMBER WALL.
 5. BACKFILL CRIB.
 6. RECONSTRUCT DECK AND STAIRS ON ORIGINAL FOOTPRINT.

BAKER DESIGN CONSULTANTS
Civil, Marine, and Structural Engineering
17 Shingee Lane
Thetford, Maine 04202, (207) 642-2926, Fax: (207) 642-8822

UNIVERSITY OF MAINE
MAINE STATE SEAL

DESIGNED BY: E.B.B.
DRAWN BY: M.S.H.
CHECKED BY: D.B.B.
SCALE: AS SHOWN

PROJECT: MILLER SEAWALL REPAIR
WATSON STREET, PORTLAND, MAINE

SHEET TITLE: TOP LANDING OPTION 3

DATE: 10/2/09
CONTRACT NO.: 09041
SHEET NO.: REV.

C6c

NO.	DATE	BY	REVISION
1	10/2/09	E.B.B.	PRELIMINARY REVIEW
2	10/2/09	E.B.B.	FINAL REVIEW
3	10/2/09	E.B.B.	CONSTRUCTION

Copy for John Rioux, Inspectors

Jean Fraser - Miller Seawall Repair - Site plan approval 10-79900027

From: Jean Fraser
To: "Barney Baker" <bbaker@maine.rr.com>
Date: 7/19/2011 1:38 PM
Subject: Miller Seawall Repair - Site plan approval 10-79900027
CC: Bourke, Jeanie; DiPierro, Philip; Munson, Tammy
Attachments: Miller Seawall- Sheet C-6.pdf

Barney,

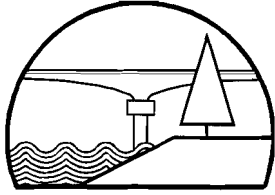
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Thank you
Jean

*Jean Fraser, Planner
City of Portland
874 8728*

*TO:
Inspectors
John Rioux
asap.*



BAKER DESIGN CONSULTANTS
Civil, Marine and Structural Engineering

To: Mr. Jonathan Rioux
Code Enforcement Officer/Plan Review
City of Portland
Planning and Urban Development I
Inspection Services Division
389 Congress Street, Room 315
Portland, ME 04101

From: Barney Baker, PE

Date: August 4, 2011

Subject: Miller Seawall Repair – Application

Copy: File, Mike and Nina Miller, Robert

Job No: 09041

Zany 08/09

Marge?

okay

Bld.

JAR

C:\BDC3500\PROJECTS\09\09-41 MILLER SEAWALL\PERMIT\PORTLAND\MODIFICATION\TRANSMITTAL.DOC

TRANSMITTAL

- Reviewed
- For your use
- As per your request

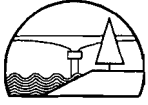
Jonathan,

VIA:

- Personal Delivery
- Special Delivery
- Messenger
- U.S. Mail
- U.S. Express Mail
- Overnight Express
- UPS
- Separate Cover
- Fax
- Modem

Attached are the following to support the building permit modification for the Millers at 76 Watson Street, Portland:

1. New Building Permit Application (page 1) for amendment/modification, and required fee (\$100).
2. Copy of the original Building Permit dated March 18, 2011.
3. Agent Authorization
4. Email instructions from J. Rioux dated July 21, 2011.
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Miller Seawall Repair- Building Permit Amendment
August 4, 2011

Page 2 of 2

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Thank you for your help and direction in this.

Barney J. Baker, PE



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Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>431</u> Block# <u>5</u> Lot# <u>5</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>MIKE & NINA MILLER</u> Address <u>76 WATSON STREET</u> City, State & Zip <u>PORTLAND, ME</u>	Telephone: <u>(508) 277-5575 - Mike</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>- Same -</u> Address City, State & Zip	Cost Of Work: \$ <u>8,000</u> C of O Fee: \$ <u>100</u> Total Fee: \$ <u>100</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>MODIFICATION TO UPDATE A PERMIT APPROVAL ON AN EXISTING PROJECT. PROJECT PERMITS TO DATE INCLUDE A SITE PLAN 10-79900027 AND A BUILDING PERMIT (JOB ID: 2011-02-401-ADD) (CBL: 431-B-005-001). MODIFICATION IS REQUIRED TO MATCH PROPOSED SLOPE WITH EXISTING BUILDING FOUNDATION. SEE ATTACHED EMAIL TO PHILIP DIPIERRO AND THE DEP. THE DEP HAS SIGNED OFF ON THIS. THE PLANNING DEPT. HAS SIGNED OFF ON THIS.</u>		
Contractor's name: <u>ROBERT ANDERSON</u>		
Address: <u>352 MEMORIAL HIGHWAY</u>		
City, State & Zip <u>NORTH YARMOUTH, ME 04097</u>		Telephone: <u>207-829-3989</u>
Who should we contact when the permit is ready: <u>MIKE & NINA MILLER</u>		Telephone: <u>(508) 277-5575 - Mike</u>
Mailing address: <u>76 WATSON ST. PORTLAND, ME 04103</u>		<u>(508) 523-5700 - Nina</u>

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 03 AUGUST 2011

This is not a permit; you may not commence ANY work until the permit is issue

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND BUILDING PERMIT



is to certify that NINA A& MILLER

Located At 76 WATSON

D: 2011-02-481-ADDR

CBL: 431 - - B - 005 - 001 - - - - -

M/P 18

mission to Sea Wall Repair

and that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the laws of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in the department.

notification of inspection and written permission procured before this building or part thereof is lathed or otherwise finished-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Permitting Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

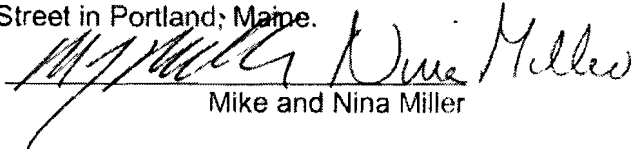
PENALTY FOR REMOVING THIS CARD



Agent Authorization

Mike and Nina Miller
4 Catherine Drive
Scarborough, ME 04074

By signing below, I authorize Barney Baker PE of Baker Design Consultants to act as agent for the purpose of permit communication on applications filed for Miller Slope Stabilization at my property located at 76 Watson Street in Portland, Maine.

Signed: 
Mike and Nina Miller

Public Notice Certification

By signing below, the applicant or authorized agent certifies that:


A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;

A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;

A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and

Provided notice of and held a public informational meeting, if required, in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 13, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

A Public Meeting was not required for this application. However, the project will be subject to local planning Board and Selectman approval, with requisite public meetings.



November 3, 2009

SIGNATURE OF AGENT/APPLICANT DATE

Barney Baker

From: Jonathan Rioux [JRIOUX@portlandmaine.gov]
Sent: Thursday, July 21, 2011 2:54 PM
To: bbaker@maine.rr.com; Gayle Guertin; Lannie Dobson
Cc: Jean Fraser; Marge Schmuckal; Philip DiPierro; Tammy Munson
Subject: RE: Miller Seawall Repair - Site plan approval 10-79900027

Mr. Baker,

The Owner or authorized agent should fill out page one (1) on the link below:

<http://www.portlandmaine.gov/planning/commercialinterior.pdf>

Our Support Staff will accompany page one (1) with the approved site plan (10-79900027), and original permit. The amended building permit application will then be reviewed by Zoning and Building.

Fee Schedule (See Amendments):

<http://www.portlandmaine.gov/planning/buildingpermitsfees.pdf>

Any questions please feel free to contact me, JGR.

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: 207.874.8702
Support Staff: 207.874.8703
jrioux@portlandmaine.gov

Barney Baker

From: Jean Fraser [JF@portlandmaine.gov]
Sent: Tuesday, July 19, 2011 1:38 PM
To: Barney Baker
Cc: Jeanie Bourke; Philip DiPierro; Tammy Munson
Subject: Miller Seawall Repair - Site plan approval 10-79900027
Attachments: Miller Seawall- Sheet C-6.pdf

Barney,

I am writing to confirm that the proposed revisions to the deck structural support details are approved as di minimus revisions to the approved site plan, as based on the information in your e-mail to Phil diPierro of 7.13.2011 and Plan C6c Rev 3 dated 6.7.11 (plan attached).

This approval is subject to the revisions being approved by the Inspections Division as amendments to the Building Permit - please contact the Inspections Division directly to clarify the changes in the proposals and ensure the documentation is complete from their point of view.

Thank you
Jean

*Jean Fraser, Planner
City of Portland
874 8728*

Barney Baker

From: Green, Robert [Robert.Green@maine.gov]
Sent: Friday, July 15, 2011 3:32 PM
To: Barney Baker; Philip DiPierro
Cc: Nina Miller; Mike Miller; Robert Anderson
Subject: RE: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N

Good afternoon,

The proposed change is di minimus in nature, so no modification of the permit is required. I will add the plan sheet and this e-mail correspondence to the file record. I do not know what the City may ask for; you will have to contact them directly.

Bob.

Robert L. Green, Jr., Project Manager
Division of Land Resource Regulation
Bureau of Land and Water Quality
Phone #207-615-2214
fax: 207-822-6303

From: Barney Baker [mailto:bbaker@maine.rr.com]
Sent: Wednesday, July 13, 2011 10:20 AM
To: 'Philip DiPierro'; Green, Robert
Cc: Nina Miller; Mike Miller; Robert Anderson
Subject: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N

Hi Phil, Bob,

The work on this embankment stabilization project has proceeded according to the permit plan sets to date. All work is complete with the exception of the top of slope section and the plantings.

Because of field conditions, we have had to make a change to the detail at the top of the slope to account for shallower existing building foundations than were anticipated with the initial design. Refer to the attached drawing that replaces the proposed and permitted concrete slab on grade with pressure treated cribwork. The deeper construction associated with the cribwork is necessary to protect the integrity of the residential building at the interface with the reconstructed coastal slope that has been the focus of the project.

My thinking is that this is a minimal change to the project, i.e. the footprint and elevation of the revised construction in this area are essentially unchanged from that which preexisted at the property prior to the work starting. This work is entirely on the clients property and will not impact adjacent property owners.

The attached plan details the revised work. Could you let me know what is required to effectively make this drawing part of the permit set with the DEP and the City? My client is very anxious to proceed with this work to stabilize that area and finish the project and is willing to do the legwork necessary to execute any signatures or paperwork required.

Thanks in advance for your prompt consideration.

Best,
Barney

Barney Baker, PE
Baker Design Consultants
11 Stony Brook Lane
Yarmouth Maine 04096
phone.207 846-9724
fax. 207 846-3620

Barney Baker

From: Barney Baker [bbaker@maine.rr.com]
Sent: Wednesday, July 13, 2011 10:20 AM
To: 'Philip DiPierro'; Robert L Green (robert.green@maine.gov)
Cc: Nina Miller (PSOHorn@aol.com); Mike Miller (doclung@aol.com); Robert Anderson (randerson_anderson@maine.rr.com)
Subject: Coastal Slope Stabilization- Mike and Nina Miller-76 Watson Street Portland, Maine- DEP L-24886-4D-A-N
Attachments: Miller Seawall- Sheet C-6.pdf

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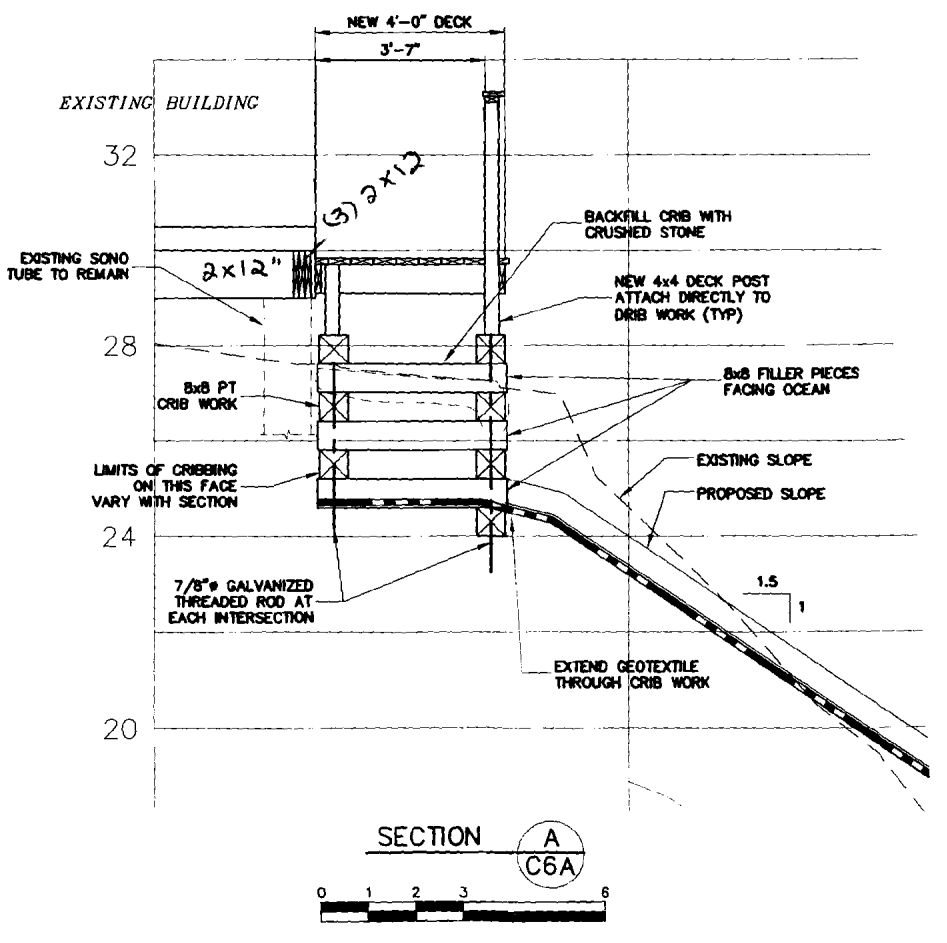
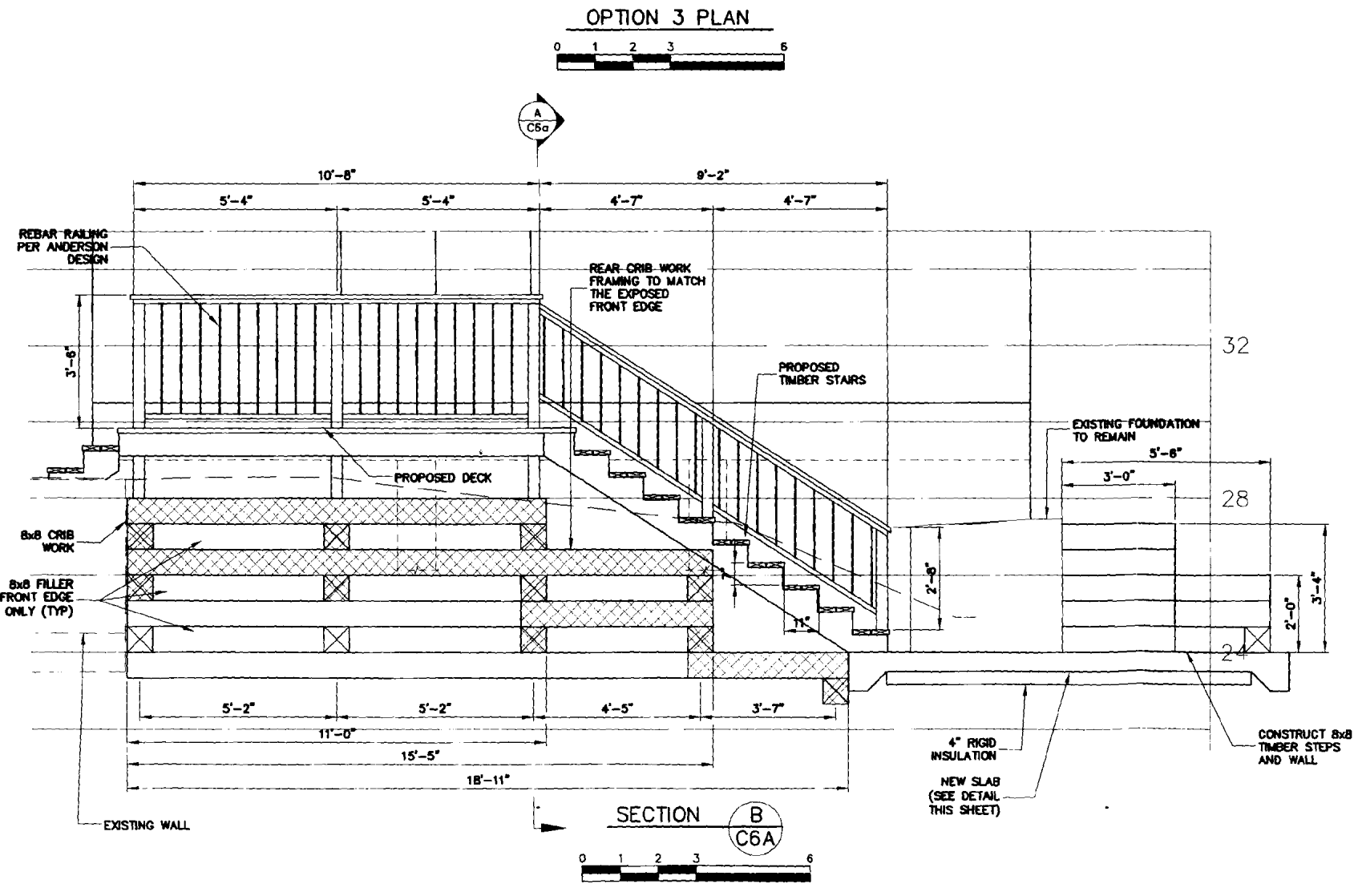
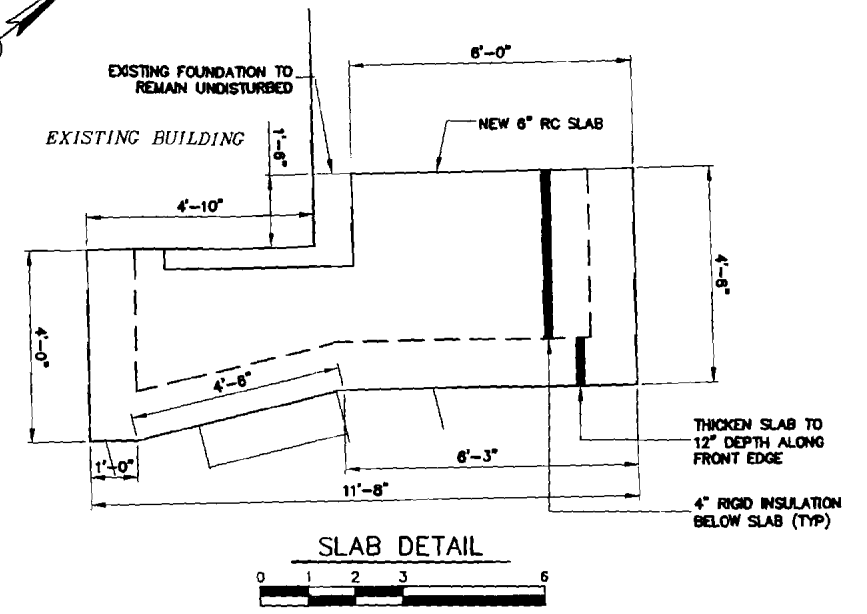
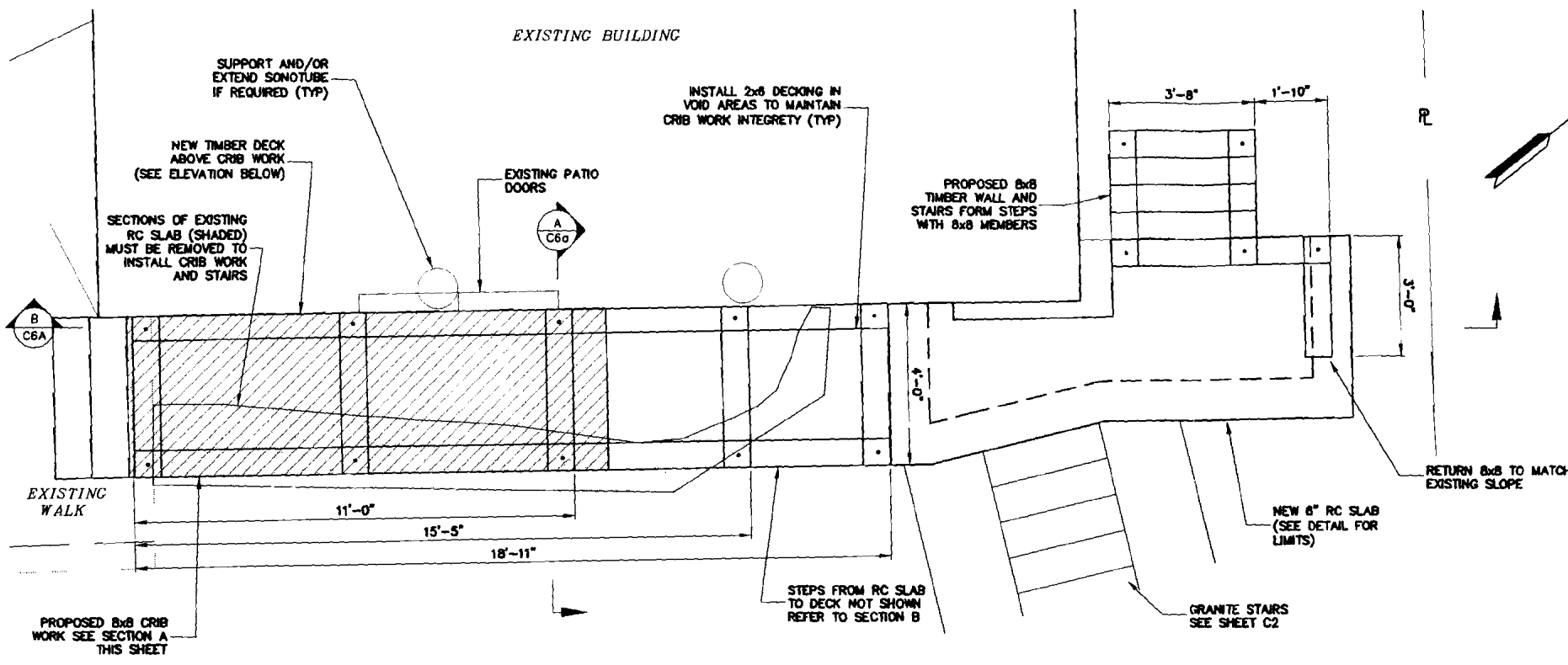
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Yarmouth Maine 04096
phone.207 846-9724
fax. 207 846-3620



NOTE:
 1. 8x8 TIMBERS TO BE SOUTHERN YELLOW PINE, BY "MAINE WOOD TREATERS" FOR "GROUND CONTACT-CRITICAL/STRUCTURAL USE", OR APPROVED EQUAL.

SCOPE OF WORK
 1. HAND EXCAVATE TO PLACE NEW SLAB AND CRIB WORK.
 2. INSTALL RC SLAB.
 3. INSTALL CRIB WORK AND TIMBER WALL.
 4. BACKFILL CRIB.
 5. RECONSTRUCT DECK AND STAIRS ON ORIGINAL FOOTPRINT.

BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Stony Brook Lane, Yarmouth, Maine 04066 Tel: (207) 846-3724 Fax: (207) 846-3828

Option Pricing	BJB	6.7.11	
Permitting	BJB	2.28.10	
Preliminary Review	BJB	10.7.09	
SUBMISSION	INT.	1	

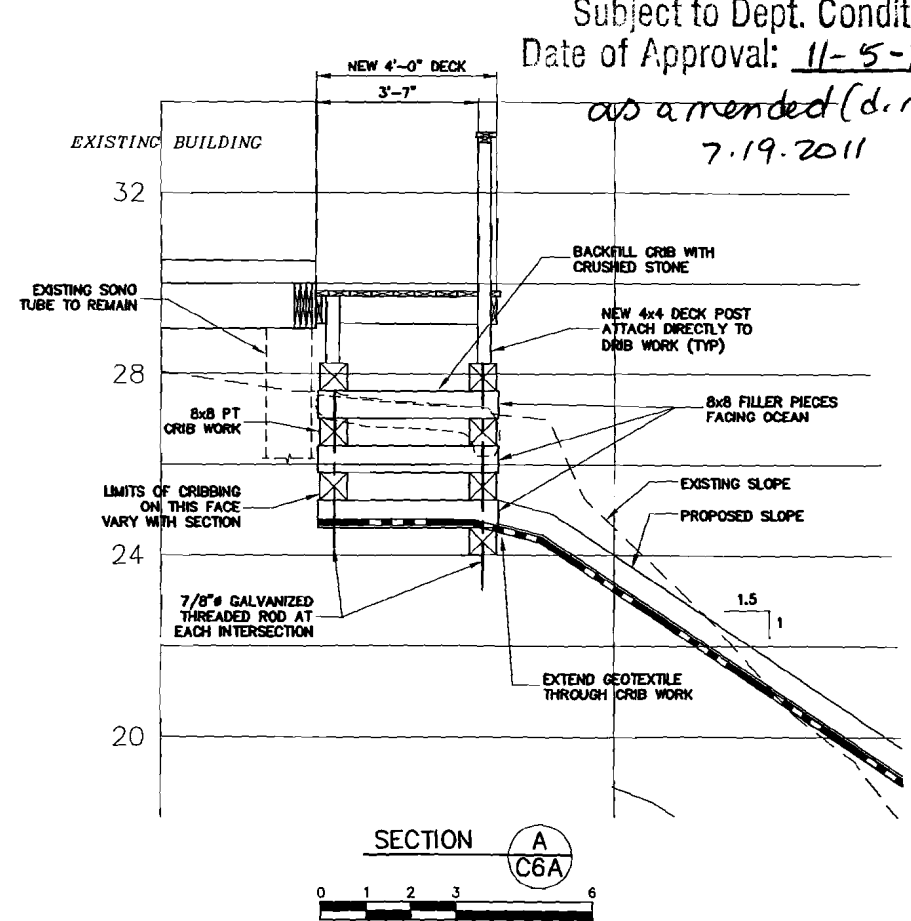
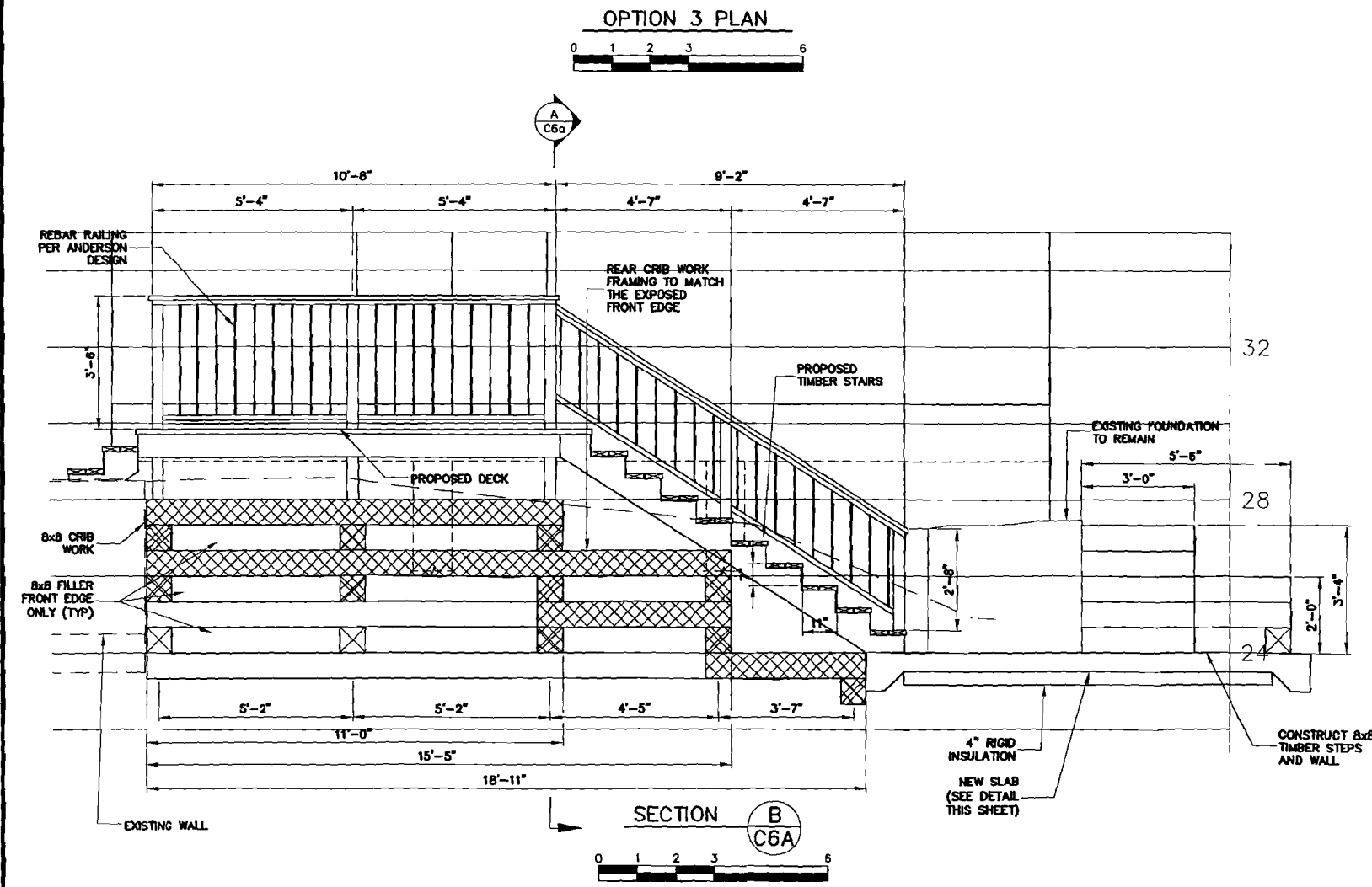
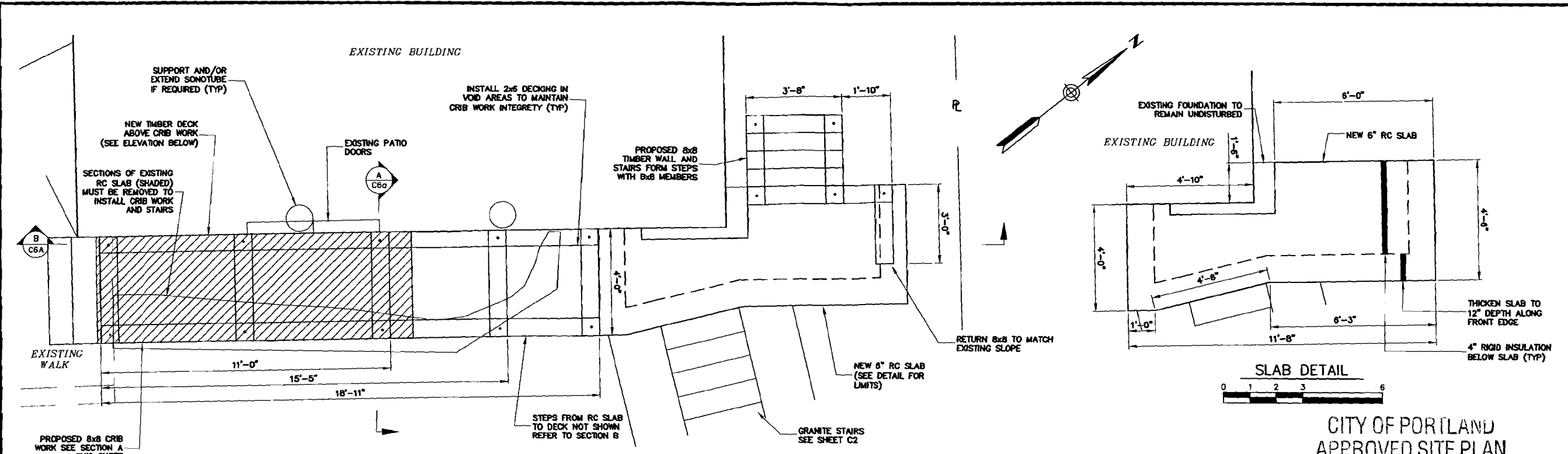
DESIGNED BY: BJB
 DRAWN BY: MSH
 CHECKED BY: BJB
 SCALE: AS SHOWN

STATE OF MAINE
 BARNEY J. BAKER
 No. 5737
 LICENSED PROFESSIONAL ENGINEER

SHEET TITLE: **TOP LANDING OPTION 3**
 PROJECT: **MILLER SEAWALL REPAIR**
 WATSON STREET, PORTLAND, MAINE

DATE: 10/2/09
 CONTRACT NO.: 09041
 SHEET NO.: 3

E:\bjb\proj\landprojects\2009\09041 - Miller Seawall\09041 Plans 10-2-09.dwg, C6c, 7/7/2011 3:46:45 PM



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- RECONSTRUCT DECK AND STAIRS ON ORIGINAL FOOTPRINT.

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 11-5-2010
as amended (d. minimis)
 7.19.2011

BAKER DESIGN CONSULTANTS
 Civil, Marine, and Structural Engineering
 11 Stony Brook Lane, Yarmouth, Maine 04096 Tel: (207) 846-3724 Fax: (207) 846-3829

DESIGNED BY:	BUB	DATE:	10/2/09
DRAWN BY:	MSH	CONTRACT NO.:	09041
CHECKED BY:	BUB	SHEET NO.:	REV.
SCALE:	AS SHOWN		

STATE OF MAINE
 BARNEY J. BAKER
 No. 9737
 LICENSED PROFESSIONAL ENGINEER

TOP LANDING OPTION 3
MILLER SEAWALL REPAIR
 WATSON STREET, PORTLAND, MAINE

C6c