

**MCHUGH HOUSE ADDITION/ RENOVATION**  
 72 WATSON STREET  
 PORTLAND, MAINE

**MICHAEL BELLEAU ARCHITECT**  
 BUILDING PERMIT SET DECEMBER 2, 2003

LIST OF DRAWINGS:

L1	SITE PLAN
A1.0	FOUNDATION PLAN/ DOOR SCHEDULE
A1.1	FIRST FLOOR PLAN/ WINDOW SCHEDULE
A1.2	SECOND AND THIRD FLOOR PLANS/ ROOM FINISH SCHEDULE
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A2.2	ELEVATIONS
A3	BUILDING SECTIONS
A4	EXTERIOR DETAILS
S1	FRAMING PLANS
E1	ELECTRICAL PLANS
E2	ELECTRICAL PLANS

- ZONING INFORMATION:
- R-3 RESIDENTIAL AND SHORELAND ZONE.
  - 75 FOOT SETBACK FROM HIGH WATER LINE.
  - 25 FOOT FRONT AND REAR SETBACK.
  - 20 FOOT SIDE STREET SETBACK.
  - SEC. 14-90(4)3.A. GIVES 16 FOOT SIDE YARD SETBACK FOR 2 1/2 STORY STRUCTURE OR SUBTRACT ONE FOOT FOR EVERY FOOT ADDED TO OTHER SIDE SETBACK BUT 8 FOOT MINIMUM. EXISTING STRUCTURES ARE 10 FEET FROM PROPERTY LINE SO ARE KEEPING 10 FOOT SETBACK AND ADDING 6 FEET TO OPPOSITE SIDE YARD SO 16 FOOT SETBACK THERE.
  - 35 FOOT HEIGHT LIMIT. AVERAGE GRADE AROUND NEW WORK BEFORE DISTURBING APPROXIMATELY 30.3 FEET AS SHOWN ON SITE PLAN. PROPOSED BUILDING HEIGHT 64'-7" (3'-1" ABOVE EXISTING MEAN GRADE).
  - 9,000 S.F. LOT DIVIDED BY 4 = 2,250 S.F. MAXIMUM FOOTPRINT; THIS PROJECT 2,208 S.F. FOOTPRINT.
  - JACUZZI IN YARD WITH PLUMBING OKAY AS SHOWN PER CONVERSATION WITH MARCO SCHEDULE OF ZONING DEPT. IN PORTLAND WHO CHECKED WITH JEANNE BOURKE AS WELL 9/03.
  - EXISTING CITY ELECTRICITY, SEWER AND WATER TO BUILDING.

NOTE: CONTRACTOR TO SEE SURVEY PROVIDED BY OWNER, VISIT SITE TO VERIFY CONDITIONS AND CONTACT DGS SAFE (1-800-225-8777) BEFORE DOING ANY WORK.

- DEMOLITION NOTES:
- REMOVE EXISTING DECKS, FOUNDATIONLESS ADDITION, FRONT 2ND STORY BAY, FRONT PORCH AND STEPS, FALSE GAMBRUEL SIDES, ALL SIDING, WINDOWS AND DOORS AS NECESSARY. ALL ROOFING, AND ALL EXISTING INTERIOR WALLS, CHIMNEY, ETC. AS SHOWN TO BE NECESSARY TO COMPLETE THIS JOB; DISPOSE OF ALL MATERIAL APPROPRIATELY OFF SITE ACCORDING TO ALL APPLICABLE LAWS.
  - SAVE ANY APPLIANCES, PLUMBING FIXTURES, ETC. AS DIRECTED BY OWNER.
  - REMOVE OLD OIL BURNER AND ALL RELATED PIPES AND RADIATORS AND DISPOSE OF IN APPROPRIATE OFF SITE LOCATION ACCORDING TO ALL APPLICABLE LAWS.
  - REMOVE ALL VEGETATION IN NEW BUILDING FOOTPRINT. REMOVE ALL STUMPS.
  - REMOVE ALL UNDERGROUND PIPES AND OVERHEAD WIRES NOT BEING REUSED IN NEW BUILDING PROJECT.
  - ALL TREES, SHRUBS, ETC. FLAGGED BY OWNER TO REMAIN. INJURY TO ANY OF THESE ITEMS DURING THE EXECUTION OF THIS CONTRACT BY CONTRACTOR MUST BE REPLACED BY CONTRACTOR.

- GENERAL NOTES:
- CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING WINDOWS BEFORE ORDERING OR INSTALLING OR CONSTRUCTING WORK.
  - CONTRACTOR RESPONSIBLE FOR PROJECT MEETING ALL LOCAL, STATE, AND FEDERAL BUILDING, MECHANICAL, ELECTRICAL, ETC. CODES, LAWS AND ORDINANCES AND WEATHERABILITY FOR THIS PROJECT.
  - CONTRACTOR TO VERIFY WHETHER RADON IS PRESENT AND INSTALL RADON VENTING SYSTEM IF NECESSARY.

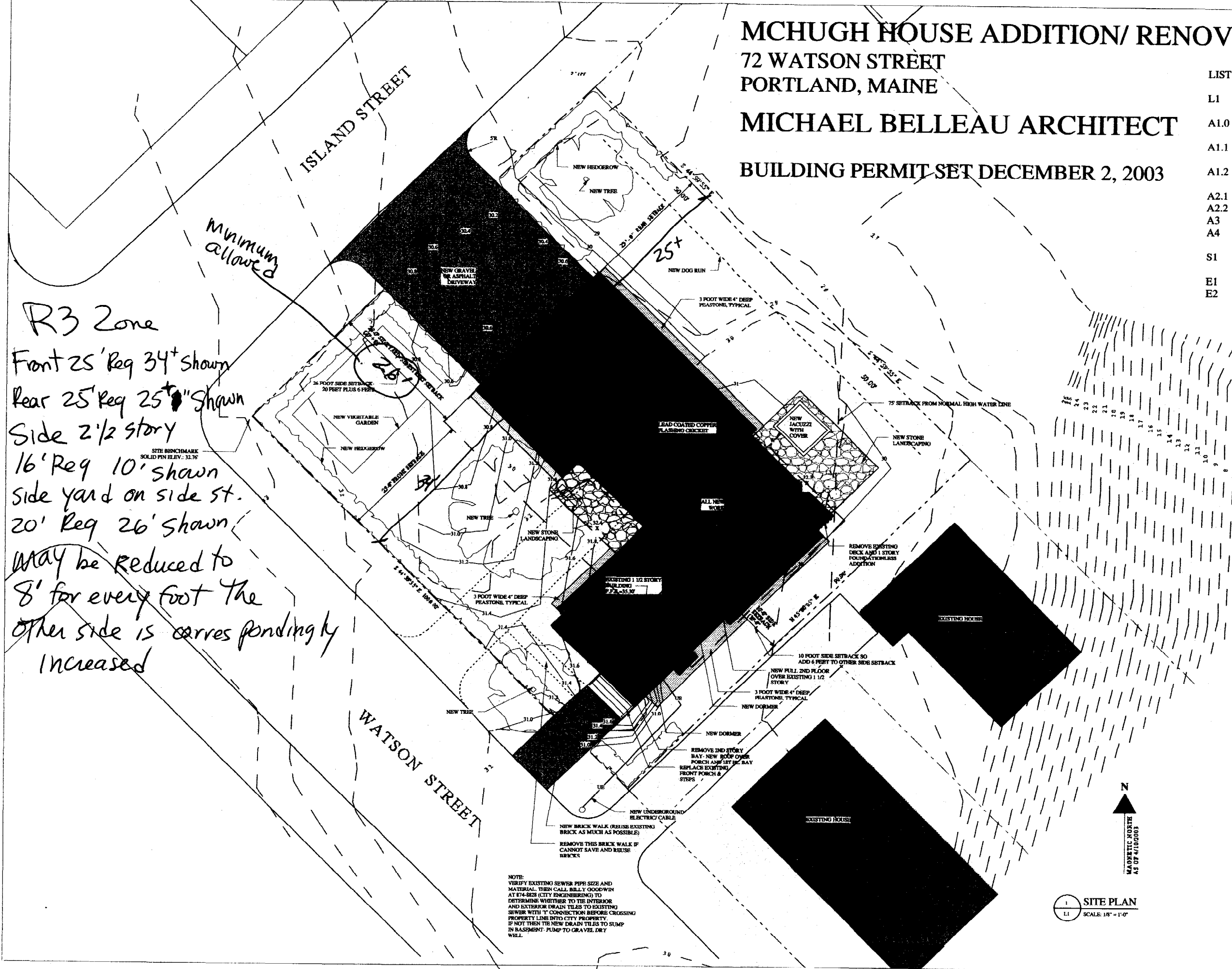
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**BUILDING PERMIT SET**

**bell eau**

Job # 04-03  
 Office: mchugh  
 Location: 72 Watson Street  
 Date: 12-02-03  
 Scale: As noted  
 Drawing # 01  
 Site plan

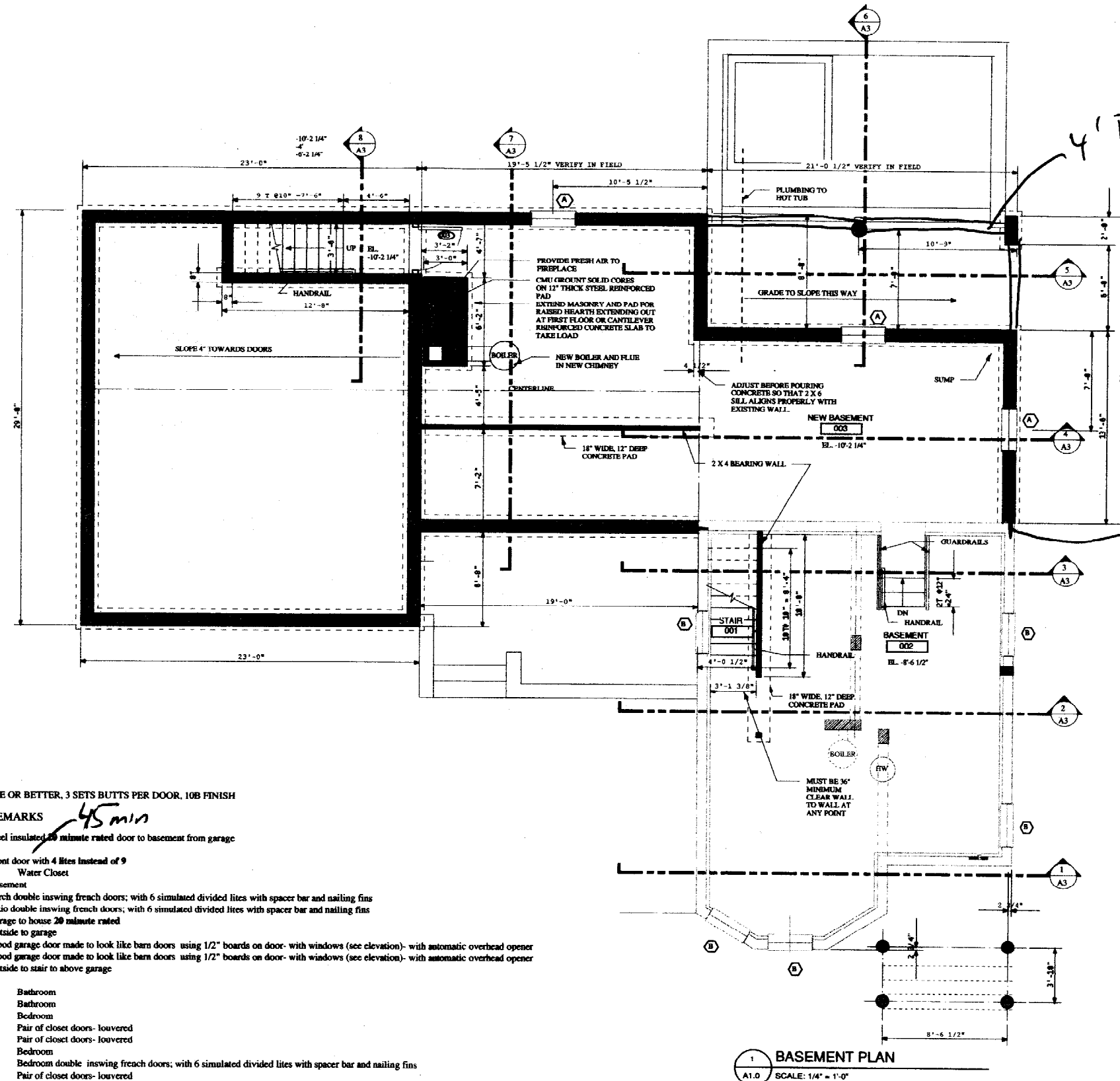
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*R3 Zone*  
 Front 25' Req 34'+ shown  
 Rear 25' Req 25'+ shown  
 Side 2 1/2 story  
 16' Req 10' shown  
 Side yard on side st.  
 20' Req 26' shown  
 May be reduced to 8' for every foot the other side is correspondingly increased

NOTE: VERIFY EXISTING SEWER PIPE SIZE AND MATERIAL. THEN CALL BILLY OGDWIN AT 74-522 (CITY ENGINEERING) TO DETERMINE WHETHER TO TIE INTERIOR AND EXTERIOR DRAIN TILES TO EXISTING SEWER WITH Y CONNECTION BEFORE CROSSING PROPERTY LINE INTO CITY PROPERTY. IF NOT THEN TIE NEW DRAIN TILES TO SUMP IN BASEMENT. PUMP TO GRAVEL DRY WELL.

**SITE PLAN**  
 SCALE: 1/8" = 1'-0"



**DOOR SCHEDULE** ALL DOORS TO BE PAINTED, ALL HARDWARE TO BE SCHLAGE OR BETTER, 3 SETS BUTTS PER DOOR, 10B FINISH

#	SIZE W X H	MAKE	MODEL #	LOCKSET	REMARKS
003	3'-0" x 6'-8"	Any		Entry	Steel insulated <sup>45 min</sup> minute rated door to basement from garage
101	3'-0" x 6'-8"	Simpson	7944	Entry	Front door with 4 lites instead of 9
103	2'-6" x 6'-8"	Morgan	1053	Privacy	Water Closet
108A	3'-0" x 6'-8"	Morgan	1053	Passage	Basement
108B	71 3/8" x 96" R.O.	Bonneville	FR-50, WFB21	Entry	Porch double inswing french doors; with 6 simulated divided lites with spacer bar and nailing fins
110	71 3/8" x 96" R.O.	Bonneville	FR-50, WFB21	Entry	Patio double inswing french doors; with 6 simulated divided lites with spacer bar and nailing fins
111	3'-0" x 6'-8"	Therma-Tru	FS-214	Entry	Garage to house 20 minute rated
112A	3'-0" x 6'-8"	Simpson	F-944 w/ F-418 lites	Entry	Outside to garage
112B	9'-0" x 8'-0"	?	?	Entry/Automatic	Wood garage door made to look like barn doors using 1/2" boards on door- with windows (see elevation)- with automatic overhead opener
112C	9'-0" x 8'-0"	?	?	Entry/Automatic	Wood garage door made to look like barn doors using 1/2" boards on door- with windows (see elevation)- with automatic overhead opener
112D	3'-0" x 6'-8"	Simpson	F-944 w/ F-418 lites	Entry (key separate)	Outside to stair to above garage
202A	3'-0" x 6'-8"	Morgan	1053	Privacy	Bathroom
202B	2'-6" x 6'-8"	Morgan	1053	Privacy	Bathroom
203A	2'-8" x 6'-8"	Morgan	1053	Privacy	Bedroom
203B	(2)2'-6" x 6'-8"	Morgan	M-730	Passage	Pair of closet doors- louvered
203B	(2)2'-6" x 6'-8"	Morgan	M-730	Passage	Pair of closet doors- louvered
204A	2'-8" x 6'-8"	Morgan	1053	Privacy	Bedroom
204B	63 3/8" x 79 7/8" R.O.	Bonneville	FR-50, WFB21	Entry	Bedroom double inswing french doors; with 6 simulated divided lites with spacer bar and nailing fins
204C	(2)2'-2" x 6'-8"	Morgan	M-730	Passage	Pair of closet doors- louvered
206	2'-6" x 6'-8"	Made up			Door to attic storage above living room- insulated.
302A	2'-6" x 6'-8"	Morgan	1053	Privacy	Sliding pocket door with heavy duty hardware
302B	36 1/2" x 79 7/8"	Bonneville	FR-50, WFB11	Passage	Balcony inswing french door exterior with 6 simulated divided lites with spacer bar and nailing fins
303	2'-6" x 6'-8"	Morgan	1053	Privacy	Sliding pocket door with heavy duty hardware

**1 BASEMENT PLAN**  
SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL CONCRETE 3000PSI EXCEPT GARAGE FLOOR SLAB TO BE 3500PSI.
  2. 12" ANCHOR BOLTS TO BE 72" O.C., 12" FROM CORNERS.
  3. 10" THICK FOUNDATION WALLS, 8" THICK FOOTINGS, 12" DIAMETER SOWTUBES, ALL FOOTINGS TO REST ON UNDISTURBED SOIL AT LEAST TO FROST LINE, TYPICAL.
  4. INTERIOR AND EXTERIOR FOUNDATION DRAIN TILES, TYPICAL.

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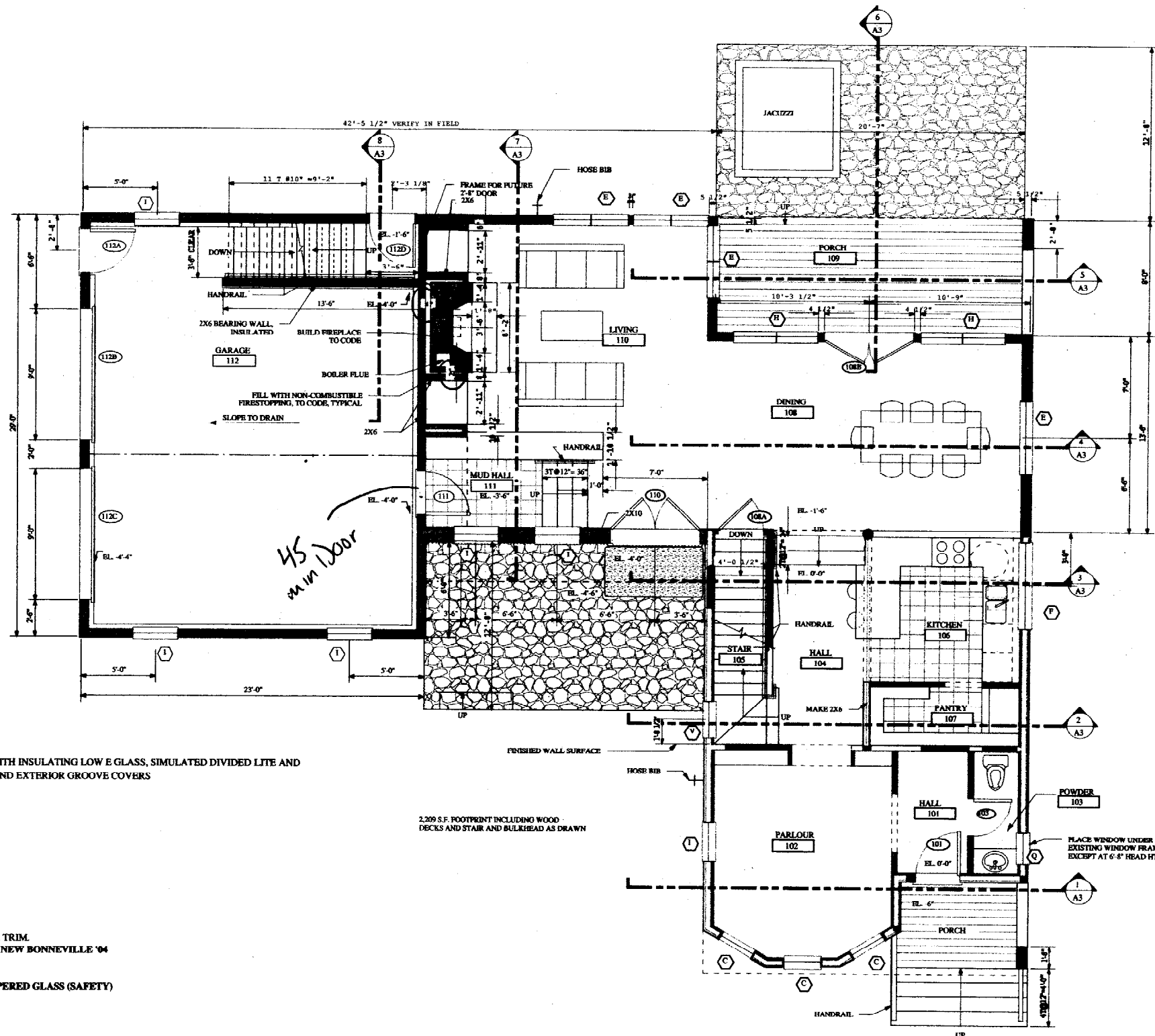
**BUILDING PERMIT SET**

**bell eau**

job #:  
04.03  
client:  
mchugh  
location:  
72 wabson street  
portland, me  
date:  
12.02.03  
scale:  
as noted  
drawing title:  
foundation plan

**A1.0**

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**WINDOW SCHEDULE.** ALL WINDOWS TO BE BONNEVILLE® GOLD LINE PVC, WITH INSULATING LOW E GLASS, SIMULATED DIVIDED LITE AND SPACER BAR (SEE ELEVATIONS FOR LITE ARRANGEMENT) AND INSECT SCREENS, NAILING FINIS AND EXTERIOR GROOVE COVERS

TYPEROUGH	OPENING W X H	NUMBER	TYPE	REMARKS
A	33" X 16 1/2"	3616/VSF11	BASEMENT	
B	EXISTING		BASEMENT CAULK WHERE NEEDED	
C	30 5/8" X 57 7/8"	2425	SINGLE HUNG	IN EXISTING OPENING
D	NOT USED			
E	60 1/4" X 57 7/8"	2425/VHG21	SINGLE HUNG PAIR	
F	69 7/8" X 38 5/8"	3131/VSG11	SLIDER	
G	NOT USED			
H	68 1/4" X 69 7/8"	2831/VHG21	SINGLE HUNG PAIR	
I	34 5/8" X 57 7/8"	2825/VHG11	SINGLE HUNG	
J	NOT USED			
K	24 5/8" X 33 1/2"	2130	OVAL FIXED4 LITE, WINDOW IN ATTIC SPACE, MADE UP EXTERIOR TRIM.	
L	34 5/8" X 65 7/8"	3629/VHG11	SINGLE HUNG	EGRESS WINDOW- MAKE SURE IS NEW BONNEVILLE '04
M	36 7/8" X 36"	3130/VAG11	AWNING	
N	25" X 32 1/8"	1926/VAG11	AWNING	
O	60 1/4" X 57 7/8"	2425/VHG(CUSTOM)	SINGLE HUNG PAIR	ARCHED PAIR SEE A2.2 TEMPERED GLASS (SAFETY)
P	30 5/8" X 57 7/8"	2425/VHG11	SINGLE HUNG	
Q	EXISTING STAINED GLASS		RELOCATE SLIGHTLY LOWER	
R	32 7/8" X 51 3/4"	2746/VCG11	CASEMENT	
S	51 3/4" X 51 3/4"		TRIANGLE CUSTOM	FIXED
T	51 3/4" X 51 3/4"		TRIANGLE CUSTOM	FIXED OPPOSITE HAND TO 'S'
U	ANDERSEN 14 1/2" X 36"	SKS 1638	SKYLIGHT	INSTALL PER MANUFACTURERS SUGGESTIONS
V	34 5/8" X 69 7/8"	2831	SINGLE HUNG	EGRESS WINDOW

\* EXCEPT SKYLIGHT 'U'

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

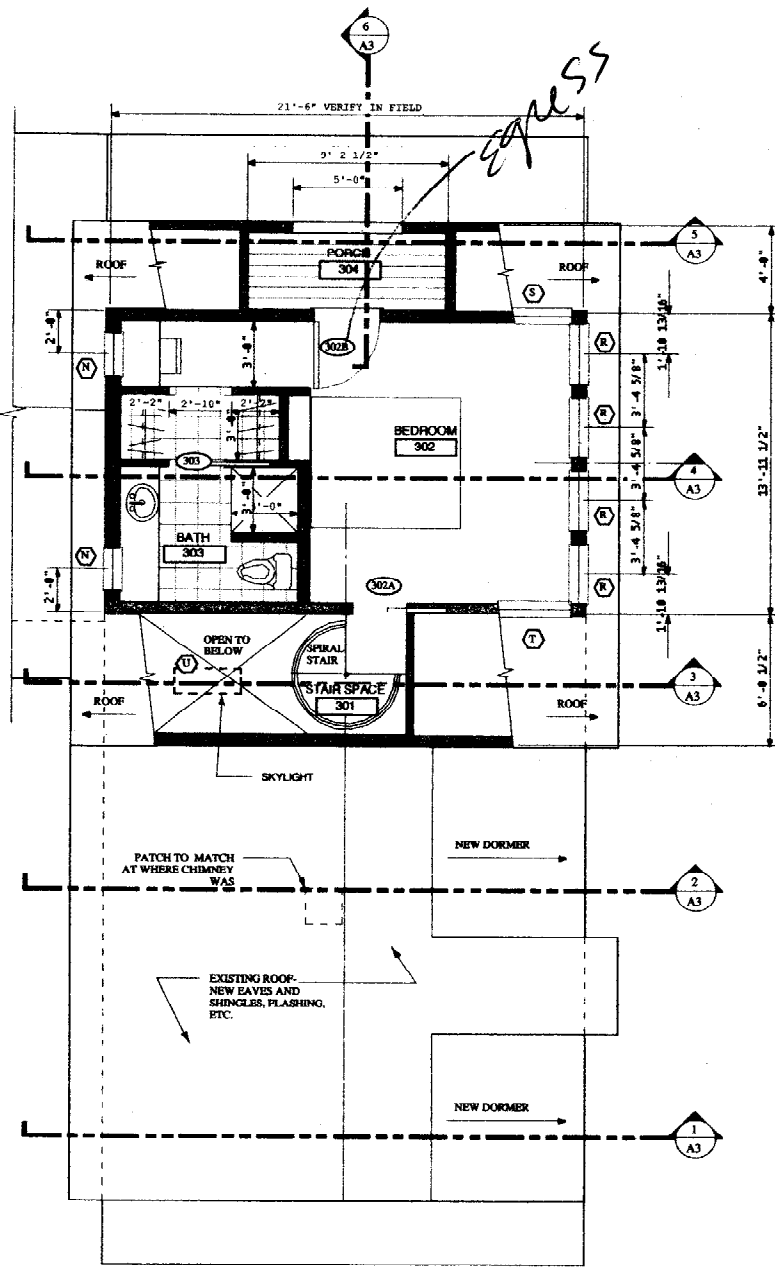
NEW WALLS

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**BUILDING PERMIT SET**

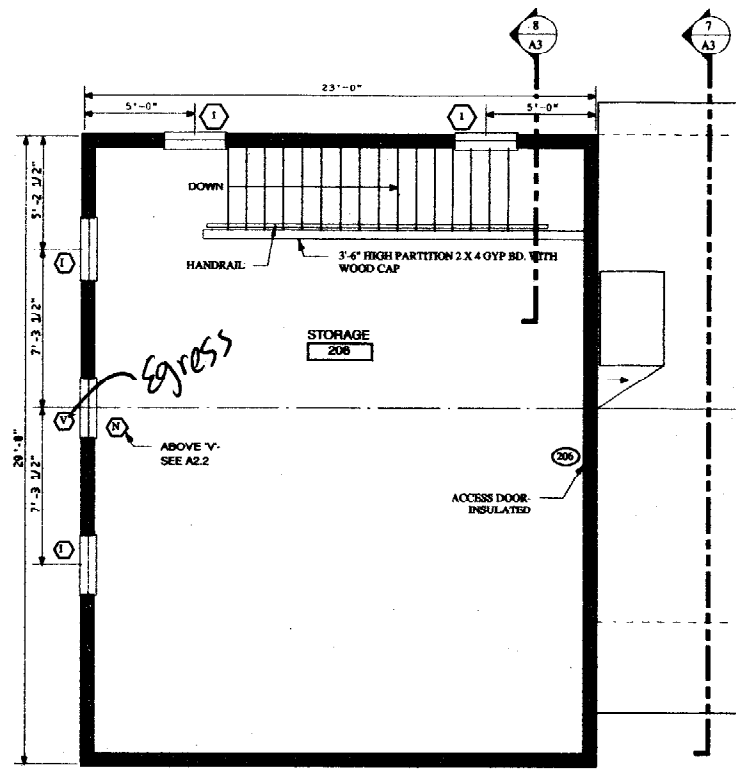
**bell eau**

**A1.1**  
 job # 04.03  
 client: mchugh  
 location: 72 watson street  
 portland, me  
 date: 12.02.03  
 scale: as noted  
 drawing title: first floor plan  
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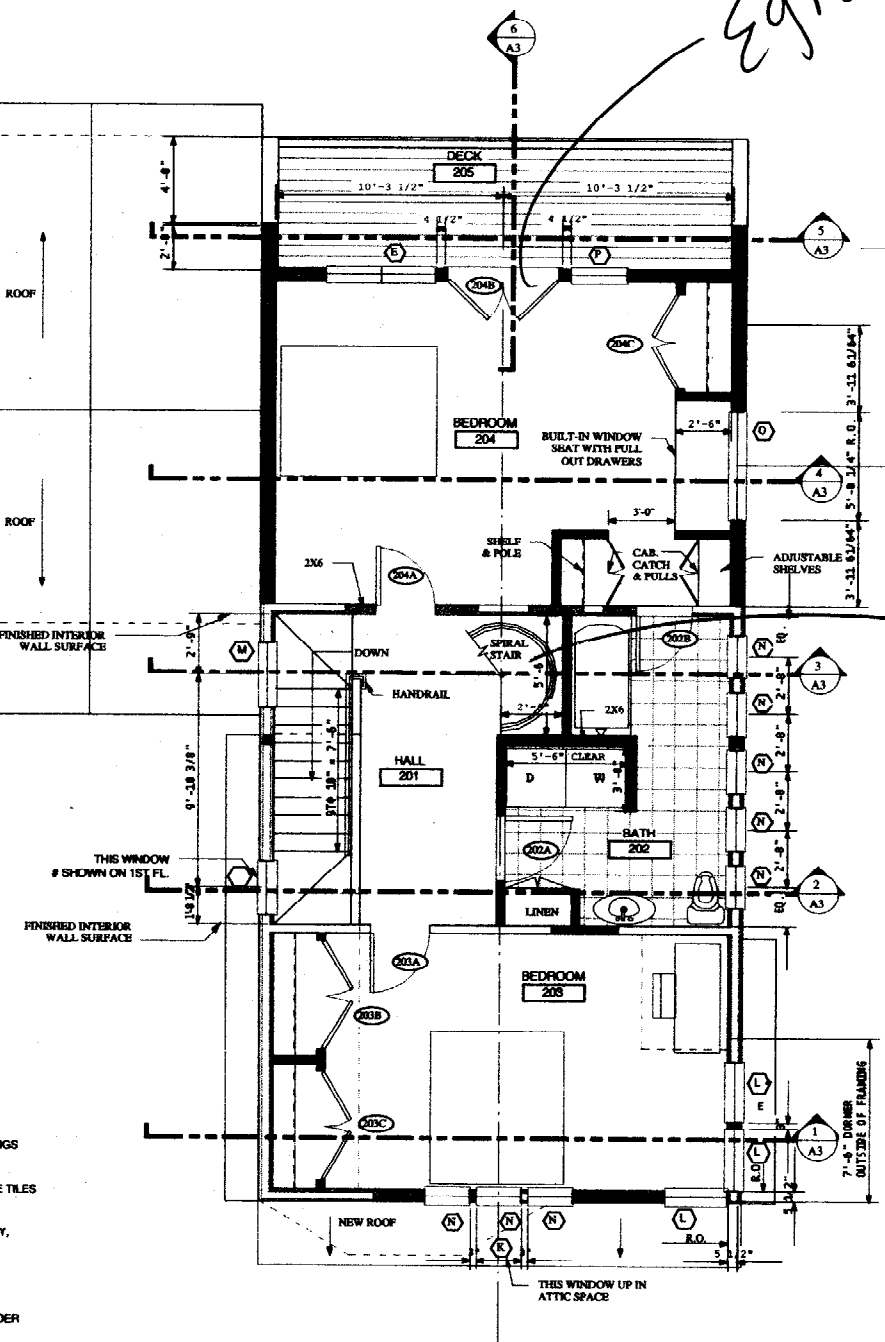
2 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NEW WALLS



**FINISH SCHEDULE:**

- ALL BASEMENT AREAS TO HAVE 1/2" PAINTED SHEETROCK ON 1 X 3 WOOD STRAPPING 16" O.C. CEILINGS. ALL BASEMENT PARTITIONS TO HAVE 1/2" PAINTED SHEETROCK ALL SIDES. BASEMENT STAIRS TO HAVE EXPOSED 3/4" PLYWOOD RISERS AND TREADS WITH SOLID WOOD HANDRAIL ONE SIDE ATTACHED TO WALL @ 4'-0" O.C. MIN.; PAINTED WOOD SKIRT BOARDS.
- STORAGE ROOM ABOVE GARAGE AND ATTIC SPACE ABOVE LIVING ROOM TO REMAIN UNFINISHED SPACE WITH PLYWOOD SUBFLOOR.
- GARAGE TO HAVE 5/8" FIRE RATED SHEETROCK WALLS PAINTED AND 5/8" F.R. SHEETROCK CEILING ON 1 X 3 WOOD STRAPPING @ 16" O.C. PAINTED-PAINT ALL EXPOSED WOOD.
- ALL TILED WALL AREAS TO HAVE 1/2" CEMENT BOARD; ALL WALLS AND CEILINGS IN BATHROOMS TO HAVE MOISTURE RESISTANT SHEETROCK PAINTED. ALL OTHER ROOMS TO HAVE 1/2" SHEETROCK PAINTED. ALL CEILINGS TO HAVE WOOD STRAPPING UNDER SHEETROCK.
- ALL BATHROOM FLOORS AND KITCHEN & MUDROOM TO HAVE THINSET FLAME FINISH BLACK SLATE 12" SQUARE TILES 5/16" THICK WITH 4" BASE OF SAME SLATE MATERIAL.
- ALL OTHER ROOMS TO HAVE MAPLE 1X4 T&G WOOD FLOORS SANDED WITH 3 COATS POLY, FIRST COAT GLOSSY, NEXT TWO SATIN- SAND BETWEEN COATS.
- ALL BASE FIRST FLOOR 1X8 WITH 1X 5/4 CAP- PAINTED POPLAR. ALL BASE SECOND AND THIRD FLOORS (EXCEPT BATHROOMS) 1X8 WITH 1X 5/4 CAP- PAINTED POPLAR.
- ALL INTERIOR DOOR AND WINDOW TRIM TO BE PAINTED POPLAR 1X4 JAMBS, 5/4 X4 HEAD AND 1X3 APRON UNDER 1X SILL WITH EASED EDGES- ALL WINDOWS TO HAVE WOOD INTERIOR EXTENSIONS FROM WINDOW FRAME- LET JAMB TRIM INTO HEAD TRIM.



1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NEW WALLS

Egress

Pre fab to BOCA 1999 will send spec

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BUILDING PERMIT SET

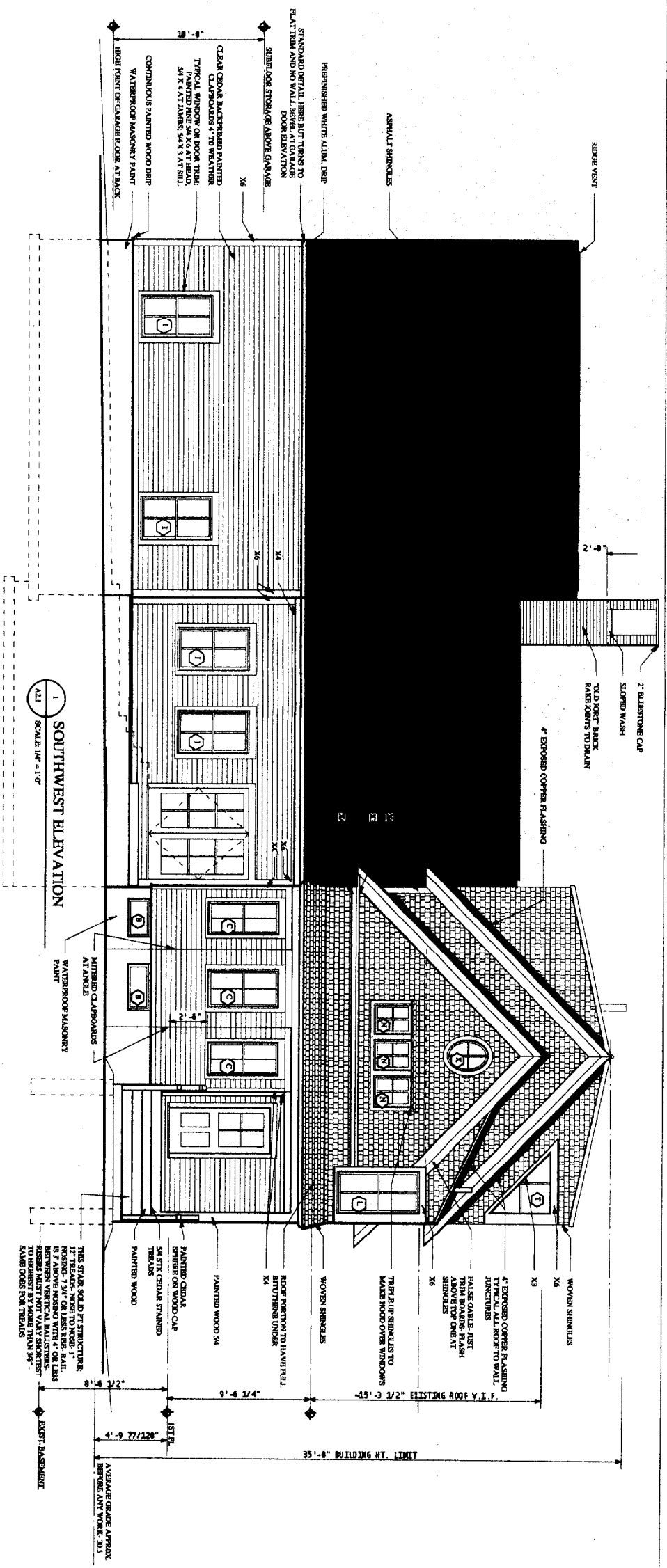
**bell eau**

job # 04.03  
client: mchugh  
location: 72 walden street  
portland, me  
date: 12.02.03  
scale: as noted  
drawing title: 2nd & 3rd floor plans

**A1.2**

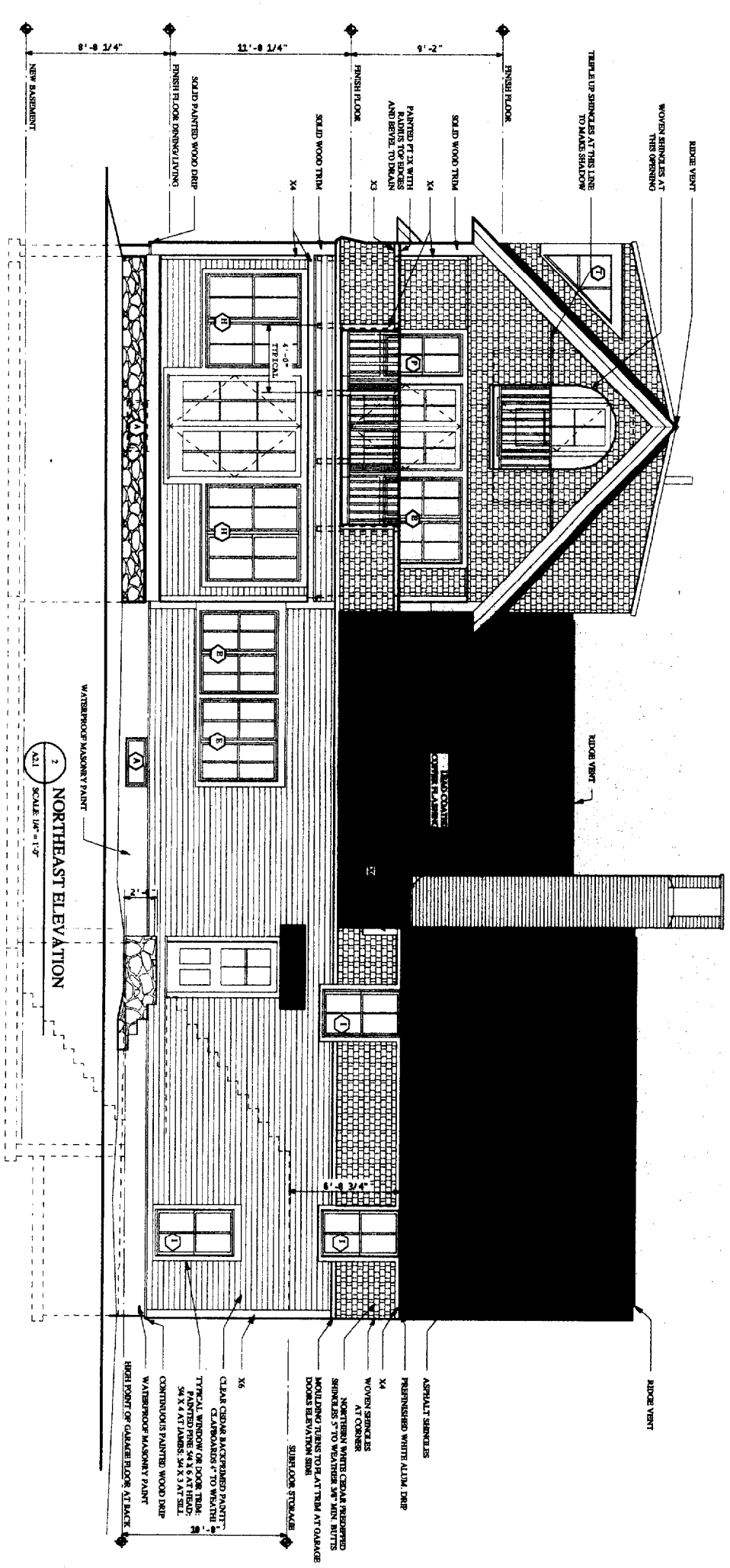
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1  
SOUTHWEST ELEVATION  
SCALE 1/4" = 1'-0"

WOVEN SHINGLES  
X3  
4" BRONSED CORNER FLASHING TYPICAL ALL ROOF TO WALL JOINTS  
FALSE GABLE. LIST TRIM BOARD FLASH SHINGLES  
X6  
TEMPLE UP SHINGLES TO MATCH EXISTING ROOF V.T.F.  
WOVEN SHINGLES  
ROOF PORTION TO HAVE FIELD BUTTER UNDER  
X4  
PAINTED WOOD 2x4  
PAINTED CEDAR SHINGLES ON WOOD CAP  
5/8" SIX CEDAR STANDED TRUSSES  
PAINTED WOOD  
THIS SHALL BE 2" FROM CENTER LINE TO FACE TO FACE. MINIMUM: 7" OR LESS MAX. FALL NUMBER MUST NOT VARY SHORTER TO SHORTER THAN 24" TO SHORTER THAN 24"



2  
NORTHEAST ELEVATION  
SCALE 1/4" = 1'-0"

REINFORCED WHITE ALUM. DRIP  
X4  
ASPHALT SHINGLES  
WOVEN SHINGLES AT CORNERS  
X4  
NON-THERMALLY WETTED CEDAR REINFORCED SHINGLES TO WEATHER 3/4" MIN. BUTTS INCLUDING TRIMS TO 1/4" AT TRIM AT GARAGE DOOR ELEVATION SIDE  
SLIP-LOCK STORAGE  
X4  
CLEAR CEDAR BACKGROUND PAINTED WITH WATERPROOF MASONRY PAINT  
TYPICAL WINDOW OR DOOR TRIM: 5/8" X 4" AT LAMB; 5/8" X 4" AT SILL  
CONTINUOUS PAINTED WOOD DRIP  
WATERPROOF MASONRY PAINT  
HIGH POINT OF GARAGE FLOOR AT RAKE

**BUILDING PERMIT SET**

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DIMENSIONS THIS PROJECT. CONTACT THE ARCHITECT FOR ALL DIMENSIONS OTHERWISE NOTED.

NOTE: ALL EXTERIOR TRIM TO BE PAINTED PER SPEC. TO BE 5/8" X 4" ALL AT LAMB TO BE 5/8" X 4" TO BE 5/8" X 4" UNLESS OTHERWISE NOTED.

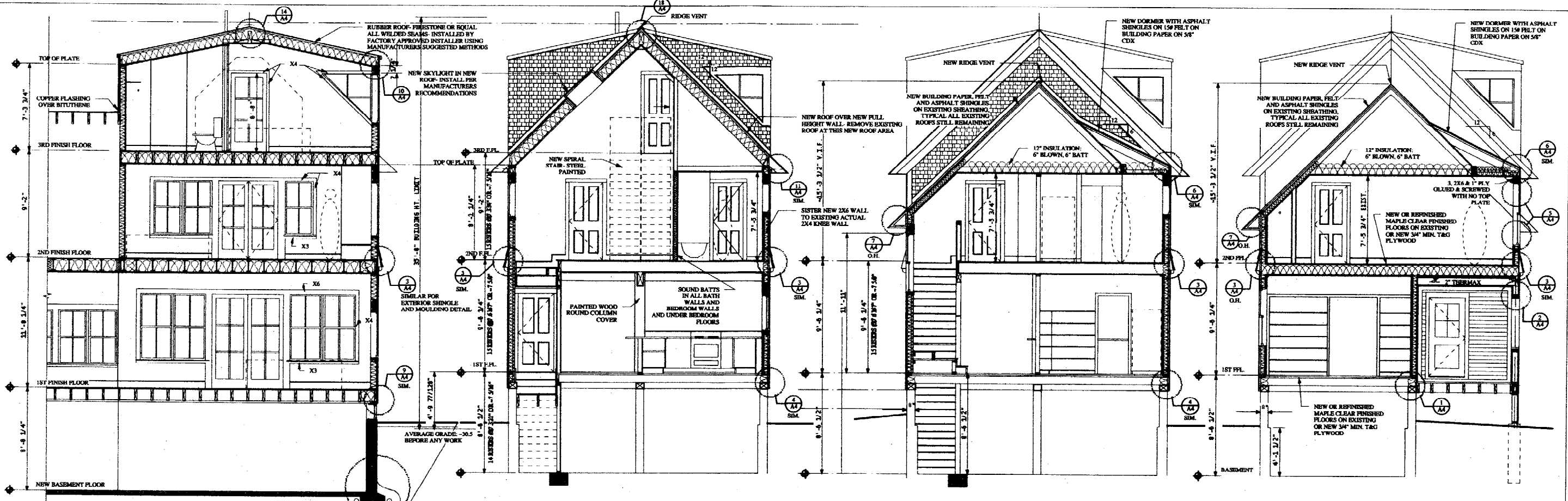
Drawings number: **A2.1**

**bell eau**

1310  
207.674.7886

10/17  
12/02/03



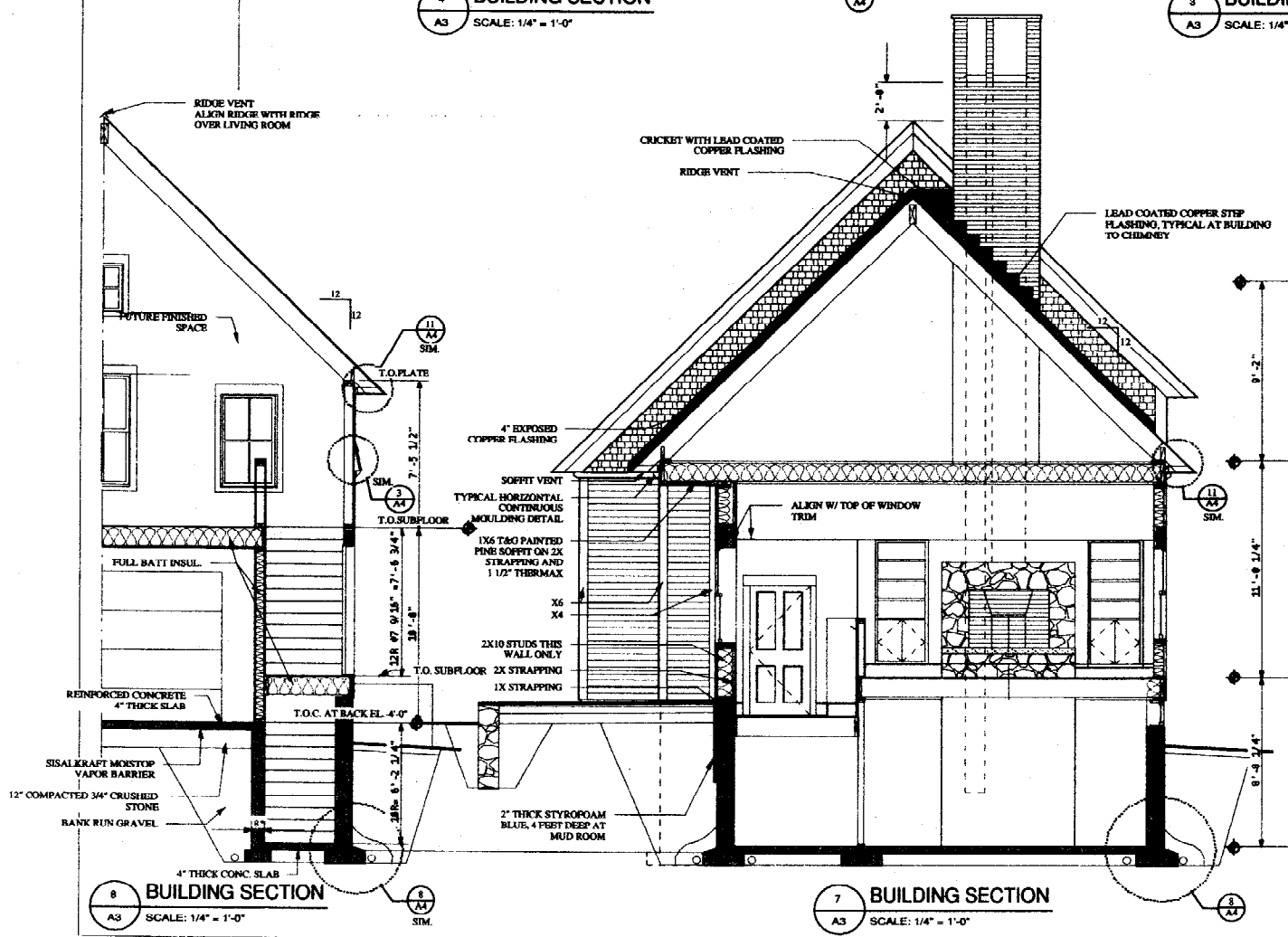


4 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

3 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

2 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

1 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"



8 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

7 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

6 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

5 BUILDING SECTION  
A3 SCALE: 1/4" = 1'-0"

*Less than 4" space*

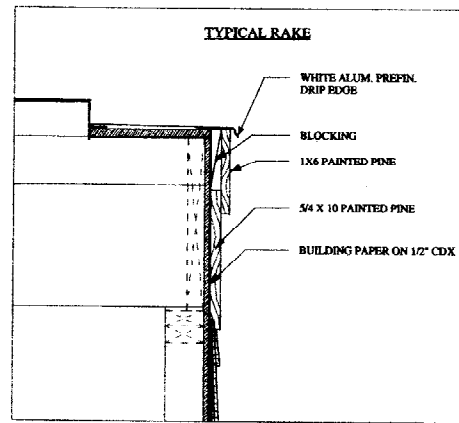
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BUILDING PERMIT SET

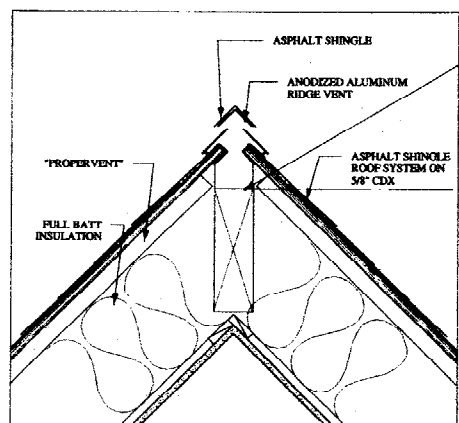
**bell eau**

job # 04.03  
client: mcgough  
location: 72 wesson street  
city: north and, me  
date: 12.02.03  
drawn: see notes  
checked: [signature]  
drawing name: building sections

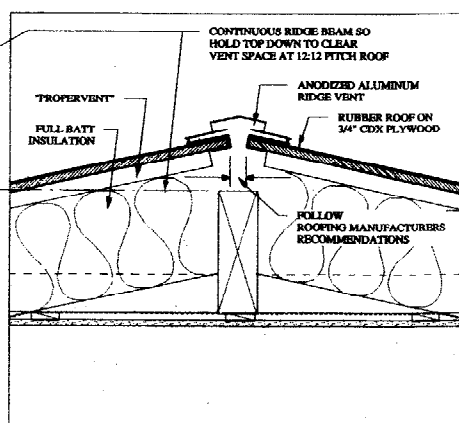
**A3**



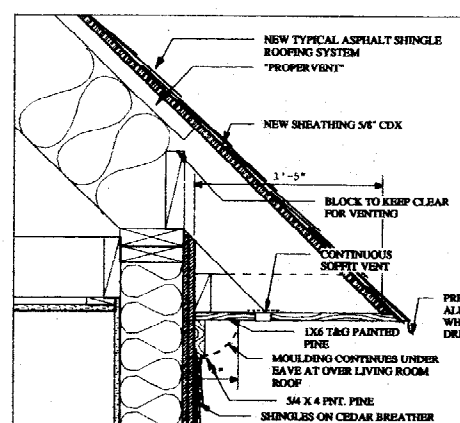
20 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



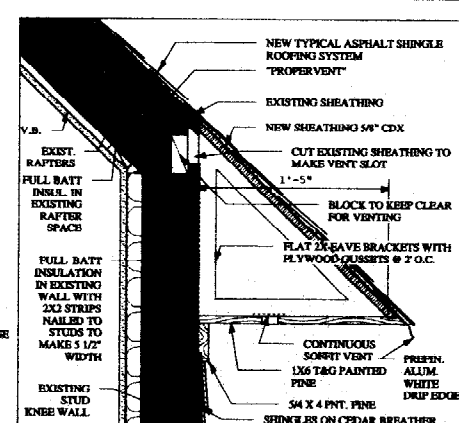
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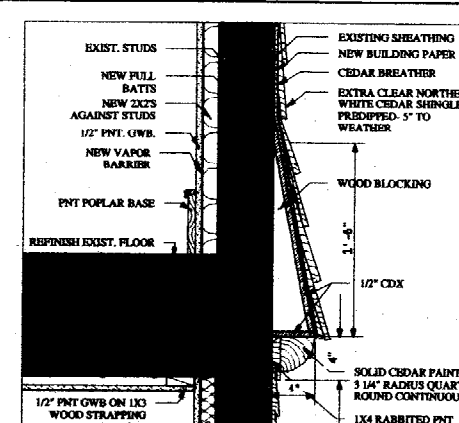
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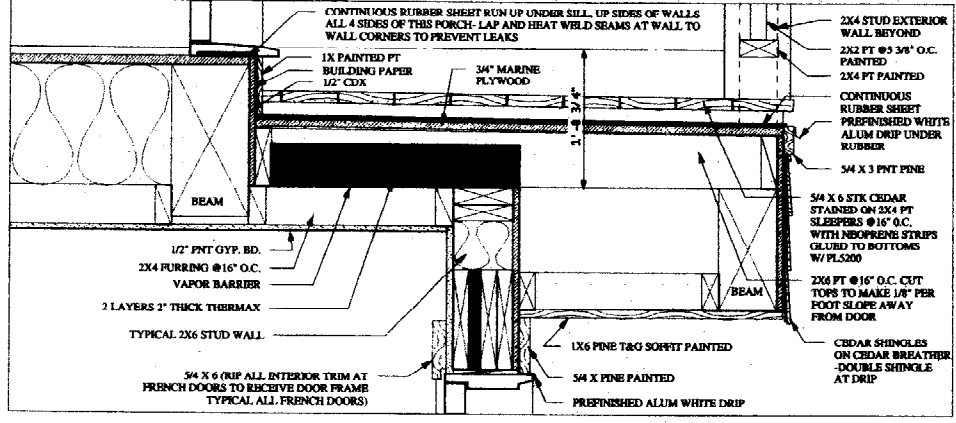
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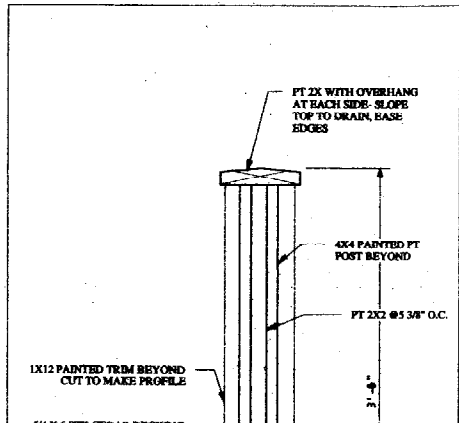
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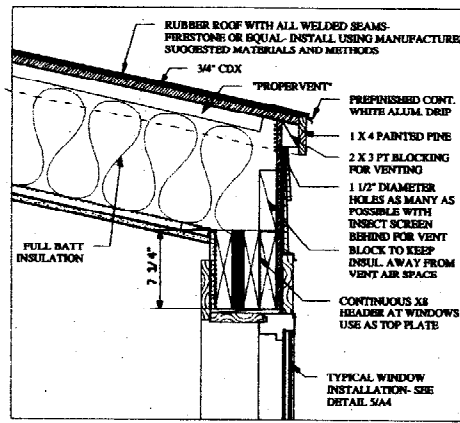
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A4 SCALE: 1 1/2" = 1'-0"



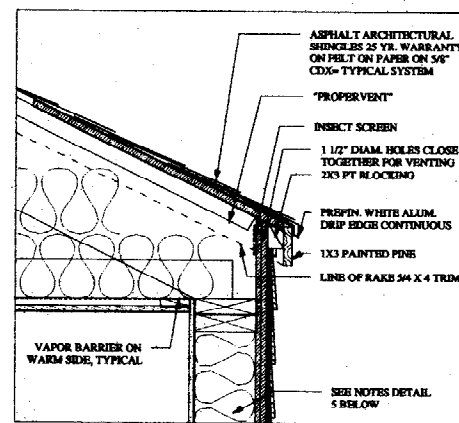
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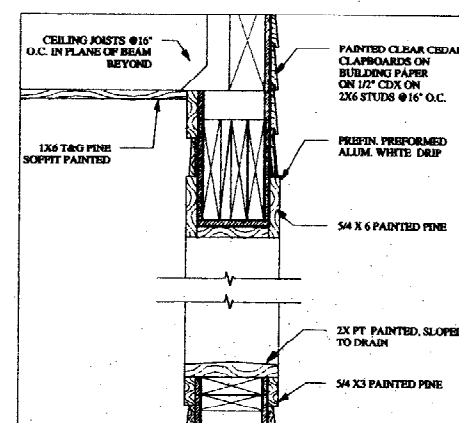
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A4 SCALE: 1 1/2" = 1'-0"



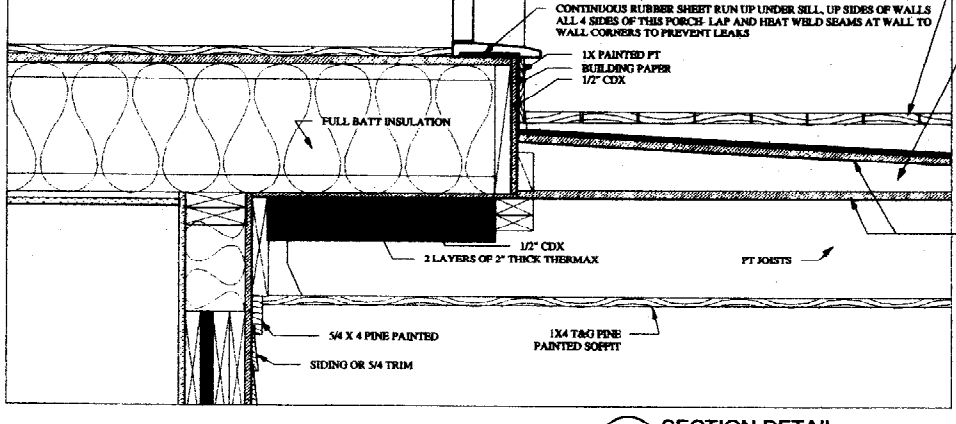
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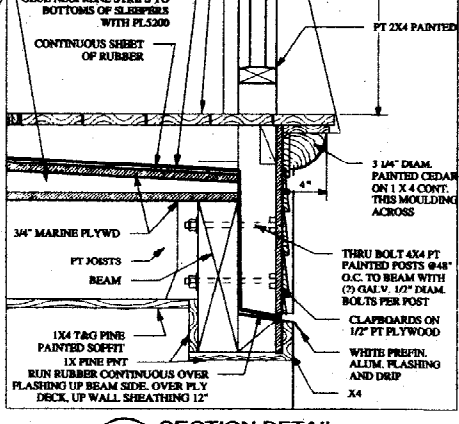
6 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



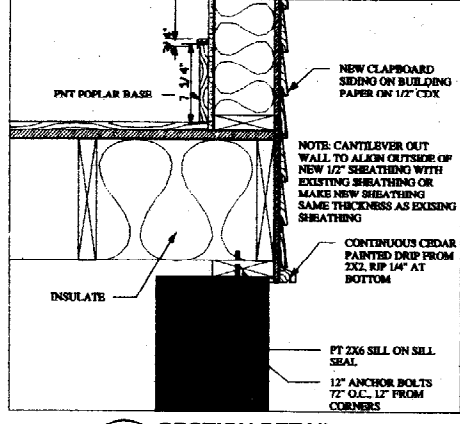
2 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



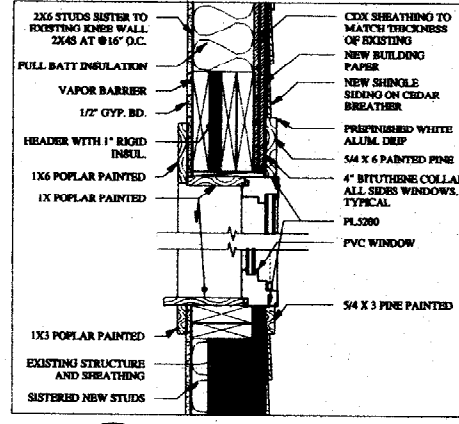
16 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



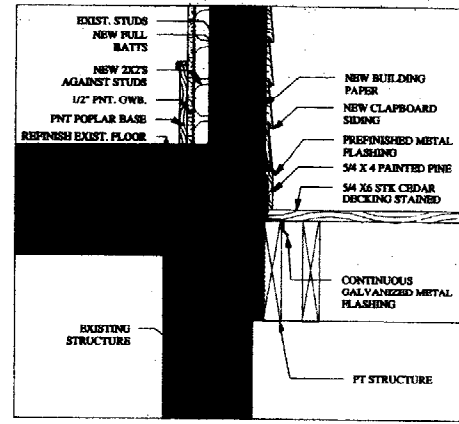
13 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



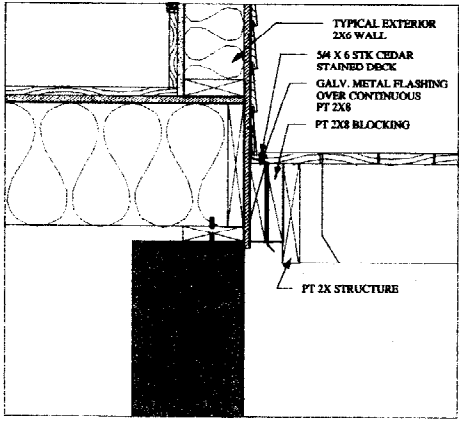
9 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



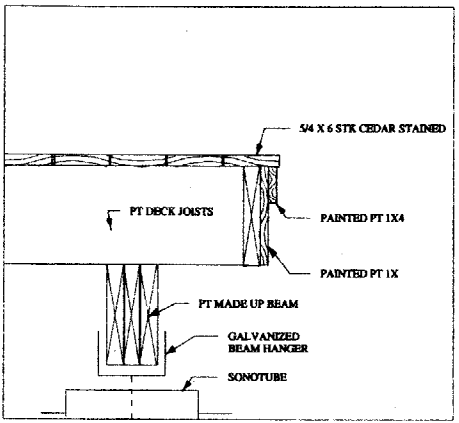
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A4 SCALE: 1 1/2" = 1'-0"



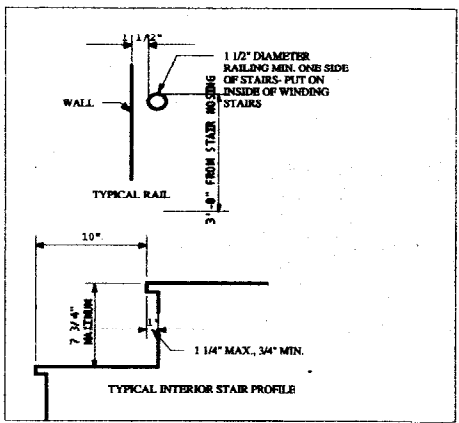
1 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



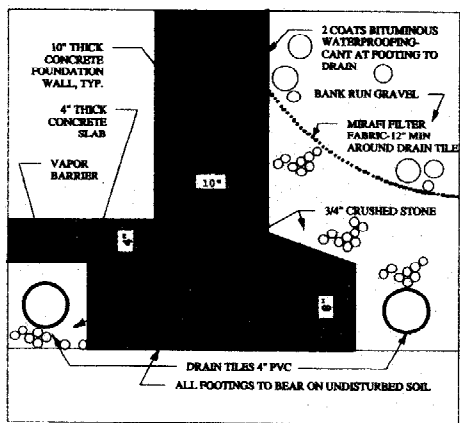
19 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



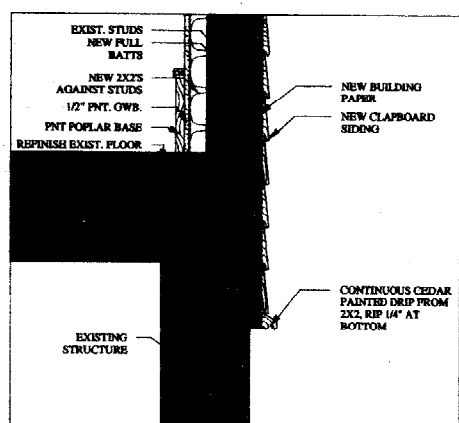
15 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



12 TYPICAL INTERIOR STAIR  
A4 SCALE: 1 1/2" = 1'-0"



8 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"



4 SECTION DETAIL  
A4 SCALE: 1 1/2" = 1'-0"

NOTES: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DRAWINGS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

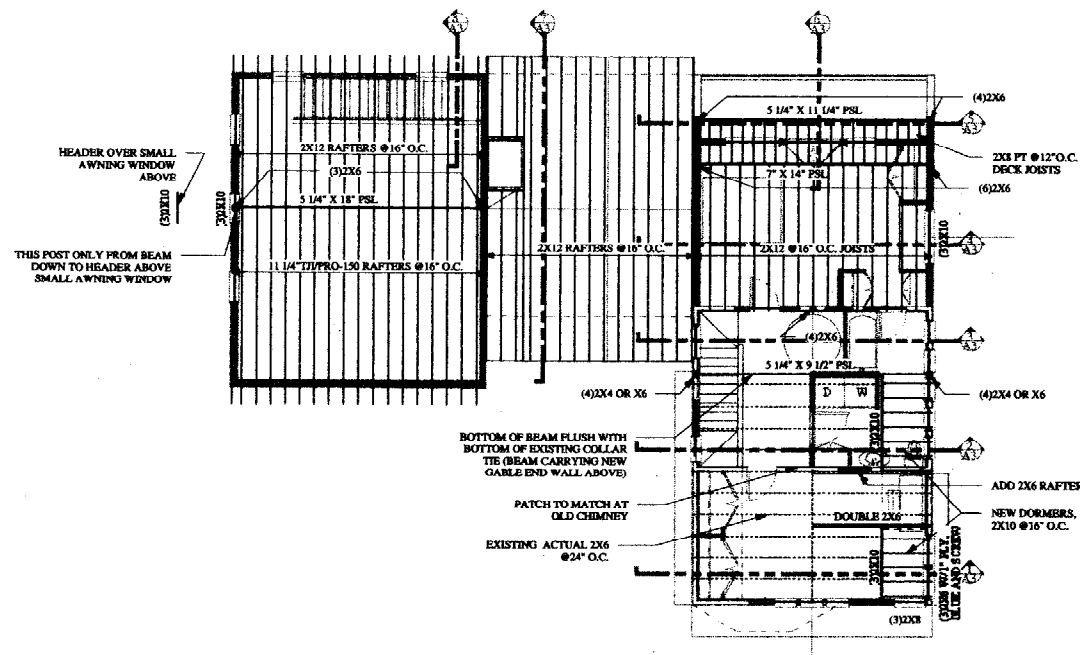
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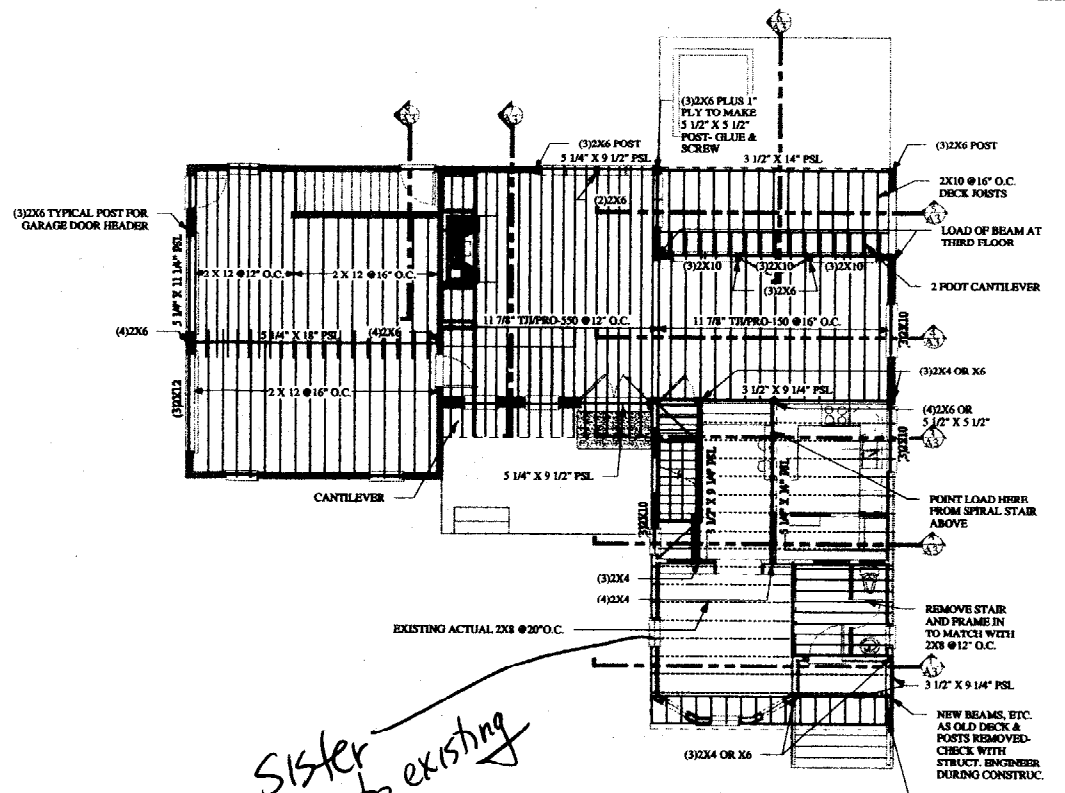
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client: mchugh  
location: 72 waltham street  
portland, me  
date: 12.02.08  
scale  
as noted  
drawing title  
exterior details

A4



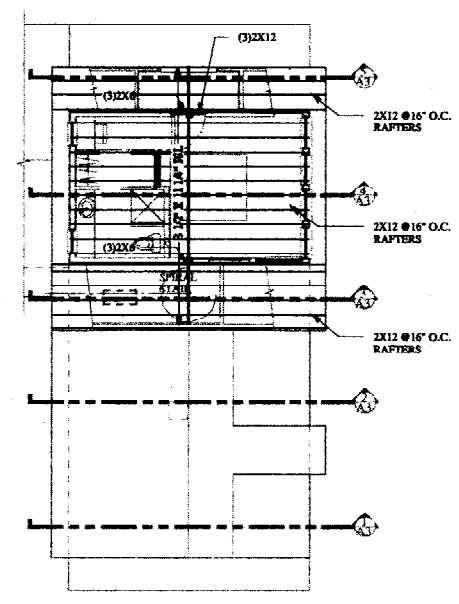


**THIRD FLOOR FRAMING & ROOF FRAMING OVER 2ND FLOOR KNEE WALL AND ATTIC AREAS**  
 S1 SCALE: 1/8" = 1'-0"

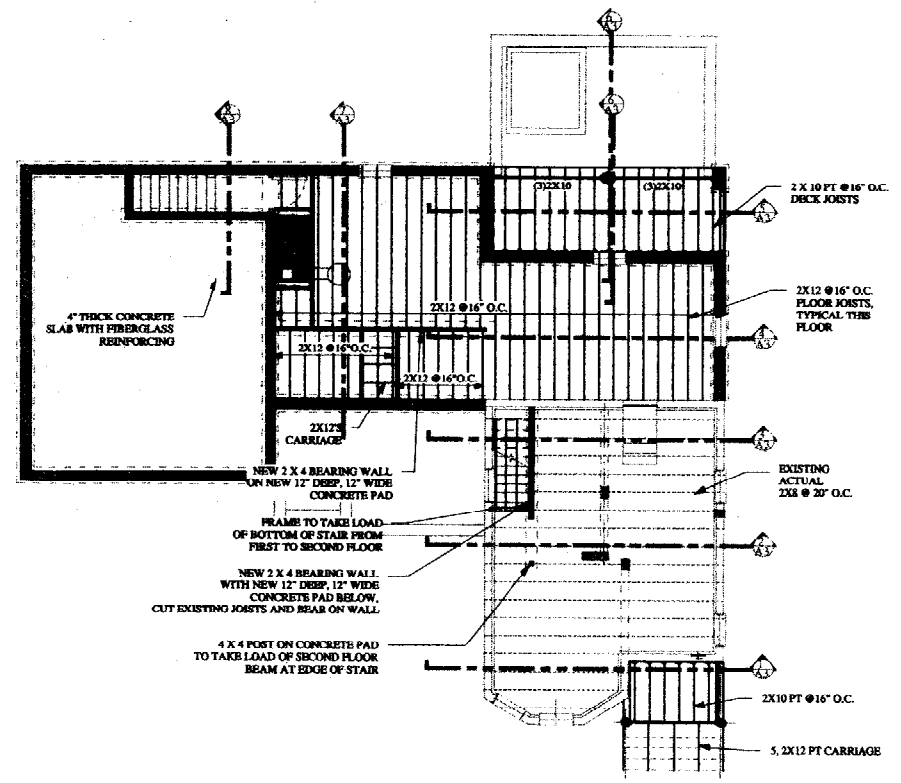


*Sister 2x6 to existing*

**SECOND FLOOR FRAMING PLAN**  
 S1 SCALE: 1/8" = 1'-0"



**ROOF FRAMING OVER 3RD FLOOR AND FULL SECOND FLOOR AREAS**  
 S1 SCALE: 1/8" = 1'-0"



**FIRST FLOOR FRAMING PLAN**  
 S1 SCALE: 1/8" = 1'-0"

- FRAMING NOTES:**
1. ALL POSTS MUST BE LARGE ENOUGH TO TAKE 3 1/2" MINIMUM BEARING LENGTH OF ANY BEAM AND BE AT LEAST AS WIDE AS THE BEAM.
  2. ALL FRAMING LUMBER SHALL BE SPF #2 OR BETTER.
  3. PROVIDE JOIST HANGERS AT ALL FLUSH FRAME CONDITIONS.
  4. BEAR ALL BEAMS ON TOP OF POSTS.
  5. CONTRACTOR RESPONSIBLE FOR TEMPORARY CONDITIONS: SHORING, BRACING, ETC. OF NEW AND EXISTING CONSTRUCTION.
  6. EXTERIOR WALLS 2X6 @ 16" O.C. NEW. INTERIOR PARTITIONS 2X4 @ 16" O.C. EXCEPT AS NOTED ON DRAWINGS.
  7. HEADERS 2X8 AT OPENINGS UNDER 5 FEET WIDE AND 2X10 AT 5 FEET AND OVER. 2 EACH IN 2X4 WALLS, 3 EACH IN 2X6 WALLS EXCEPT AS CALLED OUT IN THESE DRAWINGS.

NOTE: DO NOT SCALE THESE DRAWINGS. THESE DRAWINGS ARE APPROXIMATE. TYPICAL ALL DIMENSIONS THIS PROJECT. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.

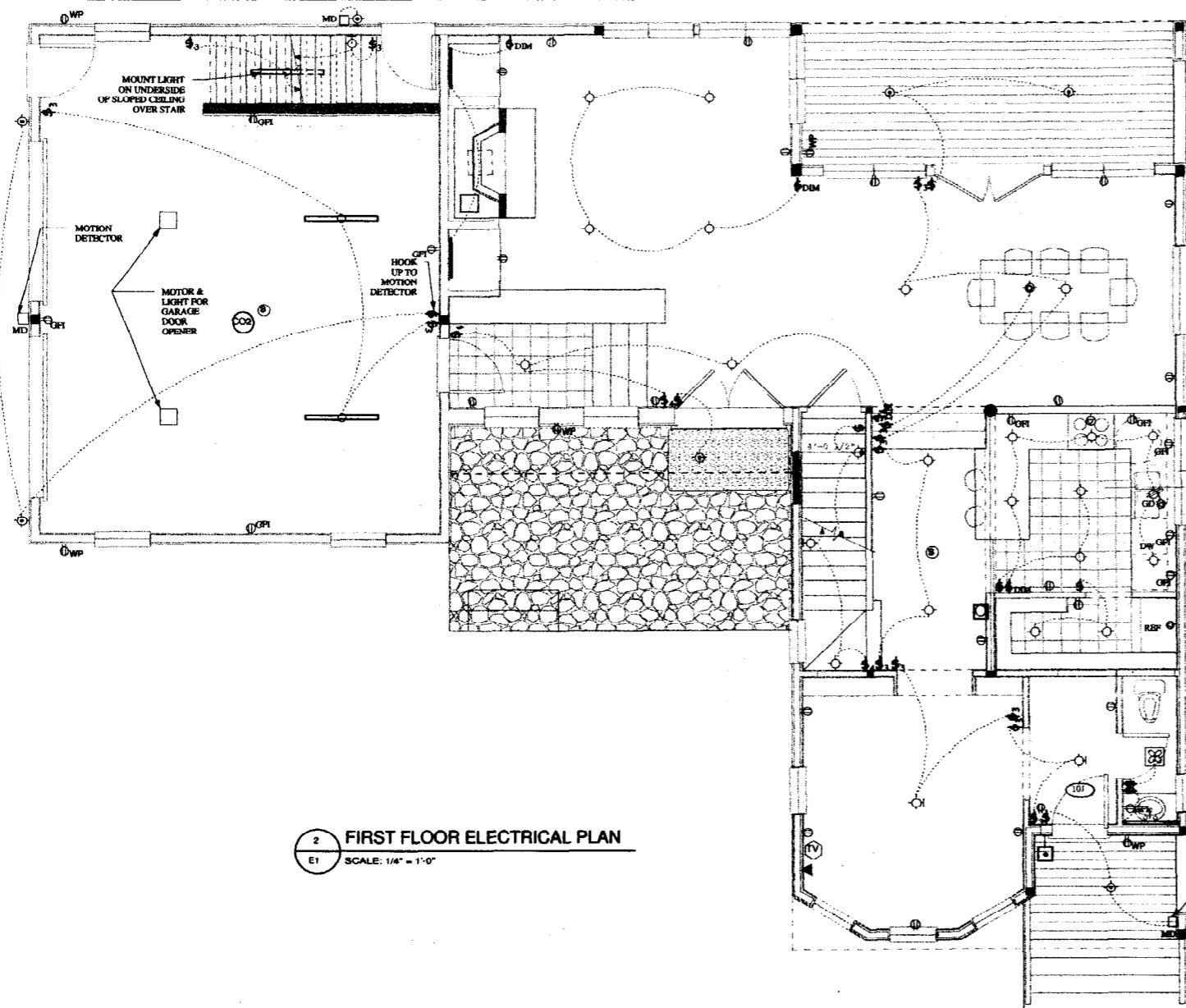
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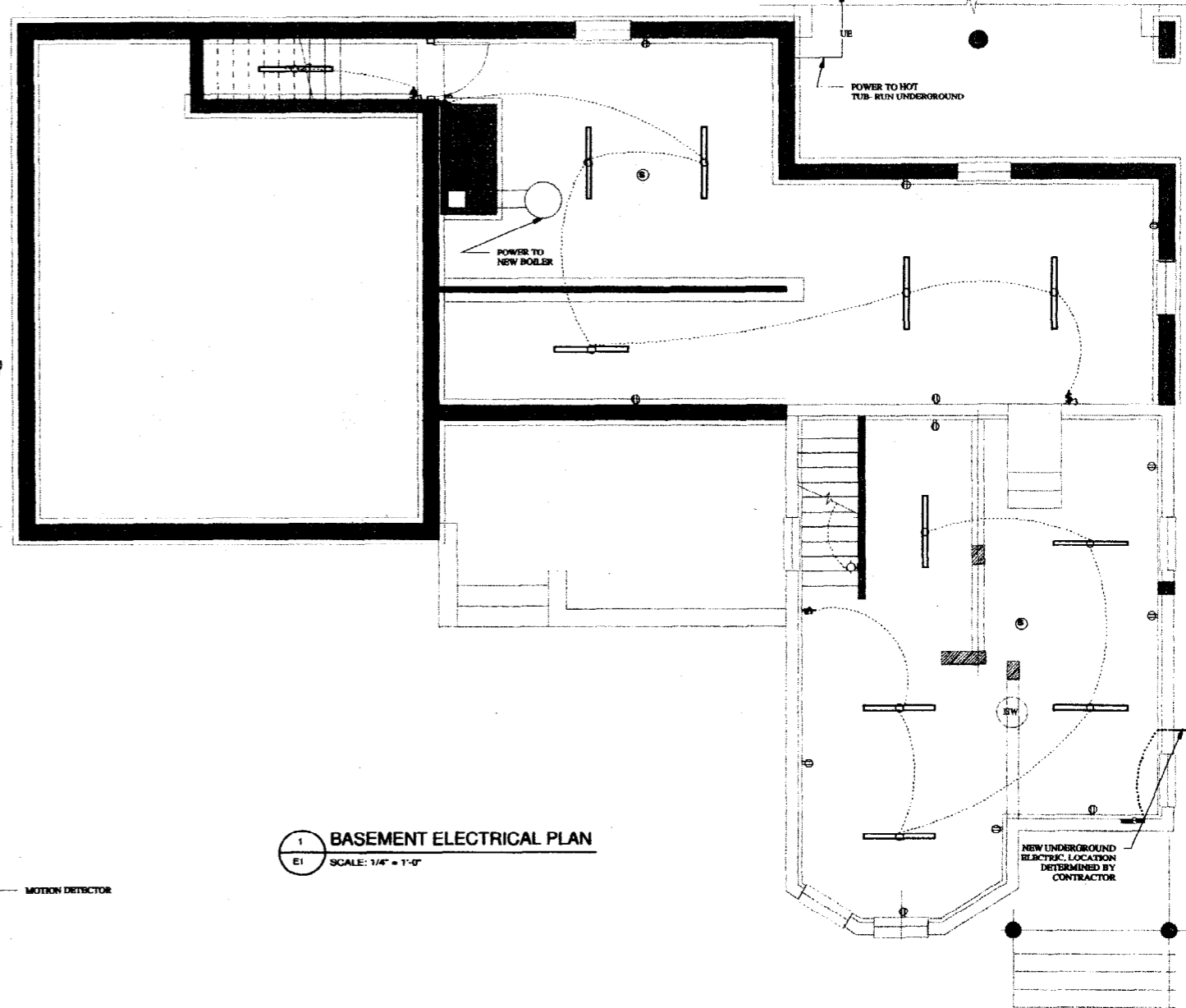
job # 04.03  
 client: [unclear]  
 location: 78 [unclear] street  
 portland, me  
 date: 12.02.03  
 scale: as noted  
 drawing title: framing plans

**SI**

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2 FIRST FLOOR ELECTRICAL PLAN  
E1 SCALE: 1/4" = 1'-0"



1 BASEMENT ELECTRICAL PLAN  
E1 SCALE: 1/4" = 1'-0"

NOTES:

1. ALL ELECTRICAL WORK TO CONFORM TO ALL APPLICABLE NATIONAL, STATE, LOCAL AND UTILITY CODES, ORDINANCES AND REQUIREMENTS
2. ALL UNDERGROUND LINES TO BE IN SCHEDULE 40 PVC CONDUIT EXCEPT UNDER ROADS AND DRIVEWAYS WHERE GALVANIZED STEEL CONDUIT SHALL BE USED. BACKFILL FIRST 12 INCHES WITH DEAD SAND.
3. BALANCE CIRCUIT PANELS PER UTILITY REQUIREMENTS. ALL BREAKERS IN ALL PANELS TO BE CLEARLY LABELED.
4. WIRING TO BE RUN IN BUNDLES, TO GREATEST PRACTICAL EXTENT.
5. DEVICE COLOR TO BE IVORY, UNLESS OTHERWISE NOTED.
6. ALL SWITCHES TO BE SILENT, ROCKER TYPE.
7. WHEN LAYING OUT DEVICES, ENSURE ROOM FOR COVER PLATES, I.E., NO CONFLICT WITH TRIM, CABINETS, ETC.
8. ALL SWITCH COVERS TO BE LIGHTOLIER COMPLI SCREWLESS FACEPLATE IVORY- GANG ACCORDING TO DRAWINGS
9. DIMMERS TO BE LIGHTOLIER ONSET- SIZE TO LOAD.
10. LIGHTS SUPPLIED BY OWNER, INSTALLED BY CONTRACTOR.

KEY TO SYMBOLS:

- |      |                                  |   |   |
|------|----------------------------------|---|---|
| ⊕    | DUPLEX OUTLET                    | ⊕ | CARBON MONOXIDE DETECTOR/ALARM- HARD WIRED    |
| ⊙    | DEDICATED OUTLET                 | ⊕ | DOOR BELL PUSH BUTTON                         |
| ⊕GFI | DUPLEX W/ GROUND FAULT INTERRUPT | ⊕ | DOOR BELL                                     |
| ⊕WP  | WATERPROOF DUPLEX                | ◇ | RECESS MOUNTED LIGHT                          |
| ⚡    | SWITCH                           | ◇ | SURFACE MOUNTED LIGHT                         |
| ⚡DM  | SWITCH W/ DIMMER                 | — | SURFACE MOUNTED FLOURESCENT TWIN TUBE         |
| ⚡3   | 3-WAY SWITCH                     | — | UNDER CABINET LIGHTING                        |
| ⚡4   | 4-WAY SWITCH                     | ⊕ | RECESSED FANLIGHT NUTONE "ULTRA-QUIETTEST     |
| ▬    | PANEL                            | ◇ | EXTERIOR RECESSED LIGHT                       |
| ▽    | TELEPHONE LINE                   | ◇ | EXTERIOR SURFACE MOUNTED LIGHT                |
| ▽    | COMPUTER DATA OUTLET             | ◇ | RECESSED CHANDELIER PLUG WIRED TO WALL SWITCH |
| Ⓜ    | CABLE T.V. OUTLET                | — | MIRROR LIGHT                                  |
| ⊙    | SMOKE DETECTOR/ALARM- HARD WIRED |   |   |

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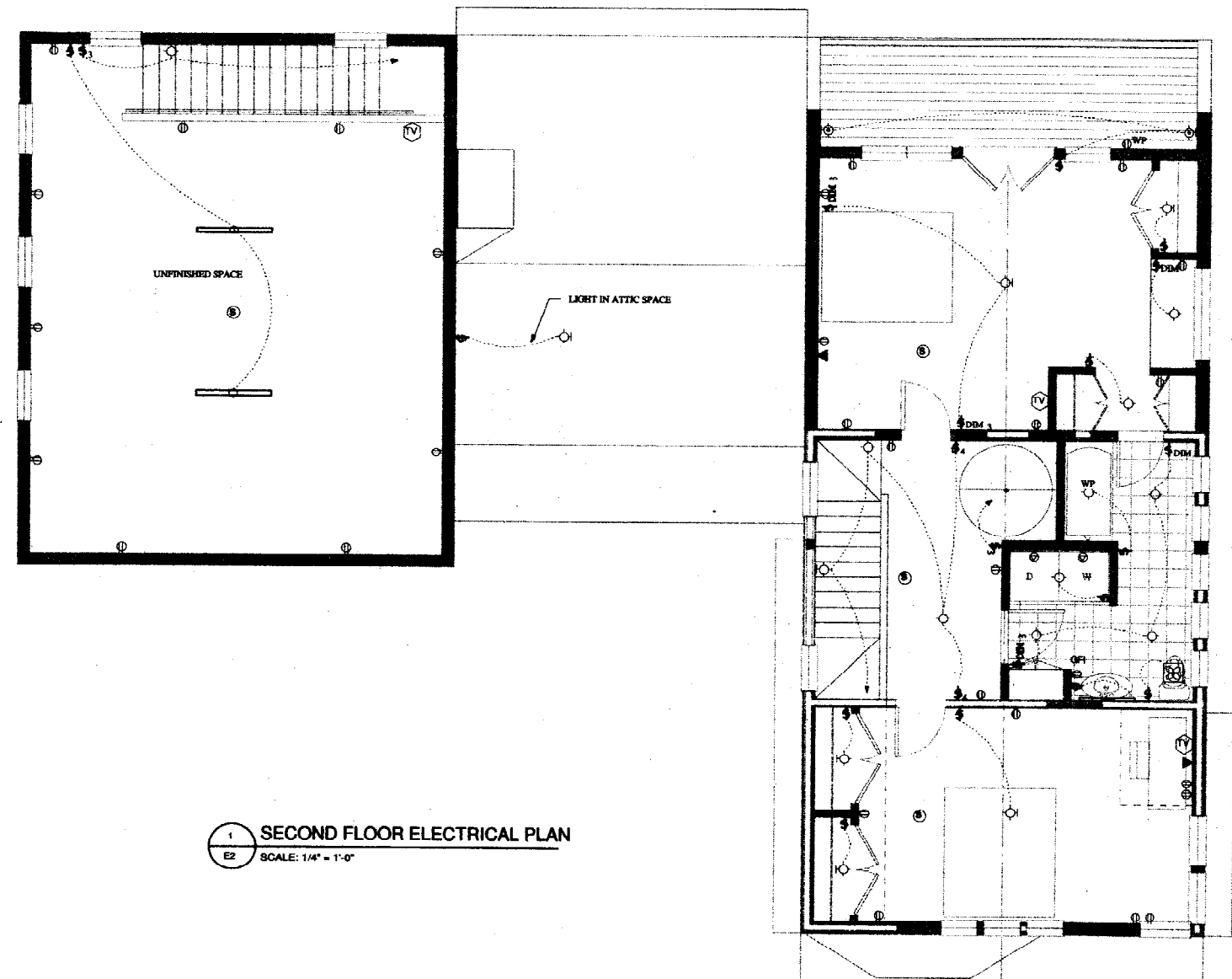
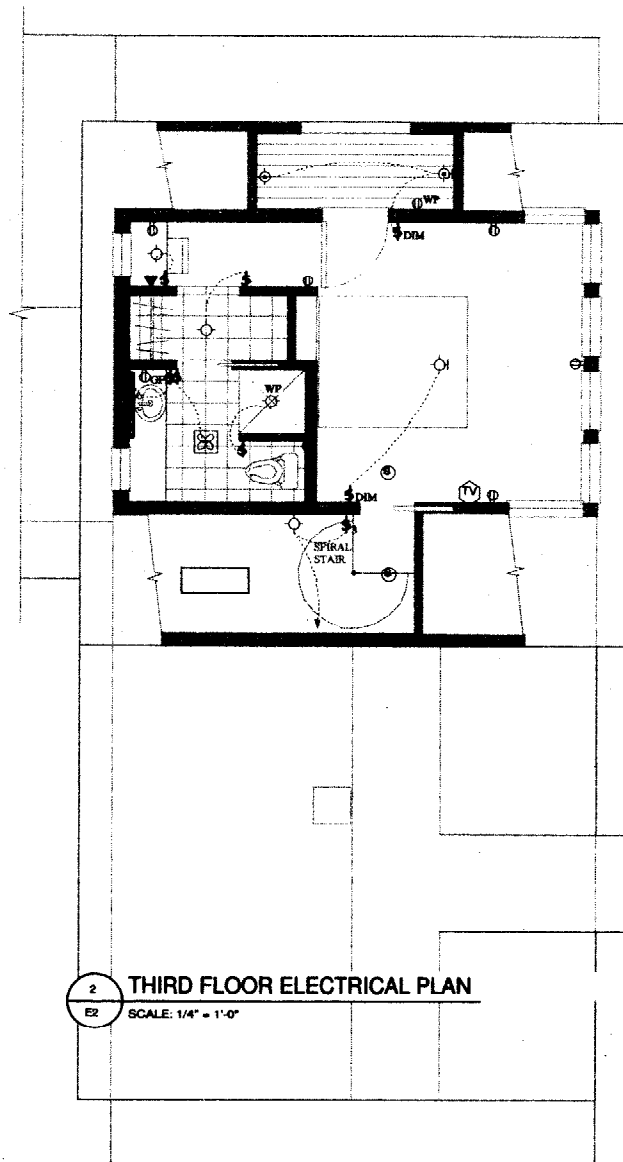
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**bell eau**

Job # 04-03  
Client: richugh  
Location: 72 traction street  
Portland, ME  
Date: 12.02.03  
Scale: see notes  
Drawing title: electrical plans

**ET**

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**KEY TO SYMBOLS:**

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| ⊕4   | 4-WAY SWITCH                     | ⊕ | RECESSED FAN/LIGHT NUTONE "ULTRA-QUIETTEST    |
| —    | PANEL                            | ⊕ | EXTERIOR RECESSED LIGHT                       |
| ▼    | TELEPHONE LINE                   | ⊕ | EXTERIOR SURFACE MOUNTED LIGHT                |
| ▼    | COMPUTER DATA OUTLET             | ⊕ | RECESSED CHANDELIER PLUG WIRED TO WALL SWITCH |
| ⊕TV  | CABLE T.V. OUTLET                | — | MIRROR LIGHT                                  |
| ⊕    | SMOKE DETECTOR/ALARM- HARD WIRED |   |   |

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job # 04.03  
client: mcugh  
location: 72 wendon street  
portland, me  
date: 12.02.03  
scale: as noted  
drawing title: electrical plan  
E2  
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