



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

CBL: 431 B001001

BUILDING PERMIT # 2011-05-965-SOB

BUILDING PERMIT

This is to certify that ANN & YALE S ARKEL has permission for Slope Stabilization (Single Family) located at 6 Island St. provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer 10/17/2011

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CARD.

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

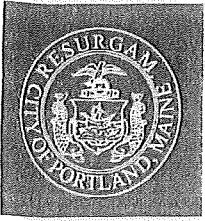
Job No: 2011-05-965-SOB	Date Applied: 5/4/2011	CBL: 431 - - B - 001 - 001 - - - - -	
Location of Construction: 6 ISLAND ST	Owner Name: ANNE & YALE S ARKEL	Owner Address: 116 STANMORE PL WESTFIELD, NJ 07090	Phone:
Business Name:	Contractor Name: Cullenberg, Carl	Contractor Address: 75 Ledgewood DR FALMOUTH ME 04105	Phone: (207) 650-8744
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single Family	Proposed Use: Single Family - slope stabilization & erosion control	Cost of Work: 35000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A Signature:	Inspection: Use Group: Type: MUBEC Signature:
Proposed Project Description: 6 Island St - slope stabilization & erosion control		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input checked="" type="checkbox"/> Shoreland DEP approved. <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Level # #10 - 7000 34 <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: OK w/condition 5/6/11 ABM	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



Strengthening a Remarkable City. Building a Community for Life. www.portlandmaine.org

Planning & Urban Development Department
Penny St. Louis Littell, Director

November 23, 2010

Planning Division
Alexander Jaegerman, Director

Carl Cullenberg
75 Ledgewood Drive
Falmouth ME 04105

Yale and Ann Arkel
116 Stanmore Place
Westfield, NJ 07090

Project Name: Slope Stabilization and Erosion Control
Carl Collenberg, Applicant
Project ID: 10-79900034
Project Address: 6 Island Street, Portland Maine
CBL: 431-B-001-001
Planner: Jean Fraser

Dear Applicants:

On November 23, 2010, the Portland Planning Authority approved a Level II site plan for slope stabilization and erosion control at 6 Island Street, Portland as submitted by the applicants and shown on the approved plan prepared by S.J.R Engineering and dated 09/13/10 (as Rev. 1).

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of the Site Plan Ordinance of Portland's Land Use Code.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division (Building Permit).
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.

4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Jean Fraser at 874 8728 or jf@portlandmaine.gov.

Sincerely,

Alexander Jaegerman
BJ

Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development	Bill Clark, Public Services
Alexander Jaegerman, Planning Division Director	David Margolis-Pineo, Deputy City Engineer
Barbara Barhydt, Development Review Services Manager	Greg Vining, Public Services
Jean Fraser, Planner	John Low, Public Services
Philip DiPierro, Development Review Coordinator	Jane Ward, Public Services
Marge Schmuckal, Zoning Administrator	Keith Gautreau, Fire
Tammy Munson, Inspections Division Director	Jeff Tarling, City Arborist
Gayle Guertin, Inspections Division	Tom Errico, TY Lin
Lannie Dobson, Inspections Division	Dan Goyette, Woodard & Curran
Michael Bobinsky, Public Services Director	Assessor's Office
Katherine Earley, Public Services	Approval Letter File

Hard Copy: Project File

Steve Roberge, 21 Mayflower Road, Augusta, ME 04330

Conditions of Approval

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. This permit is approved under repair of an Existing Structures. Guardrails and handrails, stair rise/run profile and continuity shall comply with new codes to the fullest extent possible. Fall protection, and further review may be required if the grade deviates from the proposed plan.
3. Prior to the final inspection a sealed letter from your Engineer shall be submitted to this office confirming that based on inspections performed all discrepancies have been corrected and the structural work is in substantial compliance with the approved plans.

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

DRC

2. See attached letter Dated 11/23/2010.

Conditions of Approval

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. This permit is approved under repair of an Existing Structures. Guardrails and handrails, stair rise/run profile and continuity shall comply with new codes to the fullest extent possible. Fall protection, and further review may be required if the grade deviates from the proposed plan.
3. Prior to the final inspection a sealed letter from your Engineer shall be submitted to this office confirming that based on inspections performed all discrepancies have been corrected and the structural work is in substantial compliance with the approved plans.

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

DRC

2. See attached letter Dated 11/23/2010.

Lannie Dobson - Fwd: Inspection Fee

From: Philip DiPierro
To: Code Enforcement & Inspections
Date: 10/5/2011 11:30 AM
Subject: Fwd: Inspection Fee

Hi all, this project, site plan #10-79900034, the Cullenberg slope stabilization project located at 6 Island Street, meets minimum DRC site plan requirements for the issuance of the building permit.

Please see note in "general description" section of 1S for sign off.

Thanks.

Phil

>>> Jennifer Yeaton 10/5/2011 10:17 AM >>>
Carl Cullenberg paid his \$300.00 inspection fee this morning.

Phil, is there a breakdown for this?

Jen



General Building Permit Application

Location/Address of Construction: <u>6 Island st</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>4792 SQ FT</u>
Tax Assessor's Chart, Block & Lot Chart# <u>431</u> Block# <u>B</u> Lot# <u>1</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Yale Arkel</u> Address <u>116 Stanmore Pl</u> <u>West Field NJ</u> City, State & Zip <u>07090</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>35000</u> C of O Fee: \$ _____ Total Fee: \$ <u>370</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Stabilize the shoreline where existing Retaining wall has Failed. (Permit for site work if question Jean Fraser only)</u>		
Contractor's name: <u>Carl Cullenberg</u> Address: <u>75 Ledge Wood Dr</u> City, State & Zip <u>Falmouth Me 04105</u> Telephone: <u>6508744</u> Who should we contact when the permit is ready: <u>Carl</u> Telephone: <u>6508744</u> Mailing address: <u>Same as above 75 ledge wood Dr</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Carl Cullenberg

Date: 5/3/11

This is not a permit; you may not commence ANY work until the permit is issue

RECEIVED



View from shorefront showing failed retaining wall and eroded /slumped bank.



View from shorefront showing eroded banking and failed lower retaining wall

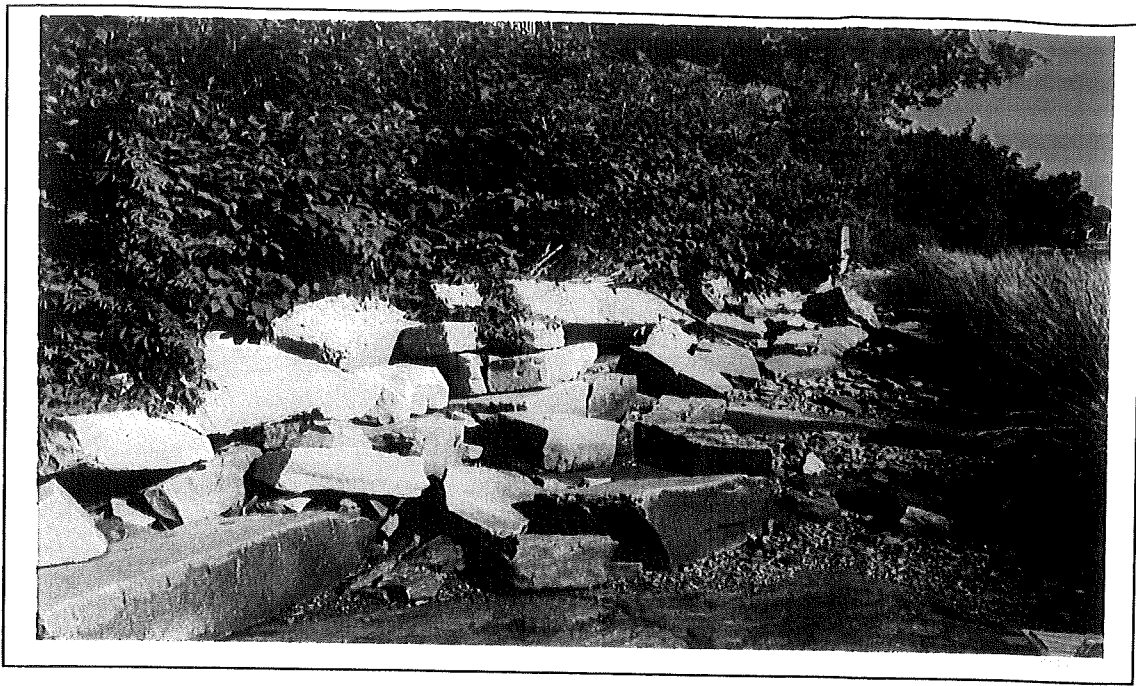


Figure 1. Looking NORTH along the toe of the bank. Note remains of old seawall and fill material. Bank is vegetated primarily with Japanese Knotweed (*Polygonum cuspidatum*). [7/27/2010, 8:50 a.m., low tide]



Figure 2. Looking NORTH along toe of the bank. Distance from toe of bank to *Spartina alterniflora* is 10 feet. Construction of bank stabilization will have minimal impact on intertidal area and will quickly revegetate with native species. [7/27/2010, 8:52 a.m., low tide]

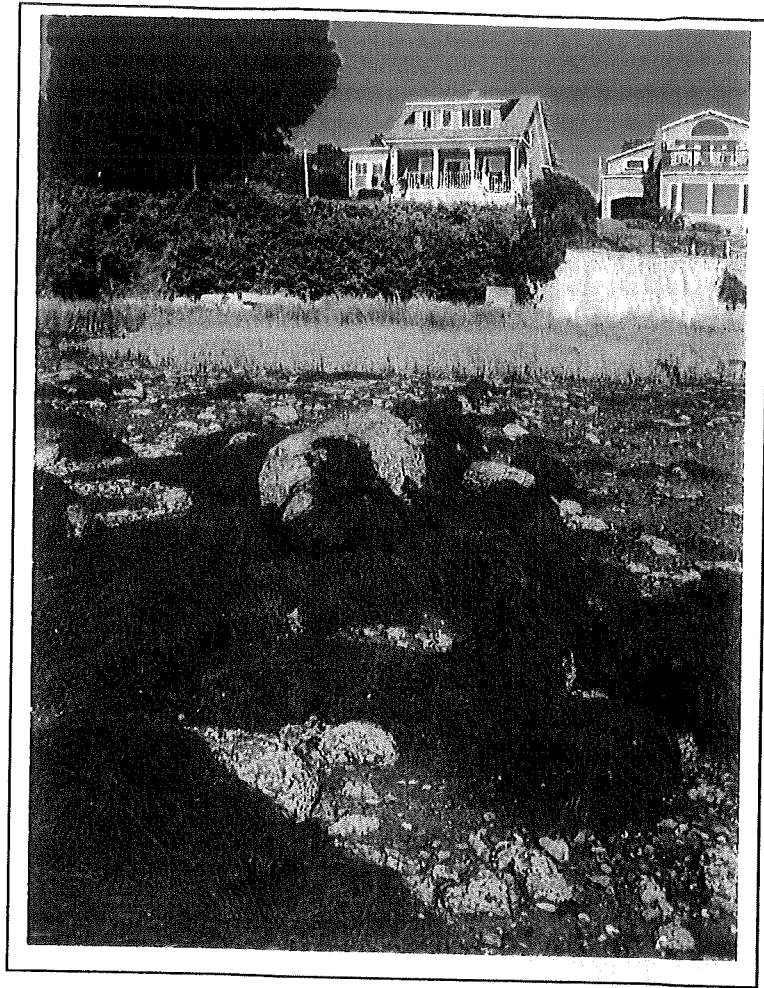


Figure 3. Looking WEST across intertidal area and toward the bank to be stabilized. There will be no impact to the rock/knotweed area of the intertidal zone. [7/27/2010, 8:55 a.m., low tide]

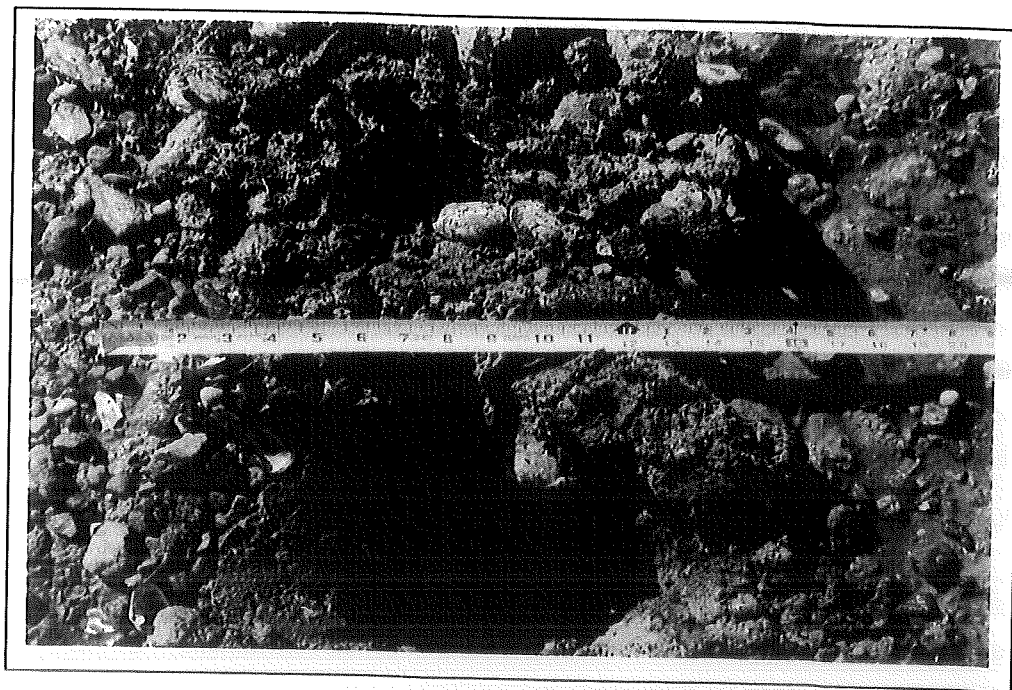


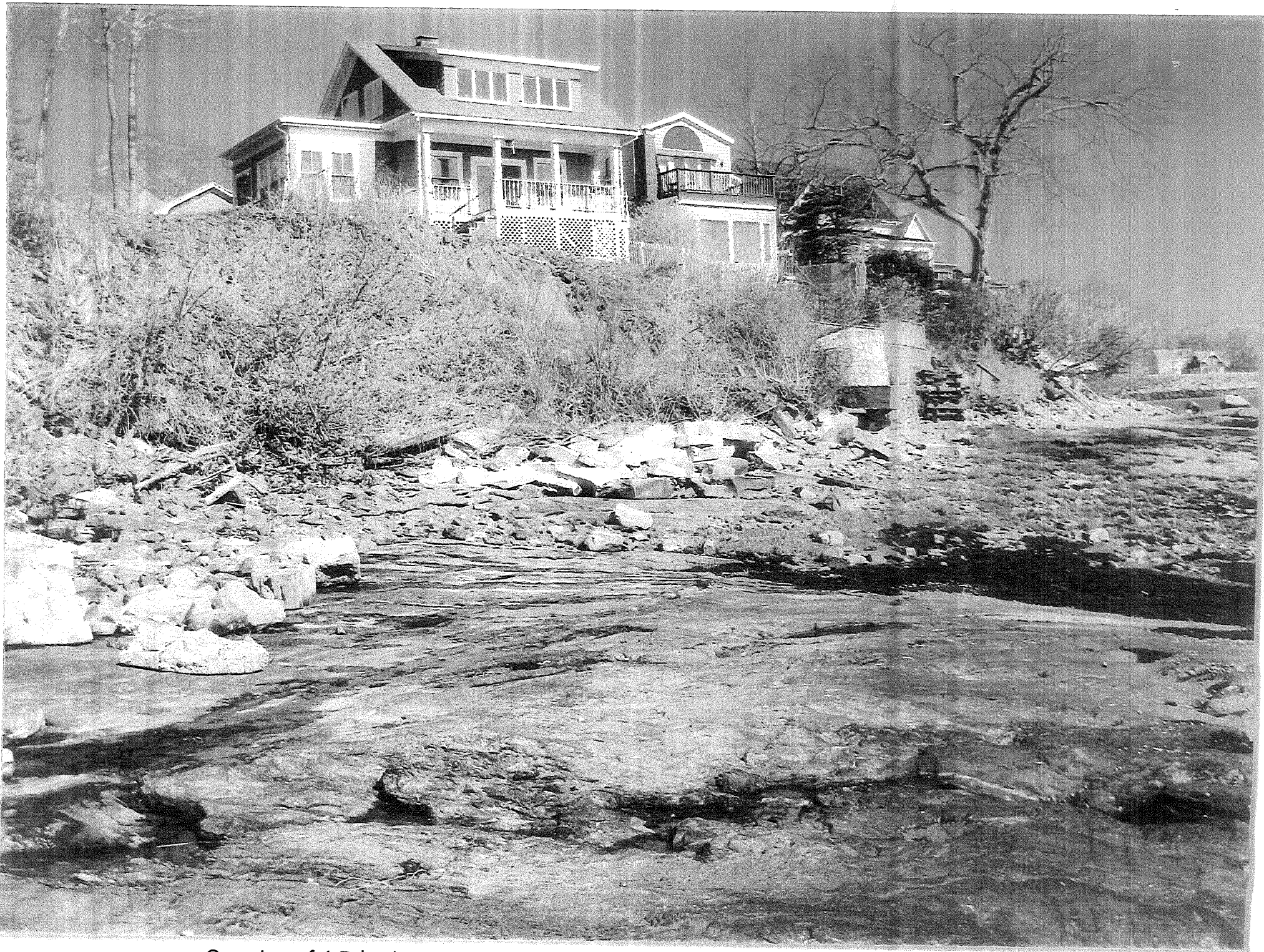
Figure 4. Sediments in midtidal zone. Clams abundant, mussels, marine worms, periwinkles and green crabs occasionally present. [7/27/2010, 8:57 a.m., low tide]



Existing condition along shorefront and abutting property...6 Island Street in Portland



Existing condition of failed concrete retaining wall and abutting property.



Overview of 6 Island Street, Portland property with failed retaining wall and eroded bank

6 Island St, Portland, ME 04103

Sullivan St

Water St

SITE

© 2010 Google

Image U.S. Geological Survey

© 2010 Europa Technologies

© 2009 Google

Date: Apr 21, 2006

43°40'58.60" N 70°15'04.96" W elev. 24 ft

Eye alt. 5 ft



STATE OF MAINE
Department of Environmental Protection

JOHN ELIAS BALDACCI
GOVERNOR

BETH A NAGUSKY
ACTING COMMISSIONER

November, 2010

Yale and Ann Arkel
116 Stanmore Place
Westfield, NJ 07090

RE: Natural Resources Protection Act Application, Portland,
#L-25060-4D-A-N/#L-25060-TW-B-N

Dear Mr. and Mrs. Arkel:

Please find enclosed a signed copy of your Department of Environmental Protection land use permit. You will note that the permit includes a description of your project, findings of fact that relate to the approval criteria the Department used in evaluating your project, and conditions that are based on those findings and the particulars of your project. Please take several moments to read your permit carefully, paying particular attention to the conditions of the approval. The Department reviews every application thoroughly and strives to formulate reasonable conditions of approval within the context of the Department's environmental laws. You will also find attached some materials that describe the Department's appeal procedures for your information.

If you have any questions about the permit or thoughts on how the Department processed this application please get in touch with me directly. I can be reached at (207) 822 -6322 or at lisa.vickers@maine.gov.

Yours sincerely,

A handwritten signature in cursive script that reads "Lisa Vickers".

Lisa Vickers, Project Manager
Division of Land Resource Regulation
Bureau of Land & Water Quality

pc: File

AUGUSTA
17 STATE HOUSE STATION
AUGUSTA, MAINE 04333-0017
(207) 287-7688 FAX: (207) 287-7826
RAY BLDG., HOSPITAL ST

BANGOR
106 HOGAN ROAD
BANGOR ME 04401
(207-941-4570 FAX 207-941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-0477 FAX: (207) 764-3143



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, ME 04333

DEPARTMENT ORDER

IN THE MATTER OF

YALE AND ANN ARKEL) NATURAL RESOURCES PROTECTION
Portland, Cumberland County) COASTAL WETLAND ALTERATION
SHORELINE STABILIZATION) TIDAL WATERFOWL HABITAT
L-25060-4D-A-N (approval)) WATER QUALITY CERTIFICATION
L-25060-TW-B-N (approval)) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S.A. Sections 480-A *et seq.* and Section 401 of the Federal Water Pollution Control Act, the Department of Environmental Protection has considered the application of YALE AND ANN ARKEL with the supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. PROJECT DESCRIPTION:

A. Summary: The applicants own an approximately 0.11-acre lot with approximately 45 linear feet of shoreline on Casco Bay. The shoreline has extensive erosion along its entire length and was previously stabilized with a concrete retaining wall at the toe of the slope that has since failed due to tidal action, ice, and upslope drainage patterns. In order to stabilize the shoreline, the applicants propose to remove the failed concrete wall and to stabilize the shoreline with rock riprap and vegetation that will measure approximately 45 feet long by approximately 24 feet high.

To install the riprap system, the applicants propose to place anchor stones at the toe of the slope. The toe stones will be in the 1,800-pound range and will be anchored into the ledge with rebar and grout. The slope will be graded to a 1.5:1 slope and filter fabric will be placed over the prepared surface. The initial layer of riprap stone that will be placed over the filter fabric will be on the order of approximately 50 pounds. The second and third layers of riprap will vary in size from 500 pounds to 1,800 pounds, with the average size stone being 1,000 pounds. The smaller riprap will be used to fill the voids between the larger riprap stones. The riprap system will be located approximately 1.3 feet below the highest annual tide line and will impact approximately 195 square feet of intertidal area; however, the applicants will remove the existing failed concrete seawall that is located in this area. In order to blend the riprap system into the natural landscape, the applicants will place native plantings that will include either Bayberry (*Myrica pennsylvanica*) or Creeping Juniper (*Juniperus horizontalis*) along the lower portion of the system and either Rugosa Rose (*Rosa rugosa*) or Beach Plum (*Prunus maritima*) along the top of the bank.

The project also includes the placement of access stairs within the riprap system that will be constructed with stone and will have a maximum width of four feet. The project can be seen on the plan sheet submitted with the application titled, "Yale & Ann Arkel," prepared by SJR

Engineering and dated, by revision, September 13, 2010. The project site is located on Island Road in the City of Portland.

B. Current Use of the Site: The site of the proposed project is located on 0.11 acres and is developed with a single-family residence and garage.

2. EXISTING SCENIC, AESTHETIC, RECREATIONAL OR NAVIGATIONAL USES:

In accordance with Chapter 315, Assessing and Mitigating Impacts to Scenic and Aesthetic Uses, the applicants submitted a copy of the Department's Visual Evaluation Field Survey Checklist as Appendix A to the application along with a description of the property and the proposed project. The applicants also submitted several photographs of the proposed project site. Department staff visited the project site on November 9, 2010.

The proposed project is located in Casco Bay, which is a scenic resource visited by the general public, in part, for the use, observation, enjoyment and appreciation of its natural and cultural visual qualities. The surrounding area is developed with residential structures. There is an existing shoreline stabilization system located along Route 1 and visible within the viewshed of the project site. There is an older retaining wall at the project site that has failed completely and the applicants propose to remove the remnants. In order to minimize scenic impacts, the applicants propose to install native plantings to include: Bayberry (*Myrica pennsylvanica*) or Creeping Juniper (*Juniperus horizontalis*) along the lower portion of the system and either Rugosa Rose (*Rosa rugosa*) or Beach Plum (*Prunus maritima*) along the top of the bank.

The proposed project was evaluated using the Department's Visual Impact Assessment Matrix and was found to have an acceptable potential visual impact rating. Based on the information submitted in the application, the visual impact rating, and the site visit, the Department determined that the location and scale of the proposed activity is compatible with the existing visual quality and landscape characteristics found within the viewshed of the scenic resource in the project area. The plantings must be monitored for one year for an 85% successful establishment. Plantings must be replaced or maintained as necessary to achieve 85% survivability after the first full growing season.

The Department of Marine Resources (DMR) did not identify any issues involving existing recreational and navigational uses.

The Department finds that the proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational or navigational uses of the protected natural resource provided the plantings are monitored, maintained and replaced as described above.

3. SOIL EROSION:

The riprap will be constructed from the upland and any areas of disturbance will be seeded and mulched.

The Department finds that the activity will not cause unreasonable erosion of soil or sediment nor unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.

4. HABITAT CONSIDERATIONS:

The site of the proposed project is a moderate energy shore. The upland of the proposed project is located on a 0.11-acre lot with a residential structure that is located near the top of the bank. The supratidal is a vegetated clay soil bank that is approximately 20 feet high and is eroding. There is an older two-foot high seawall that is failing and located at the toe of the slope. The upper intertidal is fringing marsh that contains *Spartina alterniflora*. The lower intertidal is boulder/cobble/mud with clams, marine worms, periwinkles, and green crabs. According to the Maine Geographic Information Systems (GIS) database, the project area below the highest annual tide line is located within Tidal Waterfowl and Wading Bird, a Significant Wildlife habitat as defined by Chapter 335 of the Natural Resources Protection Act.

The Department of Marine Resources (DMR) stated that the proposed project should not cause any significant adverse impact to riparian access. DMR further commented that consideration should be given to increasing the slope of the proposed project to move the toe of the slope away from the intertidal area. The applicants responded that the bank is already unstable and determined that the bank will be much more stable at the proposed 1.5 to 1 slope which is in accordance with the Department's Erosion and Sediment Control Best Management Practices manual (March 2003).

The Maine Department of Inland Fisheries and Wildlife (MDIFW) reviewed the proposed project and did not identify any concerns.

The Department finds that the activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine or marine fisheries or other aquatic life.

5. WATER QUALITY CONSIDERATIONS:

The Department does not anticipate that the proposed project will violate any state water quality law, including those governing the classification of the State's waters.

6. WETLANDS AND WATERBODIES PROTECTION RULES:

The applicants propose to directly alter 195 square feet of intertidal area of a coastal wetland as a result of the placement of the rock riprap below the highest annual tide.

The Department's Wetlands and Waterbodies Protection Rules, Chapter 310, require that the applicants meet the following standards:

A. Avoidance. No activity may be permitted if there is a practicable alternative to the project that would be less damaging to the environment. Each application for a Natural Resources Protection Act (NRPA) permit must provide an analysis of alternatives in order to demonstrate that a practicable alternative does not exist. The applicants submitted an alternatives analysis for the proposed project completed by Steve Roberge and dated August 20, 2010. The applicants considered alternatives to the proposed riprap system and determined that vegetation is not adequate to address the erosion issues on the property since the residential structure is located within 25 feet from the top of the bank. The applicants considered constructing the system with a

steeper slope to minimize impacts within the coastal wetland but determined the proposed 1.5:1 slope would provide greater stability of the slope.

B. Minimal Alteration. The amount of coastal wetland to be altered must be kept to the minimum amount necessary for meeting the overall purpose of the project. The project site previously contained a concrete retaining wall that has failed over time. The applicants elected to construct a riprap system with plantings interspersed throughout to minimize impacts to the coastal wetland.

C. Compensation. In accordance with Chapter 310 Section 5(C)(6)(b), compensation is not required to achieve the goal of no net loss of coastal wetland functions and values since the project will not result in over 500 square feet of fill in the resource, which is the threshold over which compensation is generally required. Further, the proposed project will not have an adverse impact on marine resources or wildlife habitat as determined by DMR and MDIFW. For these reasons, the Department determined that compensation is not required.

The Department finds that the applicants have avoided and minimized coastal wetland impacts to the greatest extent practicable, and that the proposed project represents the least environmentally damaging alternative that meets the overall purpose of the project.

7. OTHER CONSIDERATIONS:

The Department did not identify any other issues involving existing scenic, aesthetic, or navigational uses, soil erosion, habitat or fisheries, the natural transfer of soil, natural flow of water, water quality, or flooding.

BASED on the above findings of fact, and subject to the conditions listed below, the Department makes the following conclusions pursuant to 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act:

- A. The proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational, or navigational uses provided that plantings are monitored after one year for an 85% survival rate and all plantings are replaced or maintained as necessary to achieve 85% survivability.
- B. The proposed activity will not cause unreasonable erosion of soil or sediment.
- C. The proposed activity will not unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.
- D. The proposed activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine, or marine fisheries or other aquatic life.
- E. The proposed activity will not unreasonably interfere with the natural flow of any surface or subsurface waters.
- F. The proposed activity will not violate any state water quality law including those governing the classifications of the State's waters.

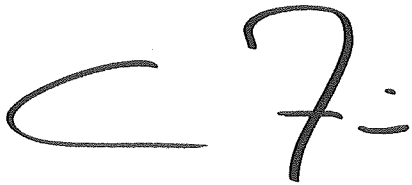
- G. The proposed activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties.
- H. The proposed activity is not on or adjacent to a sand dune.
- I. The proposed activity is not on an outstanding river segment as noted in Title 38 M.R.S.A. Section 480-P.

THEREFORE, the Department APPROVES the above noted application of YALE & ANN ARKEL to construct a rock riprap shoreline stabilization system as described above, SUBJECT TO THE ATTACHED CONDITIONS, and all applicable standards and regulations:

- 1. Standard Conditions of Approval, a copy attached.
- 2. The applicants shall take all necessary measures to ensure that their activities or those of their agents do not result in measurable erosion of soil on the site during the construction of the project covered by this approval.
- 3. Severability. The invalidity or unenforceability of any provision, or part thereof, of this License shall not affect the remainder of the provision or any other provisions. This License shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.
- 4. The applicants shall monitor the plantings after one year for an 85% survival rate and plantings shall be replaced or maintained as necessary to achieve 85% survivability after one full growing season.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

DEPARTMENT OF ENVIRONMENTAL PROTECTION



This permit has been digitally signed by Andrew C. Fisk on behalf of Acting Commissioner Beth Nagusky. It is digitally signed pursuant to authority under 10 M.R.S.A. § 9418. It has been filed with the Board of Environmental Protection as of the signature date 2010.11.19 12:57:20 -05'00'

PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

lv/l250604dan&l25060twbn/72443&72744



Natural Resource Protection Act (NRPA) Standard Conditions

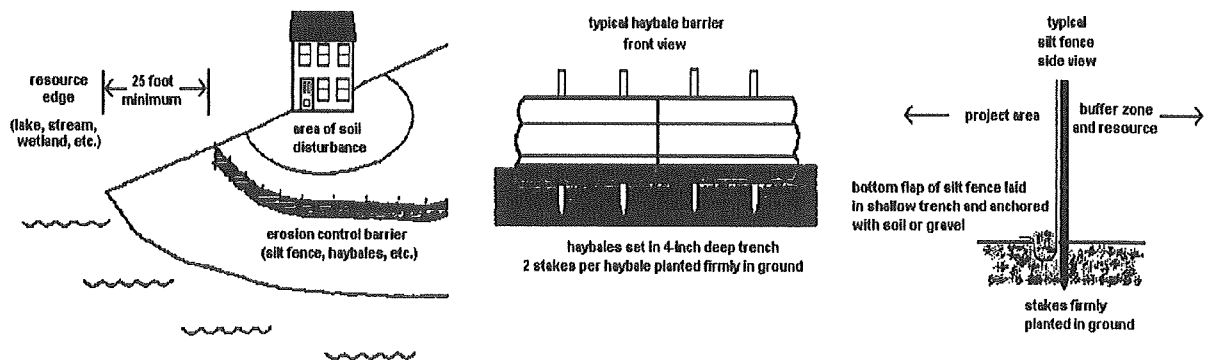
THE FOLLOWING STANDARD CONDITIONS SHALL APPLY TO ALL PERMITS GRANTED UNDER THE NATURAL RESOURCE PROTECTION ACT, TITLE 38, M.R.S.A. SECTION 480-A ET. SEQ. UNLESS OTHERWISE SPECIFICALLY STATED IN THE PERMIT.

- A. Approval of Variations From Plans. The granting of this permit is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from these plans, proposals, and supporting documents is subject to review and approval prior to implementation.
- B. Compliance With All Applicable Laws. The applicant shall secure and comply with all applicable federal, state, and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
- C. Erosion Control. The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site during the construction and operation of the project covered by this Approval.
- D. Compliance With Conditions. Should the project be found, at any time, not to be in compliance with any of the Conditions of this Approval, or should the applicant construct or operate this development in any way other the specified in the Application or Supporting Documents, as modified by the Conditions of this Approval, then the terms of this Approval shall be considered to have been violated.
- E. Initiation of Activity Within Two Years. If construction or operation of the activity is not begun within two years, this permit shall lapse and the applicant shall reapply to the Board for a new permit. The applicant may not begin construction or operation of the activity until a new permit is granted. Reapplications for permits shall state the reasons why the applicant will be able to begin the activity within two years form the granting of a new permit, if so granted. Reapplications for permits may include information submitted in the initial application by reference.
- F. Reexamination After Five Years. If the approved activity is not completed within five years from the date of the granting of a permit, the Board may reexamine its permit approval and impose additional terms or conditions to respond to significant changes in circumstances which may have occurred during the five-year period.
- G. No Construction Equipment Below High Water. No construction equipment used in the undertaking of an approved activity is allowed below the mean high water line unless otherwise specified by this permit.
- H. Permit Included In Contract Bids. A copy of this permit must be included in or attached to all contract bid specifications for the approved activity.
- I. Permit Shown To Contractor. Work done by a contractor pursuant to this permit shall not begin before the contractor has been shown by the applicant a copy of this permit.

DEPARTMENT OF ENVIRONMENTAL PROTECTION
Erosion Control for Homeowners

Before Construction

1. If you have hired a contractor, make sure you discuss your permit-by-rule with them. Talk about what measures they plan to take to control erosion. Everybody involved should understand what the resource is, and where it is located. Most people can identify the edge of a lake or river. However, the edges of wetlands are often not so obvious. Your contractor may be the person actually pushing dirt around, but you are both responsible for complying with the permit-by-rule.
2. Call around to find where erosion control materials are available. Chances are your contractor has these materials already on hand. You probably will need silt fence, hay bales, wooden stakes, grass seed (or conservation mix), and perhaps filter fabric. Places to check for these items include farm & feed supply stores, garden & lawn suppliers, and landscaping companies. It is not always easy to find hay or straw during late winter and early spring. It also may be more expensive during those times of year. Plan ahead -- buy a supply early and keep it under a tarp.
3. Before any soil is disturbed, make sure an erosion control barrier has been installed. The barrier can be either a silt fence, a row of staked hay bales, or both. Use the drawings below as a guide for correct installation and placement. The barrier should be placed as close as possible to the soil-disturbance activity.
4. If a contractor is installing the erosion control barrier, double check it as a precaution. Erosion control barriers should be installed "on the contour", meaning at the same level or elevation across the land slope, whenever possible. This keeps stormwater from flowing to the lowest point along the barrier where it can build up and overflow or destroy the barrier.



During Construction

1. Use lots of hay or straw mulch on disturbed soil. The idea behind mulch is to prevent rain from striking the soil directly. It is the force of raindrops hitting the bare ground that makes the soil begin to move downslope with the runoff water, and cause erosion. More than 90% of erosion is prevented by keeping the soil covered.
2. Inspect your erosion control barriers frequently. This is especially important after a rainfall. If there is muddy water leaving the project site, then your erosion controls are not working as intended. You or your contractor then need to figure out what can be done to prevent more soil from getting past the barrier.
3. Keep your erosion control barrier up and maintained until you get a good and healthy growth of grass and the area is permanently stabilized.



DEP INFORMATION SHEET

Appealing a Commissioner's Licensing Decision

Dated: May 2004

Contact: (207) 287-2811

SUMMARY

There are two methods available to an aggrieved person seeking to appeal a licensing decision made by the Department of Environmental Protection's (DEP) Commissioner: (1) in an administrative process before the Board of Environmental Protection (Board); or (2) in a judicial process before Maine's Superior Court. This INFORMATION SHEET, in conjunction with consulting statutory and regulatory provisions referred to herein, can help aggrieved persons with understanding their rights and obligations in filing an administrative or judicial appeal.

I. ADMINISTRATIVE APPEALS TO THE BOARD

LEGAL REFERENCES

DEP's General Laws, 38 M.R.S.A. § 341-D(4), and its Rules Concerning the Processing of Applications and Other Administrative Matters (Chapter 2), 06-096 CMR 2.24 (April 1, 2003).

HOW LONG YOU HAVE TO SUBMIT AN APPEAL TO THE BOARD

The Board must receive a written notice of appeal within 30 calendar days of the date on which the Commissioner's decision was filed with the Board. Appeals filed after 30 calendar days will be rejected.

HOW TO SUBMIT AN APPEAL TO THE BOARD

Signed original appeal documents must be sent to: Chair, Board of Environmental Protection, c/o Department of Environmental Protection, 17 State House Station, Augusta, ME 04333-0017; faxes are acceptable for purposes of meeting the deadline when followed by receipt of mailed original documents within five (5) working days. Receipt on a particular day must be by 5:00 PM at DEP's offices in Augusta; materials received after 5:00 PM are not considered received until the following day. The person appealing a licensing decision must also send the DEP's Commissioner and the applicant a copy of the documents. All the information listed in the next section must be submitted at the time the appeal is filed. Only the extraordinary circumstances described at the end of that section will justify evidence not in the DEP's record at the time of decision being added to the record for consideration by the Board as part of an appeal.

WHAT YOUR APPEAL PAPERWORK MUST CONTAIN

The materials constituting an appeal must contain the following information at the time submitted:

1. *Aggrieved Status.* Standing to maintain an appeal requires the appellant to show they are particularly injured by the Commissioner's decision.
2. *The findings, conclusions or conditions objected to or believed to be in error.* Specific references and facts regarding the appellant's issues with the decision must be provided in the notice of appeal.
3. *The basis of the objections or challenge.* If possible, specific regulations, statutes or other facts should be referenced. This may include citing omissions of relevant requirements, and errors believed to have been made in interpretations, conclusions, and relevant requirements.
4. *The remedy sought.* This can range from reversal of the Commissioner's decision on the license or permit to changes in specific permit conditions.

5. *All the matters to be contested.* The Board will limit its consideration to those arguments specifically raised in the written notice of appeal.

6. *Request for hearing.* The Board will hear presentations on appeals at its regularly scheduled meetings, unless a public hearing is requested and granted. A request for public hearing on an appeal must be filed as part of the notice of appeal.

7. *New or additional evidence to be offered.* The Board may allow new or additional evidence as part of an appeal only when the person seeking to add information to the record can show due diligence in bringing the evidence to the DEP's attention at the earliest possible time in the licensing process or show that the evidence itself is newly discovered and could not have been presented earlier in the process. Specific requirements for additional evidence are found in Chapter 2, Section 24(B)(5)

OTHER CONSIDERATIONS IN APPEALING A DECISION TO THE BOARD

1. *Be familiar with all relevant material in the DEP record.* A license file is public information made easily accessible by DEP. Upon request, the DEP will make the material available during normal working hours, provide space to review the file, and provide opportunity for photocopying materials. There is a charge for copies or copying services.

2. *Be familiar with the regulations and laws under which the application was processed, and the procedural rules governing your appeal.* DEP staff will provide this information on request and answer questions regarding applicable requirements.

3. *The filing of an appeal does not operate as a stay to any decision.* An applicant proceeding with a project pending the outcome of an appeal runs the risk of the decision being reversed or modified as a result of the appeal.

WHAT TO EXPECT ONCE YOU FILE A TIMELY APPEAL WITH THE BOARD

The Board will formally acknowledge initiation of the appeals procedure, including the name of the DEP project manager assigned to the specific appeal, within 15 days of receiving a timely filing. The notice of appeal, all materials accepted by the Board Chair as additional evidence, and any materials submitted in response to the appeal will be sent to Board members along with a briefing and recommendation from DEP staff. Parties filing appeals and interested persons are notified in advance of the final date set for Board consideration of an appeal or request for public hearing. With or without holding a public hearing, the Board may affirm, amend, or reverse a Commissioner decision. The Board will notify parties to an appeal and interested persons of its decision.

II APPEALS TO MAINE SUPERIOR COURT

Maine law allows aggrieved persons to appeal final Commissioner licensing decisions to Maine's Superior Court, see 38 M.R.S.A. § 346(1); 06-096 CMR 2.26; 5 M.R.S.A. § 11001; & MRCivP 80C. Parties to the licensing decision must file a petition for review within 30 days after receipt of notice of the Commissioner's written decision. A petition for review by any other person aggrieved must be filed within 40-days from the date the written decision is rendered. The laws cited in this paragraph and other legal procedures govern the contents and processing of a Superior Court appeal.

ADDITIONAL INFORMATION: If you have questions or need additional information on the appeal process, contact the DEP's Director of Procedures and Enforcement at (207) 287-2811.

Note: The DEP provides this INFORMATION SHEET for general guidance only; it is not intended for use as a legal reference. Maine law governs an appellant's rights.

Marge Schmuckal - 6 Island Street- ARkel Slope Stabilization

From: Jean Fraser
To: Schmuckal, Marge
Date: 11/23/2010 11:03 AM
Subject: 6 Island Street- ARkel Slope Stabilization
Attachments: Arkel Yale & Ann L25060AN&BN.pdf

Marge,

I am about to issue the approval letter for this project- its similar to the Millers except does not impact the ROW.

I attach the MDEP Permit.

All other reviewers (as relevant) have signed off on this.

I would feel more comfortable (in view of its location within Shoreland Zone) to have your signoff too.

Its HTE 10-79900034.

thanks
Jean

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 10-79900034 **Application Date:**
Project Name: EROSION CONTROL
Address: 6 Island Street **CBL:** 431 - B-001-001

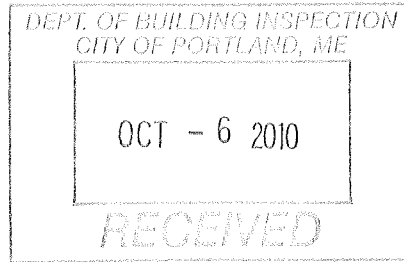
Project Description: Island Street - 6; Erosion Control; Carl Collenberg, Applicant.

Zoning: R3

Other Reviews Required:

Review Type: MINOR SITE PLAN

Applicant:
 Carl Collenberg
 75 Ledgewood Drive
 Falmouth Me 04105



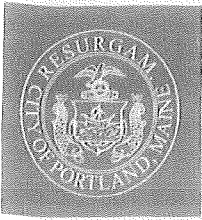
Applicant:
 Steve Roberge
 21 Mayflower Road
 Augusta Me 04330

Distribution List:

<input type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by:

Final Comments needed by:



PORTLAND MAINE

Strengthening a Remarkable City. Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

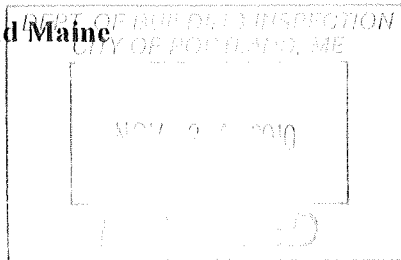
November 23, 2010

Planning Division
Alexander Jaegerman, Director

Carl Cullenberg
75 Ledgewood Drive
Falmouth ME 04105

Yale and Ann Arkel
116 Stanmore Place
Westfield, NJ 07090

Project Name: Slope Stabilization and Erosion Control
Project ID: 10-79900034
Project Address: 6 Island Street, Portland Maine
Planner: Jean Fraser
CBL: 431-B-001-001



Dear Applicants:

On November 23, 2010, the Portland Planning Authority approved a Level II site plan for slope stabilization and erosion control at 6 Island Street, Portland as submitted by the applicants and shown on the approved plan prepared by S.J.R Engineering and dated 09/13/10 (as Rev. 1).

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of the Site Plan Ordinance of Portland's Land Use Code.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division (Building Permit).
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.

4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Jean Fraser at 874 8728 or jf@portlandmaine.gov.

Sincerely,

Alexander Jaegerman

Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development	Bill Clark, Public Services
Alexander Jaegerman, Planning Division Director	David Margolis-Pineo, Deputy City Engineer
Barbara Barhydt, Development Review Services Manager	Greg Vining, Public Services
Jean Fraser, Planner	John Low, Public Services
Philip DiPierro, Development Review Coordinator	Jane Ward, Public Services
Marge Schmuckal, Zoning Administrator	Keith Gautreau, Fire
Tammy Munson, Inspections Division Director	Jeff Tarling, City Arborist
Gayle Guertin, Inspections Division	Tom Errico, TY Lin
Lannie Dobson, Inspections Division	Dan Goyette, Woodard & Curran
Michael Bobinsky, Public Services Director	Assessor's Office
Katherine Earley, Public Services	Approval Letter File

Hard Copy: Project File

Steve Roberge, 21 Mayflower Road, Augusta, ME 04330

0087035

BK15203PG278

WARRANTY DEED - SHORT FORM DEEDS ACT
33 M.R.S.A. Section 761 et seq.


KNOW ALL BY THESE PRESENTS, that WD Investments, Inc. by, William J. Dowd, duly authorized treasurer of WD Investments, Inc., a Corporation existing by law with a principal place of business in the County of Cumberland and State of Maine, for valuable consideration received, hereby grants to Anne Arkel and Yale S. Arkel of the County of Cumberland and State of Maine, as **JOINT TENANTS**, with **WARRANTY COVENANTS**, that certain lot or parcel of land, with any improvements thereon, located at 6 Island Street, Portland, in the County of Cumberland and State of Maine, as more fully described in Exhibit A attached hereto and fully incorporated herein by reference.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on behalf of WD Investments, Inc. in my capacity aforesaid on December , 1999.

MAINE REAL ESTATE TAX PAID



Witness




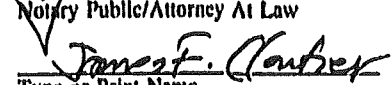
WD Investments, Inc.
By: William J. Dowd
Its: Treasurer

STATE OF MAINE
Cumberland, ss:

On December , 1999, personally appeared the above-named William J. Dowd and acknowledged the foregoing deed to be his/her free act and deed and his/her free act and deed in his/her said capacity, and the free act and deed of said corporation.

Before me,



Notary Public/Attorney At Law


Type or Print Name

EXHIBIT A

A certain lot or parcel of land situated in Portland, County of Cumberland and State of Maine, together with the buildings thereon, being Lot No. 145 as delineated on a Plan of Marine Terrace, so-called, recorded in Registry of Deeds for said County in Plan Book 10, Page 103, which said lot is bounded and described as follows, viz:

Commencing on the Southeasterly side of Island Street as shown on said Plan at the most Northerly corner of Lot No. 144 on said Plan, which corner is distant one hundred thirty-five (135) feet Northeastwardly from the Northeasterly side of Upland Avenue, as delineated on said Plan; thence running Northeastwardly by said Island Street, forty-five (45) feet to the most Westerly corner of Lot No. 146 on said Plan, and from these two points extending Southeastwardly at right angles with said Island Street, holding the same width a distance of one hundred twenty-five (125) feet, more or less, on the Southeasterly side line, and a distance of ninety-eight (98) feet, more or less, on the Northeasterly side line to the rear line of said Lot No. 145 as delineated on said Plan.

Also conveying a sea wall easement as set forth in Easement Deed from Mildred B. Convey to Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 202, subject to terms and conditions of maintenance and repair set forth therein.

Subject to a sea wall easement conveyed to Mildred B. Convey by deed from Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 198.

Meaning and intending to convey the same premises conveyed by Euoleen J. Dentamaro, duly appointed and acting personal representative of the estate of Maurine C. Williamson to WD Investments, Inc. by deed dated August 27, 1999 and recorded in said Registry of Deeds in Book 15022, Page 328.

RECEIVED
RECORDED REGISTRY OF DEEDS

1999 DEC -2 PM 2: 28

CUMBERLAND COUNTY

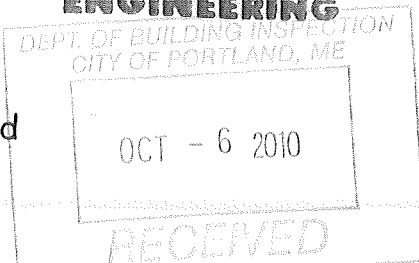
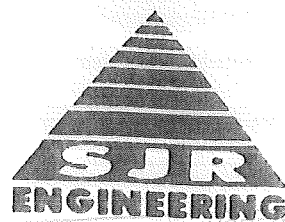
John B. Quinn

SJR ENGINEERING INC.

21 Mayflower Road, Augusta, Maine 04330 Tel/Fax: 207-622-1676 Email: steve@sjreng.com

September 22, 2010

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101



Re: "Arkel Slope Stabilization" project in Portland

Dear Barbara,

SJR Engineering Inc has been retained by the Arkels to evaluate and design a stabilization plan for a failed slope along the Owners property shorefront. We have been to the site, analyzed the situation, and have designed a plan of action for the subject property. I have attached 7 copies of the requested City of Portland application materials and other information pertaining to "Arkel Slope Stabilization" for a Level II site plan review and approval consideration.

The Arkel property is located at 6 Island Street in Portland. The property size is 5,133 sf and has a residence and garage on the site. It lies within the R3 Zone as depicted on City of Portland Zoning maps. There are no easements attached with the property other than the right to maintain an existing retaining wall shared with the abutting property (see attached description deed). The parcel has roughly 45' of shore frontage along the Atlantic Ocean (tidal). The shorefront has previously been improved with a concrete retaining wall that has failed over time due to tidal action, ice, and upslope drainage patterns. This proposal is to remove the failed concrete wall and reinstall a new riprap banking along the 1.5 to 1 steep bank slope. The eroding/failed slope areas are to be reconstructed by installing a filter fabric liner with riprap placed on top of the liner.

The Owner of the property has taken great pains to keep existing vegetation along the shoreline to minimize potential erosion and to provide buffering along the slope. At this point, however, the shore has eroded to within 25' of the house. This erosion along the bank is made worse as the roof water from the house is collected into a guttering system and discharged by pipe at the bank slope. The discharged water causes erosion and resulting slump of the steep bank. We propose to repair this problematic area by installing a riprap/fabric ditch within the slope as shown on the plan. Without additional shorefront banking protection (riprap), it is likely that the banking will be in further danger of slumping due to the surf and tidal action during significant storm events, placing the house at risk.

We have analyzed the situation at the Arkel parcel with regards to other alternatives to minimize the erosion and bank slumping. The existing vegetation is not adequate to provide protection from the constant tidal activity during storm events, upslope runoff water, and winter ice movement causing existing riprap material to move and causing other areas to erode. It is our belief that the riprap armoring is the most cost effective long term solution to repairing the eroded slope. This is an existing condition that needs to be repaired in place in order to prevent additional erosion and potential damage to the existing residence on the shorefront.

Photos: We have attached color photographs of several views of the failed bank and retaining wall that show the area to be altered as well as existing condition along the inter-tidal area that is to be disturbed.

Site plans: We have attached the site plan of the proposed areas to repair the bank erosion. The topographic and property survey plan was prepared by Cullenberg Land Surveying in May of 2010. We have attached a copy of an older Google Maps aerial taken in 2006 to help identify the surrounding properties and land uses. The properties on either side of the failed bank have retaining walls located on the base of the slope. Our proposal is to reconstruct the slope by using riprap materials on a filter fabric. A riprap lined drainage ditch from the outfall of the roof drain to the toe of slope will be utilized to channel runoff from the top of the banking. We have incorporated landscaping pockets within the riprap slope to soften the appearance from an aesthetics viewpoint.

Financial capacity: The Contractor has estimated the project will cost approximately \$50,000. The Owners will finance this project from their personal savings.

Technical capacity: SJR Engineering has been involved with numerous bank stabilization projects throughout the company history. Steve Roberge, the lead designer, is a professional engineer with 30 years of construction and design experience. The proposed Contractor (Scott Dugas Construction of Yarmouth) for the project has extensive experience with construction of riprap slopes and stabilization projects such as these.

Construction plan: The proposed riprap slope stabilization project is to be constructed this Fall. The Contractor intends to bring approximately 100 cubic yards of riprap to the site by truck and stockpile that rock near the existing driveway top of bank. The Contractor will prepare the slope by removing loose material and grubbing (exported from site, responsibility of Contractor) and re-compacting the existing ground. A filter fabric will be laid on the newly graded surface. Smaller vehicles will bring the riprap down the bank to be placed on the fabric. The riprap is to be angular to help key it into each adjoining piece of riprap. The riprap will consist of various sizes to fill in voids

and chink pieces of riprap into specific positions on the slope. The riprap will be uniform in color blending into adjoining properties as reasonably as can be expected. As the riprap project works itself up the bank, a riprap drainage ditch will be constructed that will direct stormwater flows from the house and yard areas down the bank to minimize the potential of additional erosion on the slope.

The Contractor intends on utilizing a tracked backhoe and hand labor to install the riprap within the shoreline and drainage ditch/landscaping features along the bank. No work is to be performed in the water. Approximately 195 sf of area will be disturbed in the inter-tidal area as defined by the 2010 highest annual tide, elevation 6.3. A failed concrete retaining wall in this location is to be removed in order to install proper base rock at the beginning of the slope. The project will take approximately a month to complete. Any disturbed areas within the vegetative area will be graded out and seeded/mulched to prevent erosion from occurring.

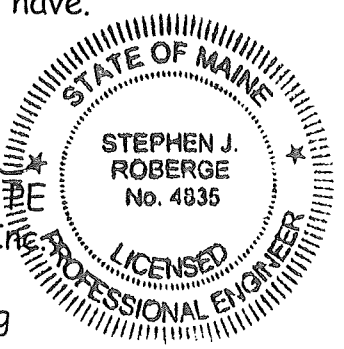
Erosion control plan: The Contractor intends to install fabric and riprap material on a regraded existing soil face. No excavation is required other than to remove any existing sedimentation from already eroding soils and regrading the banking to a uniform slope. No erosion control is necessary other than seeding/mulching any disturbed surfaces during the construction process.

Waiver request: Since the project is a repair and stabilization to a failed bank, many of the items on the submission requirements do not apply in our opinion. We have indicated "NA" with a short explanation in the application checklist where we believe the information does not apply to this project (or remains the same condition as existing).

Other approvals: We have submitted an NRPA application to the DEP with a copy submitted to the City of Portland (also MHPC and Army Corps of Engineers). The application has been accepted for processing and is being reviewed at this time. Abutters have also been notified of the proposed project during that application process.

Please call if you need any other information. We look forward to any questions you may have.

Sincerely yours,
Stephen Roberge
Stephen Roberge, PE
SJR Engineering Inc.



Cc: Carl Cullenberg



Development Review Application

PORTLAND, MAINE

Department of Planning and Urban Development,
Planning Division and Planning Board

PROJECT NAME: BANK EROSION CONTROL / RETAINMENT

PROPOSED DEVELOPMENT ADDRESS:
6 ISLAND ST., PORTLAND

PROJECT DESCRIPTION:
REMOVE THE FAILED CONCRETE WALL AND REGRADE SLOPE WITH
FILTER FABRIC / RIPRAP COVER TO STABILIZE BANK

CHART/BLOCK/LOT: 431/B-1 PRELIMINARY PLAN _____
FINAL PLAN X

CONTACT INFORMATION:

APPLICANT
Name: CARL COLLEBERG
Address: 75 LEDGEWOOD DRIVE
FALMOUTH, ME 04105
Zip Code: 04105
Work #: _____
Cell #: 207-650-8744
Fax #: 207-878-0510
Home: _____
E-mail: COLLEBERG@MSN.COM

PROPERTY OWNER
Name: YALE & ANN ARTEL
Address: 116 STANMORE PLACE
WESTFIELD, N.J. 07090
Zip Code: 07090
Work #: _____
Cell #: 201-452-9309
Fax #: _____
Home: 908-233-5878
E-mail: YAST@AOL.COM

BILLING ADDRESS
Name: _____
Address: SAME AS PROPERTY OWNER

Zip: _____
Work #: _____
Cell #: _____
Fax #: _____
Home: _____
E-mail: _____

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVE

Name: STEVE ROBERGE

Address: 21 MAYFLOWER ROAD

AUGUSTA, ME 04330

Zip Code: 04330

Work #: 207-622-1676

Cell #: 207-242-6248

Fax #: 207-622-1676

Home: _____

E-mail: Steve@sjreng.com

ARCHITECT

Name: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

SURVEYOR

Name: KEVIN CULLENBERG

Address: 892 OLD DANVILLE RD

AUBURN, ME 04210

Zip Code: 04210

Work #: 207-777-1150

Cell #: 207-653-8474

Fax #: 207-782-7274

Home: _____

E-mail: cls@mega-link.net

ENGINEER

Name: SAME AS AGENT

Address: SJR ENGINEERING INC

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

CONSULTANT

Name: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

ATTORNEY

Name: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 5133 sq. ft.
 Proposed Total Disturbed Area of the Site 1575 sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area sq. ft.
 Existing Total Impervious Area 1514 sq. ft.
 Proposed Total Impervious Area 1514 sq. ft.
 Proposed Impervious Net Change 0 sq. ft.

BUILDING AREA

Existing Building Footprint 1446 sq. ft.
 Proposed Building Footprint sq. ft.
 Proposed Building Footprint Net change 0 sq. ft.
 Existing Total Building Floor Area NA sq. ft.
 Proposed Total Building Floor Area NA sq. ft.
 Proposed Building Floor Area Net Change 0 sq. ft.
 New Building NO (yes or no)

ZONING

Existing R3
 Proposed, if applicable NA

LAND USE

Existing RESIDENTIAL
 Proposed SAME

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units NA
 Proposed Number of Residential Units to be Demolished NA
 Existing Number of Residential Units NA
 Proposed Number of Residential Units NA
 Subdivision, Proposed Number of Lots NA

PARKING SPACES

Existing Number of Parking Spaces 2
 Proposed Number of Parking Spaces 0
 Number of Handicapped Parking Spaces 0
 Proposed Total Parking Spaces NA

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces NA
 Proposed Number of Bicycle Parking Spaces NA
 Total Bicycle Parking Spaces NA

ESTIMATED COST OF PROJECT

\$ 50,000

Please answer the following with a Yes/No response on all that apply to the proposed development

Institutional	<u>NO</u>	Design Review	<u>YES</u>
Parking Lot	<u>NO</u>	Flood Plain Review	<u>NO</u>
Manufacturing	<u>NO</u>	Historic Preservation	<u>NO</u>
Office	<u>NO</u>	Housing Replacement	<u>NO</u>
Residential	<u>NO</u>	14-403 Street Review	<u>NO</u>
Retail/Business	<u>NO</u>	Shoreland	<u>YES</u>
Warehouse	<u>NO</u>	Site Location	<u>NO</u>
Single Family Dwelling	<u>YES</u>	Stormwater Quality	<u>NO</u>
2 Family Dwelling	<u>NO</u>	Traffic Movement	<u>NO</u>
Multi-Family Dwelling	<u>NO</u>	Zoning Variance	<u>NO</u> (or date)
B-3 Ped Activity Review	<u>NO</u>	Historic Dist./Landmark	<u>NO</u>
Change of Use	<u>NO</u>	Off Site Parking	<u>NO</u>

APPLICATION FEES:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Level II Development</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250)</p> <p><input type="checkbox"/> Planning Board Review (\$500)</p> <p>Subdivision</p> <p><input type="checkbox"/> Subdivision (\$500) + amount of lots _____ (\$25/lot)</p> <p>\$ _____ + (applicable + Major site plan fee)</p>
<p>Level III Development</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000)</p> <p><input type="checkbox"/> Parking lots over 100 spaces (\$1,000)</p> <p><input type="checkbox"/> After-the-fact Review (\$1,000 plus applicable application fee)</p>	<p>Other Reviews</p> <p><input type="checkbox"/> Site Location of Development (\$3,000) (except for residential projects which shall be \$200 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000)</p> <p><input type="checkbox"/> Stormwater Quality (\$250)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot)</p> <p><input type="checkbox"/> Other _____</p>

LEVEL II AND LEVEL III REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:

- ✓1. Seven (7) full size site plans that must be folded.
- ✓2. Seven (7) copies of all written materials as follows, unless otherwise noted:
 - ✓a. Application form that is completed and signed.
 - ✓b. Cover letter stating the nature of the project.
 - ✓c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
- ✓5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- ✓6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- ✓7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- ✓8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 7) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Site Plan review only. A Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant:</p> <p><i>Carl Callenberg</i></p>	<p>Date:</p> <p><i>9-23-2010</i></p>
--	--------------------------------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

City of Portland Planning Division
 389 Congress Street
 Portland, Maine 04101
 (207) 874-8719
 www.portlandmaine.gov

Office Hours:
 Unless noted, office hours are
 Monday thru Friday
 8:00 am – 4:30 pm

General Submittal Requirements – Level II and Level III Site Plan

Preliminary Plan Phase (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Evidence of right, title and interest.
<input checked="" type="checkbox"/> PENDING	<input type="checkbox"/>	7	Copies of required State and/or Federal permits. NRPA SUBMITTED
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written assessment of zoning. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written description of existing and proposed easements or other burdens. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written requests for waivers from individual site plan and/or technical standards, where applicable. (THIS CHECKLIST)
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of significant natural features located on the site. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of project's consistency with related city master plans. NO CHANGES

Final Plan Phase (including items listed above if no preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within 1/4 mile of an intersection identified in a previous traffic study as a failing intersection). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Stormwater management plan. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste. GRABBING CONTRACTOR RESPONSIBILITY
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards. STANDARD RUPAP SLOPE STABILIZATION

NA

1	Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.
---	--

Site Plans and Boundary Survey Requirements – Level II and Level III Site Plan

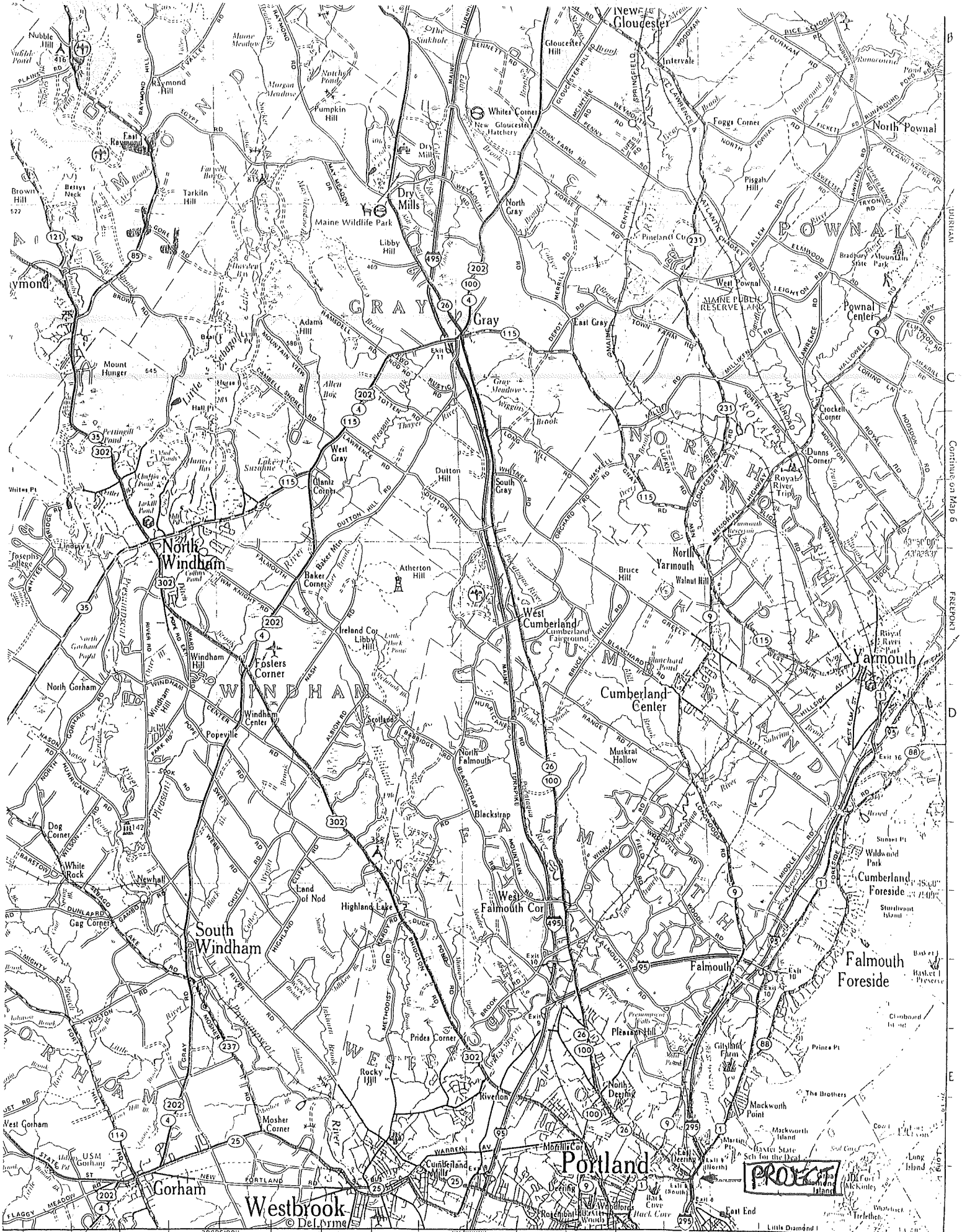
Preliminary Plan Phase (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	7	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	7	Preliminary Site Plan Including the following: <i>(*information provided may be preliminary in nature during the preliminary plan phase):</i>
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties..
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed easements or public or private rights of way.

Final Plan Phase

<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Final Site Plan Including the following
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.

<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed loading and servicing areas, including applicable turning templates for delivery vehicles. DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed snow storage areas or snow removal plan. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed trash and recycling facilities. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/> NA	<input type="checkbox"/>	Existing and proposed utilities. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application) DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed finish floor elevation (FFE). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Exterior building elevation(s) (showing all 4 sides). DOES NOT APPLY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed stormwater management and erosion controls.
<input type="checkbox"/> NA	<input type="checkbox"/>	Exterior lighting plan, including street lighting improvements.. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed signage. DOES NOT APPLY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Total area and limits of proposed land disturbance.
<input type="checkbox"/> NA	<input type="checkbox"/>	Soil type and location of test pits and borings. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Details of proposed pier rehabilitation (Shoreland areas only). DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed snow storage areas or method of snow removal. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Existing and proposed easements or public or private rights of way. NO CHANGES

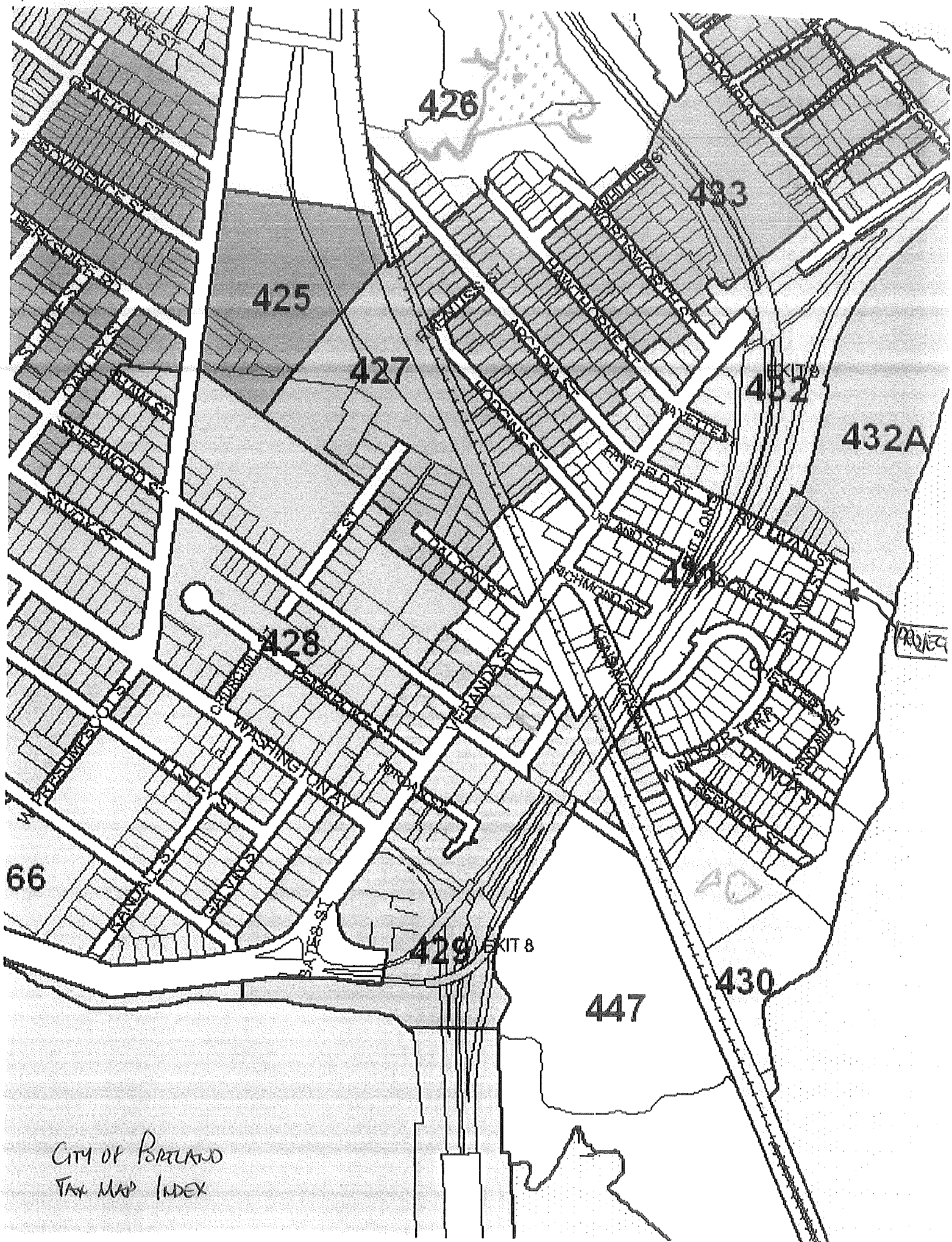


Continued on Map 5

FREERPORT

D

E



CITY OF PORTLAND
TAX MAP INDEX



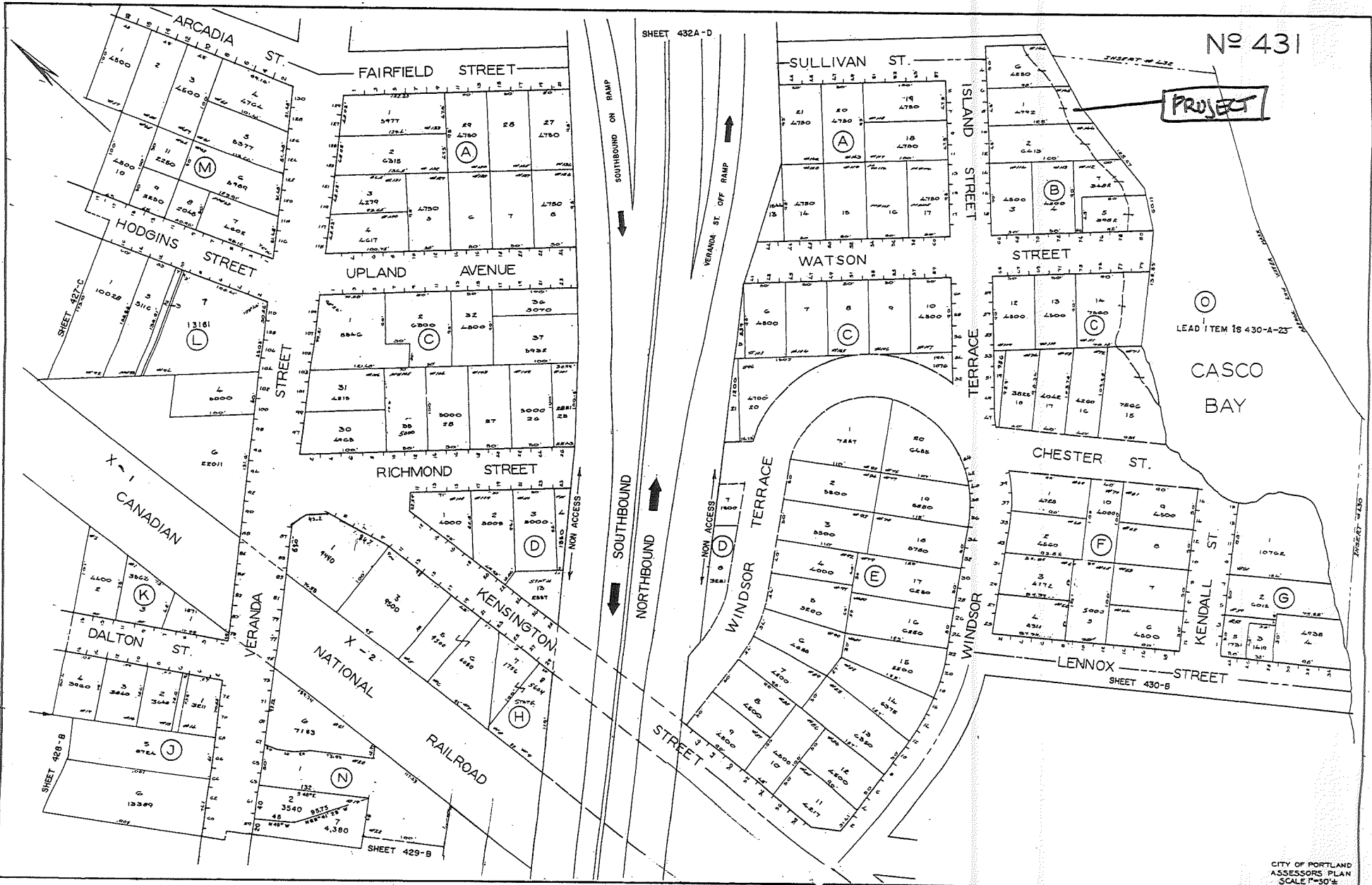
BACK

CITY OF PORTLAND
ZONING MAP

PROJECT

LEAD ITEM IS 430-A-23

CASCO BAY



N.T.S.

PARCEL INFO

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

<p>Services</p> <p>Applications</p> <p>Doing Business</p> <p>Maps</p> <p>Tax Relief</p> <p>Tax Roll</p> <p>Q & A</p> <p>browse city services a-z</p> <p>browse facts and links a-z</p>	<p>CBL 431 B001001</p> <p>Land Use Type SINGLE FAMILY</p> <p>Property Location 6 ISLAND ST</p> <p>Owner Information ARKEL ANNE & YALE S JTS 116 STANMORE PL WESTFIELD NJ 07090</p> <p>Book and Page 15203/278</p> <p>Legal Description 431-B-1 ISLAND ST 6-8</p> <p>Acres 0.11</p>
---	---

Current Assessed Valuation:

TAX ACCT NO.	43826	OWNER OF RECORD AS OF APRIL 2009	ARKEL ANNE & YALE S JTS
LAND VALUE	\$257,100.00		
BUILDING VALUE	\$107,600.00		116 STANMORE PL WESTFIELD NJ 07090
HOMESTEAD EXEMPTION	(\$12,350.00)		
NET TAXABLE - REAL ESTATE	\$352,350.00		
TAX AMOUNT	\$6,250.70		

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer

Building Information:

Card 1 of 1

Year Built	1913
Style/Structure Type	OLD STYLE
# Stories	1.5
Bedrooms	3
Full Baths	1
Total Rooms	6
Attic	NONE
Basement	FULL
Square Feet	1206

[View Sketch](#) [View Map](#) [View Picture](#)

Outbuildings/Yard Improvements:

Card 1

Year Built	1980
Structure	GARAGE-WD/CB
Size	12X20
Units	1
Grade	C
Condition	A

Sales Information:

Sale Date	Type	Price	Book/Page
12/2/1999	LAND + BUILDING	\$230,000.00	15203/278
9/2/1999	LAND + BUILDING	\$175,000.00	15022/328

New Search!

ABUTTORS

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600, with Internet Explorer

Parcel ID	Name and Mailing Address	Property Location	Land Use
087 J012001	MITCHELL CYNDE PUTNEY TRUSTEE 325 ISLAND AVE PEAKS ISLAND ME 04108	0 ISLAND AVE	VACANT LAND
084 R030001	PARKER CAROLYN T 2 ISLAND AVE PEAKS ISLAND ME 04108	2 ISLAND AVE	RETAIL & PERSONAL SERVICE
431 B006001	WOLF ALAN E & GERALDINE G WOLF TRUSTEES 4 ISLAND ST PORTLAND ME 04103	4 ISLAND ST	SINGLE FAMILY
431 B001001	ARKEL ANNE & YALE S JTS 116 STANMORE PL WESTFIELD NJ 07090	6 ISLAND ST	SINGLE FAMILY
431 A019001	MOULTON RICHARD C & SHERI A JTS 7 ISLAND ST PORTLAND ME 04103	7 ISLAND ST	SINGLE FAMILY
084 R008001	DAVIS ANDREA 10 ISLAND AVE PEAKS ISLAND ME 04108	10 ISLAND AVE	SINGLE FAMILY
431 B002001	CORLISS PATRICK K JR 171 WESTVIEW DR SANFORD ME 04073	10 ISLAND ST	SINGLE FAMILY
431 A018001	FERRANTE MICHAEL A 18 SUMMER ST # 1 ANDOVER MA 01810	11 ISLAND ST	SINGLE FAMILY
084 R032001	W & W INC 498 ISLAND AVE PEAKS ISLAND ME 04108	20 ISLAND AVE	HOTEL & MOTEL
084 M010001	NORTON DAVID S & KIM E NORTON JTS 21 ISLAND AVE PEAKS ISLAND ME 04108	21 ISLAND AVE	SINGLE FAMILY
084 L007001	ISLAND ACQUISITION LLC 8 WESTERN AVE KENNEBUNK ME 04043	33 ISLAND AVE	RETAIL & PERSONAL SERVICE
084 K008001	BONN MARION H 612 SEVILLA AVE MIAMI FL 33134	45 ISLAND AVE	TWO FAMILY
084 K009001	BONN WILLIAM A 501 ALHAMBRA CIR CORAL GABLES FL 33134	53 ISLAND AVE	SINGLE FAMILY
084 Q004001	PORT ISLAND REALTY INC PO BOX 7341 PORTLAND ME 04112	56 ISLAND AVE	MULTI-USE COMMERCIAL
084 J004001	HOCHMAN BRUCE B & LORI M HOCHMAN JTS 61 ISLAND AVE PEAKS ISLAND ME 04108	61 ISLAND AVE	SINGLE FAMILY
084 Q002001	CHALMERS KRISTEN M 62 ISLAND AVE PEAKS ISLAND ME 04108	62 ISLAND AVE	SINGLE FAMILY
084 Q001001	THE FEENEY FAMILY R/E LLC 216 CENTER RD GRAY ME 04039	70 ISLAND AVE	RETAIL & PERSONAL SERVICE

ABUTOR

← PROJECT

ABUTOR

ABUTOR

0087035


BK15203PG278

WARRANTY DEED - SHORT FORM DEEDS ACT
33 M.R.S.A. Section 761 et seq.

KNOW ALL BY THESE PRESENTS, that WD Investments, Inc. by, William J. Dowd, duly authorized treasurer of WD Investments, Inc., a Corporation existing by law with a principal place of business in the County of Cumberland and State of Maine, for valuable consideration received, hereby grants to Anne Arkel and Yale S. Arkel of the County of Cumberland and State of Maine, as **JOINT TENANTS**, with **WARRANTY COVENANTS**, that certain lot or parcel of land, with any improvements thereon, located at 6 Island Street, Portland, in the County of Cumberland and State of Maine, as more fully described in Exhibit A attached hereto and fully incorporated herein by reference.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on behalf of WD Investments, Inc. in my capacity aforesaid on December , 1999.

MAINE REAL ESTATE TAX PAID



Witness





WD Investments, Inc.
By: William J. Dowd
Its: Treasurer

STATE OF MAINE
Cumberland, ss:

On December , 1999, personally appeared the above-named William J. Dowd and acknowledged the foregoing deed to be his/her free act and deed and his/her free act and deed in his/her said capacity, and the free act and deed of said corporation.

Before me,



Notary Public/Attorney At Law

Type or Print Name

BK 115203 PG 279

EXHIBIT A

A certain lot or parcel of land situated in Portland, County of Cumberland and State of Maine, together with the buildings thereon, being Lot No. 145 as delineated on a Plan of Marine Terrace, so-called, recorded in Registry of Deeds for said County in Plan Book 10, Page 103, which said lot is bounded and described as follows, viz:

Commencing on the Southeasterly side of Island Street as shown on said Plan at the most Northerly corner of Lot No. 144 on said Plan, which corner is distant one hundred thirty-five (135) feet Northeastwardly from the Northeasterly side of Upland Avenue, as delineated on said Plan; thence running Northeastwardly by said Island Street, forty-five (45) feet to the most Westerly corner of Lot No. 146 on said Plan, and from these two points extending Southeastwardly at right angles with said Island Street, holding the same width a distance of one hundred twenty-five (125) feet, more or less, on the Southeasterly side line, and a distance of ninety-eight (98) feet, more or less, on the Northeasterly side line to the rear line of said Lot No. 145 as delineated on said Plan.

Also conveying a sea wall easement as set forth in Easement Deed from Mildred B. Convey to Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 202, subject to terms and conditions of maintenance and repair set forth therein.

Subject to a sea wall easement conveyed to Mildred B. Convey by deed from Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 198.

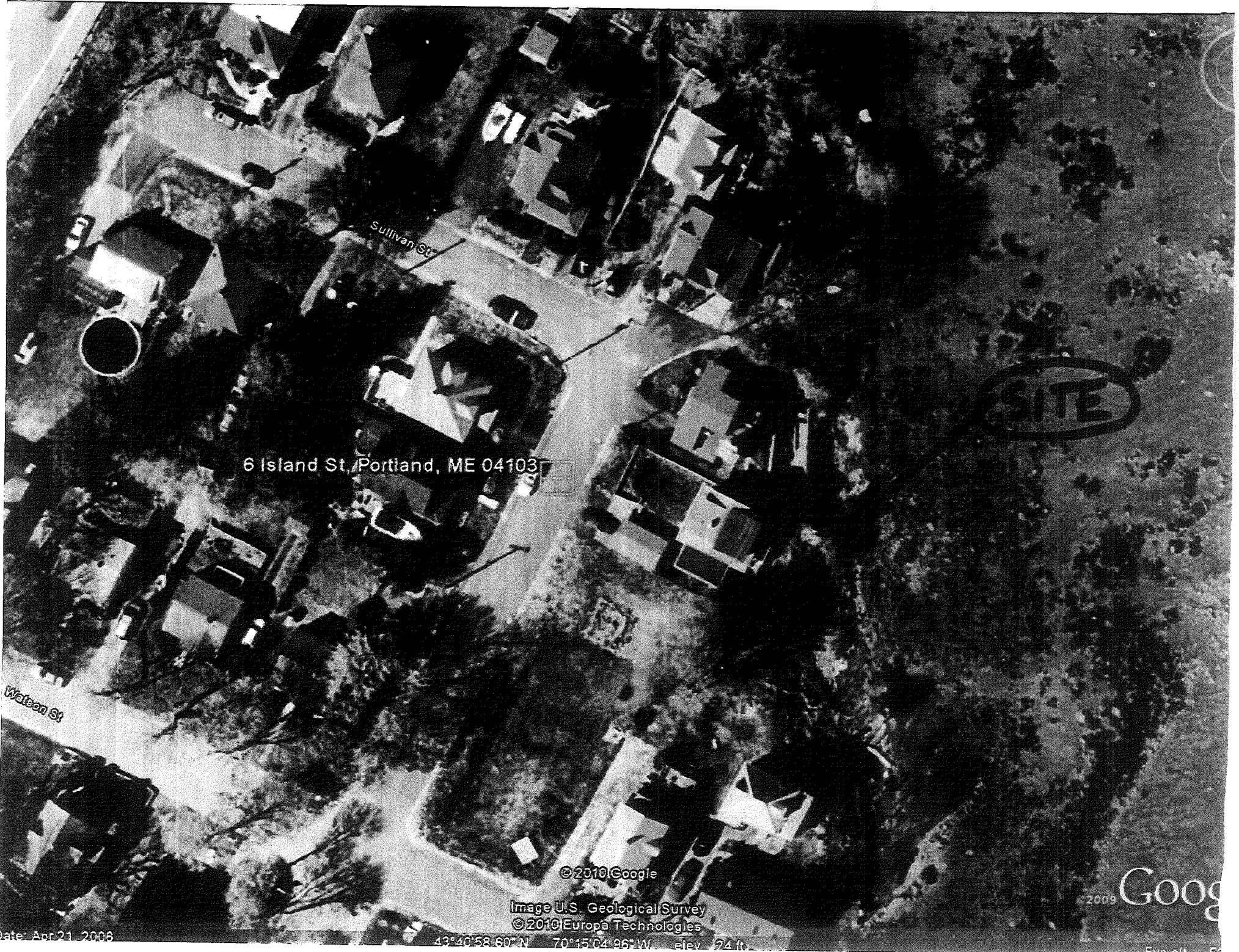
Meaning and intending to convey the same premises conveyed by Euoleen J. Dentamaro, duly appointed and acting personal representative of the estate of Maurine C. Williamson to WD Investments, Inc. by deed dated August 27, 1999 and recorded in said Registry of Deeds in Book 15022, Page 328.

RECEIVED
RECORDED REGISTRY OF DEEDS

1999 DEC -2 PM 2: 28

CUMBERLAND COUNTY

John B. C. Brien



6 Island St, Portland, ME 04103

Sullivan St

Water St

SITE

© 2010 Google

Image U.S. Geological Survey

© 2010 Europa Technologies

© 2009 Google

Date: Apr 21, 2006

43°40'58.60" N 70°15'04.96" W elev 24 ft

Eye alt 50



Overview of 6 Island Street, Portland property with failed retaining wall and eroded bank



View from shorefront showing failed retaining wall and eroded /slumped bank.



Existing condition of failed concrete retaining wall and abutting property.



Existing condition along shoreline and abutting property...6 Island Street in Portland

View from shorefront showing eroded banking and failed lower retaining wall



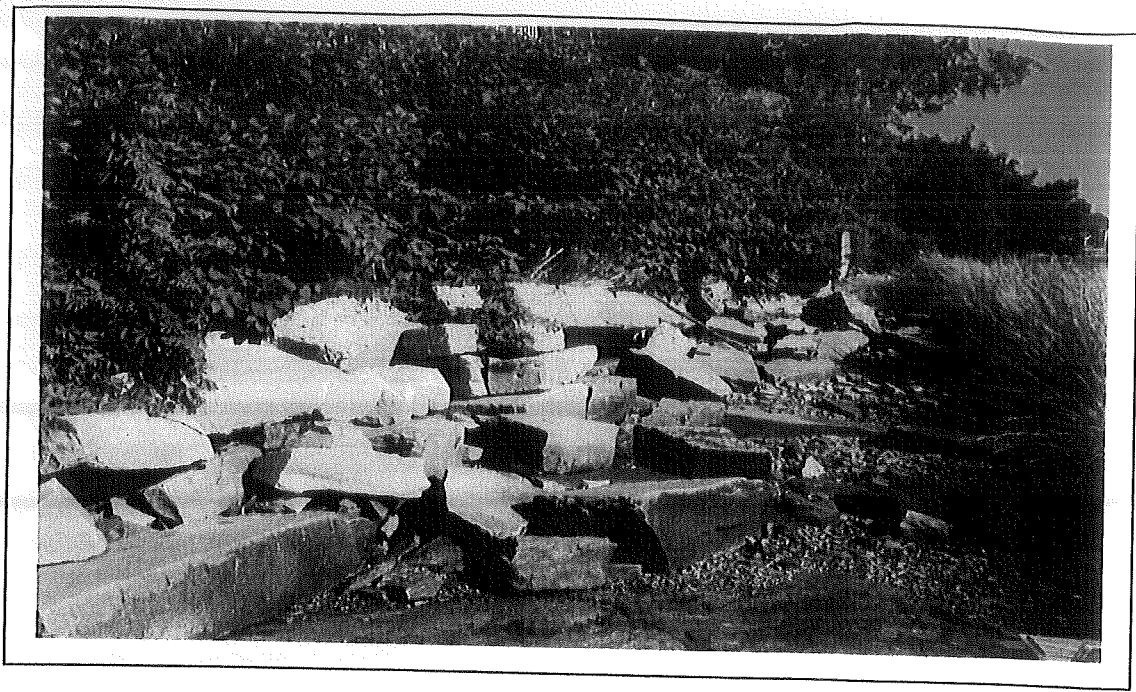


Figure 1. Looking NORTH along the toe of the bank. Note remains of old seawall and fill material. Bank is vegetated primarily with Japanese Knotweed (*Polygonum cuspidatum*). [7/27/2010, 8:50 a.m., low tide]

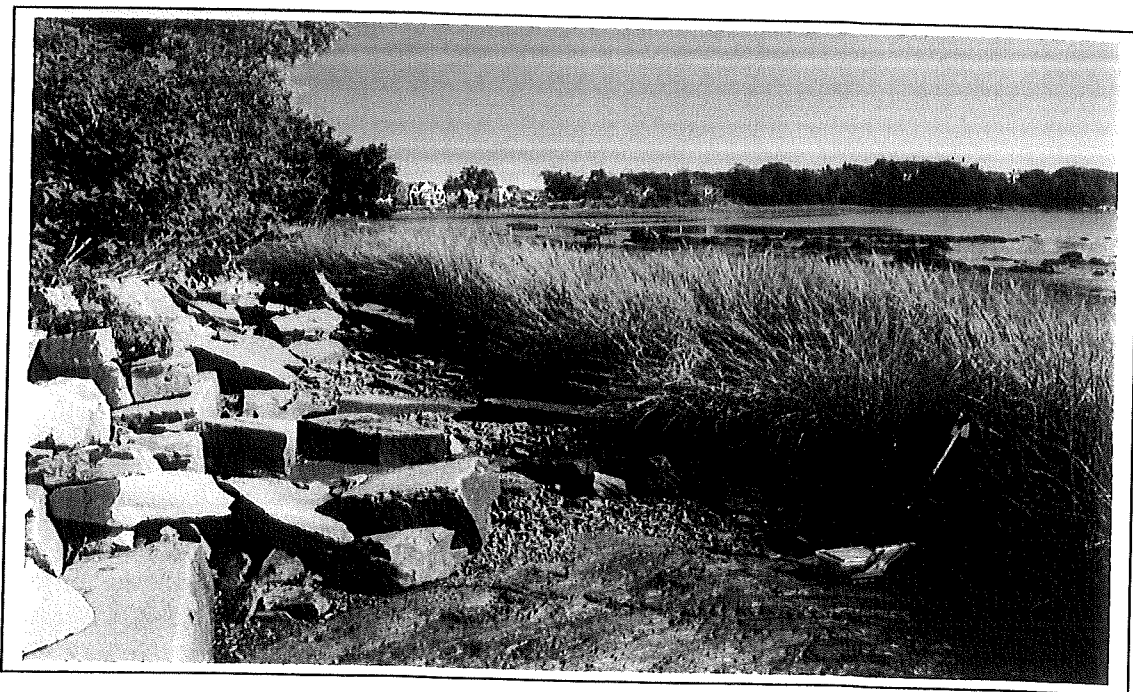


Figure 2. Looking NORTH along toe of the bank. Distance from toe of bank to *Spartina alterniflora* is 10 feet. Construction of bank stabilization will have minimal impact on intertidal area and will quickly revegetate with native species. [7/27/2010, 8:52 a.m., low tide]

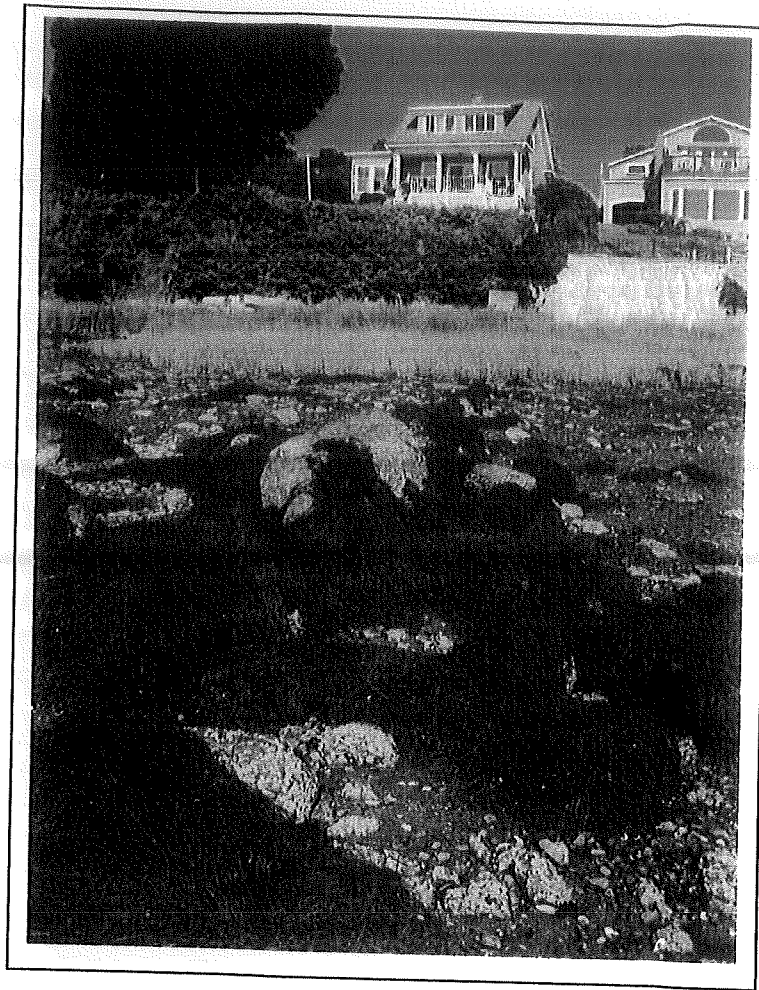


Figure 3. Looking WEST across intertidal area and toward the bank to be stabilized. There will be no impact to the rock/knotweed area of the intertidal zone. [7/27/2010, 8:55 a.m., low tide]

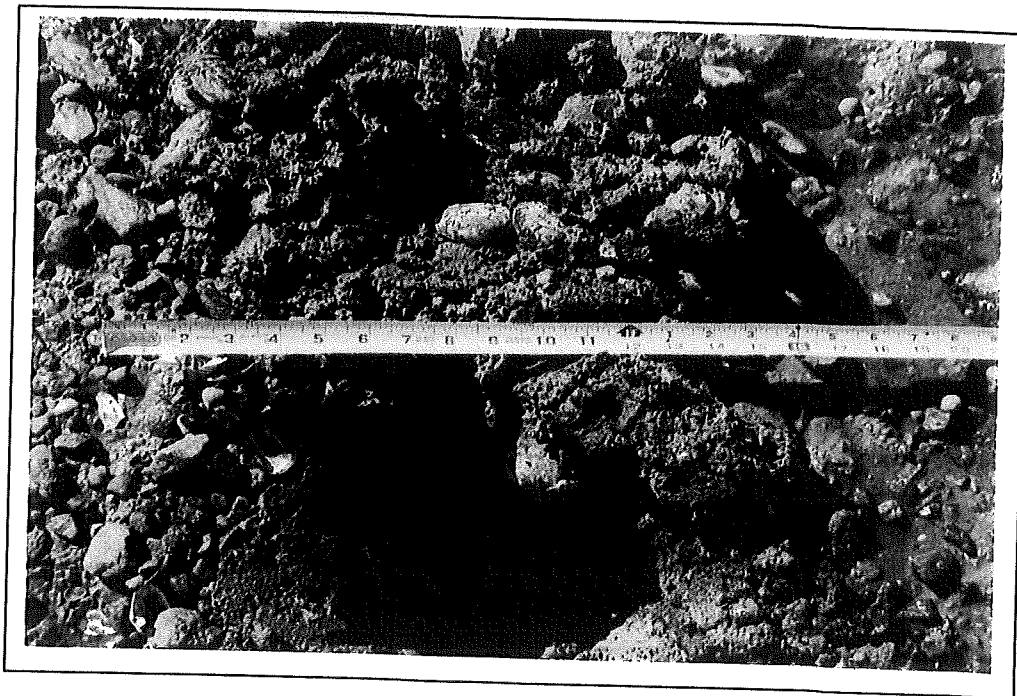
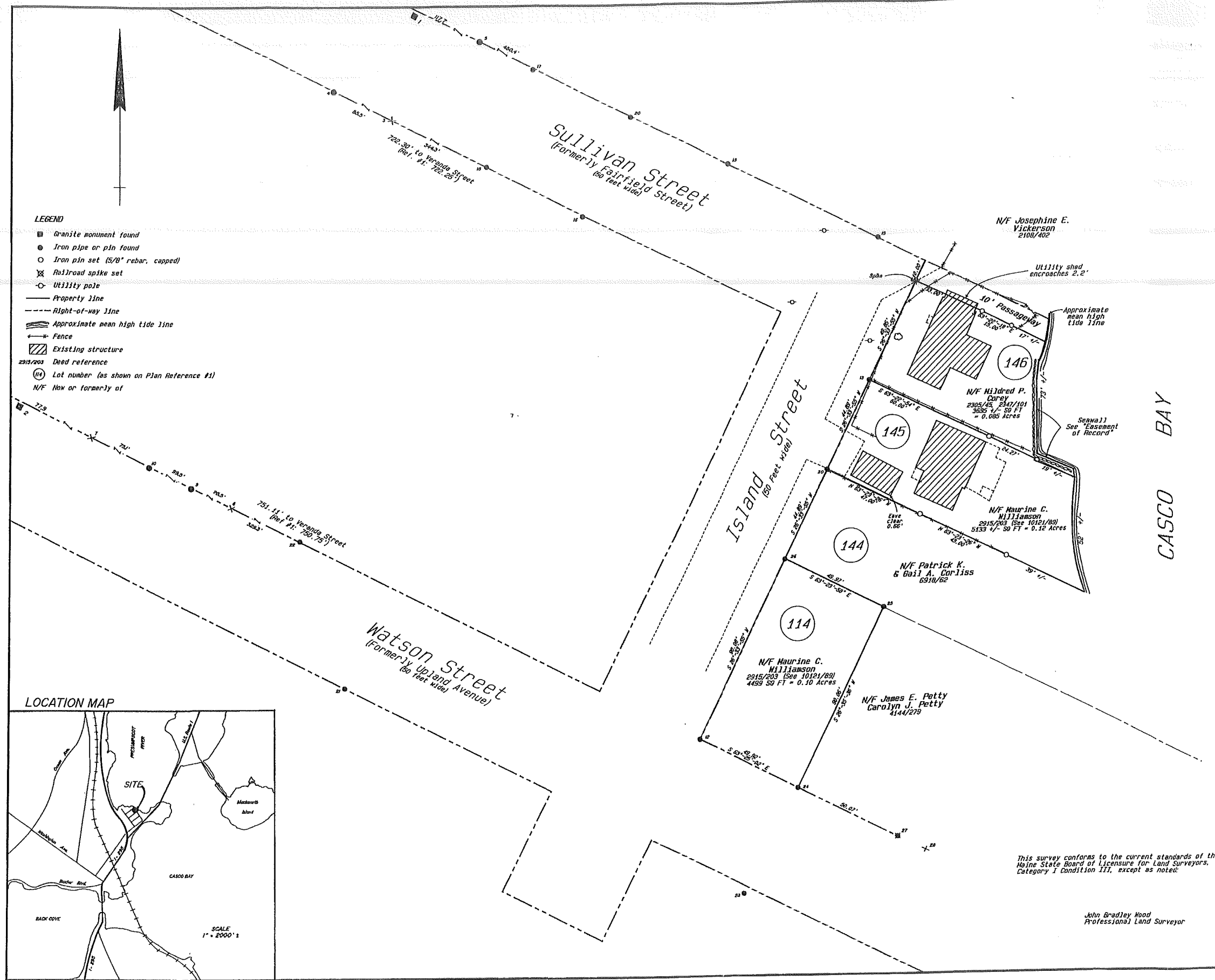


Figure 4. Sediments in midtidal zone. Clams abundant, mussels, marine worms, periwinkles and green crabs occasionally present. [7/27/2010, 8:57 a.m., low tide]



- NOTES**
- 1) Bearings are based on Grid (True) North, based on coordinates given on Plan Reference #2 for monuments #234 and #235.
 - 2) Deed and Plan Book references are to the Cumberland County Registry of Deeds.
 - 3) Pipe sizes shown are inside diameter (i.d.).
 - 4) Due to a scrivener's error, Plan Reference #1 shows a street frontage of 47.5' for both Lots 144 and 145. These dimensions are called for in the original deeds to these lots (788/55, 788/56) and in the current deed to Lot 145. Deeds to Lot 145 since 1922 have corrected this error, giving a width of 45' for both lots. This matches the plan as scaled, the iron pipes found, and the width of the block as shown.
 - 5) Location of Island Street based on monumentation and city street records. Plan Reference #1 describes a location slightly Northwest of the street lines shown.
 - 6) Location of edge of pavement is approximate, due to deep snow.

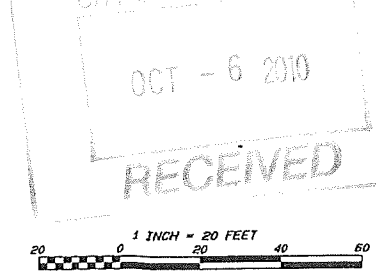
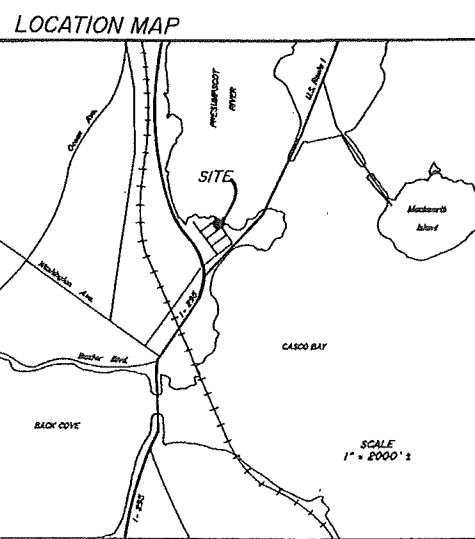
- PLAN REFERENCES**
- 1) "Plan of Lots Marine Terrace" by V.C. Richardson, recorded November 25, 1904, in Plan Book 10 Page 103.
 - 2) "Veranda Street Monument Layout Plan, Richmond Street to Kearsouth Street by the City of Portland Public Works Department, Engineering Section, dated January 1936.

- OWNERS OF RECORD & AREA**
- LOT 114 -- Maurine C. Williamson
2915/203 (See 10121/89)
4499 SQ FT = 0.10 Acres
- Lot 145 -- Maurine C. Williamson
2915/203 (See 10121/89)
5133 +/- SQ FT = 0.12 Acres
- Lot 146 -- Mildred P. Corey
2305/45, 2347/101
Maurine C. Williamson, Conservator
3695 +/- SQ FT = 0.085 Acres

- EASEMENT OF RECORD**
- 1) Reciprocal easements for "improving, maintaining, repairing and rebuilding" the sea wall on Lots #145 and #146, as described in Book 10422 Page 198 and Book 10422 Page 202.

- DESCRIPTION OF MONUMENTS**
- 1) 6" x 6" PLS #2239, at grade
 - 2) 6" x 6" PLS #2233, at grade
 - 3) Top brick #19 Fairfield Street (tie)
 - 4) 3/4" pipe, at grade
 - 5) Pipe with fixture, at grade
 - 6) 6" x 6" PLS #2235, at grade
 - 7) Brick building corner, Upland and Veranda Streets (tie)
 - 8) Building corner, #26 Upland Street (tie)
 - 9) 1/2" Pipe, at grade
 - 10) 1/2" Pipe, at grade
 - 11) 1" pipe, 4" below grade
 - 12) 3/4" Pipe, at grade
 - 13) 1" pipe, at grade
 - 14) Cut nail in pavement
 - 15) 5/8" rebar, at grade
 - 16) 1" pipe, 4" below grade
 - 17) 1" pipe, 4" below grade
 - 18) 3/4" pipe, at grade
 - 19) 3/4" pipe, at grade
 - 20) 3/4" pipe, at grade
 - 21) 3/4" pipe, 4" below grade
 - 22) 3/4" pipe with fixture, 5" below grade
 - 23) 1" rod, 2" above grade
 - 24) 3/4" pipe, 1" below grade
 - 25) 3/4" pipe, 1" below grade
 - 26) 1-1/4" pipe, 15" above grade
 - 27) 3/4" pipe, 1" below grade
 - 28) Brick building corner, #75 Watson Street (tie)
 - 29) Building corner, #75 Island Street (tie)
 - 30) 3/4" Pipe, at grade

- LEGEND**
- Granite monument found
 - Iron pipe or pin found
 - Iron pin set (5/8" rebar, capped)
 - ⊗ Railroad spike set
 - Utility pole
 - Property line
 - - - Right-of-way line
 - ~ ~ ~ Approximate mean high tide line
 - Fence
 - ▨ Existing structure
 - 2915/203 Deed reference
 - Ⓜ Lot number (as shown on Plan Reference #1)
 - N/F Now or formerly of



This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, Category I Condition III, except as noted.

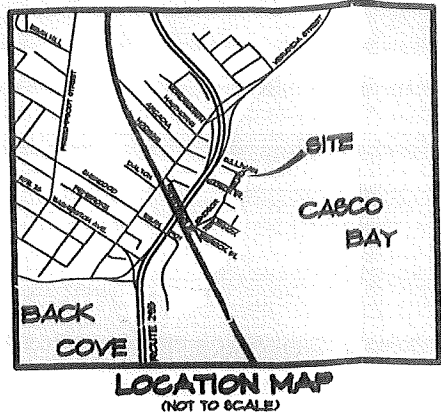
John Bradley Wood
Professional Land Surveyor

Standard Boundary Survey
Island Street Portland, Maine
made for
Maurine C. Williamson
6 Island Street Portland, Maine
Job 58223 Book 558 File 2227 Disc 459 Scale: 1"=20'
March 21, 1996
TITCUM ASSOCIATES INC.
#8 Portland North Business Park Portland, Maine

LANDSCAPE LEGEND

- 10 - MYRTICA PENNSYLVANICA (8" - 12") "BAYBERRY"
- OR J. JUNIPERUS HORIZONTALIS (6" - 12") "CREEPING JUNIPER"
- 15 - ROSA RUBROGA (6" - 12") "RUBROGA ROSE"
- OR FRUNIS MARITIMA (18" - 24") "BEACH PLUM"

NOTE: PLANTINGS TO BE MONITORED FOR GROWTH FOR AT LEAST ONE GROWING SEASON AND REPLACED IF NOT SURVIVED.

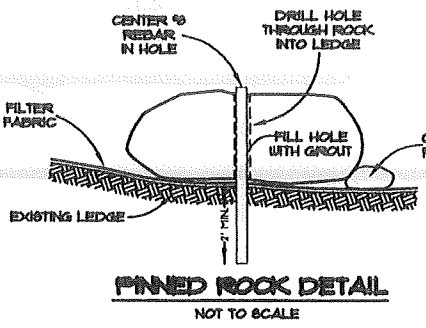
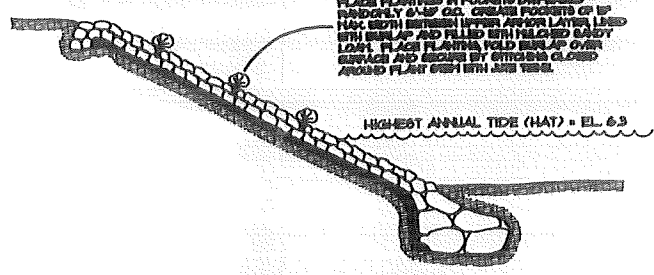


GENERAL CONSTRUCTION NOTES

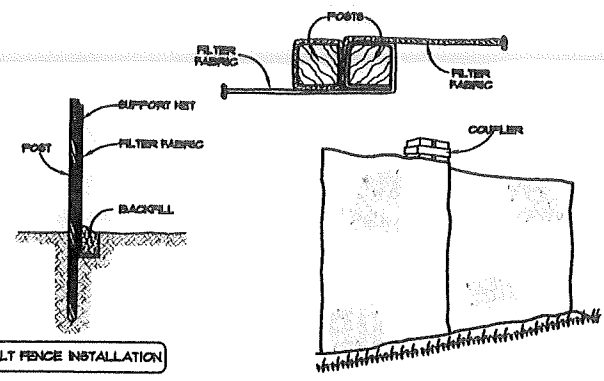
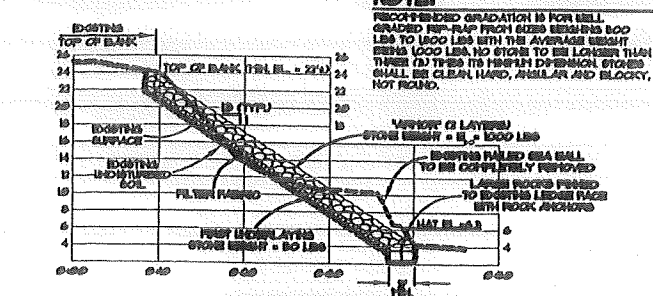
- 1) TOPOGRAPHIC INFORMATION SHOWN ON THIS PLAN BASED UPON A FIELD SURVEY BY CULLENBERG LAND SURVEYS ON APRIL 15, 2010.
- 2) THE CONTRACT WORK TO BE PERFORMED ON THIS PROJECT CONFORMS TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND ORDINANCES.
- 3) THE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MAINE DEPARTMENT OF CONSTRUCTION AND PROFESSIONAL REGULATION (DOR) REGULATIONS AND ORDINANCES.
- 4) ALL CONSTRUCTION WITHIN THE CITY OF PORTLAND MUST COMPLY WITH CITY PUBLIC WORKS STANDARDS. ALL CONSTRUCTION WITHIN A STATE RIGHT OF WAY SHALL COMPLY WITH MAINE DOT STANDARDS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO RESPECTIVE UTILITY STANDARDS.
- 5) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER TRAFFIC CONTROL NECESSARY FOR THE WORK.
- 6) PRIOR TO CONSTRUCTION, THE SITE CONTRACTOR IS TO VERIFY ALL AREA UTILITY LOCATIONS AND DEPTHS OF PLANNED CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO CONTACT MAINE DOT (1-800-855-8774) AT LEAST 15 BUSINESS DAYS PRIOR TO ANY EXCAVATION TO VERIFY ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS.
- 7) THE PROJECT DESIGN IS GENERALLY GOVERNED AND CONTROLLED BY THE POSSIBLE LOCATION OF EXISTING UNDERGROUND UTILITIES. INFORMATION ON EXISTING UTILITIES HAS BEEN OBTAINED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY MAPS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES.
- 8) CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 9) IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 10) THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND PUBLIC ROADS AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER TRAFFIC CONTROL NECESSARY FOR THE WORK.
- 11) ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF THEY ARE APPROVED BY THE OWNER, DESIGN ENGINEER, AND APPROPRIATE GOVERNMENTAL AGENCY PRIOR TO INSTALLATION.
- 12) THE CONTRACTOR SHALL MAINTAIN ALL UTILITY STRUCTURES FREE FROM OBSTRUCTION, CORROSION, AND DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL UTILITY STRUCTURES FREE FROM OBSTRUCTION, CORROSION, AND DAMAGE.
- 13) TRAFFIC CONTROL MEASURES SHALL BE UTILIZED IN ACCORDANCE WITH MAINE DOT STANDARDS. THE CONTRACTOR SHALL PROVIDE HANDMADE AND UNIFORM TRAFFIC CONTROL DEVICES TO THE EXTENT REQUIRED BY LAW FOR THE PROTECTION OF THE PUBLIC. THE CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LINES AND PAVEMENT MARKINGS AT ALL TIMES UNLESS OTHERWISE APPROVED BY THE CITY OF PORTLAND.
- 14) THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE FOR ALL PROJECT MATERIALS AND PLANT SPECIFICATIONS TO THE OWNER AND DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 15 BUSINESS DAYS FOR REVIEW.
- 15) THE OWNER MAY RETAIN AN INDEPENDENT TESTING LABORATORY FOR SOIL AND PAVEMENT TESTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH ANY INDEPENDENT TESTING AND RE-TESTING OF UNSATISFACTORY SAMPLES.
- 16) ALL EXCAVATION SHALL BE BACKFILLED TO ORIGINAL GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DAMAGE TO HEALTH AND SAFETY.
- 17) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE OWNER SHALL PROVIDE A BENCH MARK AT THE CONSTRUCTION SITE FROM WHICH TO BEGIN LAYOUT.
- 18) THE CONTRACTOR SHALL MAINTAIN ELECTRICAL POWER, WATER, AND SANITARY FACILITIES FOR THE EXCLUSIVE USE AT THE CONSTRUCTION SITE THROUGHOUT THE CONSTRUCTION PERIOD.
- 19) WORK MAY PROCEED MONDAY THROUGH SATURDAY 7:00 AM TO 5:00 PM. WORK AT OTHER TIMES MAY PROCEED UPON WRITTEN APPROVAL BY THE OWNER AND THE CITY OF PORTLAND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 20) THE CONTRACTOR SHALL GUARANTEE THE MATERIALS AND WORKMANSHIP OF ALL CONSTRUCTION. THE CONTRACTOR SHALL GUARANTEE THE MATERIALS AND WORKMANSHIP OF ALL CONSTRUCTION. THE CONTRACTOR SHALL GUARANTEE THE MATERIALS AND WORKMANSHIP OF ALL CONSTRUCTION.
- 21) THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
- 22) A PRE-CONSTRUCTION CONFERENCE WITH THE OWNER, DESIGNER, CITY OFFICIALS AND CONTRACTOR SHALL BE REQUIRED BEFORE ANY CONSTRUCTION OCCURS ON THIS PROJECT. CONSTRUCTION SHALL BE STOPPED IMMEDIATELY UPON THE OCCURRENCE OF ANY VIOLATION OF THE CITY OF PORTLAND REGULATIONS OR STATUTORY FEDERAL REGULATIONS AT NO ADDITIONAL COST TO THE OWNER.

GRADING NOTES

- 1) THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
- 2) TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPE.
- 3) EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 4) THE CONTRACTOR SHALL CONTACT ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 5) ALL EXCAVATION SHALL BE BACKFILLED TO ORIGINAL GRADE BEFORE THE END OF THE DAY OR ADEQUATELY PROTECTED FROM DAMAGE TO HEALTH AND SAFETY.
- 6) ALL AREAS WHERE LOAM IS REQUIRED SHALL BE TYPED AND GRADED TO THE REQUIRED GRADE. ALL DISTURBED AREAS SHALL BE REVEGETATED WITH A MINIMUM OF 10% PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF PORTLAND PRIOR TO CONSTRUCTION.
- 7) CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE AND EXIT FROM PRIOR TO COMMENCING OTHER WORK.

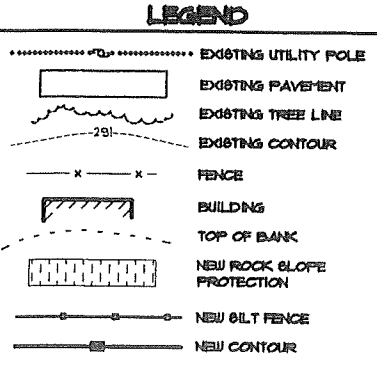
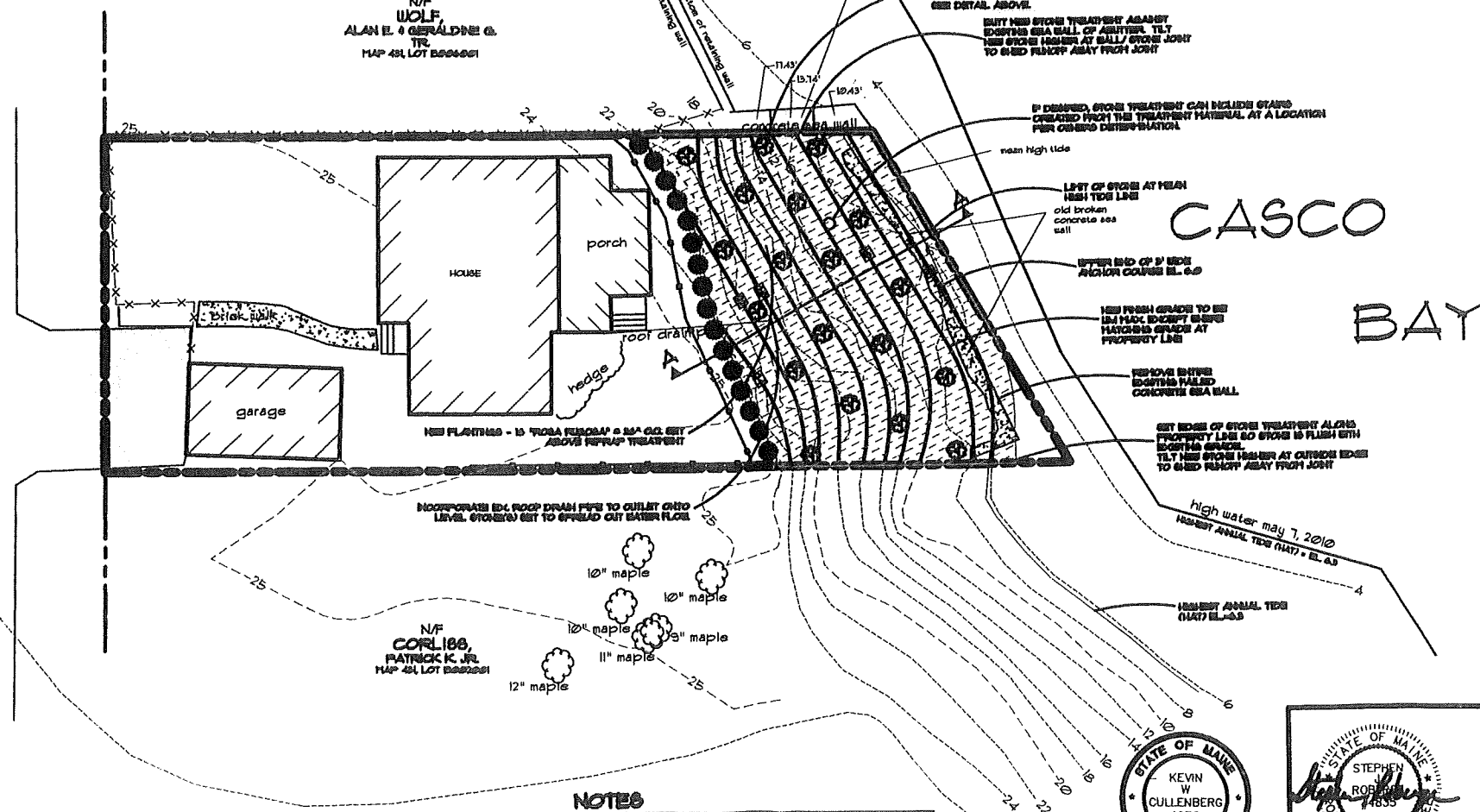


SECTION A-A RIPRAP REVEMENT
SCALE: 1" = 10' (H&V)



TYPICAL SILT FENCE
(NOT TO SCALE)

NOTE: USE EMBROIDERY BY HIRAF, INC. OR EQUIVALENT



NOTES

- 1) TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON THIS PLAN BASED UPON A FIELD SURVEY BY CULLENBERG LAND SURVEYS ON APRIL 15, 2010.
- 2) ELEVATIONS ARE REFERENCED TO GRID NORTH.
- 3) ELEVATIONS ARE HANDED (CONVENTIONAL) UNLESS OTHERWISE NOTED.



REV. 1 06/2010 NEW SECTION PLANTING, EROSION CONTROL NOTES

S.J.R. ENGINEERING
21 MAYFLOWER ROAD
AUGUSTA, MAINE
TEL: (207) 622-1616

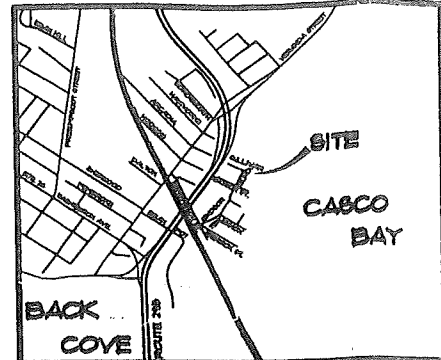
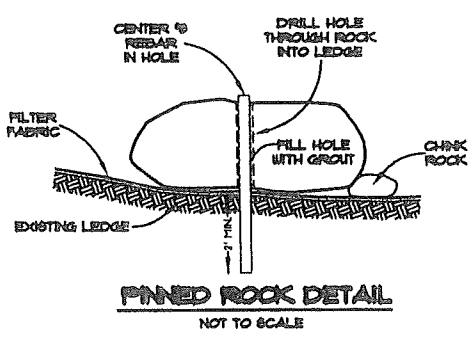
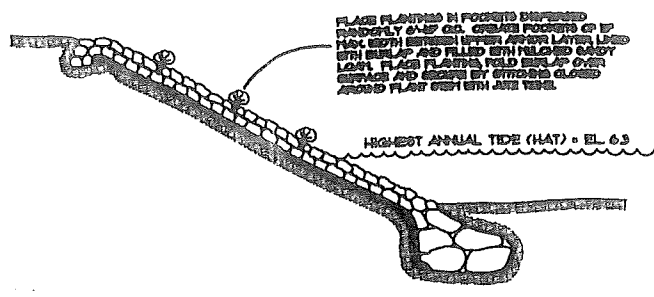
YALE & ANN ANKEL
6 ISLAND STREET - PORTLAND, MAINE
CUMBERLAND COUNTY

SCALE: AS SHOWN DRAIN BY: BOMAC PROJECT: ANKEL-8PM
DATE: JUNE, 2010 CHECKED BY: SJR DRAWING: 0-1

LANDSCAPE LEGEND

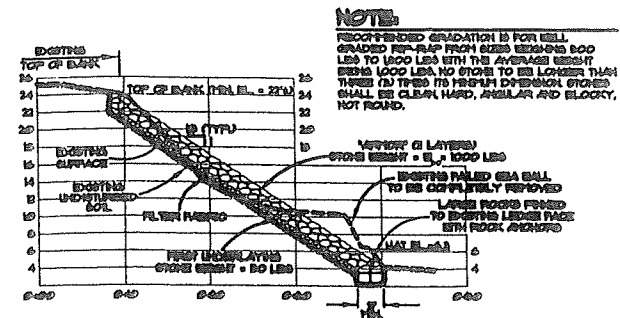
- 10 - MYRTICA PENNSYLVANICA (8" - 12")
"BAYBERRY"
OR
JUNIPERUS HORIZONTALIS (8" - 12")
"CREEPING JUNIPER"
- 15 - ROSEA RUGOSA (8" - 12")
"RUGOSA ROSE"
OR
FRUNIS MARITIMA (18" - 24")
"SEASIDE FLUFF"

NOTE:
PLANTINGS TO BE MONITORED FOR GROWTH FOR AT LEAST ONE GROWING SEASON AND REPLACED IF NOT SURVIVED.

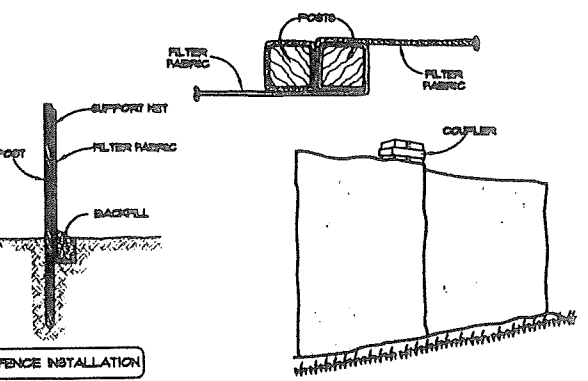


GRADING NOTES

- 1) THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
- 2) TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- 3) EXISTING LAYERS SHALL BE PLACED AT THE DEEPEST PORTION OF THE FILL AND AS PLACEMENT PROGRESSES, LAYERS SHALL BE PLACED APPROXIMATELY HORIZONTAL IN EACH 100' (30') LIFT. AT THE CLOSE OF EACH DAY'S WORK, THE SURFACES SHALL BE SMOOTHED AND PROTECTED. FILLING SHALL BE STOPPED IMMEDIATELY IN THE EVENT OF RAIN. EXISTING GRADE SHALL BE REPAIRED AND PROTECTED.
- 4) THE CONTRACTOR SHALL CONTACT ALL PUBLIC UTILITIES AND PROVIDE PROTECTIVE MEASURES TO BE INSTALLED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
- 5) ALL EXCAVATION SHALL BE BACKFILLED TO ORIGINAL GRADE WITH COMPACTED FILL.
- 6) ALL EXCAVATION SHALL BE BACKFILLED TO ORIGINAL GRADE WITH COMPACTED FILL.
- 7) THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
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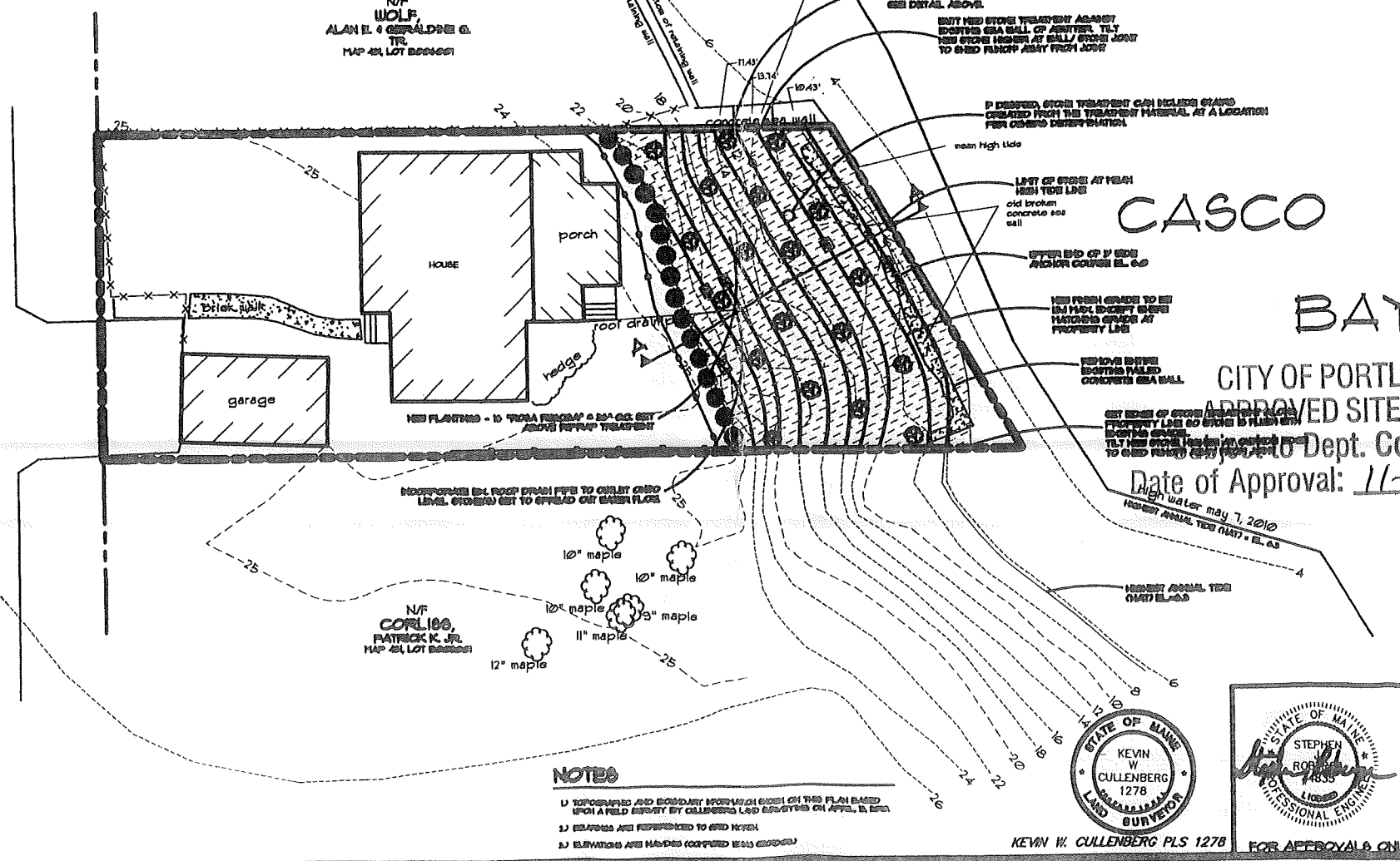


SECTION A-A RIPRAP REVEMENT
SCALE: 1" = 12" (H&V)



TYPICAL SILT FENCE
(NOT TO SCALE)

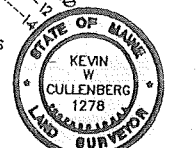
ISLAND STREET



CASCO BAY
CITY OF PORTLAND
APPROVED SITE PLAN
Date of Approval: 11-23-2010

- LEGEND**
- EXISTING UTILITY POLE
 - EXISTING PAVEMENT
 - EXISTING TREE LINE
 - EXISTING CONTOUR
 - FENCE
 - BUILDING
 - TOP OF BANK
 - NEW ROCK SLOPE PROTECTION
 - NEW SILT FENCE
 - NEW CONTOUR

- NOTES**
- 1) TOPOGRAPHIC AND BOUNDARY INFORMATION BASED ON THIS PLAN BASED UPON A FIELD SURVEY BY COLLEEN LEAD SURVEYORS ON APRIL 8, 2010.
 - 2) ELEVATIONS ARE REFERENCED TO GRID NORTH.
 - 3) ELEVATIONS ARE HIGHER CORRECTED EARS ELEVATION.



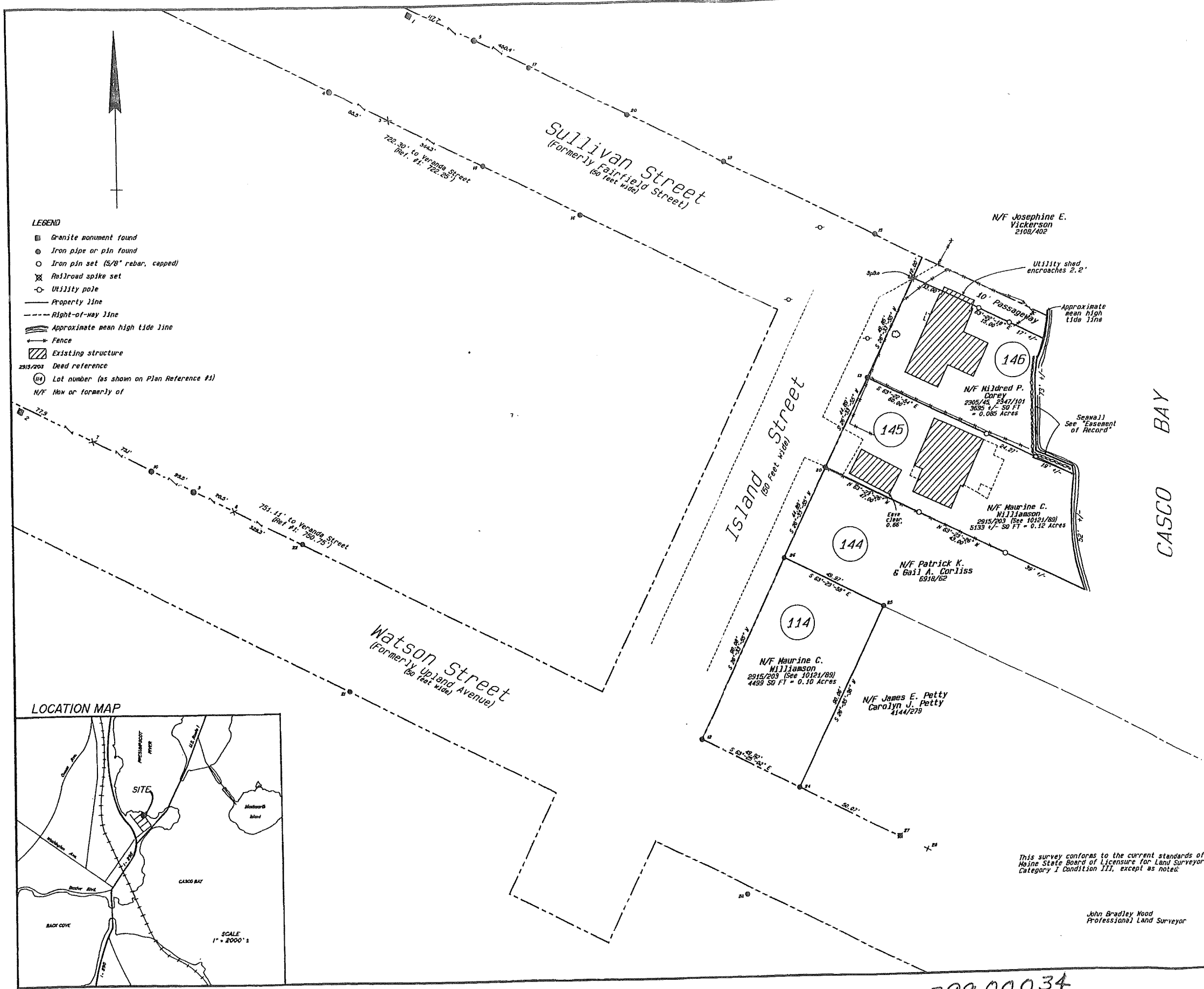
S.J.R. ENGINEERING
21 MAYFLOWER ROAD
AUGUSTA, MAINE
TEL: (207) 622-1616

TOPOGRAPHIC SITE PLAN
MARK EROSION CONTROL/REVEMENT

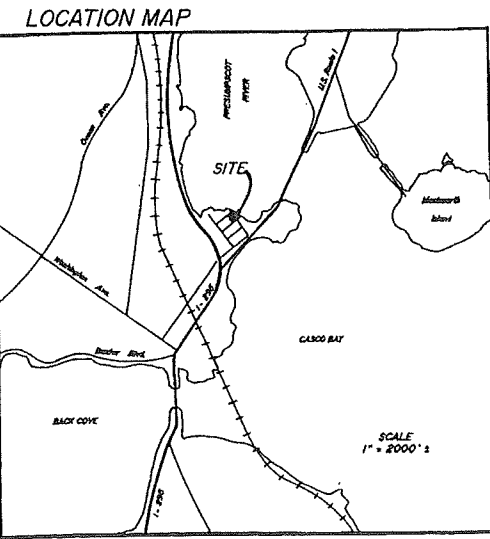
YALE & ANN ARKEL
6 ISLAND STREET - PORTLAND, MAINE
CAMBERLAND COUNTY

SCALE: 1" = 12"
DRAWN BY: BOMAC
CHECKED BY: BJR
PROJECT: ARKEL-8P1
DRAWING: 0-1-1

10-79900034 6 Island St. as approved



- LEGEND**
- Granite monument found
 - Iron pipe or pin found
 - Iron pin set (5/8" rebar, capped)
 - ⊗ Railroad spike set
 - Utility pole
 - Property line
 - - - Right-of-way line
 - ~ ~ ~ Approximate mean high tide line
 - Fence
 - ▨ Existing structure
 - 2915/203 Dead reference
 - (114) Lot number (as shown on Plan Reference #1)
 - N/F Now or formerly of

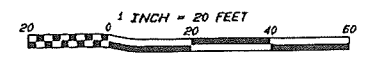


- NOTES**
- 1) Bearings are based on Grid (True) North based on coordinates given on Plan Reference #2 for monuments #234 and #235.
 - 2) Deed and Plan Book references are to the Cumberland County Registry of Deeds.
 - 3) Pipe sizes shown are inside diameter (i.d.).
 - 4) Due to a scrivener's error, Plan Reference #1 shows a street frontage of 47.5' for both Lots 144 and 145. These dimensions are called for in the original deeds to these lots (788/55, 788/58) and in the current deed to Lot 145. Deeds to Lot 145 since 1922 have corrected this error, giving a width of 45' for both lots. This matches the plans as scaled, the iron pipes found, and the width of the block as shown.
 - 5) Location of Island Street based on monumentation and city street records. Plan Reference #1 describes a location slightly Northwest of the street lines shown.
 - 6) Location of edges of pavement is approximate, due to deep snow.

- PLAN REFERENCES**
- 1) "Plan of Lots Marine Terrace" by V.C. Richardson, recorded November 28, 1904, in Plan Book 10 Page 103.
 - 2) "Veranda Street Monument Layout Plan, Richmond Street to Wardsworth Street" by the City of Portland Public Works Department, Engineering Section, dated January 1996.
- OWNERS OF RECORD & AREA**
- Lot 114 - Maurine C. Williamson
2915/203 (See 10121/89)
4489 SQ FT = 0.10 Acres
- Lot 145 - Maurine C. Williamson
2915/203 (See 10121/89)
2625 1/2 SQ FT = 0.12 Acres
- Lot 146 - Hildred P. Corey
2905/45, 2347/101
Maurine C. Williamson, Conservator
3625 1/2 SQ FT = 0.05 Acres

- EASEMENT OF RECORD**
- 1) Reciprocal easements for "improving, maintaining, repairing, and rebuilding" the sea wall on Lots #145 and #146, as described in Book 10422 Page 198 and Book 10422 Page 202.

- DESCRIPTION OF MONUMENTS**
- 1) 6" x 6", PLS #2239, at grade
 - 2) 6" x 6", PLS #2239, at grade
 - 3) Top brick #19 Fairfield Street (tie)
 - 4) 3/4" pipe, at grade
 - 5) Pipe with fixture, at grade
 - 6) 6" x 6", PLS #2239, at grade
 - 7) Brick building corner, Upland and Veranda Streets (tie)
 - 8) Building corner, #26 Upland Street (tie)
 - 9) 1/2" pipe, at grade
 - 10) 1/2" pipe, at grade
 - 11) 1" pipe, 4" below grade
 - 12) 1" pipe, 4" below grade
 - 13) 3/4" pipe, at grade
 - 14) Cut nail in pavement
 - 15) 5/8" rebar, at grade
 - 16) 1" pipe, 4" below grade
 - 17) 1" pipe, 4" below grade
 - 18) 3/4" pipe, at grade
 - 19) 3/4" pipe, at grade
 - 20) 3/4" pipe, at grade
 - 21) 3/4" pipe, 4" below grade
 - 22) 3/4" pipe with fixture, 5" below grade
 - 23) 1" rod, 2" above grade
 - 24) 3/4" pipe, 1" below grade
 - 25) 3/4" pipe, 1" below grade
 - 26) 1-1/4" pipe, 15" above grade
 - 27) 3/4" pipe, 1" below grade
 - 28) Brick building corner, #75 Watson Street (tie)
 - 29) Building corner, #7 Island Street (tie)
 - 30) 3/4" pipe, at grade



This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, Category 1 Condition 117, except as noted.

John Bradley Wood
Professional Land Surveyor

Standard Boundary Survey
Island Street Portland, Maine
made for
Maurine C. Williamson
6 Island Street Portland, Maine
Job: 20023 Book 550 File 2297 Disk 489 Scale: 1"=20'
March 21, 1996
TITCOMB ASSOCIATES INC.
88 Portland North Business Park Falmouth, Maine

10-79900034
6 Island St. - as approved