

431-B-1

10-79900034

6 Island St.

Slope Stabilization

Carl Collenberg



Strengthening a Remarkable City, Building a Community for Life

www.portlandmaine.gov

Planning & Urban Development Department
Penny St. Louis Littell, Director

November 23, 2010

Planning Division
Alexander Jaegerman, Director

Carl Cullenberg
75 Ledgewood Drive
Falmouth ME 04105

Yale and Ann Arkel
116 Stanmore Place
Westfield, NJ 07090

Project Name: Slope Stabilization and Erosion Control
Carl Collenberg, Applicant
Project ID: 10-79900034
Project Address: 6 Island Street, Portland Maine
CBL: 431-B-001-001
Planner: Jean Fraser

Dear Applicants:

On November 23, 2010, the Portland Planning Authority approved a Level II site plan for slope stabilization and erosion control at 6 Island Street, Portland as submitted by the applicants and shown on the approved plan prepared by S.J.R Engineering and dated 09/13/10 (as Rev. 1).

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or the planning authority pursuant to the terms of the Site Plan Ordinance of Portland's Land Use Code.
2. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division (Building Permit).
3. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount submitted to and approved by the Planning Division and Public Services Dept. prior to the release of a building permit, street opening permit or certificate of occupancy for site plans.

4. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
5. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact Jean Fraser at 874 8728 or jf@portlandmaine.gov.

Sincerely,

Alexander Jaegerman
BB

Alexander Jaegerman
Planning Division Director

Attachment: Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis Littell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Jean Fraser, Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division Director
Gayle Guertin, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Earley, Public Services

Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Tarling, City Arborist
Tom Errico, TY Lin
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File

Hard Copy: Project File

Steve Roberge, 21 Mayflower Road, Augusta, ME 04330

Department of Environmental Protection
Bureau of Land & Water Quality
17 State House Station
Augusta, Maine 04333
Telephone: 207-287-3901

FOR DEP USE

ATS # _____
L- _____
Total Fees: _____
Date: Received _____

APPLICATION FOR A NATURAL RESOURCES PROTECTION ACT PERMIT

→ PLEASE TYPE OR PRINT IN BLACK INK ONLY

1. Name of Applicant:		Yale/Ann Arkel		4. Name of Agent: (if applicable)		Steve Roberge SJR Engineering Inc.	
2. Applicant's Mailing Address:		116 Stanmore Place Westfield, NJ 07090		5. Agent's Mailing Address:		21 Mayflower Road Augusta, Maine 04330	
3. Applicant's Daytime Phone #:				6. Agent's Daytime Phone #:		207-242-6248	
7. Location of Activity: (Nearest Road, Street, Rt.#)		6 Island Street		8. Town:		Portland	
				9. County:		Cumberland	
10. Type of Resource: (Check all that apply)		<input type="checkbox"/> River, stream or brook <input type="checkbox"/> Great Pond <input checked="" type="checkbox"/> Coastal Wetland <input type="checkbox"/> Freshwater Wetland <input type="checkbox"/> Wetland Special Significance <input type="checkbox"/> Significant Wildlife Habitat <input type="checkbox"/> Fragile Mountain		11. Name of Resource:		Atlantic Ocean	
				12. Amount of Impact: (Sq.Ft.)		Fill: 195sf (INTERTIDAL) Dredging/Veg Removal/Other:	
13. Type of Wetland: (Check all that apply)		<input type="checkbox"/> Forested <input type="checkbox"/> Scrub Shrub <input type="checkbox"/> Emergent <input checked="" type="checkbox"/> Wet Meadow <input type="checkbox"/> Peatland <input type="checkbox"/> Open Water <input type="checkbox"/> Other _____		FOR FRESHWATER WETLANDS/NOT OF SPECIAL SIGNIFICANCE ONLY <i>Tier 1</i> <input checked="" type="checkbox"/> 0 - 4,999 sq. ft. <input type="checkbox"/> 5,000 - 9,999 sq. ft. <input type="checkbox"/> 10,000 - 14,999 sq. ft.			
				<i>Tier 2</i> <input type="checkbox"/> 15,000 - 19,999 sq. ft. <input type="checkbox"/> 20,000 - 43,560 sq. ft. <input type="checkbox"/> > 43,560 sq. ft.			
14. Brief Activity Description		Project is to supplement and repair an existing riprap/concrete bank along the shoreline.					
15. Size of Lot or Parcel:		<input checked="" type="checkbox"/> 4792 square feet, or <input type="checkbox"/> _____ acres					
16. Title, Right or Interest:		<input checked="" type="checkbox"/> own <input type="checkbox"/> lease <input type="checkbox"/> purchase option <input type="checkbox"/> written agreement					
17. Deed Reference Numbers:		Book#: 15203 Page: 278		18. Map and Lot Numbers:		Map #: 431 Lot #: B-1	
19. DEP Staff Previously Contacted:		No one		20. Part of a larger project:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No After-the-Fact: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
21. Resubmission of Application?		<input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No If yes, previous application #		Previous project manager:			
22. Written Notice of Violation?		<input type="checkbox"/> Yes → <input checked="" type="checkbox"/> No If yes, name of DEP enforcement staff involved:		23. Previous Wetland Alteration:		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
24. Detailed Directions to the Project Site:		Heading North on Veranda St, take right onto Kensington St. Take left onto Windsor Terrace, bear right onto Island St. Project on right (#6).					
25. TIER 1		TIER 2/3 AND INDIVIDUAL PERMITS					
<input type="checkbox"/> Fee <input type="checkbox"/> Topographic Map <input type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input type="checkbox"/> Photos of Area <input type="checkbox"/> Statement of Avoidance & Minimization <input type="checkbox"/> Statement/Copy of cover letter to Maine Historic Preservation Commission		<input checked="" type="checkbox"/> Fee <input checked="" type="checkbox"/> Topographic Map <input checked="" type="checkbox"/> Photos of Area <input checked="" type="checkbox"/> Plan or Drawing (8 1/2" x 11") <input checked="" type="checkbox"/> Copy of Public Notice <input type="checkbox"/> Professional Certification/Delineation <input checked="" type="checkbox"/> Erosion Control Plan		<input checked="" type="checkbox"/> Alternatives Analysis, if required <input checked="" type="checkbox"/> Description of Avoidance/Minimization <input type="checkbox"/> Compensation Plan (if required) <input type="checkbox"/> Description of Previously Mined Peatland (if required) <input checked="" type="checkbox"/> Statement/Copy of cover letter to Maine Historic Preservation Commission <input type="checkbox"/> Construction Plan, if required			
26. FEES, Amount Enclosed:		\$424.00					
CERTIFICATIONS AND SIGNATURES LOCATED ON PAGE 2							

IMPORTANT: IF THE SIGNATURE BELOW IS NOT THE APPLICANT'S SIGNATURE, ATTACH LETTER OF AGENT AUTHORIZATION SIGNED BY THE APPLICANT.

By signing below the applicant (or authorized agent), certifies that he or she has read and understood the following :

DEP SIGNATORY REQUIREMENT

PRIVACY ACT STATEMENT

Authority: 33 USC 401, Section 10; 1413, Section 404. Principal Purpose: These laws require permits authorizing activities in or affecting navigable waters of the United States, the discharge of dredged or fill material into waters of the United States, and the transportation of dredged material for the purpose of dumping it into ocean waters. Disclosure: Disclosure of requested information is voluntary. If information is not provided, however, the permit application cannot be processed nor a permit be issued.

CORPS SIGNATORY REQUIREMENT

USC Section 1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly and willfully falsifies, conceals, or covers up any trick, scheme, or disguises a material fact or makes any false, fictitious or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious or fraudulent statements or entry shall be fined not more than \$10,000 or imprisoned not more than five years or both. I authorize the Corps to enter the property that is subject to this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein.

DEP SIGNATORY REQUIREMENT

"I certify under penalty of law that I have personally examined the information submitted in this document and all attachments thereto and that, based on my inquiry of those individuals immediately responsible for obtaining the information, I believe the information is true, accurate, and complete. I authorize the Department to enter the property that is the subject of this application, at reasonable hours, including buildings, structures or conveyances on the property, to determine the accuracy of any information provided herein. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.


SIGNATURE OF AGENT/APPLICANT

Date: 8/16/10

NOTE: Any changes in activity plans must be submitted to the DEP and the Corps in writing and must be approved by both agencies prior to implementation. Failure to do so may result in enforcement action and/or the removal of the unapproved changes to the activity.

(yellow)

PUBLIC NOTICE FILING AND CERTIFICATION

Department Rules, Chapter 2, require an applicant to provide public notice for all Tier 2, Tier 3 and individual Natural Resources Protect Act projects. In the notice, the applicant must describe the proposed activity and where it is located. "Abutter" for the purposes of the notice provision means any person who owns property that is BOTH (1) adjoining and (2) within one mile of the delineated project boundary, including owners of property directly across a public or private right of way.

- ✓ 1. **Newspaper:** You must publish the Notice of Intent to File in a newspaper circulated in the area where the activity is located. The notice must appear in the newspaper within 30 days prior to the filing of the application with the Department. You may use the attached Notice of Intent to File form, or one containing identical information, for newspaper publication and certified mailing.
- ✓ 2. **Abutting Property Owners:** You must send a copy of the Notice of Intent to File by certified mail to the owners of the property abutting the activity. Their names and addresses can be obtained from the town tax maps or local officials. They must receive notice within 30 days prior to the filing of the application with the Department.
- ✓ 3. **Municipal Office:** You must send a copy of the Notice of Intent to File and a **duplicate of the entire application** to the Municipal Office.

ATTACH a list of the names and addresses of the owners of abutting property.

CERTIFICATION

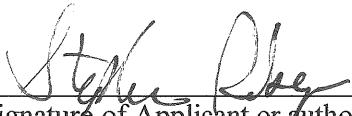
By signing below, the applicant or authorized agent certifies that:

- ✓ 1. A Notice of Intent to File was published in a newspaper circulated in the area where the project site is located within 30 days prior to filing the application;
- ✓ 2. A certified mailing of the Notice of Intent to File was sent to all abutters within 30 days of the filing of the application;
- ✓ 3. A certified mailing of the Notice of Intent to File, and a duplicate copy of the application was sent to the town office of the municipality in which the project is located; and
- N/A 4. Provided notice of, if required, and held a public informational meeting, if required, in accordance with Chapter 2, Rules Concerning the Processing of Applications, Section 13, prior to filing the application. Notice of the meeting was sent by certified mail to abutters and to the town office of the municipality in which the project is located at least ten days prior to the meeting. Notice of the meeting was also published once in a newspaper circulated in the area where the project site is located at least seven days prior to the meeting.

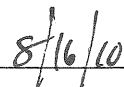
The Public Informational Meeting was held on (Not Applicable).

Date

Approximately _____ members of the public attended the Public Informational Meeting.



Signature of Applicant or authorized agent



Date

(blue)

Attachment 1 - Activity description: The Arkel parcel has roughly 45' of shore frontage along the Atlantic Ocean (tidal). The shore has previously been improved with a concrete retaining wall that has failed over time due to tidal action, ice, and upslope drainage patterns. This project is to remove the failed concrete wall and reinstall a new riprap banking along the steep bank slope. The eroding/failed slope areas are to be reconstructed by installing a filter fabric liner with riprap placed on top of the liner. The Owner of the property has taken great pains to keep existing vegetation along the shoreline to minimize potential erosion and to provide buffering along the peninsular. At this point, however, the shore has eroded to within 25' of the house. This erosion along the bank is made worse as the roof water from the house is collected into a guttering system and discharged by pipe at the bank slope. The discharged water causes erosion and resulting slump of the steep bank. We propose to repair this problematic area by installing a riprap/fabric ditch within the slope as shown on the plan. Without additional shorefront banking protection (riprap), it is likely that the house will be in danger of the surf and tidal action during significant storm events.

The proposed Contractor for the project has extensive experience with construction of riprap slopes and stabilization projects such as these. He intends on utilizing a tracked backhoe and hand labor to install the riprap within the shorefront and drainage ditch along the bank. No work is to be performed in the water. Approximately 195 sf of area will be disturbed in the inter-tidal area as defined by the 2010 highest annual tide, elevation 6.3. A failed concrete retaining wall in this location is to be removed in order to install proper base rock at the beginning of the slope.

Attachment 2 - Alternatives analysis: We have analyzed the situation at the Arkel parcel with regards to other alternatives to minimize the erosion. The existing vegetation is not adequate to provide protection from the constant tidal activity during storm events, upslope runoff water, and winter ice movement causing existing riprap material to move and causing other areas to erode. It is our belief that the riprap armoring is the most cost effective long term solution to repairing the eroded slope. This is an existing condition that needs to be repaired in place in order to protect the existing vegetation along the shoreline and also to prevent additional erosion and potential damage to the existing residence on the shorefront.

Attachment 3 - Activity Location: We have attached a photocopy of the Maine Atlas and Gazetteer (Map 7), which gives local direction of the Arkel parcel.

Attachment 4 - Color Photographs: We have attached color photographs of several views of the failed bank and retaining wall that clearly show the area to be altered. The 5 photos were taken by Steve Roberge, SJR Engineering on April 15, 2010. During the test pit reviews necessary for preparing Appendix B of the application Parker Environmental Services has also taken photos of the inter-tidal area that is to be disturbed.

Attachment 5 - Overhead and side view plan We have attached the site plan of the proposed areas to repair the bank erosion. The topographic and property survey plan was prepared by Cullenberg Land Surveying in May of 2010. We have attached a copy of an older Google Maps aerial taken in 2006 to help identify the surrounding properties and land uses. The properties on either side of the failed bank have retaining walls located on the base of the slope. Our proposal is to reconstruct the slope by using riprap materials on a filter fabric. A riprap lined drainage ditch from the outfall of the roof drain to the toe of slope will be utilized to channel runoff from the top of the banking.

Attachment 6 - Additional plans: Not applicable, as we have provided a typical cross section of the bank stabilization riprap/fabric proposed construction on the site plan.

Attachment 7 - Construction plan: The proposed riprap slope stabilization project is to be constructed this Fall. The Contractor intends to bring approximately 100 cubic yards of riprap to the site by truck and stockpile that rock near the existing driveway top of bank. The Contractor will prepare the slope by removing loose material and re-compacting the existing ground. A filter fabric will be laid on the newly graded surface. Smaller vehicles will bring the riprap down the bank to be placed on the fabric. The riprap is to be angular to help key it into each adjoining piece of riprap. The riprap will consist of various sizes to fill in voids and chink pieces of riprap into specific positions on the slope. The riprap will be uniform in color blending into adjoining properties as

reasonably as can be expected. As the riprap project works itself up the bank, a riprap drainage ditch will be constructed that will direct stormwater flows from the house and yard areas down the bank to minimize the potential of additional erosion on the slope. The project will take approximately a month to complete. Any disturbed areas within the vegetative area will be graded out and seeded/mulched to prevent erosion from occurring

Attachment 8 - Erosion control plan. The Contractor intends to install fabric and riprap material on the existing soil faces. No excavation is required other than to remove any existing sedimentation from already eroding soils. No erosion control is necessary other than seeding/mulching any disturbed surfaces during the construction process.

Attachment 9 - Site Condition Report: We have attached a plan showing the areas that are eroding and are proposed to have riprap placement. These bare soil areas will have a filter fabric overlayment and riprap installed to prevent additional erosion from occurring. Parker Environmental Services has hand dug test pits necessary for preparing Appendix B of the application. He has found no species of concern with regard to the restoration and stabilization of the failed banking.

Attachment 10 - Notice of Intent to File: We have completed the required information in the Notice of Intent to File. Copies of the notice have been mailed to the abutters, published in the local newspaper, and a copy provided to the City of Portland.

Attachment 11 - Corps review: We have submitted a copy of this application and plans to the Maine Historic Preservation Commission (MHPC). A copy of the cover letter submitted to MHPC is attached. The MHPC address is: MHPC, 65 State House Station, Augusta, ME 04333-0065.

**APPENDIX A - MDEP VISUAL EVALUATION
FIELD SURVEY CHECKLIST**
(Natural Resources Protection Act, 38 M.R.S.A. §§ 480 A - Z)

Name of applicant: Yale/Ann Arkel Phone:

Application Type: NRPA Individual Permit

Activity Type: (brief activity description) Riprap shoreline

Activity Location: Town: Portland

County: Cumberland

GIS Coordinates, if known:

Date of Survey: 06-14-2010 Observer: SJR Engineering Inc. Phone: 207-242-6248

**Distance Between the Proposed Visibility Activity
and Resource (in Miles)**

1. Would the activity be visible from:	0-¼	¼-1	1+
A. A National Natural Landmark or other outstanding natural feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. A State or National Wildlife Refuge, Sanctuary, or Preserve or a State Game Refuge?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
C. A state or federal trail?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
D. A public site or structure listed on the National Register of Historic Places?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
E. A National or State Park?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
F. 1) A municipal park or public open space?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2) A publicly owned land visited, in part, for the use, observation, enjoyment and appreciation of natural or man-made visual qualities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3) A public resource, such as the Atlantic Ocean, a great pond or a navigable river?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. What is the closest estimated distance to a similar activity?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. What is the closest distance to a public facility intended for a similar use?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. Is the visibility of the activity seasonal? (i.e., screened by summer foliage, but visible during other seasons)		<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
5. Are any of the resources checked in question 1 used by the public during the time of year during which the activity will be visible?		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No

APPENDIX B: MDEP COASTAL WETLAND CHARACTERIZATION: INTERTIDAL & SHALLOW SUBTIDAL FIELD SURVEY CHECKLIST

NAME OF APPLICANT: _____ PHONE: _____

APPLICATION TYPE: _____

ACTIVITY LOCATION: TOWN: _____ COUNTY: _____

ACTIVITY DESCRIPTION: ☐ fill ☐ pier ☐ lobster pound ☒ shoreline stabilization
☐ dredge ☐ other: _____

DATE OF SURVEY: 7/27/2010 OBSERVER: PES

TIME OF SURVEY: 8:15 Am TIDE AT SURVEY: Low

SIZE OF DIRECT IMPACT OR FOOTPRINT (square feet):

Intertidal area: _____ Subtidal area: _____

SIZE OF INDIRECT IMPACT, if known (square feet): _____

Intertidal area: _____ Subtidal area: _____

HABITAT TYPES PRESENT(check all that apply):

☐ sand beach ☐ boulder/cobble beach ☐ sand flat ☒ mixed coarse & fines ☒ salt marsh
☒ ledge ☒ rocky shore ☐ mudflat (sediment depth, if known: _____)

ENERGY: ☐ protected ☒ semi-protected ☐ partially exposed ☐ exposed

DRAINAGE: ☒ drains completely ☐ standing water ☐ pools ☐ stream or channel

SLOPE: ☐ >20% ☐ 10-20% ☐ 5-10% ☒ 0-5% ☐ variable

SHORELINE CHARACTER:

☐ bluff/bank (height from spring high tide: _____) ☐ beach ☐ rocky ☒ vegetated

FRESHWATER SOURCES: ☐ stream ☐ river ☐ wetland ☒ stormwater

MARINE ORGANISMS PRESENT:

	absent	occasional	common	abundant
mussels	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
clams	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
marine worms	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
rockweed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
eelgrass	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
lobsters	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
other	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/> green crabs periwinkles

SIGNS OF SHORELINE OR INTERTIDAL EROSION? ☒ yes ☐ no

PREVIOUS ALTERATIONS? concrete seawall ☒ yes ☐ no

CURRENT USE OF SITE AND ADJACENT UPLAND:

☐ undeveloped ☒ residential ☐ commercial ☐ degraded ☐ recreational

PLEASE SUBMIT THE FOLLOWING:

☒ Photographs ☒ Overhead drawing

(pink)



Figure 1. Looking NORTH along the toe of the bank. Note remains of old seawall and fill material. Bank is vegetated primarily with Japanese Knotweed (*Polygonum cuspidatum*). [7/27/2010, 8:50 a.m., low tide]



Figure 2. Looking NORTH along toe of the bank. Distance from toe of bank to *Spartina alterniflora* is 10 feet. Construction of bank stabilization will have minimal impact on intertidal area and will quickly revegetate with native species. [7/27/2010, 8:52 a.m., low tide]

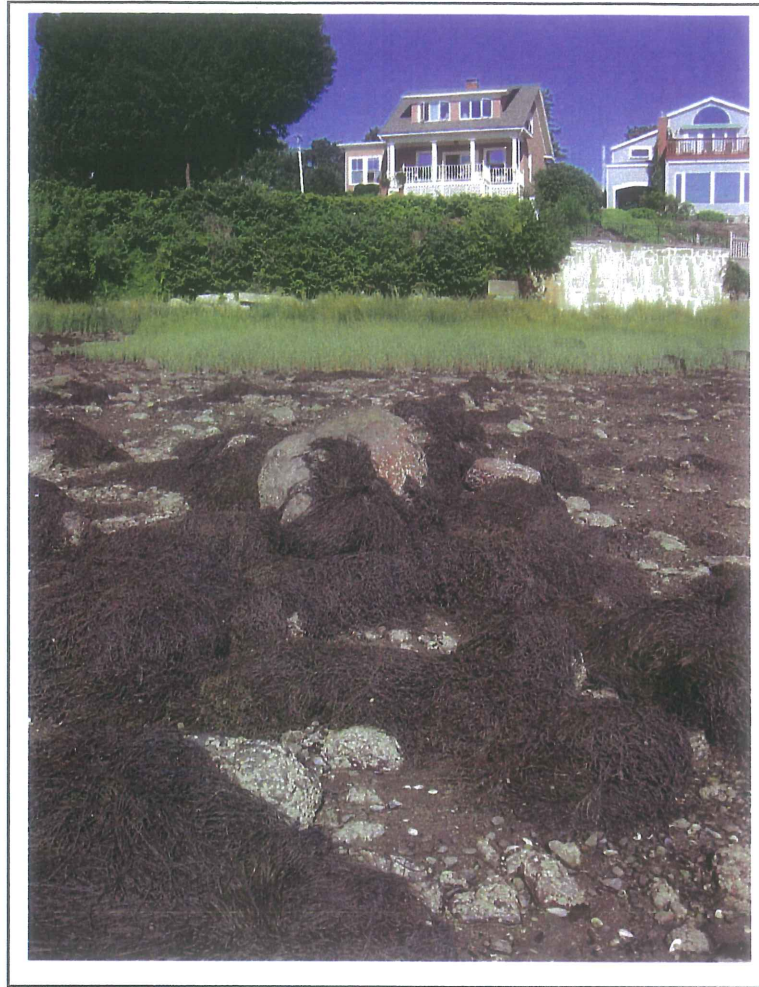
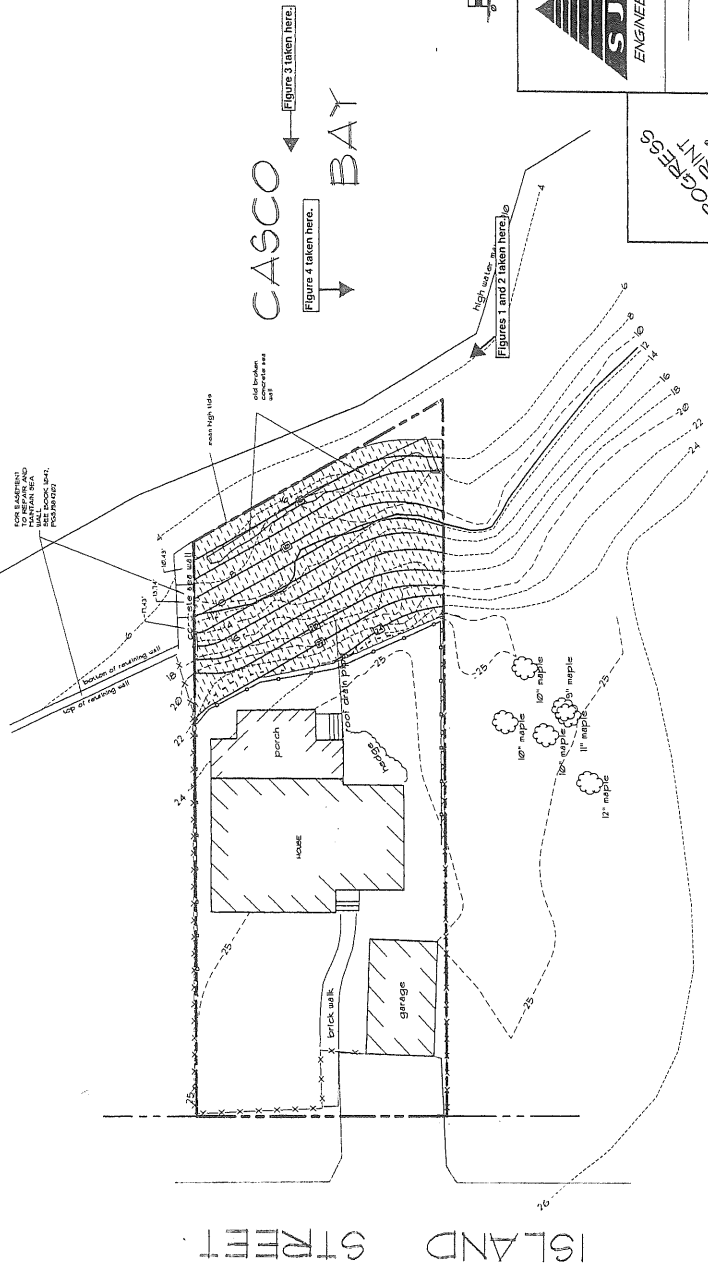


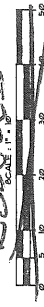
Figure 3. Looking WEST across intertidal area and toward the bank to be stabilized. There will be no impact to the rock/knotweed area of the intertidal zone. [7/27/2010, 8:55 a.m., low tide]



Figure 4. Sediments in midtidal zone. Clams abundant, mussels, marine worms, periwinkles and green crabs occasionally present. [7/27/2010, 8:57 a.m., low tide]



NEW DELHI



EXISTING UTILITY POLE
EXISTING PAVEMENT
EXISTING TRAIL LINE
EXISTING CONTOUR
FENCE
BUILDING
TOP OF BANK
NEW ROCK SLOPE
PROTECTION
NEW SALT FENCE
NEW CONTOUR

TOPOGRAPHIC SITE PLAN
BANK EROSION CONTROL/REVEGETMENT

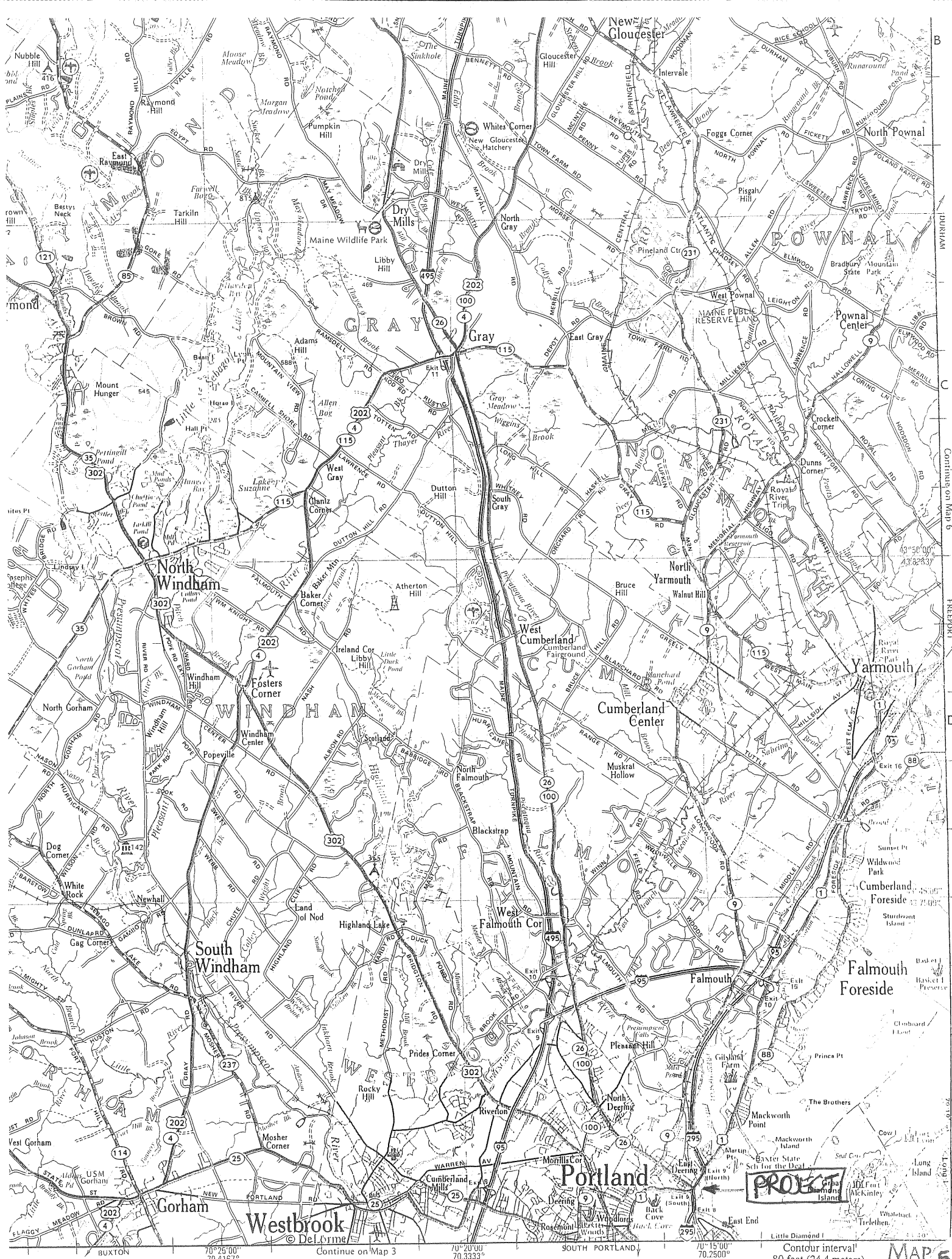
YALE & ANN ARBOR

6 ISLAND STREET - PORTLAND, MAINE
CUMBERLAND COUNTY

SCALE : AS SHOWN	DRAIN BY : BOMAC	PROJECT : ARKEL-SP
DATE : JUNE, 2010	CHECKED BY : SJR	DRAWING # 1-1

PROGRESS
PRINT
a name

FOR APPROVALS ONLY



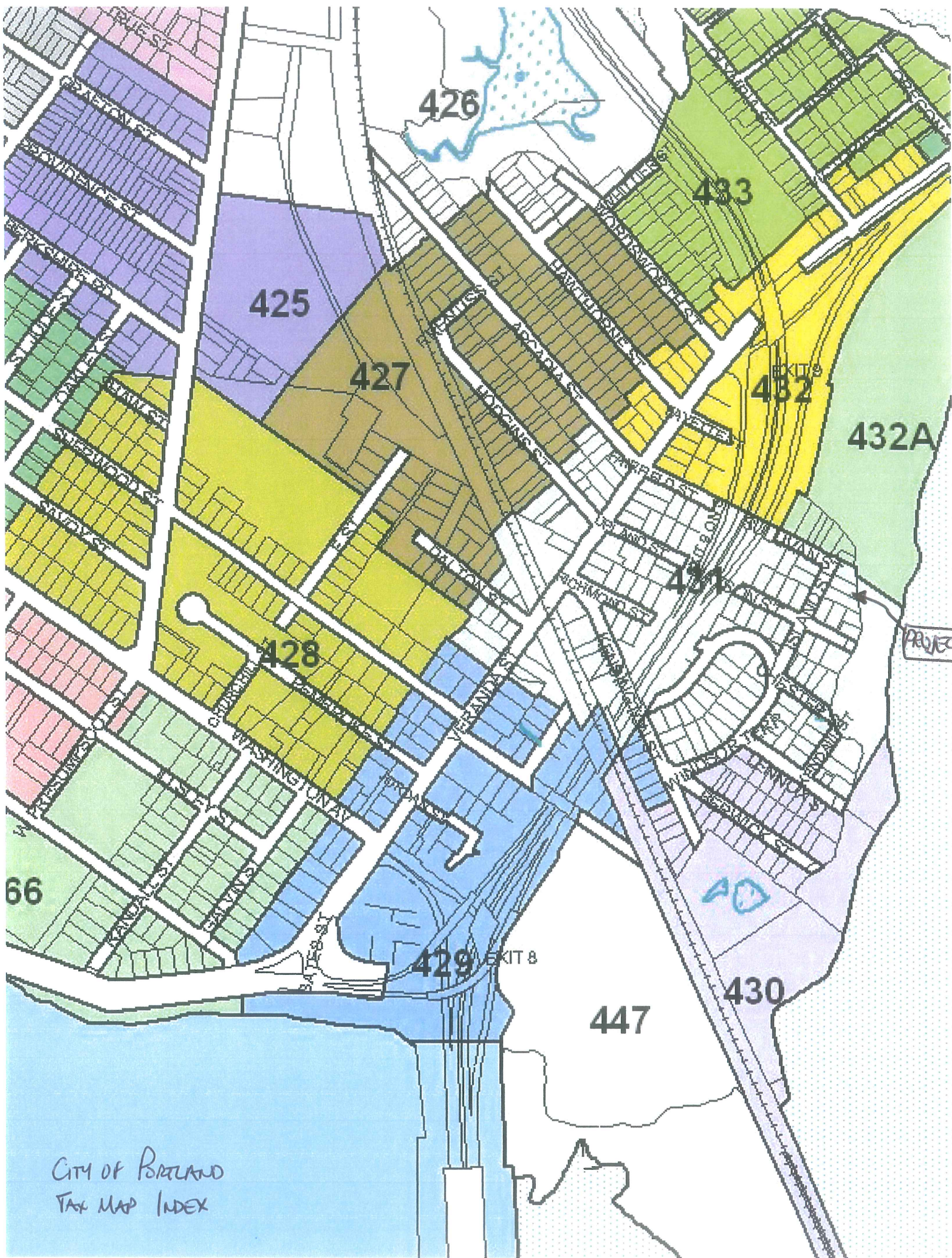
Continue on Map 6

FREEPORT

D

E

MAP 5



CITY OF PORTLAND
TAX MAP INDEX



Project

PROJECT

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1"=50'±

NTS

**PUBLIC NOTICE:
NOTICE OF INTENT TO FILE**

Please take notice that Yale/Ann Arkel, 116 Stanmore Place, Westfield, NJ 07090, is intending to file a Natural Resources Protection Act permit application with the Maine Department of Environmental Protection pursuant to the provisions of 38 M.R.S.A. §§ 480-A thru 480-BB on or about August 20, 2010.

The application is for supplemental riprap along an existing riprap shoreline and additional eroding shoreline at the following location: Tax map 431, Lot B-1, 6 Island Street, Portland, Maine.

A request for a public hearing or a request that the Board of Environmental Protection assume jurisdiction over this application must be received by the Department in writing, no later than 20 days after the application is found by the Department to be complete and is accepted for processing. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection. Public comment on the application will be accepted throughout the processing of the application.

The application will be filed for public inspection at the Department of Environmental Protection's office in Portland during normal working hours. A copy of the application may also be seen at the municipal offices in Portland, Maine.

Written public comments may be sent to the regional office in Portland, where the application is filed for public inspection: MDEP, Southern Maine Regional Office, 312 Canco Road, Portland, Maine 04103

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For delivery information visit our website at www.usps.com

PORTLAND ME 04103

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Certified Fee		\$2.80
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Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$3.24

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PS Form 3800, August 2006 See Reverse for Instructions

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PORTLAND ME 04103

Postage	\$	\$0.44
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Restricted Delivery Fee (Endorsement Required)		\$0.00
Total Postage & Fees	\$	\$5.54

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7002 0747 0000 5679 7194

7002 0747 0000 5679 7194

7002 0747 0000 5679 7194

PARCEL INFO

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

[City](#)
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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:**Services**[Applications](#)[Doing Business](#)[Maps](#)[Tax Relief](#)[Tax Roll](#)[Q & A](#)[browse city services a-z](#)[browse facts and links a-z](#)

Best viewed at
800x600, with
Internet Explorer

CBL	431 B001001
Land Use Type	SINGLE FAMILY
Property Location	6 ISLAND ST
Owner Information	ARKELE ANNE & YALE S JTS 116 STANMORE PL WESTFIELD NJ 07090
Book and Page	15203/278
Legal Description	431-B-1 ISLAND ST 6-8
Acres	4792 SF 0.11

Current Assessed Valuation:

TAX ACCT NO.	43826	OWNER OF RECORD AS OF APRIL 2009
LAND VALUE	\$257,100.00	ARKELE ANNE & YALE S JTS
BUILDING VALUE	\$107,600.00	116 STANMORE PL
HOMESTEAD EXEMPTION	(\$12,350.00)	WESTFIELD NJ 07090
NET TAXABLE - REAL ESTATE	\$352,350.00	
TAX AMOUNT	\$6,250.70	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:**Card 1 of 1**

Year Built	1913
Style/Structure Type	OLD STYLE
# Stories	1.5
Bedrooms	3
Full Baths	1
Total Rooms	6
Attic	NONE
Basement	FULL
Square Feet	1206

[View Sketch](#)[View Map](#)[View Picture](#)**Outbuildings/Yard Improvements:****Card 1**

Year Built	1980
Structure	GARAGE-WD/CB
Size	12X20
Units	1
Grade	C
Condition	A

Sales Information:

Sale Date	Type	Price	Book/Page
12/2/1999	LAND + BUILDING	\$230,000.00	15203/278
9/2/1999	LAND + BUILDING	\$175,000.00	15022/328

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ABUTTERS

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800x600, with
Internet Explorer

Parcel ID	Name and Mailing Address	Property Location	Land Use
087 J012001	MITCHELL CYNDE PUTNEY TRUSTEE 325 ISLAND AVE PEAKS ISLAND ME 04108	0 ISLAND AVE	VACANT LAND
084 R030001	PARKER CAROLYN T 2 ISLAND AVE PEAKS ISLAND ME 04108	2 ISLAND AVE	RETAIL & PERSONAL SERVICE
431 B006001	WOLF ALAN E & GERALDINE G WOLF TRUSTEES 4 ISLAND ST PORTLAND ME 04103	4 ISLAND ST	SINGLE FAMILY
431 B001001	ARKEL ANNE & YALE S JTS 116 STANMORE PL WESTFIELD NJ 07090	6 ISLAND ST	SINGLE FAMILY
431 A019001	MOULTON RICHARD C & SHERI A JTS 7 ISLAND ST PORTLAND ME 04103	7 ISLAND ST	SINGLE FAMILY
084 R008001	DAVIS ANDREA 10 ISLAND AVE PEAKS ISLAND ME 04108	10 ISLAND AVE	SINGLE FAMILY
431 B002001	CORLISS PATRICK K JR 171 WESTVIEW DR SANFORD ME 04073	10 ISLAND ST	SINGLE FAMILY
431 A018001	FERRANTE MICHAEL A 18 SUMMER ST # 1 ANDOVER MA 01810	11 ISLAND ST	SINGLE FAMILY
084 R032001	W & W INC 498 ISLAND AVE PEAKS ISLAND ME 04108	20 ISLAND AVE	HOTEL & MOTEL
084 M010001	NORTON DAVID S & KIM E NORTON JTS 21 ISLAND AVE PEAKS ISLAND ME 04108	21 ISLAND AVE	SINGLE FAMILY
084 L007001	ISLAND ACQUISITION LLC 8 WESTERN AVE KENNEBUNK ME 04043	33 ISLAND AVE	RETAIL & PERSONAL SERVICE
084 K008001	BONN MARION H 612 SEVILLA AVE MIAMI FL 33134	45 ISLAND AVE	TWO FAMILY
084 K009001	BONN WILLIAM A 501 ALHAMBRA CIR CORAL GABLES FL 33134	53 ISLAND AVE	SINGLE FAMILY
084 Q004001	PORT ISLAND REALTY INC PO BOX 7341 PORTLAND ME 04112	56 ISLAND AVE	MULTI-USE COMMERCIAL
084 J004001	HOCHMAN BRUCE B & LORI M HOCHMAN JTS 61 ISLAND AVE PEAKS ISLAND ME 04108	61 ISLAND AVE	SINGLE FAMILY
084 Q002001	CHALMERS KRISTEN M 62 ISLAND AVE PEAKS ISLAND ME 04108	62 ISLAND AVE	SINGLE FAMILY
084 Q001001	THE FEENEY FAMILY R/E LLC 216 CENTER RD GRAY ME 04039	70 ISLAND AVE	RETAIL & PERSONAL SERVICE

ABUTTOR

← PROJECT

ABUTTOR

ABUTTOR



Overview of 6 Teland Street Portland property with failed retaining wall and eroded banking



View from shorefront showing failed retaining wall and eroded /slumped bank



Existing condition of failed concrete retaining wall and churning property



Existing condition along shorefront and abutting property 6 Teland Street in Portland



View from shorefront showing eroded banking and failed lower retaining wall



6 Island St, Portland, ME 04103

Sullivan St

Watson St

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Image U.S. Geological Survey
© 2010 Europa Technologies

© 2009 Google

Hi Barbara,

8/16/2010

Could you let me know if the City of Pittland
requires any Planning Review for this project also.
I have attached a copy of the NRPA application
as required by the DEP application.

Steve Robey
SJR Engineering Inc.
21 Mayflower Road
Augusta ME 04330
Tel: (207) 622-1676

Jean Fraser - RE: 6 Island Street - Arkel slope stabilization

From: "Steve Roberge" <steve@sjreng.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 11/19/2010 2:38 PM
Subject: RE: 6 Island Street - Arkel slope stabilization
CC: "Barbara Barhydt" <BAB@portlandmaine.gov>
Attachments: CertExchangeAndrewCFisk.fdf; Arkel Yale & Ann L25060AN&BN.pdf

Hi Jean,
I have attached a copy of the DEP approval for the Arkel slope stabilization per your request.

Steve Roberge, PE
SJR Engineering Inc.
21 Mayflower Road
Augusta, Maine 04330
Tel: 207-242-6248

Look at our new website
www.sjreng.com

Be kinder than necessary, for everyone you meet is fighting some kind of battle.

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Thursday, October 14, 2010 3:14 PM
To: Steve Roberge
Cc: Barbara Barhydt
Subject: RE: 6 Island Street - Arkel slope stabilization

Steve,

I am writing further to your correspondence with Barbara Barhydt to let you know the status of the site plan review of this project.

I only have one preliminary review comment at this time and I am passing it on in full for information even though it is essentially suggesting that some of the details do not meet MDEP requirements. Since I understand you have submitted a NRPA application I anticipate you will receive similar comments from the MDEP and may be submitting revisions to us.

My impression from city reviewers is that we will not have any further concerns, but we would like to see the MDEP permit for this project before issuing the approval letter.

Please do not hesitate to call if any questions.

Jean

Jean Fraser, Planner
City of Portland
874 8728



STATE OF MAINE
Department of Environmental Protection

JOHN ELIAS BALDACCI
GOVERNOR

BETH A NAGUSKY
ACTING COMMISSIONER

November, 2010

Yale and Ann Arkel
116 Stanmore Place
Westfield, NJ 07090

RE: Natural Resources Protection Act Application, Portland,
#L-25060-4D-A-N/#L-25060-TW-B-N

Dear Mr. and Mrs. Arkel:

Please find enclosed a signed copy of your Department of Environmental Protection land use permit. You will note that the permit includes a description of your project, findings of fact that relate to the approval criteria the Department used in evaluating your project, and conditions that are based on those findings and the particulars of your project. Please take several moments to read your permit carefully, paying particular attention to the conditions of the approval. The Department reviews every application thoroughly and strives to formulate reasonable conditions of approval within the context of the Department's environmental laws. You will also find attached some materials that describe the Department's appeal procedures for your information.

If you have any questions about the permit or thoughts on how the Department processed this application please get in touch with me directly. I can be reached at (207) 822 -6322 or at lisa.vickers@maine.gov.

Yours sincerely,

Lisa Vickers, Project Manager
Division of Land Resource Regulation
Bureau of Land & Water Quality

pc: File

AUGUSTA
17 STATE HOUSE STATION
AUGUSTA, MAINE 04333-0017
(207) 287-7688 FAX: (207) 287-7826
RAY BLDG., HOSPITAL ST

BANGOR
106 HOGAN ROAD
BANGOR ME 04401
(207-941-4570 FAX 207-941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-0477 FAX: (207) 764-3143

WEB SITE: WWW.MAINE.GOV/DEP

*Sent with MSED
Certification re sender being Fish*



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, ME 04333

DEPARTMENT ORDER

IN THE MATTER OF

YALE AND ANN ARKEL
Portland, Cumberland County
SHORELINE STABILIZATION
L-25060-4D-A-N (approval)
L-25060-TW-B-N (approval)

) NATURAL RESOURCES PROTECTION
) COASTAL WETLAND ALTERATION
) TIDAL WATERFOWL HABITAT
) WATER QUALITY CERTIFICATION
) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act, the Department of Environmental Protection has considered the application of YALE AND ANN ARKEL with the supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. PROJECT DESCRIPTION:

A. Summary: The applicants own an approximately 0.11-acre lot with approximately 45 linear feet of shoreline on Casco Bay. The shoreline has extensive erosion along its entire length and was previously stabilized with a concrete retaining wall at the toe of the slope that has since failed due to tidal action, ice, and upslope drainage patterns. In order to stabilize the shoreline, the applicants propose to remove the failed concrete wall and to stabilize the shoreline with rock riprap and vegetation that will measure approximately 45 feet long by approximately 24 feet high.

To install the riprap system, the applicants propose to place anchor stones at the toe of the slope. The toe stones will be in the 1,800-pound range and will be anchored into the ledge with rebar and grout. The slope will be graded to a 1.5:1 slope and filter fabric will be placed over the prepared surface. The initial layer of riprap stone that will be placed over the filter fabric will be on the order of approximately 50 pounds. The second and third layers of riprap will vary in size from 500 pounds to 1,800 pounds, with the average size stone being 1,000 pounds. The smaller riprap will be used to fill the voids between the larger riprap stones. The riprap system will be located approximately 1.3 feet below the highest annual tide line and will impact approximately 195 square feet of intertidal area; however, the applicants will remove the existing failed concrete seawall that is located in this area. In order to blend the riprap system into the natural landscape, the applicants will place native plantings that will include either Bayberry (*Myrica pennsylvanica*) or Creeping Juniper (*Juniperus horizontalis*) along the lower portion of the system and either Rugosa Rose (*Rosa rugosa*) or Beach Plum (*Prunus maritima*) along the top of the bank.

The project also includes the placement of access stairs within the riprap system that will be constructed with stone and will have a maximum width of four feet. The project can be seen on the plan sheet submitted with the application titled, "Yale & Ann Arkel," prepared by SJR

Engineering and dated, by revision, September 13, 2010. The project site is located on Island Road in the City of Portland.

B. Current Use of the Site: The site of the proposed project is located on 0.11 acres and is developed with a single-family residence and garage.

2. EXISTING SCENIC, AESTHETIC, RECREATIONAL OR NAVIGATIONAL USES:

In accordance with Chapter 315, Assessing and Mitigating Impacts to Scenic and Aesthetic Uses, the applicants submitted a copy of the Department's Visual Evaluation Field Survey Checklist as Appendix A to the application along with a description of the property and the proposed project. The applicants also submitted several photographs of the proposed project site. Department staff visited the project site on November 9, 2010.

The proposed project is located in Casco Bay, which is a scenic resource visited by the general public, in part, for the use, observation, enjoyment and appreciation of its natural and cultural visual qualities. The surrounding area is developed with residential structures. There is an existing shoreline stabilization system located along Route 1 and visible within the viewshed of the project site. There is an older retaining wall at the project site that has failed completely and the applicants propose to remove the remnants. In order to minimize scenic impacts, the applicants propose to install native plantings to include: Bayberry (*Myrica pennsylvanica*) or Creeping Juniper (*Juniperus horizontalis*) along the lower portion of the system and either Rugosa Rose (*Rosa rugosa*) or Beach Plum (*Prunus maritima*) along the top of the bank.

The proposed project was evaluated using the Department's Visual Impact Assessment Matrix and was found to have an acceptable potential visual impact rating. Based on the information submitted in the application, the visual impact rating, and the site visit, the Department determined that the location and scale of the proposed activity is compatible with the existing visual quality and landscape characteristics found within the viewshed of the scenic resource in the project area. The plantings must be monitored for one year for an 85% successful establishment. Plantings must be replaced or maintained as necessary to achieve 85% survivability after the first full growing season.

The Department of Marine Resources (DMR) did not identify any issues involving existing recreational and navigational uses.

The Department finds that the proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational or navigational uses of the protected natural resource provided the plantings are monitored, maintained and replaced as described above.

3. SOIL EROSION:

The riprap will be constructed from the upland and any areas of disturbance will be seeded and mulched.

The Department finds that the activity will not cause unreasonable erosion of soil or sediment nor unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.

4. HABITAT CONSIDERATIONS:

The site of the proposed project is a moderate energy shore. The upland of the proposed project is located on a 0.11-acre lot with a residential structure that is located near the top of the bank. The supratidal is a vegetated clay soil bank that is approximately 20 feet high and is eroding. There is an older two-foot high seawall that is failing and located at the toe of the slope. The upper intertidal is fringing marsh that contains *Spartina alterniflora*. The lower intertidal is boulder/cobble/mud with clams, marine worms, periwinkles, and green crabs. According to the Maine Geographic Information Systems (GIS) database, the project area below the highest annual tide line is located within Tidal Waterfowl and Wading Bird, a Significant Wildlife habitat as defined by Chapter 335 of the Natural Resources Protection Act.

The Department of Marine Resources (DMR) stated that the proposed project should not cause any significant adverse impact to riparian access. DMR further commented that consideration should be given to increasing the slope of the proposed project to move the toe of the slope away from the intertidal area. The applicants responded that the bank is already unstable and determined that the bank will be much more stable at the proposed 1.5 to 1 slope which is in accordance with the Department's Erosion and Sediment Control Best Management Practices manual (March 2003).

The Maine Department of Inland Fisheries and Wildlife (MDIFW) reviewed the proposed project and did not identify any concerns.

The Department finds that the activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine or marine fisheries or other aquatic life.

5. WATER QUALITY CONSIDERATIONS:

The Department does not anticipate that the proposed project will violate any state water quality law, including those governing the classification of the State's waters.

6. WETLANDS AND WATERBODIES PROTECTION RULES:

The applicants propose to directly alter 195 square feet of intertidal area of a coastal wetland as a result of the placement of the rock riprap below the highest annual tide.

The Department's Wetlands and Waterbodies Protection Rules, Chapter 310, require that the applicants meet the following standards:

A. Avoidance. No activity may be permitted if there is a practicable alternative to the project that would be less damaging to the environment. Each application for a Natural Resources Protection Act (NRPA) permit must provide an analysis of alternatives in order to demonstrate that a practicable alternative does not exist. The applicants submitted an alternatives analysis for the proposed project completed by Steve Roberge and dated August 20, 2010. The applicants considered alternatives to the proposed riprap system and determined that vegetation is not adequate to address the erosion issues on the property since the residential structure is located within 25 feet from the top of the bank. The applicants considered constructing the system with a

steeper slope to minimize impacts within the coastal wetland but determined the proposed 1.5:1 slope would provide greater stability of the slope.

B. Minimal Alteration. The amount of coastal wetland to be altered must be kept to the minimum amount necessary for meeting the overall purpose of the project. The project site previously contained a concrete retaining wall that has failed over time. The applicants elected to construct a riprap system with plantings interspersed throughout to minimize impacts to the coastal wetland.

C. Compensation. In accordance with Chapter 310 Section 5(C)(6)(b), compensation is not required to achieve the goal of no net loss of coastal wetland functions and values since the project will not result in over 500 square feet of fill in the resource, which is the threshold over which compensation is generally required. Further, the proposed project will not have an adverse impact on marine resources or wildlife habitat as determined by DMR and MDIFW. For these reasons, the Department determined that compensation is not required.

The Department finds that the applicants have avoided and minimized coastal wetland impacts to the greatest extent practicable, and that the proposed project represents the least environmentally damaging alternative that meets the overall purpose of the project.

7. OTHER CONSIDERATIONS:

The Department did not identify any other issues involving existing scenic, aesthetic, or navigational uses, soil erosion, habitat or fisheries, the natural transfer of soil, natural flow of water, water quality, or flooding.

BASED on the above findings of fact, and subject to the conditions listed below, the Department makes the following conclusions pursuant to 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act:

- A. The proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational, or navigational uses provided that plantings are monitored after one year for an 85% survival rate and all plantings are replaced or maintained as necessary to achieve 85% survivability.
- B. The proposed activity will not cause unreasonable erosion of soil or sediment.
- C. The proposed activity will not unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.
- D. The proposed activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine, or marine fisheries or other aquatic life.
- E. The proposed activity will not unreasonably interfere with the natural flow of any surface or subsurface waters.
- F. The proposed activity will not violate any state water quality law including those governing the classifications of the State's waters.

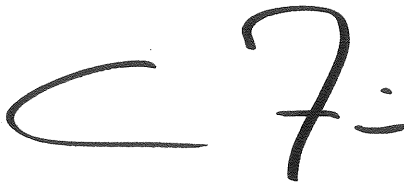
- G. The proposed activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties.
- H. The proposed activity is not on or adjacent to a sand dune.
- I. The proposed activity is not on an outstanding river segment as noted in Title 38 M.R.S.A. Section 480-P.

THEREFORE, the Department APPROVES the above noted application of YALE & ANN ARKEL to construct a rock riprap shoreline stabilization system as described above, SUBJECT TO THE ATTACHED CONDITIONS, and all applicable standards and regulations:

1. Standard Conditions of Approval, a copy attached.
2. The applicants shall take all necessary measures to ensure that their activities or those of their agents do not result in measurable erosion of soil on the site during the construction of the project covered by this approval.
3. Severability. The invalidity or unenforceability of any provision, or part thereof, of this License shall not affect the remainder of the provision or any other provisions. This License shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.
4. The applicants shall monitor the plantings after one year for an 85% survival rate and plantings shall be replaced or maintained as necessary to achieve 85% survivability after one full growing season.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

DEPARTMENT OF ENVIRONMENTAL PROTECTION



This permit has been digitally signed by Andrew C. Fisk on behalf of Acting Commissioner Beth Nagusky. It is digitally signed pursuant to authority under 10 M.R.S.A. § 9418. It has been filed with the Board of Environmental Protection as of the signature date 2010.11.19 12:57:20 -05'00'

PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

lv/l250604dan&l25060twbn/72443&72744



Natural Resource Protection Act (NRPA) Standard Conditions

THE FOLLOWING STANDARD CONDITIONS SHALL APPLY TO ALL PERMITS GRANTED UNDER THE NATURAL RESOURCE PROTECTION ACT, TITLE 38, M.R.S.A. SECTION 480-A ET.SEQ. UNLESS OTHERWISE SPECIFICALLY STATED IN THE PERMIT.

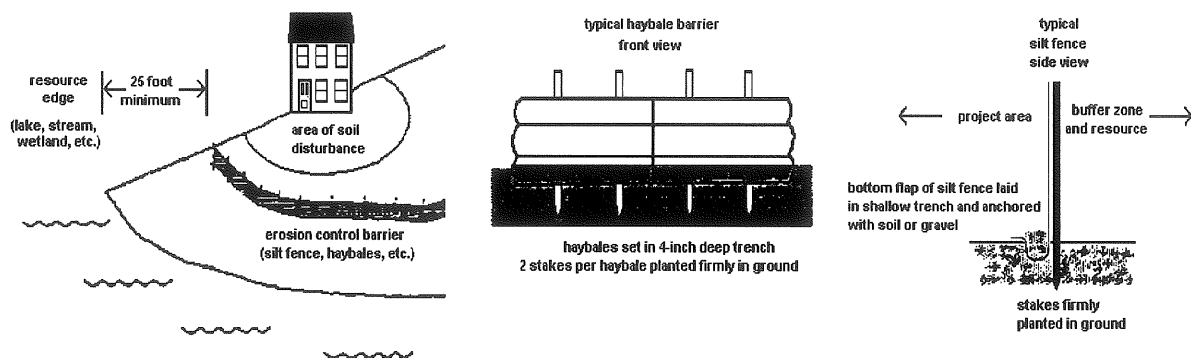
- A. Approval of Variations From Plans. The granting of this permit is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from these plans, proposals, and supporting documents is subject to review and approval prior to implementation.
- B. Compliance With All Applicable Laws. The applicant shall secure and comply with all applicable federal, state, and local licenses, permits, authorizations, conditions, agreements, and orders prior to or during construction and operation, as appropriate.
- C. Erosion Control. The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soils on the site during the construction and operation of the project covered by this Approval.
- D. Compliance With Conditions. Should the project be found, at any time, not to be in compliance with any of the Conditions of this Approval, or should the applicant construct or operate this development in any way other the specified in the Application or Supporting Documents, as modified by the Conditions of this Approval, then the terms of this Approval shall be considered to have been violated.
- E. Initiation of Activity Within Two Years. If construction or operation of the activity is not begun within two years, this permit shall lapse and the applicant shall reapply to the Board for a new permit. The applicant may not begin construction or operation of the activity until a new permit is granted. Reapplications for permits shall state the reasons why the applicant will be able to begin the activity within two years form the granting of a new permit, if so granted. Reapplications for permits may include information submitted in the initial application by reference.
- F. Reexamination After Five Years. If the approved activity is not completed within five years from the date of the granting of a permit, the Board may reexamine its permit approval and impose additional terms or conditions to respond to significant changes in circumstances which may have occurred during the five-year period.
- G. No Construction Equipment Below High Water. No construction equipment used in the undertaking of an approved activity is allowed below the mean high water line unless otherwise specified by this permit.
- H. Permit Included In Contract Bids. A copy of this permit must be included in or attached to all contract bid specifications for the approved activity.
- I. Permit Shown To Contractor. Work done by a contractor pursuant to this permit shall not begin before the contractor has been shown by the applicant a copy of this permit.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

Erosion Control for Homeowners

Before Construction

1. If you have hired a contractor, make sure you discuss your permit-by-rule with them. Talk about what measures they plan to take to control erosion. Everybody involved should understand what the resource is, and where it is located. Most people can identify the edge of a lake or river. However, the edges of wetlands are often not so obvious. Your contractor may be the person actually pushing dirt around, but you are both responsible for complying with the permit-by-rule.
2. Call around to find where erosion control materials are available. Chances are your contractor has these materials already on hand. You probably will need silt fence, hay bales, wooden stakes, grass seed (or conservation mix), and perhaps filter fabric. Places to check for these items include farm & feed supply stores, garden & lawn suppliers, and landscaping companies. It is not always easy to find hay or straw during late winter and early spring. It also may be more expensive during those times of year. Plan ahead -- buy a supply early and keep it under a tarp.
3. Before any soil is disturbed, make sure an erosion control barrier has been installed. The barrier can be either a silt fence, a row of staked hay bales, or both. Use the drawings below as a guide for correct installation and placement. The barrier should be placed as close as possible to the soil-disturbance activity.
4. If a contractor is installing the erosion control barrier, double check it as a precaution. Erosion control barriers should be installed "on the contour", meaning at the same level or elevation across the land slope, whenever possible. This keeps stormwater from flowing to the lowest point along the barrier where it can build up and overflow or destroy the barrier.



During Construction

1. Use lots of hay or straw mulch on disturbed soil. The idea behind mulch is to prevent rain from striking the soil directly. It is the force of raindrops hitting the bare ground that makes the soil begin to move downslope with the runoff water, and cause erosion. More than 90% of erosion is prevented by keeping the soil covered.
2. Inspect your erosion control barriers frequently. This is especially important after a rainfall. If there is muddy water leaving the project site, then your erosion controls are not working as intended. You or your contractor then need to figure out what can be done to prevent more soil from getting past the barrier.
3. Keep your erosion control barrier up and maintained until you get a good and healthy growth of grass and the area is permanently stabilized.



DEP INFORMATION SHEET Appealing a Commissioner's Licensing Decision

Dated: May 2004

Contact: (207) 287-2811

SUMMARY

There are two methods available to an aggrieved person seeking to appeal a licensing decision made by the Department of Environmental Protection's (DEP) Commissioner: (1) in an administrative process before the Board of Environmental Protection (Board); or (2) in a judicial process before Maine's Superior Court. This INFORMATION SHEET, in conjunction with consulting statutory and regulatory provisions referred to herein, can help aggrieved persons with understanding their rights and obligations in filing an administrative or judicial appeal.

I. ADMINISTRATIVE APPEALS TO THE BOARD

LEGAL REFERENCES

DEP's General Laws, 38 M.R.S.A. § 341-D(4), and its Rules Concerning the Processing of Applications and Other Administrative Matters (Chapter 2), 06-096 CMR 2.24 (April 1, 2003).

HOW LONG YOU HAVE TO SUBMIT AN APPEAL TO THE BOARD

The Board must receive a written notice of appeal within 30 calendar days of the date on which the Commissioner's decision was filed with the Board. Appeals filed after 30 calendar days will be rejected.

HOW TO SUBMIT AN APPEAL TO THE BOARD

Signed original appeal documents must be sent to: Chair, Board of Environmental Protection, c/o Department of Environmental Protection, 17 State House Station, Augusta, ME 04333-0017; faxes are acceptable for purposes of meeting the deadline when followed by receipt of mailed original documents within five (5) working days. Receipt on a particular day must be by 5:00 PM at DEP's offices in Augusta; materials received after 5:00 PM are not considered received until the following day. The person appealing a licensing decision must also send the DEP's Commissioner and the applicant a copy of the documents. All the information listed in the next section must be submitted at the time the appeal is filed. Only the extraordinary circumstances described at the end of that section will justify evidence not in the DEP's record at the time of decision being added to the record for consideration by the Board as part of an appeal.

WHAT YOUR APPEAL PAPERWORK MUST CONTAIN

The materials constituting an appeal must contain the following information at the time submitted:

1. *Aggrieved Status.* Standing to maintain an appeal requires the appellant to show they are particularly injured by the Commissioner's decision.
2. *The findings, conclusions or conditions objected to or believed to be in error.* Specific references and facts regarding the appellant's issues with the decision must be provided in the notice of appeal.
3. *The basis of the objections or challenge.* If possible, specific regulations, statutes or other facts should be referenced. This may include citing omissions of relevant requirements, and errors believed to have been made in interpretations, conclusions, and relevant requirements.
4. *The remedy sought.* This can range from reversal of the Commissioner's decision on the license or permit to changes in specific permit conditions.

5. *All the matters to be contested.* The Board will limit its consideration to those arguments specifically raised in the written notice of appeal.

6. *Request for hearing.* The Board will hear presentations on appeals at its regularly scheduled meetings, unless a public hearing is requested and granted. A request for public hearing on an appeal must be filed as part of the notice of appeal.

7. *New or additional evidence to be offered.* The Board may allow new or additional evidence as part of an appeal only when the person seeking to add information to the record can show due diligence in bringing the evidence to the DEP's attention at the earliest possible time in the licensing process or show that the evidence itself is newly discovered and could not have been presented earlier in the process. Specific requirements for additional evidence are found in Chapter 2, Section 24(B)(5)

OTHER CONSIDERATIONS IN APPEALING A DECISION TO THE BOARD

1. *Be familiar with all relevant material in the DEP record.* A license file is public information made easily accessible by DEP. Upon request, the DEP will make the material available during normal working hours, provide space to review the file, and provide opportunity for photocopying materials.

There is a charge for copies or copying services.

2. *Be familiar with the regulations and laws under which the application was processed, and the procedural rules governing your appeal.* DEP staff will provide this information on request and answer questions regarding applicable requirements.

3. *The filing of an appeal does not operate as a stay to any decision.* An applicant proceeding with a project pending the outcome of an appeal runs the risk of the decision being reversed or modified as a result of the appeal.

WHAT TO EXPECT ONCE YOU FILE A TIMELY APPEAL WITH THE BOARD

The Board will formally acknowledge initiation of the appeals procedure, including the name of the DEP project manager assigned to the specific appeal, within 15 days of receiving a timely filing. The notice of appeal, all materials accepted by the Board Chair as additional evidence, and any materials submitted in response to the appeal will be sent to Board members along with a briefing and recommendation from DEP staff. Parties filing appeals and interested persons are notified in advance of the final date set for Board consideration of an appeal or request for public hearing. With or without holding a public hearing, the Board may affirm, amend, or reverse a Commissioner decision. The Board will notify parties to an appeal and interested persons of its decision.

II APPEALS TO MAINE SUPERIOR COURT

Maine law allows aggrieved persons to appeal final Commissioner licensing decisions to Maine's Superior Court, see 38 M.R.S.A. § 346(1); 06-096 CMR 2.26; 5 M.R.S.A. § 11001; & MRCivP 80C. Parties to the licensing decision must file a petition for review within 30 days after receipt of notice of the Commissioner's written decision. A petition for review by any other person aggrieved must be filed within 40-days from the date the written decision is rendered. The laws cited in this paragraph and other legal procedures govern the contents and processing of a Superior Court appeal.

ADDITIONAL INFORMATION: If you have questions or need additional information on the appeal process, contact the DEP's Director of Procedures and Enforcement at (207) 287-2811.

Note: The DEP provides this INFORMATION SHEET for general guidance only; it is not intended for use as a legal reference. Maine law governs an appellant's rights.



MEMORANDUM

TO: Jean Fraser
FROM: Dan Goyette, P.E. & Ashley Auger, E.I.T.
DATE: October 11, 2010
RE: Arkel Slope Stabilization Project

Woodard & Curran has reviewed the Development Review Application for the Minor Site Plan for the Arkel Slope Stabilization Project located at 6 Island Street, Portland, Maine. The proposed project includes removing a failed concrete wall and re-grading the slope with a filter fabric liner and riprap cover along the owners' property shoreline.

Documents Reviewed

- Development Review Application and attachments dated September 22, 2010, submitted by Carl Collenberg and Steve Roberge
- Standard Boundary Survey, dated March 21, 1996, prepared by Titcomb Associates Inc. on behalf of Maurine C. Williamson
- Topographic Site Plan, dated June, 2010, prepared by S.J.R. Engineering

Comments

- Please provide a temporary construction entrance detail in accordance with the Maine Department of Environmental Protection's (MaineDEPs) Erosion and Sediment Control BMPs.
- In accordance with the MaineDEPs Erosion and Sediment Control BMPs, the minimum thickness of the riprap layer shall be 2.2 times the maximum stone diameter (for a D50 of 12 inches or smaller), but not less than six inches. For D50 specified greater than 12 inches, the riprap layer thickness shall be two times the D50. Additionally, the edges of the geotextile fabric should overlap a minimum of 12 inches and the upper end of the cloth should be buried a minimum of 12 inches. The riprap details provided do not specify these requirements.

Please contact our office if you have any questions.

AEA
222804

From: "Dan Goyette" <DGoyette@woodardcurran.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 11/22/2010 9:32 AM
Subject: RE: Review of 6 Island Street - Arkel Slope Stabilization

If the DEP is ok, we are ok. It is their own rules they aren't following.

Dan

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Friday, November 19, 2010 3:30 PM
To: Dan Goyette
Cc: Ashley Auger
Subject: Review of 6 Island Street - Arkel Slope Stabilization

Dan

You and Ashley reviewed this slope stabilization proposal (your comments of 10.11.2010 are attached).

The applicant's engineer has today sent the MDEP Permit (also attached) giving approval to the same plans as you reviewed.

It appears that the MDEP did not include any conditions in respect of the rip rap details.

We will do a final City Site Plan review on Wed 11.24.10 at Dev Rev and we need to discuss.

thanks
Jean

Jean Fraser - Review of 6 Island Street - Arkel Slope Stabilization

From: Jean Fraser
To: Goyette, Dan
Date: 11/19/2010 3:30 PM
Subject: Review of 6 Island Street - Arkel Slope Stabilization
CC: AAuger@woodardcurran.com
Attachments: 2010.10.11 Island Street Erosion Control MEMO.doc; Arkel Yale & Ann L25060AN&BN.pdf

Dan

You and Ashley reviewed this slope stabilization proposal (your comments of 10.11.2010 are attached).

The applicant's engineer has today sent the MDEP Permit (also attached) giving approval to the same plans as you reviewed.

It appears that the MDEP did not include any conditions in respect of the rip rap details.

We will do a final City Site Plan review on Wed 11.24.10 at Dev Rev and we need to discuss.

thanks
Jean

Jean Fraser - RE: 6 Island Street - Arkel slope stabilization

From: "Steve Roberge" <steve@sjreng.com>
To: "Jean Fraser" <JF@portlandmaine.gov>
Date: 10/15/2010 5:32 AM
Subject: RE: 6 Island Street - Arkel slope stabilization

Thank you Jean. I'll revise the plan according to the W+C memo with regard to the fabric and rock details. Once I have an approval from DEP, I'll attach that letter with the revised plan.

Steve Roberge, PE
SJR Engineering Inc.
21 Mayflower Road
Augusta, Maine 04330
Tel: 207-242-6248

Look at our new website
www.sjreng.com

Be kinder than necessary, for everyone you meet is fighting some kind of battle.

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]
Sent: Thursday, October 14, 2010 3:14 PM
To: Steve Roberge
Cc: Barbara Barhydt
Subject: RE: 6 Island Street - Arkel slope stabilization

Steve,

I am writing further to your correspondence with Barbara Barhydt to let you know the status of the site plan review of this project.

I only have one preliminary review comment at this time and I am passing it on in full for information even though it is essentially suggesting that some of the details do not meet MDEP requirements. Since I understand you have submitted a NRPA application I anticipate you will receive similar comments from the MDEP and may be submitting revisions to us.

My impression from city reviewers is that we will not have any further concerns, but we would like to see the MDEP permit for this project before issuing the approval letter.

Please do not hesitate to call if any questions.

Jean

Jean Fraser, Planner
City of Portland
874 8728

Jean Fraser - RE: 6 Island Street - Arkel slope stabilization

From: Jean Fraser
To: Roberge, Steve
Date: 10/14/2010 3:13 PM
Subject: RE: 6 Island Street - Arkel slope stabilization
CC: Barhydt, Barbara
Attachments: 2010.10.11 Island Street Erosion Control MEMO.pdf

Steve,

I am writing further to your correspondence with Barbara Barhydt to let you know the status of the site plan review of this project.

I only have one preliminary review comment at this time and I am passing it on in full for information even though it is essentially suggesting that some of the details do not meet MDEP requirements. Since I understand you have submitted a NRPA application I anticipate you will receive similar comments from the MDEP and may be submitting revisions to us.

My impression from city reviewers is that we will not have any further concerns, but we would like to see the MDEP permit for this project before issuing the approval letter.

Please do not hesitate to call if any questions.

Jean

Jean Fraser, Planner
City of Portland
874 8728

Jean Fraser - RE: 6 Island Street - Arkel

From: Barbara Barhydt
To: Roberge, Steve
Date: 10/6/2010 12:22 PM
Subject: RE: 6 Island Street - Arkel
CC: Fraser, Jean

Hi Steve:

We received the application and I distributed to the reviewers at our weekly meeting today. I expect review comments back next week. I have assigned Jean Fraser, Planner, to review this application. She will contact you when she has received comments.

Thank you.

Barbara

>>> "Steve Roberge" <steve@sjreng.com> Wednesday, October 06, 2010 10:21 AM >>>
[Hi Barbara,](#)
[Just checking on the status of this project.](#)

Steve Roberge, PE
SJR Engineering Inc.
21 Mayflower Road
Augusta, Maine 04330
Tel: 207-242-6248

Look at our new website
www.sjreng.com

[Be kinder than necessary, for everyone you meet is fighting some kind of battle.](#)

-----Original Message-----

From: Barbara Barhydt [mailto:BAB@portlandmaine.gov]
Sent: Wednesday, September 22, 2010 11:23 AM
To: Steve Roberge
Cc: Carl Cullenberg
Subject: RE: 6 Island Street - Arkel

Hi Steve:

The application fee is \$400. We send notices to property owners within 500 feet upon receipt of an application. The applicant is invoiced separately for the noticing and the staff review costs, including the review time of the planner and engineer.

Thank you.

Barbara

Barbara Barhydt

Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

>>> "Steve Roberge" <steve@sjreng.com> Monday, September 20, 2010 8:58 AM >>>

Hi Barbara,

Thank you for following up with my questions for PB review of the project. I did not get your phone message or I would have returned the call. Perhaps it is better to correspond in email as I usually get all of those (including spam!). I will submit the application materials per your direction. I do want to make sure we have the necessary permits to go forward with the project. We did have a surveyor shoot the elevations and property lines on the plan (Kevin Cullenberg, Cullenberg Land Surveying). I will have him stamp the plan (along with mine) with the note that he performed the property and topographic portions of the plan. In other matters, we are not constructing a retaining wall (in fact, we are removing the existing failed retaining wall) but are placing riprap stone/filter fabric on the 1.5 to 1 slope. I'm not sure if this changes your need for site review, but I assume the PB approval remains a necessity. During the review at DEP, we have also revised the plan to incorporate planting pockets in the stabilized slope as you will see in the forthcoming application materials package.

Steve Roberge, PE
SJR Engineering Inc.
21 Mayflower Road
Augusta, Maine 04330
Tel: 207-242-6248

Look at our new website
www.sjreng.com

Be kinder than necessary, for everyone you meet is fighting some kind of battle.

-----Original Message-----

From: Barbara Barhydt [mailto:BAR@portlandmaine.gov]
Sent: Monday, September 20, 2010 8:25 AM
To: Steve Roberge
Subject: 6 Island Street - Arkel

Hi Steve:

You sent a plan for the construction of a retaining wall at 6 Island Street. I left a phone message, but I did not hear back from you. What you have proposed does require a Level II site plan for the construction of a retaining wall in the shoreland zone. We require that the site plan is based upon a stamped survey. I see your engineer stamp is on the plans for the engineering work, which we also require.

I am attaching a copy of the Level II site plan application for your use.

Thank you.

Barbara

Barbara Barhydt

Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101
(207) 874-8699
Fax: (207) 756-8256
bab@portlandmaine.gov

Jean Fraser - 6 Island St- Site Plan Application for Bank Erosion Control

From: Jean Fraser
To: CULLENBERG@MSN.COM; YAS7@aol.com
Date: 11/23/2010 3:19 PM
Subject: 6 Island St- Site Plan Application for Bank Erosion Control
CC: Steve Roberge

Dear applicants,

The site plan approval letter for this project, dated November 23, 2010, has been issued and will be mailed tomorrow. In view of the holiday it is unlikely to reach you until the weekend, so please let me know if you would like an e-mailed pdf sent as well (tomorrow).

There are no conditions except for the standard conditions.

Thank you

Jean

Jean Fraser, Planner
City of Portland
(207) 874 8728

plans are as approved

City of Portland
Development Review Application
Planning Division Transmittal form

Application Number: 10-79900034

Application Date:

9-29-2010

Project Name: EROSION CONTROL

Address: 6 Island Street

CBL: 431 - B-001-001

Project Description: Island Street - 6; Erosion Control; Carl Collenberg, Applicant.

Zoning: R3

Other Reviews Required:

Review Type: MINOR SITE PLAN

Applicant:

Carl Collenberg
75 Ledgewood Drive
Falmouth Me 04105

Applicant:

Steve Roberge
21 Mayflower Road
Augusta Me 04330

Noticed 10.8.10

Circ. to reviewers: 10-6-10

Zoning
DPS
Eng Rev

Distribution List:

<input checked="" type="checkbox"/> Planner	Jean Fraser	<input type="checkbox"/> Parking	John Peverada
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Stormwater	Dan Goyette	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Inspections	Tammy Munson
<input type="checkbox"/> City Arborist	Jeff Tarling	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
		<input type="checkbox"/> DRC Coordinator	Phil DiPierro

Preliminary Comments needed by:

10-13-10

Final Comments needed by:

10-20-10

Jean Fraser - 6 Island Street - Slope Stabilization Project

From: Jean Fraser
To: Steve Roberge
Date: 1/28/2011 4:42 PM
Subject: 6 Island Street - Slope Stabilization Project
CC: Barhydt, Barbara; CULLENBERG@MSN.COM; DiPierro, Philip; collenberg@ms...

Steve,

Carl Cullenberg (Collenberg?) called me a few weeks ago asking about the Performance Guarantee and why it was payable in respect of this project.

Because this was approved under the new site plan ordinance I raised this question with my managers and I have just learned that the City will not be requiring a Performance Guarantee for this project.

The Inspection Fee for Planning Inspections will be a flat \$300 instead of the 2% of the Performance Guarantee as mentioned in the approval letter (item 3 of Standard Conditions). Phil diPierro (874 8632 or as cc'd on this) is the contact re that fee payment and to arrange a Preconstruction Meeting on site once the Building Permit is ready to be issued and the project is ready to start on site.

I will telephone Mr Cullenberg on Monday but in the meantime you may want to pass this e-mail along in case I have cc'd the wrong e-mail address.

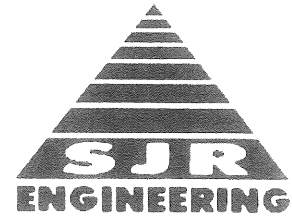
The project does require a building permit and I have not been able to locate evidence that a building permit has been applied for with the Inspections Division - that may be due to their current transition to a new computer system, but I thought I would mention it while writing to ensure that the building permit application is being progressed.

Thank you
Jean

Jean Fraser, Planner
Planning Division
City of Portland
874 8728

September 22, 2010

Barbara Barhydt
Development Review Services Manager
Planning Division
389 Congress Street 4th Floor
Portland, ME 04101



Re: "Arkel Slope Stabilization" project in Portland

Dear Barbara,

SJR Engineering Inc has been retained by the Arkels to evaluate and design a stabilization plan for a failed slope along the Owners property shorefront. We have been to the site, analyzed the situation, and have designed a plan of action for the subject property. I have attached 7 copies of the requested City of Portland application materials and other information pertaining to "Arkel Slope Stabilization" for a Level II site plan review and approval consideration.

The Arkel property is located at 6 Island Street in Portland. The property size is 5,133 sf and has a residence and garage on the site. It lies within the R3 Zone as depicted on City of Portland Zoning maps. There are no easements attached with the property other than the right to maintain an existing retaining wall shared with the abutting property (see attached description deed). The parcel has roughly 45' of shore frontage along the Atlantic Ocean (tidal). The shorefront has previously been improved with a concrete retaining wall that has failed over time due to tidal action, ice, and upslope drainage patterns. This proposal is to remove the failed concrete wall and reinstall a new riprap banking along the 1.5 to 1 steep bank slope. The eroding/failed slope areas are to be reconstructed by installing a filter fabric liner with riprap placed on top of the liner.

The Owner of the property has taken great pains to keep existing vegetation along the shoreline to minimize potential erosion and to provide buffering along the slope. At this point, however, the shore has eroded to within 25' of the house. This erosion along the bank is made worse as the roof water from the house is collected into a guttering system and discharged by pipe at the bank slope. The discharged water causes erosion and resulting slump of the steep bank. We propose to repair this problematic area by installing a riprap/fabric ditch within the slope as shown on the plan. Without additional shorefront banking protection (riprap), it is likely that the banking will be in further danger of slumping due to the surf and tidal action during significant storm events, placing the house at risk.

We have analyzed the situation at the Arkel parcel with regards to other alternatives to minimize the erosion and bank slumping. The existing vegetation is not adequate to provide protection from the constant tidal activity during storm events, upslope runoff water, and winter ice movement causing existing riprap material to move and causing other areas to erode. It is our belief that the riprap armoring is the most cost effective long term solution to repairing the eroded slope. This is an existing condition that needs to be repaired in place in order to prevent additional erosion and potential damage to the existing residence on the shorefront.

Photos: We have attached color photographs of several views of the failed bank and retaining wall that show the area to be altered as well as existing condition along the inter-tidal area that is to be disturbed.

Site plans: We have attached the site plan of the proposed areas to repair the bank erosion. The topographic and property survey plan was prepared by Cullenberg Land Surveying in May of 2010. We have attached a copy of an older Google Maps aerial taken in 2006 to help identify the surrounding properties and land uses. The properties on either side of the failed bank have retaining walls located on the base of the slope. Our proposal is to reconstruct the slope by using riprap materials on a filter fabric. A riprap lined drainage ditch from the outfall of the roof drain to the toe of slope will be utilized to channel runoff from the top of the banking. We have incorporated landscaping pockets within the riprap slope to soften the appearance from an aesthetics viewpoint.

Financial capacity: The Contractor has estimated the project will cost approximately \$50,000. The Owners will finance this project from their personal savings.

Technical capacity: SJR Engineering has been involved with numerous bank stabilization projects throughout the company history. Steve Roberge, the lead designer, is a professional engineer with 30 years of construction and design experience. The proposed Contractor (Scott Dugas Construction of Yarmouth) for the project has extensive experience with construction of riprap slopes and stabilization projects such as these.

Construction plan: The proposed riprap slope stabilization project is to be constructed this Fall. The Contractor intends to bring approximately 100 cubic yards of riprap to the site by truck and stockpile that rock near the existing driveway top of bank. The Contractor will prepare the slope by removing loose material and grubblings (exported from site, responsibility of Contractor) and re-compacting the existing ground. A filter fabric will be laid on the newly graded surface. Smaller vehicles will bring the riprap down the bank to be placed on the fabric. The riprap is to be angular to help key it into each adjoining piece of riprap. The riprap will consist of various sizes to fill in voids

and chink pieces of riprap into specific positions on the slope. The riprap will be uniform in color blending into adjoining properties as reasonably as can be expected. As the riprap project works itself up the bank, a riprap drainage ditch will be constructed that will direct stormwater flows from the house and yard areas down the bank to minimize the potential of additional erosion on the slope.

The Contractor intends on utilizing a tracked backhoe and hand labor to install the riprap within the shorefront and drainage ditch/landscaping features along the bank. No work is to be performed in the water. Approximately 195 sf of area will be disturbed in the inter-tidal area as defined by the 2010 highest annual tide, elevation 6.3. A failed concrete retaining wall in this location is to be removed in order to install proper base rock at the beginning of the slope. The project will take approximately a month to complete. Any disturbed areas within the vegetative area will be graded out and seeded/mulched to prevent erosion from occurring.

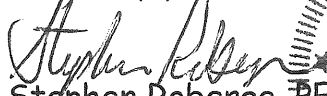
Erosion control plan: The Contractor intends to install fabric and riprap material on a regraded existing soil face. No excavation is required other than to remove any existing sedimentation from already eroding soils and regrading the banking to a uniform slope. No erosion control is necessary other than seeding/mulching any disturbed surfaces during the construction process.

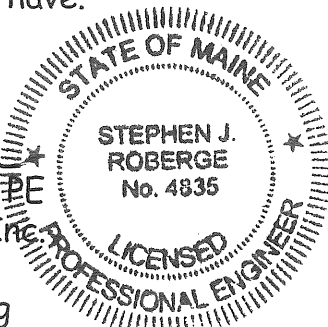
Waiver request: Since the project is a repair and stabilization to a failed bank, many of the items on the submission requirements do not apply in our opinion. We have indicated "NA" with a short explanation in the application checklist where we believe the information does not apply to this project (or remains the same condition as existing).

Other approvals: We have submitted an NRPA application to the DEP with a copy submitted to the City of Portland (also MHPC and Army Corps of Engineers). The application has been accepted for processing and is being reviewed at this time. Abutters have also been notified of the proposed project during that application process.

Please call if you need any other information. We look forward to any questions you may have.

Sincerely yours,


Stephen Roberge, PE
SJR Engineering Inc.



Cc: Carl Cullenberg



Development Review Application

PORTLAND, MAINE

Department of Planning and Urban Development,
Planning Division and Planning Board

PROJECT NAME: BANK EROSION CONTROL / RETMENT

PROPOSED DEVELOPMENT ADDRESS:

6 ISLAND ST., PORTLAND

PROJECT DESCRIPTION:

REMOVE THE FAILED CONCRETE WALL AND REGRADE SLOPE WITH
FILTER FABRIC / RIPRAP COVER TO STABILIZE BANK

CHART/BLOCK/LOT: 431/B-1 PRELIMINARY PLAN _____

FINAL PLAN X

CONTACT INFORMATION:

APPLICANT

Name: CARL CULLENBERG

Address: 75 LEDGEWOOD DRIVE
FAIRBURY, ME 04105

Zip Code: 04105

Work #: _____

Cell #: 207-650-8744

Fax #: 207-818-0510

Home: _____

E-mail: CULLENBERG@MSN.COM

PROPERTY OWNER

Name: YALE & AUN ARKEL

Address: 116 STANMORE PLACE
WESTFIELD, N.J. 07090

Zip Code: 07090

Work #: _____

Cell #: 201-452-9309

Fax #: _____

Home: 908-233-5878

E-mail: YAS7@aol.com

BILLING ADDRESS

Name: _____

Address: SAME AS PROPERTY OWNER

Zip: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

~As applicable, please include additional contact information on the next page~

AGENT/REPRESENTATIVEName: STEVE ROBERGEAddress: 21 MAYFLOWER ROADAUGUSTA, ME 04330Zip Code: 04330Work #: 207-622-1676Cell #: 207-242-6248Fax #: 207-622-1676

Home: _____

E-mail: Steve@sjreng.com**ENGINEER**Name: SAME AS AGENTAddress: SJR ENGINEERING INC

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

ARCHITECTName: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

CONSULTANTName: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

SURVEYORName: KEVIN CULLENBERGAddress: 892 OLD DANVILLE RDAUBURN, ME 04210Zip Code: 04210Work #: 207-777-1150Cell #: 207-653-8474Fax #: 207-782-7274

Home: _____

E-mail: cls@megalink.net**ATTORNEY**Name: NA

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 5133 sq. ft.
 Proposed Total Disturbed Area of the Site 1575 sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area sq. ft.
 Existing Total Impervious Area 1514 sq. ft.
 Proposed Total Impervious Area 1514 sq. ft.
 Proposed Impervious Net Change 0 sq. ft.

BUILDING AREA

Existing Building Footprint 1446 sq. ft.
 Proposed Building Footprint sq. ft.
 Proposed Building Footprint Net change 0 sq. ft.
 Existing Total Building Floor Area NA sq. ft.
 Proposed Total Building Floor Area NA sq. ft.
 Proposed Building Floor Area Net Change 0 sq. ft.
 New Building NO (yes or no)

ZONING

Existing R3
 Proposed, if applicable NA

LAND USE

Existing RESIDENTIAL
 Proposed SAME

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units NA
 Proposed Number of Residential Units to be Demolished NA
 Existing Number of Residential Units NA
 Proposed Number of Residential Units NA
 Subdivision, Proposed Number of Lots NA

PARKING SPACES

Existing Number of Parking Spaces 2
 Proposed Number of Parking Spaces 0
 Number of Handicapped Parking Spaces 0
 Proposed Total Parking Spaces NA

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces NA
 Proposed Number of Bicycle Parking Spaces NA
 Total Bicycle Parking Spaces NA

ESTIMATED COST OF PROJECT

\$ 50,000

Please answer the following with a Yes/No response on all that apply to the proposed development

Institutional	<u>NO</u>	Design Review	<u>YES</u>
Parking Lot	<u>NO</u>	Flood Plain Review	<u>NO</u>
Manufacturing	<u>NO</u>	Historic Preservation	<u>NO</u>
Office	<u>NO</u>	Housing Replacement	<u>NO</u>
Residential	<u>NO</u>	14-403 Street Review	<u>NO</u>
Retail/Business	<u>NO</u>	Shoreland	<u>YES</u>
Warehouse	<u>NO</u>	Site Location	<u>NO</u>
Single Family Dwelling	<u>YES</u>	Stormwater Quality	<u>NO</u>
2 Family Dwelling	<u>NO</u>	Traffic Movement	<u>NO</u>
Multi-Family Dwelling	<u>NO</u>	Zoning Variance	<u>NO</u> (or date)
B-3 Ped Activity Review	<u>NO</u>	Historic Dist./Landmark	<u>NO</u>
Change of Use	<u>NO</u>	Off Site Parking	<u>NO</u>

APPLICATION FEES:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

Level II Development <input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00) <input type="checkbox"/> After-the-fact Review (\$1,000.00 plus applicable application fee)	Plan Amendments <input type="checkbox"/> Planning Staff Review (\$250) <input type="checkbox"/> Planning Board Review (\$500) Subdivision <input type="checkbox"/> Subdivision (\$500) + amount of lots _____ (\$25/lot) \$ _____ + (applicable + Major site plan fee)
Level III Development <input type="checkbox"/> Under 50,000 sq. ft. (\$500) <input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000) <input type="checkbox"/> Parking Lots over 100 spaces (\$1,000) <input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000) <input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000) <input type="checkbox"/> Over 300,000 sq. ft. (\$5,000) <input type="checkbox"/> Parking lots over 100 spaces (\$1,000) <input type="checkbox"/> After-the-fact Review (\$1,000 plus applicable application fee)	Other Reviews <input type="checkbox"/> Site Location of Development (\$3,000) (except for residential projects which shall be \$200 per lot _____) <input type="checkbox"/> Traffic Movement (\$1,000) <input type="checkbox"/> Stormwater Quality (\$250) <input type="checkbox"/> Section 14-403 Review (\$400 + \$25/lot) <input type="checkbox"/> Other _____

LEVEL II AND LEVEL III REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:


- ✓1. **Seven (7) full size site plans** that must be **folded**.
- ✓2. Seven (7) copies of all written materials as follows, unless otherwise noted:
 - ✓a. Application form that is completed and signed.
 - ✓b. Cover letter stating the nature of the project.
 - ✓c. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
- ✓5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
- ✓6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
- ✓7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
- ✓8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 7) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Site Plan review only. A Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 9-23-2010
---	---------------------------

Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

City of Portland Planning Division
389 Congress Street
Portland, Maine 04101
(207) 874-8719
www.portlandmaine.gov

Office Hours:
Unless noted, office hours are
Monday thru Friday
8:00 am – 4:30 pm

General Submittal Requirements – Level II and Level III Site Plan

Preliminary Plan Phase (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Completed application form
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written description of project
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Evidence of right, title and interest.
<input checked="" type="checkbox"/> PENDING	<input type="checkbox"/>	7	Copies of required State and/or Federal permits. NRPA SUBMITTED
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written assessment of zoning. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written description of existing and proposed easements or other burdens. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Written requests for waivers from individual site plan and/or technical standards, where applicable. (THIS CHECKLIST)
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Traffic analysis (may be preliminary, in nature, during the preliminary plan phase). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of significant natural features located on the site. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	7	Written summary of project's consistency with related city master plans. NO CHANGES

Final Plan Phase (including items listed above if no preliminary plan review)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Evidence of utilities' capacity to serve the development. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Written summary of fire safety (referencing NFPA fire code and Section 3 of the City of Portland Technical Manual). NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Construction management plan.
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Traffic Plan (if development will (1) generate 100 or more PCE or (2) generate 25 or more PCE and is located on an arterial, within 1/2 mile of a high crash location, and/or within 1/4 mile of an intersection identified in a previous traffic study as a failing intersection). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Stormwater management plan. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written summary of solid waste generation and proposed management of solid waste. GRUBBING CONTRACTOR RESPONSIBILITY
<input type="checkbox"/> NA	<input type="checkbox"/>	1	Written assessment of conformity with applicable design standards. STANDARD RIPRAP SLOPE STABILIZATION

☐ NA☐

1

Manufacturer's verification that HVAC and manufacturing equipment meets applicable state and federal emissions requirements.

Site Plans and Boundary Survey Requirements – Level II and Level III Site Plan

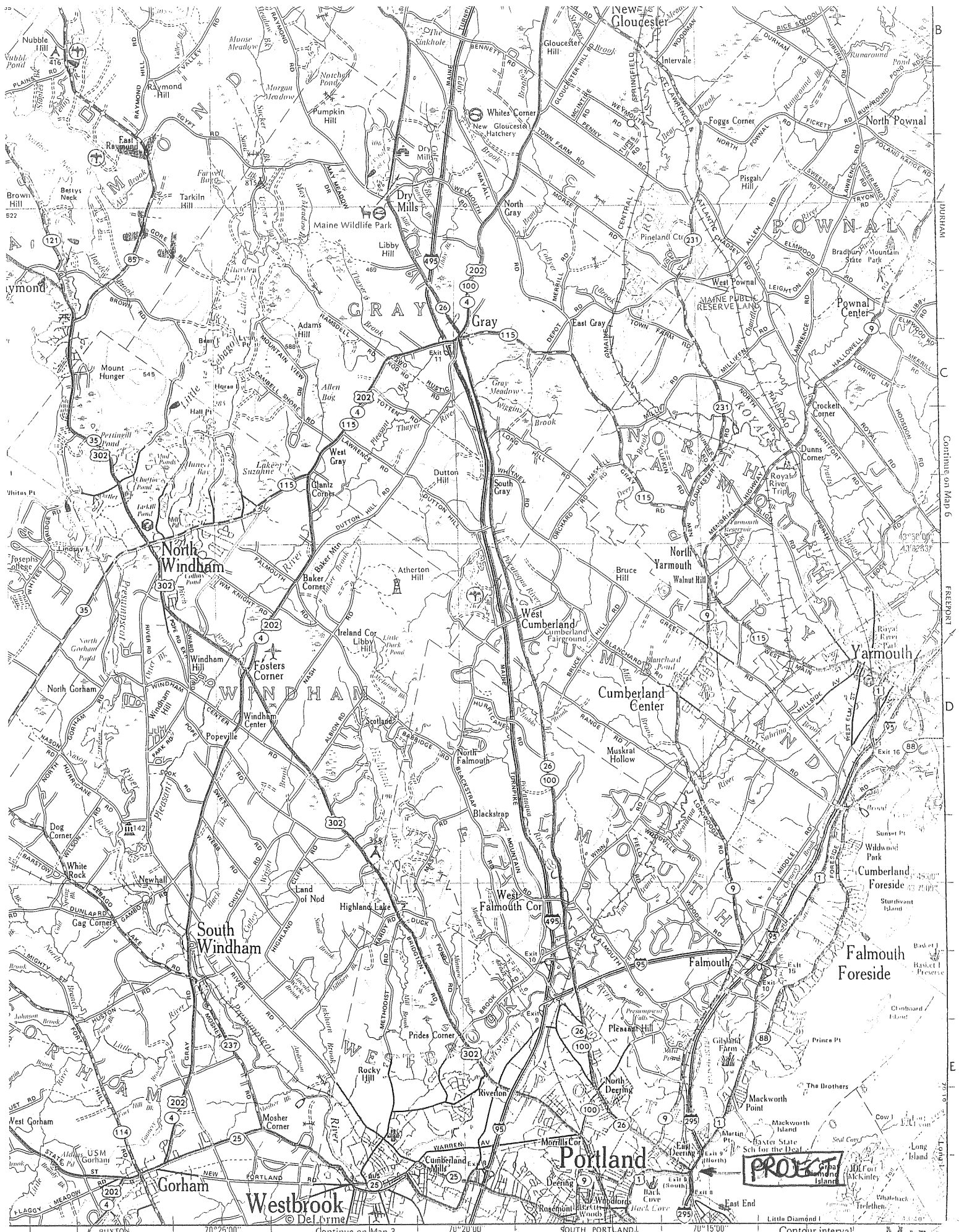
Preliminary Plan Phase (if elected by applicant)

Applicant Checklist	Planner Checklist	Number of Copies	Submittal Requirement
<input type="checkbox"/>	<input type="checkbox"/>	7	Boundary Survey meeting the requirements of Section 13 of the City of Portland Technical Manual.
<input type="checkbox"/>	<input type="checkbox"/>	7	Preliminary Site Plan Including the following: (*information provided may be preliminary in nature during the preliminary plan phase):
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties..
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed utilities (preliminary layout).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, transit infrastructure, roadway improvements).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Preliminary stormwater management and erosion control plan.
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b) 1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Proposed alterations to and protection measures for significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed easements or public or private rights of way.

Final Plan Phase

<input checked="" type="checkbox"/>	<input type="checkbox"/>	7	Final Site Plan Including the following
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Existing and proposed structures on the site with distance from property line (including location of proposed piers, docks or wharves if in Shoreland Zone).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location of adjacent streets and intersections and approximate location of structures on abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed site access and circulation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Proposed grading and contours.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		▪ Location and dimension of existing and proposed paved areas including all parking areas and vehicle, bicycle and pedestrian access ways. Proposed curb lines must be shown.

<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed loading and servicing areas, including applicable turning templates for delivery vehicles. DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed snow storage areas or snow removal plan. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed trash and recycling facilities. NO CHANGES
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Landscape plan including existing vegetation to be preserved, proposed site landscaping and street trees.
<input type="checkbox"/> NA	<input type="checkbox"/>	Existing and proposed utilities. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Location and details of proposed infrastructure improvements (e.g. - curb and sidewalk improvements, roadway intersection modifications, utility connections, public transit infrastructure, roadway improvements). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed septic system, if not connecting to municipal sewer. (Portland Waste Water Application included in this application) DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed finish floor elevation (FFE). NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Exterior building elevation(s) (showing all 4 sides). DOES NOT APPLY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed stormwater management and erosion controls.
<input type="checkbox"/> NA	<input type="checkbox"/>	Exterior lighting plan, including street lighting improvements.. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed signage. DOES NOT APPLY
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Identification of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code). Wetlands must be delineated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Proposed alterations to and protection measures for of existing significant natural features located on the site (including wetlands, ponds, watercourses, floodplains, significant wildlife habitats and fisheries or other important natural features listed in Section 14-526 (b)1. of the Land Use Code).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Total area and limits of proposed land disturbance.
<input type="checkbox"/> NA	<input type="checkbox"/>	Soil type and location of test pits and borings. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Details of proposed pier rehabilitation (Shoreland areas only). DOES NOT APPLY
<input type="checkbox"/> NA	<input type="checkbox"/>	Proposed snow storage areas or method of snow removal. NO CHANGES
<input type="checkbox"/> NA	<input type="checkbox"/>	Existing and proposed easements or public or private rights of way. NO CHANGES



Continue on Map 6

FREEPORT

D

E

Long Island

MAP 5

PROJECT

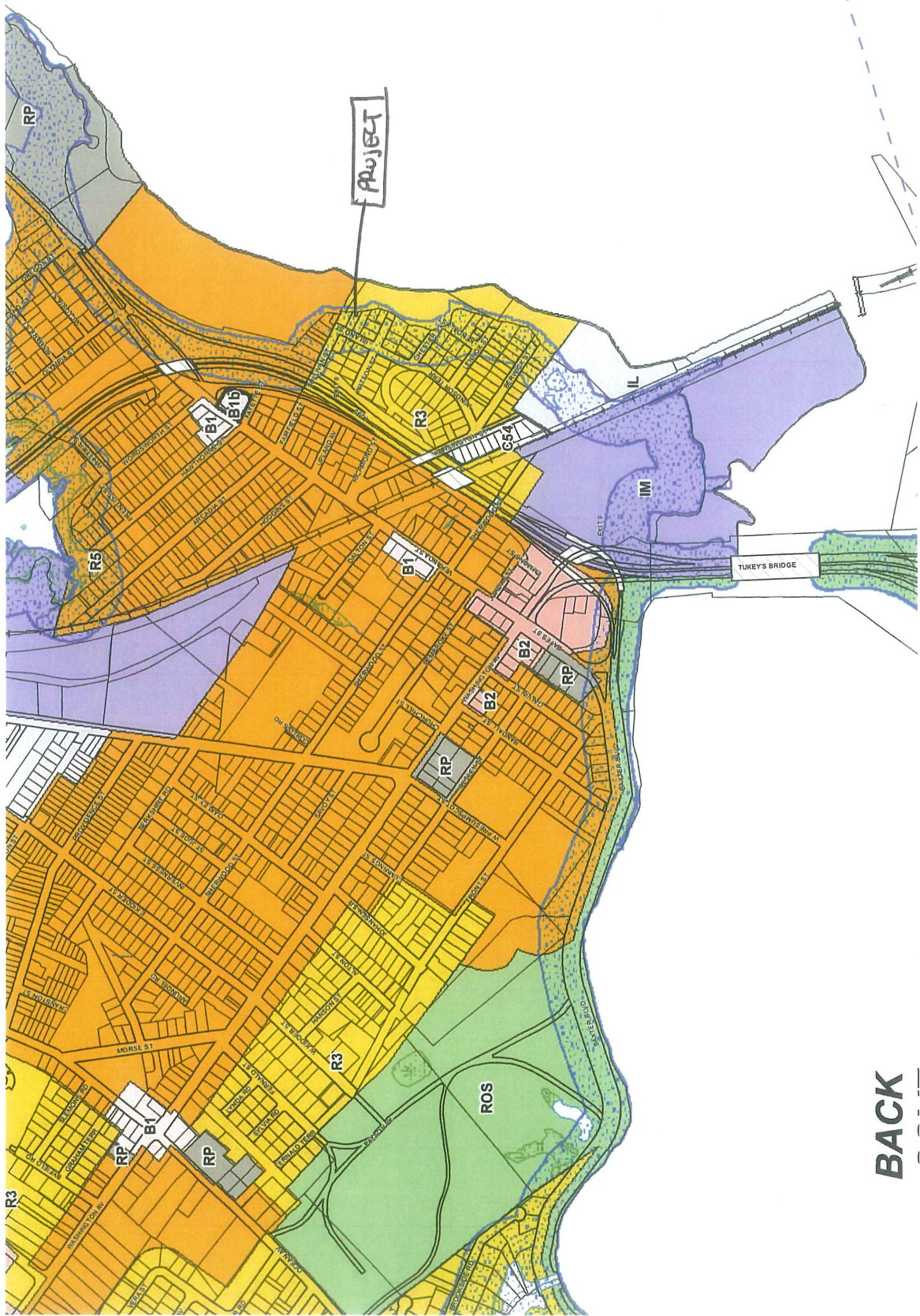
Contour interval
80 feet (24.4 meters)

Continue on Map 3

SOUTH PORTLAND

70° 15' 00"
70.2500°

70° 25' 00"
70.4167°



BACK

PROJECT

CASCO
BAY

21N

PARCEL INFO

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z



Best viewed at
800x600, with
Internet Explorer

CBL 431 B001001
Land Use Type SINGLE FAMILY
Property Location 6 ISLAND ST
Owner Information ARKEL ANNE & YALE S JTS
116 STANMORE PL
WESTFIELD NJ 07090
Book and Page 15203/278
Legal Description 431-B-1
ISLAND ST 6-8
Acres 0.11
Tax Relief 4792 SF

Current Assessed Valuation:

TAX ACCT NO.	43826	OWNER OF RECORD AS OF APRIL 2009
LAND VALUE	\$257,100.00	ARKEL ANNE & YALE S JTS
BUILDING VALUE	\$107,600.00	116 STANMORE PL
HOMESTEAD EXEMPTION	(\$12,350.00)	WESTFIELD NJ 07090
NET TAXABLE - REAL ESTATE	\$352,350.00	
TAX AMOUNT	\$6,250.70	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

Year Built 1913
Style/Structure Type OLD STYLE
Stories 1.5
Bedrooms 3
Full Baths 1
Total Rooms 6
Attic NONE
Basement FULL
Square Feet 1206

[View Sketch](#)

[View Map](#)

[View Picture](#)

Outbuildings/Yard Improvements:

Card 1

Year Built 1980
Structure GARAGE-WD/CB
Size 12X20
Units 1
Grade C
Condition A

Sales Information:

Sale Date	Type	Price	Book/Page
12/2/1999	LAND + BUILDING	\$230,000.00	15203/278
9/2/1999	LAND + BUILDING	\$175,000.00	15022/328

[New Search!](#)

ABUTTORS

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z

Best viewed at
800x600, with
Internet Explorer

Parcel ID	Name and Mailing Address	Property Location	Land Use
087 J012001	MITCHELL CYNDE PUTNEY TRUSTEE 325 ISLAND AVE PEAKS ISLAND ME 04108	0 ISLAND AVE	VACANT LAND
084 R030001	PARKER CAROLYN T 2 ISLAND AVE PEAKS ISLAND ME 04108	2 ISLAND AVE	RETAIL & PERSONAL SERVICE
431 B006001	WOLF ALAN E & GERALDINE G WOLF TRUSTEES 4 ISLAND ST PORTLAND ME 04103	4 ISLAND ST	SINGLE FAMILY
431 B001001	ARKEL ANNE & YALE S JTS 116 STANMORE PL WESTFIELD NJ 07090	6 ISLAND ST	SINGLE FAMILY
431 A019001	MOULTON RICHARD C & SHERI A JTS 7 ISLAND ST PORTLAND ME 04103	7 ISLAND ST	SINGLE FAMILY
084 R008001	DAVIS ANDREA 10 ISLAND AVE PEAKS ISLAND ME 04108	10 ISLAND AVE	SINGLE FAMILY
431 B002001	CORLISS PATRICK K JR 171 WESTVIEW DR SANFORD ME 04073	10 ISLAND ST	SINGLE FAMILY
431 A018001	FERRANTE MICHAEL A 18 SUMMER ST # 1 ANDOVER MA 01810	11 ISLAND ST	SINGLE FAMILY
084 R032001	W & W INC 498 ISLAND AVE PEAKS ISLAND ME 04108	20 ISLAND AVE	HOTEL & MOTEL
084 M010001	NORTON DAVID S & KIM E NORTON JTS 21 ISLAND AVE PEAKS ISLAND ME 04108	21 ISLAND AVE	SINGLE FAMILY
084 L007001	ISLAND ACQUISITION LLC 8 WESTERN AVE KENNEBUNK ME 04043	33 ISLAND AVE	RETAIL & PERSONAL SERVICE
084 K008001	BONN MARION H 612 SEVILLA AVE MIAMI FL 33134	45 ISLAND AVE	TWO FAMILY
084 K009001	BONN WILLIAM A 501 ALHAMBRA CIR CORAL GABLES FL 33134	53 ISLAND AVE	SINGLE FAMILY
084 Q004001	PORT ISLAND REALTY INC PO BOX 7341 PORTLAND ME 04112	56 ISLAND AVE	MULTI-USE COMMERCIAL
084 J004001	HOCHMAN BRUCE B & LORI M HOCHMAN JTS 61 ISLAND AVE PEAKS ISLAND ME 04108	61 ISLAND AVE	SINGLE FAMILY
084 Q002001	CHALMERS KRISTEN M 62 ISLAND AVE PEAKS ISLAND ME 04108	62 ISLAND AVE	SINGLE FAMILY
084 Q001001	THE FEENEY FAMILY R/E LLC 216 CENTER RD GRAY ME 04039	70 ISLAND AVE	RETAIL & PERSONAL SERVICE

ABUTTOR

← PROJECT

ABUTTOR

ABUTTOR

0081035


BK15203PG278

WARRANTY DEED - SHORT FORM DEEDS ACT
33 M.R.S.A. Section 761 et seq.


KNOW ALL BY THESE PRESENTS, that WD Investments, Inc. by, William J. Dowd, duly authorized treasurer of WD Investments, Inc., a Corporation existing by law with a principal place of business in the County of Cumberland and State of Maine, for valuable consideration received, hereby grants to Anne Arkel and Yale S. Arkel of the County of Cumberland and State of Maine, as **JOINT TENANTS**, with **WARRANTY COVENANTS**, that certain lot or parcel of land, with any improvements thereon, located at 6 Island Street, Portland, in the County of Cumberland and State of Maine, as more fully described in Exhibit A attached hereto and fully incorporated herein by reference.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on behalf of WD Investments, Inc. in my capacity aforesaid on December , 1999.

MAINE REAL ESTATE TAX PAID



Witness





WD Investments, Inc.
By: William J. Dowd
Its: Treasurer

STATE OF MAINE
Cumberland, ss:

On December , 1999, personally appeared the above-named William J. Dowd and acknowledged the foregoing deed to be his/her free act and deed and his/her free act and deed in his/her said capacity, and the free act and deed of said corporation.

Before me,



Notary Public/Attorney At Law


Type or Print Name

BK 115203 PG 279

EXHIBIT A

A certain lot or parcel of land situated in Portland, County of Cumberland and State of Maine, together with the buildings thereon, being Lot No. 145 as delineated on a Plan of Marine Terrace, so-called, recorded in Registry of Deeds for said County in Plan Book 10, Page 103, which said lot is bounded and described as follows, viz:

Commencing on the Southeasterly side of Island Street as shown on said Plan at the most Northerly corner of Lot No. 144 on said Plan, which corner is distant one hundred thirty-five (135) feet Northeastwardly from the Northeasterly side of Upland Avenue, as delineated on said Plan; thence running Northeastwardly by said Island Street, forty-five (45) feet to the most Westerly corner of Lot No. 146 on said Plan, and from these two points extending Southeastwardly at right angles with said Island Street, holing the same width a distance of one hundred twenty-five (125) feet, more or less, on the Southeasterly side line, and a distance of ninety-eight (98) feet, more or less, on the Northeasterly side line to the rear line of said Lot No. 145 as delineated on said Plan.

Also conveying a sea wall easement as set forth in Easement Deed from Mildred B. Convey to Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 202, subject to terms and conditions of maintenance and repair set forth therein.

Subject to a sea wall easement conveyed to Mildred B. Convey by deed from Maurine C. Williamson dated October 22, 1992, recorded in Book 10422, Page 198.

Meaning and intending to convey the same premises conveyed by Euoleen J. Dentamaro, duly appointed and acting personal representative of the estate of Maurine C. Williamson to WD Investments, Inc. by deed dated August 27, 1999 and recorded in said Registry of Deeds in Book 15022, Page 328.

RECEIVED
RECORDED REGISTRY OF DEEDS

1999 DEC -2 PM 2: 28

CUMBERLAND COUNTY

John B. C. Brien

SITE

6 Island St, Portland, ME 04103

Sullivan St

Watson St

© 2010 Google

Image U.S. Geological Survey
© 2010 Europa Technologies

© 2009 Google

Date: Apr 21, 2006

43° 40' 58.60" N 70° 15' 04.96" W elev. 24 ft

Elev. alt. 52



Overview of 6 Island Street, Portland property with failed retaining wall and eroded banking.



View from shorefront showing failed retaining wall and eroded /slumped bank.



Existing condition of failed concrete retaining wall and abutting property.



Existing condition along shorefront and abutting property...6 Island Street in Portland.



View from shorefront showing eroded banking and failed lower retaining wall.



Figure 1. Looking NORTH along the toe of the bank. Note remains of old seawall and fill material. Bank is vegetated primarily with Japanese Knotweed (*Polygonum cuspidatum*). [7/27/2010, 8:50 a.m., low tide]



Figure 2. Looking NORTH along toe of the bank. Distance from toe of bank to *Spartina alterniflora* is 10 feet. Construction of bank stabilization will have minimal impact on intertidal area and will quickly revegetate with native species. [7/27/2010, 8:52 a.m., low tide]

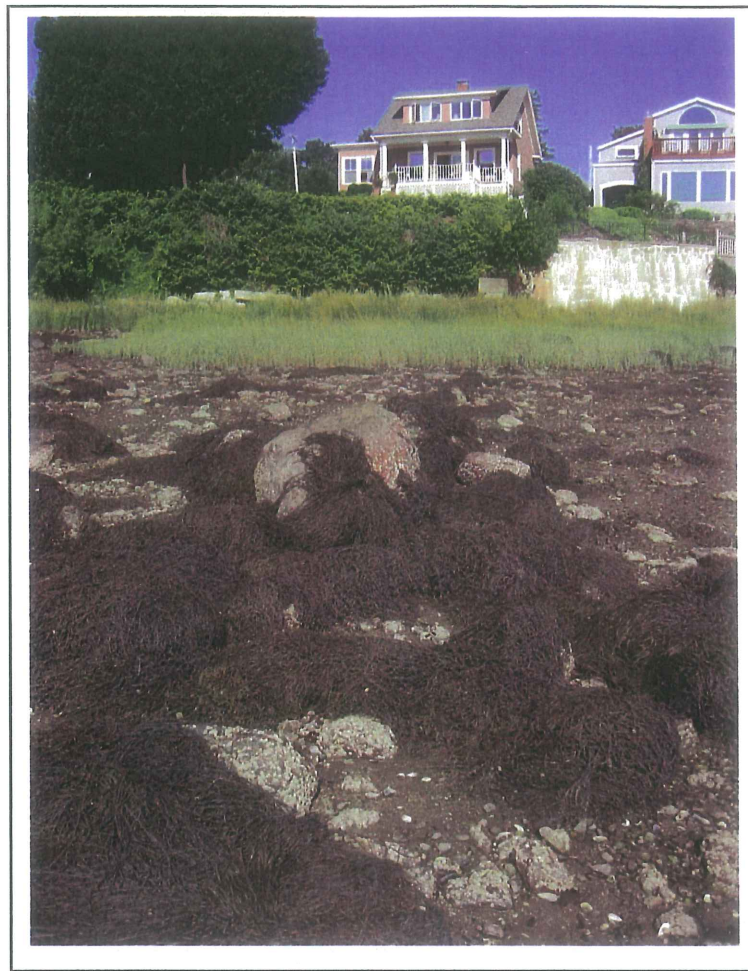
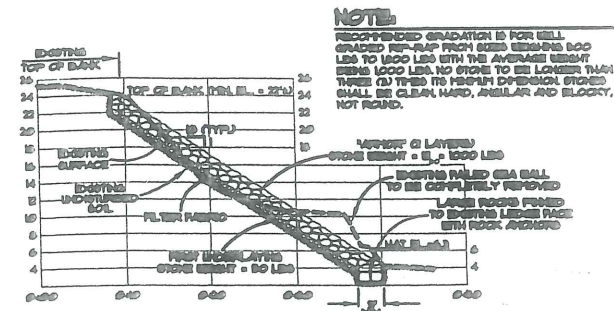


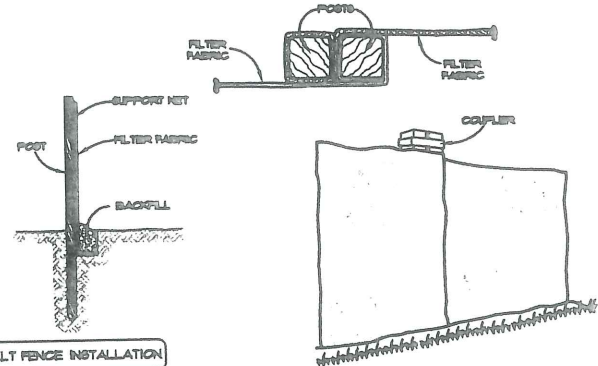
Figure 3. Looking WEST across intertidal area and toward the bank to be stabilized. There will be no impact to the rock/knotweed area of the intertidal zone. [7/27/2010, 8:55 a.m., low tide]



Figure 4. Sediments in midtidal zone. Clams abundant, mussels, marine worms, periwinkles and green crabs occasionally present. [7/27/2010, 8:57 a.m., low tide]



**SECTION A-A
RIPRAP REVEINMENT**
SCALE: 1" = 10' (HORIZ.)

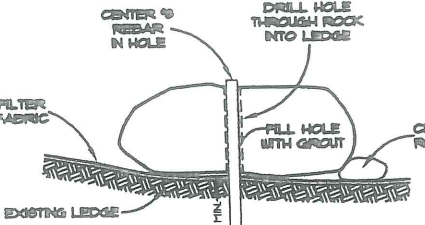


TYPICAL SILT FENCE
(NOT TO SCALE)
NOTE: USE ERYNCEBYE BY MIRAF, INC. OR EQUIVALENT

LANDSCAPE LEGEND

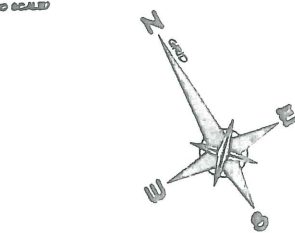
- 15 - MYRTICA PENSYLVANICA (8" - 12")
"BAYBERRY"
OR
JUNIPERUS HORIZONTALIS (8" - 12") "CREEPING JUNIPER"
- 16 - ROSA RUBRA (8" - 12")
"ROSA ROSE"
OR
FRUNIS MARTINIA (18" - 24")
"BEACH FLIRT"

NOTE:
PLANTING TO BE MONITORED FOR GROWTH FOR AT LEAST ONE GROWING SEASON AND REPLACED IF NOT SURVIVED.



PINED ROCK DETAIL
NOT TO SCALE

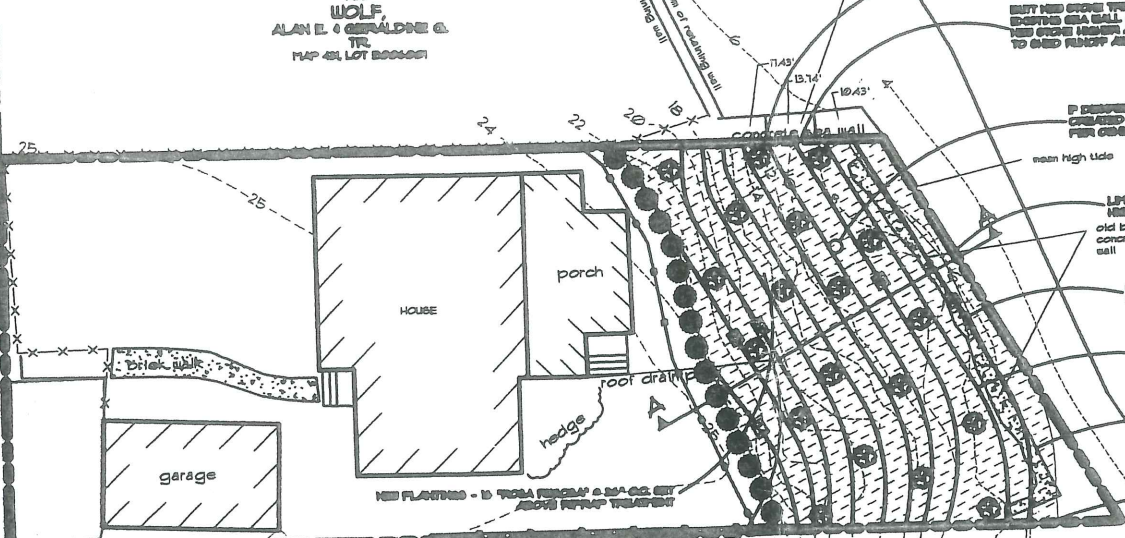
**RIPRAP REVEINMENT
PLANTING DETAIL**
(NOT TO SCALE)



GRADING NOTES

1. THE CONTRACTOR SHALL PREPARE GRADING PLANS THAT ARE POSSIBLE.
2. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
3. SUBSOIL LAYERS SHALL START AT THE DEEPEST PORTION OF THE FILL AND AS PLACING PROGRESSES, LAYERS SHALL BE PLACED APPROXIMATELY HORIZONTAL IN EACH 10' OF FILL. AT THE CLOSE OF EACH DAY'S WORK, THE SUBSOIL SHALL BE GRADED, COMPACTED, ROLLED AND GRADED AGAINST THE LOCATION OF ROADS. IF ANY, SHALL BE GRADED AGAINST THE GRADELINE OF THE ROAD. IF ANY, SHALL BE GRADED AGAINST THE GRADELINE OF THE ROAD.
4. THE CONTRACTOR SHALL CONTACT THE CITY OF PORTLAND AND DRIVE ROAD TO THE LOCATION OF THE ROAD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ROAD TO THE LOCATION OF THE ROAD.
5. ALL AREAS WHERE LOAM IS REQUIRED SHALL BE REMOVED FROM THE LOCATION AND REPLACED WITH LOAM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOAM TO THE LOCATION OF THE ROAD.
6. ALL AREAS WHERE LOAM IS REQUIRED SHALL BE REMOVED FROM THE LOCATION AND REPLACED WITH LOAM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOAM TO THE LOCATION OF THE ROAD.

ISLAND STREET



CASCO BAY

**CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-23-2010**



SJR ENGINEERING
21 MAYFLOWER ROAD
AUGUSTA, MAINE
TEL: (207) 622-1676

**TOPOGRAPHIC SITE PLAN
BANK EROSION CONTROL/REVEINMENT**

YALE I ANN ARKEL
6 ISLAND STREET - PORTLAND, MAINE
CUMBERLAND COUNTY

**SCALE: AS SHOWN
DATE: JUNE, 2010**

**DRAWN BY: BOMAC
CHECKED BY: SJR**

**PROJECT: ARKEL-01
DRAWING: 01-1**

- LEGEND**
- EXISTING UTILITY POLE
 - EXISTING PAVEMENT
 - EXISTING TREE LINE
 - EXISTING CONTOUR
 - FENCE
 - BUILDING
 - TOP OF BANK
 - NEW ROCK SLOPE PROTECTION
 - NEW SILT FENCE
 - NEW CONTOUR

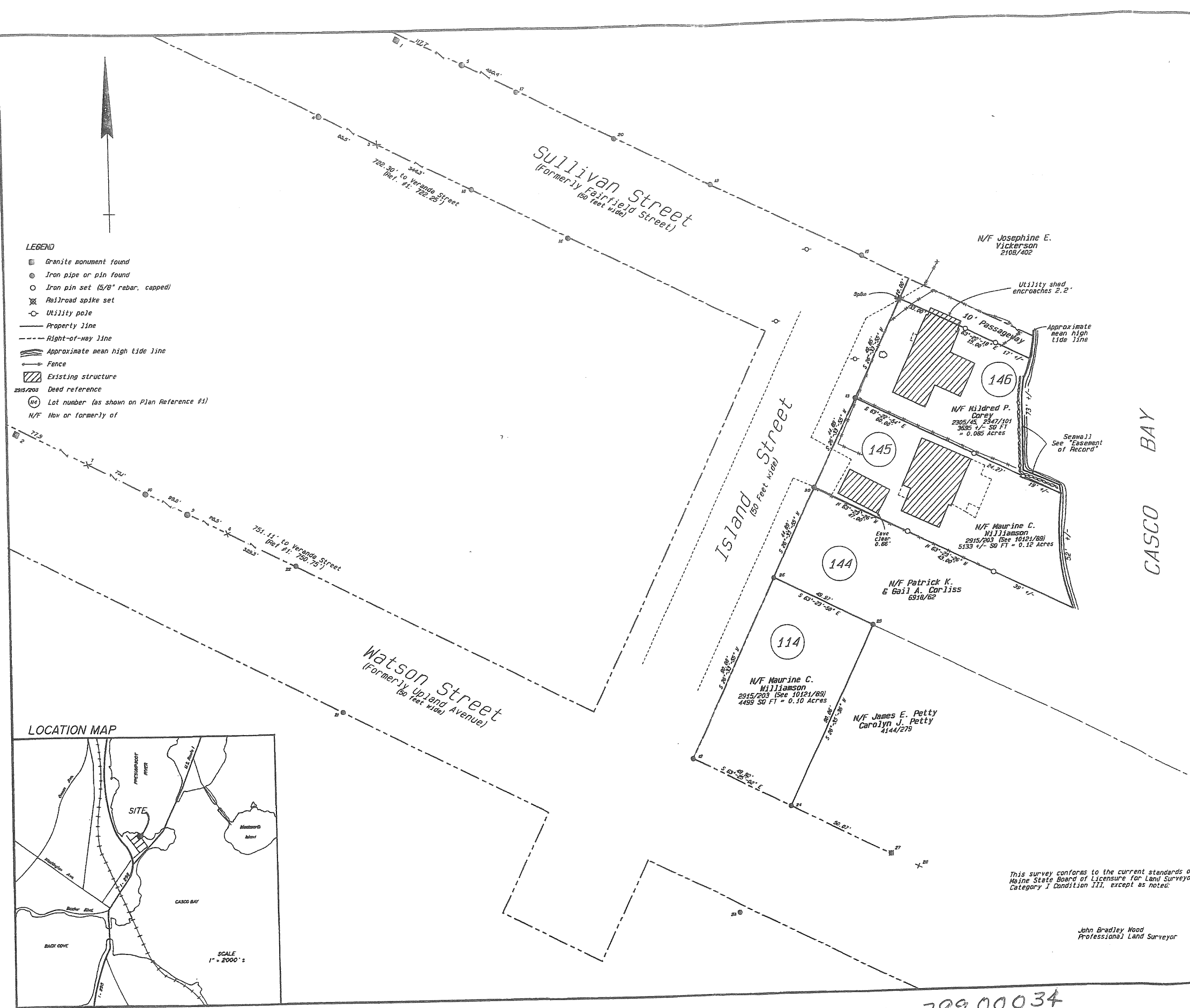
- NOTES**
1. TOPOGRAPHIC AND EROSION INFORMATION SHOWN ON THIS PLAN BASED UPON A FIELD SURVEY BY CULLENBERG LAND SURVEYORS IN APRIL, 2010.
 2. ELEVATIONS ARE REFERENCED TO MEAN HIGH TIDE.
 3. ELEVATIONS ARE HANDED ACCORDING TO THE CONVENTION.

**STATE OF MAINE
KEVIN W. CULLENBERG
1278
LAND SURVEYOR**

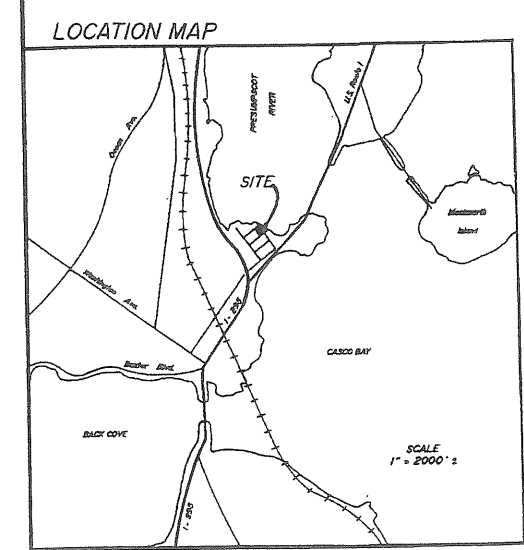
**STATE OF MAINE
STEPHEN W. ROBERTS
1433
PROFESSIONAL ENGINEER**

FOR APPROVAL ONLY

10-79900034 6 Island St. as approved



- LEGEND**
- Granite monument found
 - Iron pipe or pin found
 - Iron pin set (5/8" rebar, capped)
 - Railroad spike set
 - Utility pole
 - Property line
 - Right-of-way line
 - Approximate mean high tide line
 - Fence
 - Existing structure
 - Deed reference
 - Lot number (as shown on Plan Reference #1)
 - N/F Now or formerly of



- NOTES**
- Bearings are based on Grid (True) North, based on coordinates given on Plan Reference #2 for monuments #234 and #235.
 - Deed and Plan Book references are to the Cumberland County Registry of Deeds.
 - Pipe sizes shown are inside diameter (i.d.).
 - Due to a scrivener's error, Plan Reference #1 shows a street frontage of 47.5' for both Lots 144 and 145. These dimensions are called for in the original deeds to these lots (889/55, 788/58) and in the current deed to Lot 145. Deeds to Lot 145 since 1922 have corrected this error, giving a width of 45' for both lots. This matches the plan as scaled, the iron pipes found, and the width of the block as shown.
 - Location of Island Street based on monumentation and city street records. Plan Reference #1 describes a location slightly Northwest of the street lines shown.
 - Location of edge of pavement is approximate, due to deep snow.
- PLAN REFERENCES**
- "Plan of Lots #Marine Terrace" by V. C. Richardson, recorded November 25, 1904, in Plan Book 10 Page 103.
 - "Veranda Street Monument Layout Plan, Richmond Street to Wordsworth Street, by the City of Portland Public Works Department Engineering Section, dated January 1996.
- OWNERS OF RECORD & AREA**
- LOT 114 -- Maurine C. Williamson
2915/203 (See 10121/89)
4499 SQ FT = 0.10 Acres
- Lot 145 -- Maurine C. Williamson
2915/203 (See 10121/89)
5133 +/- SQ FT = 0.12 Acres
- Lot 146 -- Mildred P. Corey
2305/45, 2347/101
Maurine C. Williamson, Conservator
3695 +/- SQ FT = 0.85 Acres
- EASEMENT OF RECORD**
- Reciprocal easements for "improving, maintaining, repairing, and rebuilding" the sea wall on Lots #145 and #146, as described in Book 10422 Page 198 and Book 10422 Page 202.
- DESCRIPTION OF MONUMENTS**
- 6" x 6" PLS #2239, at grade
 - 6" x 6" PLS #2239, at grade
 - Top brick #19 Fairfield Street (tie)
 - 3/4" pipe, at grade
 - Pipe with fixture, at grade
 - 6" x 6" PLS #2239, at grade
 - Brick building corner, Upland and Veranda Streets (tie)
 - Building corner, #26 Upland Street (tie)
 - 1/2" Pipe, at grade
 - 1/2" Pipe, at grade
 - 1" Pipe, 4" below grade
 - 3/4" Pipe, at grade
 - Cut nail in pavement
 - 5/8" rebar, at grade
 - 1" Pipe, 4" below grade
 - 1" Pipe, 4" below grade
 - 3/4" Pipe, at grade
 - 3/4" Pipe, at grade
 - 3/4" pipe, 4" below grade
 - 3/4" pipe with fixture, 5" below grade
 - 1" rod, 2" above grade
 - 3/4" pipe, 1" below grade
 - 3/4" pipe, 1" below grade
 - 1-1/4" pipe, 15" above grade
 - 3/4" Pipe, 1" below grade
 - Brick building corner, #75 Watson Street (tie)
 - Building corner, #7 Island Street (tie)
 - 3/4" Pipe, at grade

This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, Category I Condition III, except as noted.

John Bradley Wood
Professional Land Surveyor

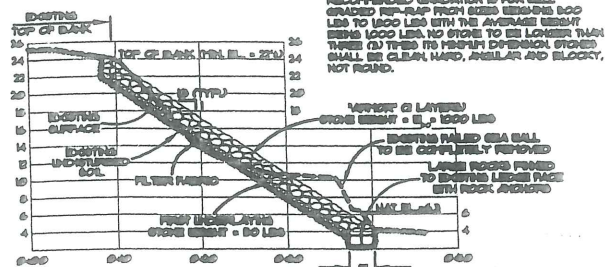
Standard Boundary Survey
Island Street Portland, Maine
made for
Maurine C. Williamson
6 Island Street Portland, Maine
Job 58923 Bns 559 FJJE 2297 Disc 483 Scale: 1"=20'
March 21, 1996
TITCOMB ASSOCIATES INC.
88 Portland North Business Park Falmouth, Maine

10-79900034
6 Island St. - as approved

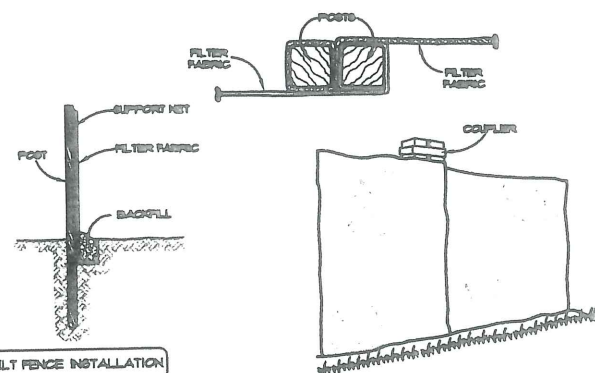
13 - MYRTICA PENNSYLVANICA (8" - 12")
"BAYBERRY"
OR
JUNIFERUS HORIZONTALIS (8" - 12")
"CREEPING JUNIFER"

14 - ROSA RUBRA (8" - 12")
"RUBRA ROSE"
OR
FRAXINUS MARITIMA (18" - 24")
"BEACH PLUM"

NOTE:
RECOMMENDED GRADATION IS FOR WELL GRADED RIF-RAP FROM SIZES REMAINING DOG LBS TO 1000 LBS WITH THE AVERAGE WEIGHT BEING 1000 LBS. NO STONE TO BE LONGER THAN THREE (3) TIMES ITS MINIMUM DIMENSION. STONES SHALL BE CLEAN, HARD, ANGULAR AND BLOCKY, NOT ROUND.

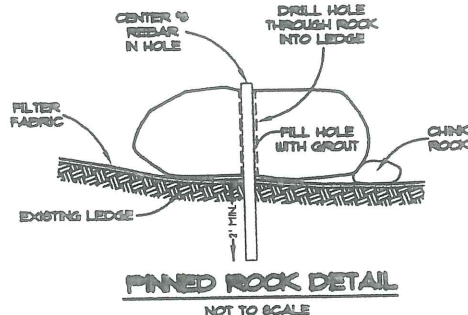


SECTION A-A
RIPRAP REVENTMENT
SCALE, 1" = 10' (H&V)

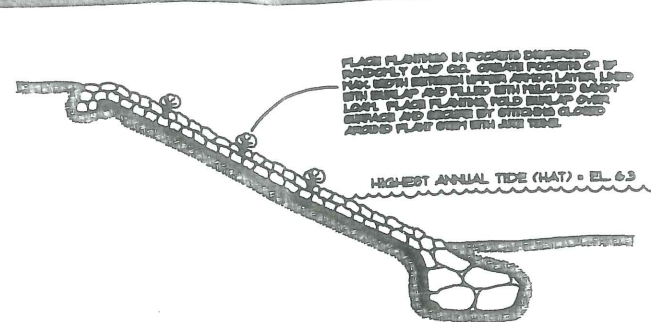


TYPICAL SALT FENCE
(NOT TO SCALE)

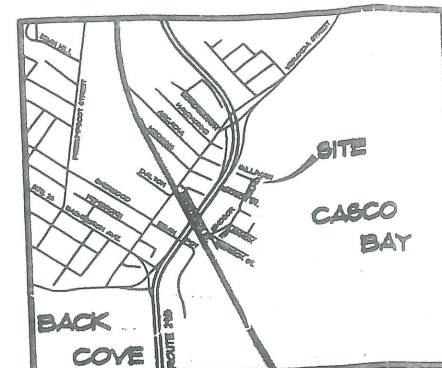
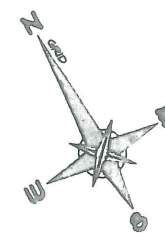
NOTE: USE HYPODERMIC BY MIRAF, INC. OR EQUIVALENT



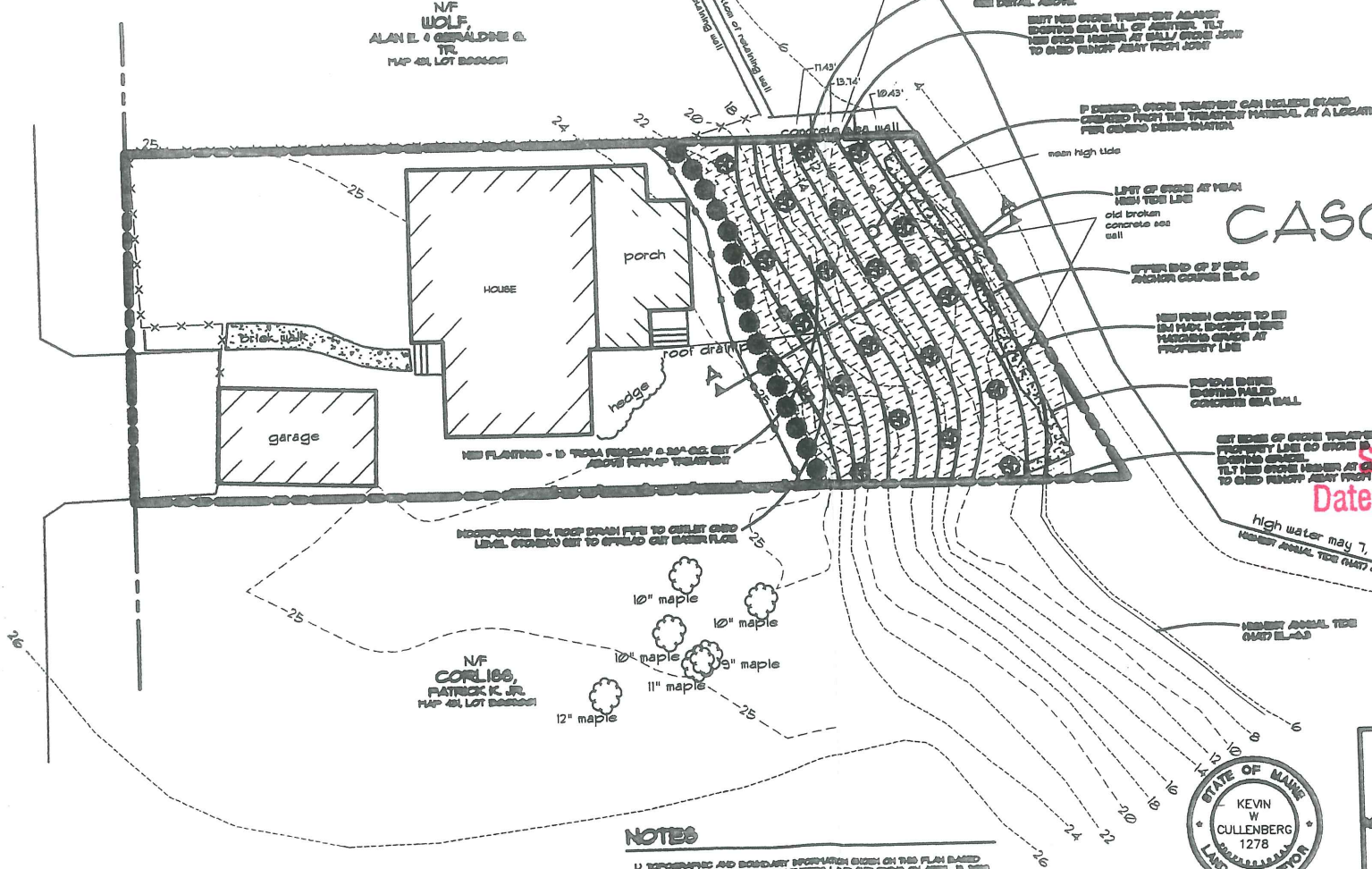
PINNED ROCK DETAIL
NOT TO SCALE



RIP-RAP REVETMENT PLANTING DETAIL



LOCATION MAP
(NOT TO SCALE)

[illegible][illegible]

CASCO

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: 11-23-2010



EXISTING UTILITY POLE

EXISTING PAVEMENT

EXISTING TREE LINE

EXISTING CONTOUR

FENCE

BUILDING

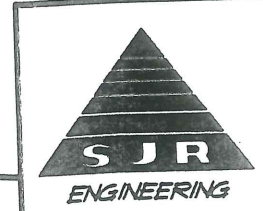
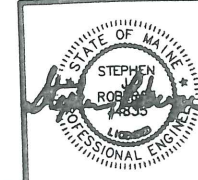
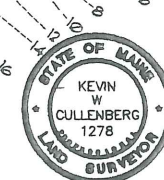
TOP OF BANK

NEW ROCK SLOPE PROTECTION

NEW SILT FENCE

NEW CONTOUR

- 1) TOPOGRAPHIC AND BOUNDARY INFORMATION GIVEN ON THIS FLIN BASED UPON A FIELD SURVEY BY COLLEEN LAD SURVEYING ON APRIL 8, 2004.
- 2) ELEVATIONS ARE REFERENCED TO GRID NORTH.
- 3) ELEVATIONS ARE HATCHES (COMPARED WITH GRID)



S.J.R. ENGINEERING
21 MAYFLOWER ROAD
AUGUSTA, MAINE
TEL: (207) 622-1676

TOPOGRAPHIC SITE PLAN
BANK EROSION CONTROL/REVEGETATION

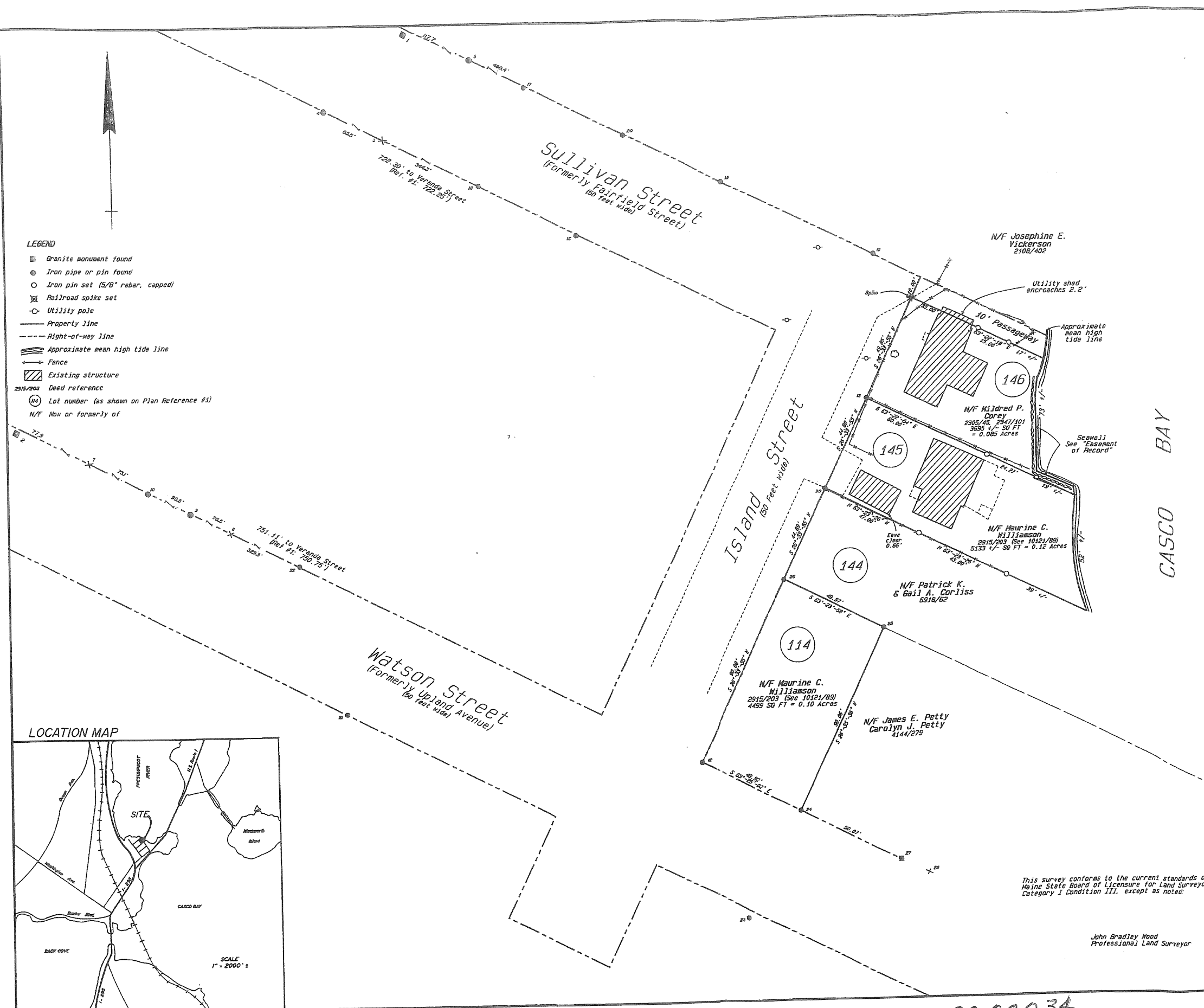
YALE & ANN ARKEL
6 ISLAND STREET - PORTLAND, ME
CUMBERLAND COUNTY

SCALE : AS SHOWN
DATE : JUNE, 2010

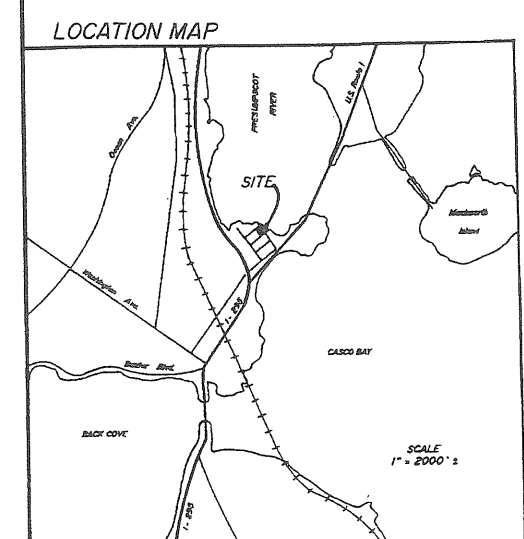
DRAIN BY : BON
CHECKED BY : S

PROJECT : ARKEL-8
DRAWING # 1-1

10-79900034 6 Island St. as approved



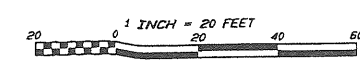
- LEGEND**
- Granite monument found
 - Iron pipe or pin found
 - Iron pin set (5/8" rebar, capped)
 - Railroad spike set
 - Utility pole
 - Property line
 - Right-of-way line
 - Approximate mean high tide line
 - Fence
 - Existing structure
 - 2915/203 Deed reference
 - Lot number (as shown on Plan Reference #1)
 - N/F Now or formerly of



- NOTES**
- Bearings are based on Grid (True) North, based on coordinates given on Plan Reference #2 for monuments #234 and #235.
 - Deed and Plan Book references are to the Cumberland County Registry of Deeds.
 - Pipe sizes shown are inside diameter (i.d.).
 - Due to a scrivener's error, Plan Reference #1 shows a street frontage of 47.5' for both Lots 144 and 145. These dimensions are called for in the original deeds to these lots (788/25, 788/50) and in the current deed to Lot 145. Deeds to Lot 145 since 1922 have corrected this error, giving a width of 45' for both lots. This matches the plans as shown, the iron pipes found, and the width of the block as shown.
 - Location of Island Street based on monumentation and city street records. Plan Reference #1 describes a location slightly Northwest of the street lines shown.
 - Location of edge of pavement is approximate, due to deep snow.

- PLAN REFERENCES**
- "Plan of Lots #Marine Terrace" by V.C. Richardson, recorded November 25, 1904, in Plan Book 10 Page 103.
 - "Veranda Street Monument Layout Plan, Richmond Street to Mordsworth Street" by the City of Portland Public Works Department, Engineering Section, dated January 1996.
- OWNERS OF RECORD & AREA**
- LOT 114 -- Maurine C. Williamson
2915/203 (See 10121/89)
4499 SQ FT = 0.10 Acres
- Lot 145 -- Maurine C. Williamson
2915/203 (See 10121/89)
3635 +/- SQ FT = 0.12 Acres
- Lot 146 -- Hildred P. Carey
2305/42, 2347/101
Maurine C. Williamson, Conservator
3635 +/- SQ FT = 0.085 Acres

- EASEMENT OF RECORD**
- Reciprocal easements for "improving, maintaining, repairing, and rebuilding" the sea wall on Lots #145 and #146, as described in Book 10422 Page 198 and Book 10422 Page 202.
- DESCRIPTION OF MONUMENTS**
- 6" x 6" PLS #2239, at grade
 - 6" x 6" PLS #2239, at grade
 - Top brick 19" Fairfield Street (tie)
 - 3/4" pipe, at grade
 - Pipe with fixture, at grade
 - 6" x 6" PLS #2239, at grade
 - Brick building corner, Upland and Veranda Streets (tie)
 - Building corner, #26 Upland Street (tie)
 - 1/2" pipe, at grade
 - 1/2" pipe, at grade
 - 1" pipe, 4" below grade
 - 3/4" pipe, at grade
 - Cut nail in pavement
 - 5/8" rebar, 4" at grade
 - 1" pipe, 4" below grade
 - 1" pipe, 4" below grade
 - 3/4" pipe, at grade
 - 3/4" pipe, at grade
 - 3/4" pipe, 4" below grade
 - 3/4" pipe with fixture, 5" below grade
 - 1" rod, 2" above grade
 - 3/4" pipe, 1" below grade
 - 3/4" pipe, 1" below grade
 - 1-1/4" pipe, 15" above grade
 - 3/4" pipe, 1" below grade
 - Brick building corner, #75 Watson Street (tie)
 - Building corner, #75 Island Street (tie)
 - 3/4" pipe, at grade

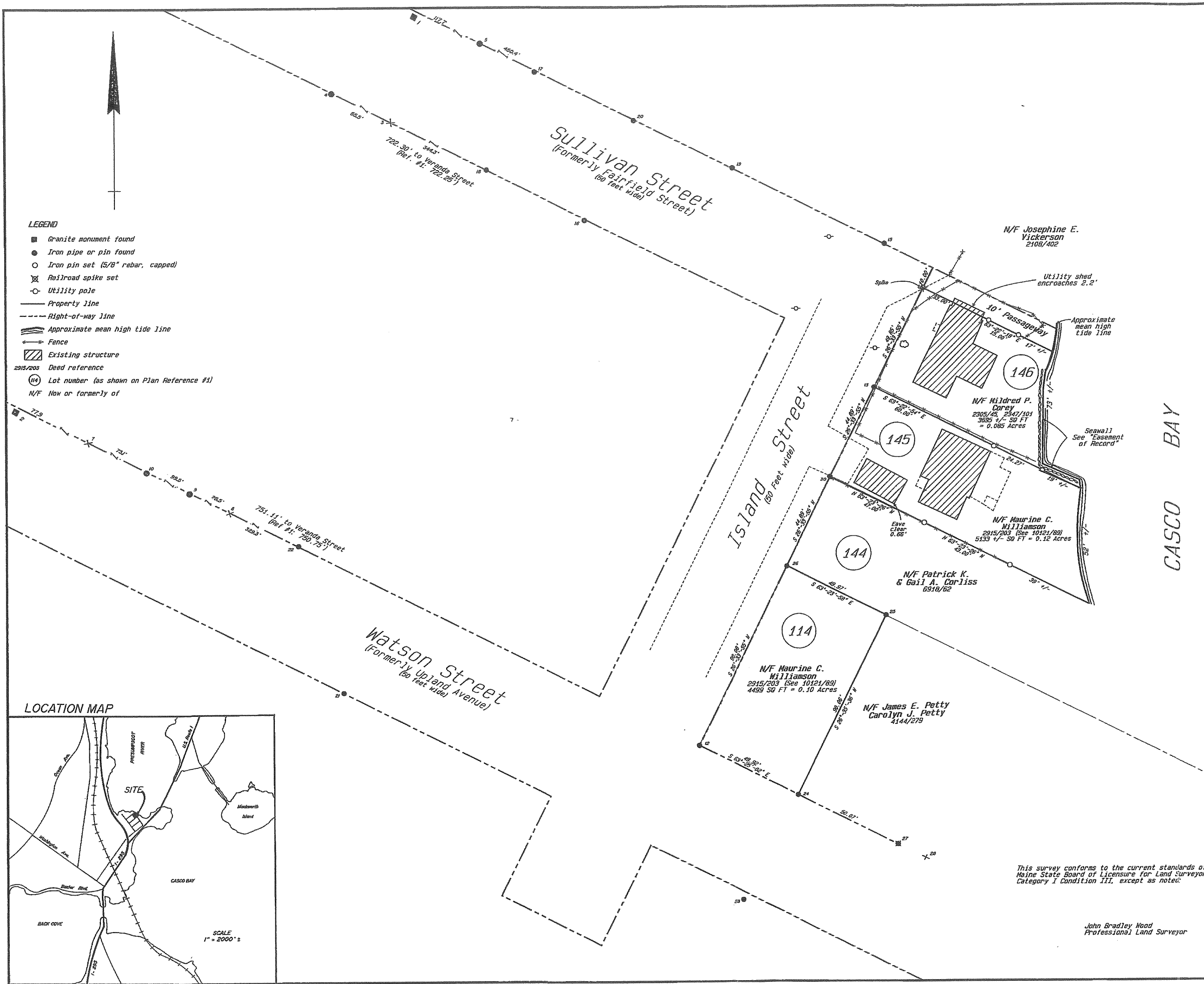


This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, Category I Condition III, except as noted.

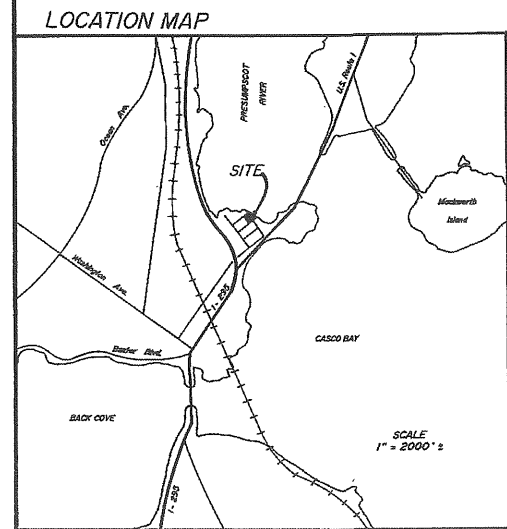
John Bradley Wood
Professional Land Surveyor

Standard Boundary Survey
Island Street Portland, Maine
made for
Maurine C. Williamson
6 Island Street Portland, Maine
Job 98023 Box 509 File 2297 Disc 489 Scale: 1"=20'
March 21, 1996
TITCOMB ASSOCIATES INC.
48 Portland North Business Park Portland, Maine

10-799 00034
6 Island St. - as approved



- LEGEND**
- Granite monument found
 - Iron pipe or pin found
 - Iron pin set (5/8" rebar, capped)
 - Railroad spike set
 - Utility pole
 - Property line
 - Right-of-way line
 - Approximate mean high tide line
 - Fence
 - Existing structure
 - Deed reference
 - Lot number (as shown on Plan Reference #1)
 - N/F Now or formerly of



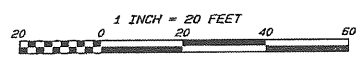
- NOTES**
- Bearings are based on Grid (True) North, based on coordinates given on Plan Reference #2 for monuments #234 and #235.
 - Deed and Plan Book references are to the Cumberland County Registry of Deeds.
 - Pipe sizes shown are inside diameter (I.D.).
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 - Location of Island Street based on monumentation and city street records. Plan Reference #1 describes a location slightly Northwest of the street lines shown.
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 - "Veranda Street Monument Layout Plan, Richmond Street to Hardsworth Street" by the City of Portland Public Works Department Engineering Section, dated January 1996.

- OWNERS OF RECORD & AREA**
- LOT 114 -- Maurine C. Williamson
2915/203 (See 10121/83)
4495 SQ FT = 0.10 Acres
- Lot 145 -- Maurine C. Williamson
2915/203 (See 10121/83)
5133 +/- SQ FT = 0.12 Acres
- Lot 146 -- Mildred P. Corey
2305/45, 2347/101
Maurine C. Williamson, Conservator
3895 +/- SQ FT = 0.85 Acres

- EASEMENT OF RECORD**
- Reciprocal easements for "improving, maintaining, repairing, and rebuilding" the sea wall on Lots #145 and #146, as described in Book 10422 Page 198 and Book 10422 Page 202.

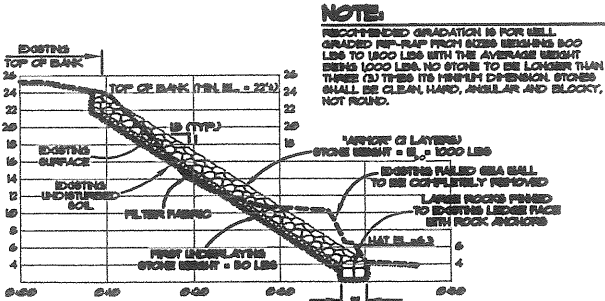
- DESCRIPTION OF MONUMENTS**
- 6" x 6" PLS #2238, at grade
 - 6" x 6" PLS #2238, at grade
 - Top brick #19 Fairfield Street (tie)
 - 3/4" pipe, at grade
 - Pipe with fixture, at grade
 - 6" x 6" PLS #2238, at grade
 - Brick building corner, Upland and Veranda Streets (tie)
 - Building corner #26 Upland Street (tie)
 - 1/2" Pipe, at grade
 - 1/2" Pipe, at grade
 - 1" Pipe, 4" below grade
 - 3/4" Pipe, at grade
 - Cut nail in pavement
 - 5/8" rebar, at grade
 - 1" Pipe, 4" below grade
 - 1" Pipe, 4" below grade
 - 3/4" Pipe, at grade
 - 3/4" Pipe, at grade
 - 3/4" Pipe, 4" below grade
 - 3/4" Pipe with fixture, 5" below grade
 - 1" rod, 2" above grade
 - 3/4" pipe, 1" below grade
 - 3/4" pipe, 1" below grade
 - 1/4" pipe, 15" above grade
 - 3/4" Pipe, 1" below grade
 - Brick building corner, #75 Watson Street (tie)
 - Building corner, #7 Island Street (tie)
 - 3/4" Pipe, at grade



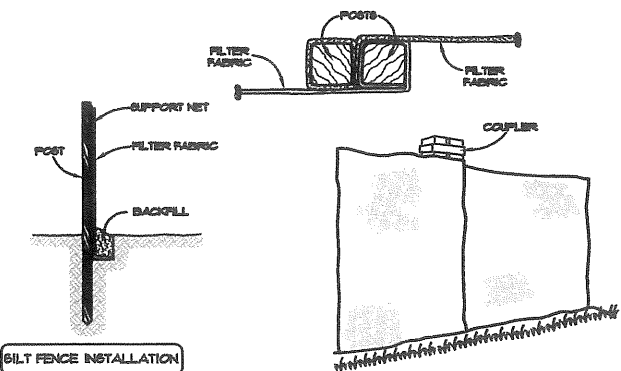
This survey conforms to the current standards of the Maine State Board of Licensure for Land Surveyors, Category I Condition III, except as noted:

John Bradley Wood
Professional Land Surveyor

Standard Boundary Survey
Island Street Portland, Maine
made for
Maurine C. Williamson
6 Island Street Portland, Maine
Job 98023 Book 558 Page 2897 Disc 459 Scale: 1"=20'
March 21, 1996
TITCOMB ASSOCIATES INC.
#8 Portland North Business Park Portland, Maine



SECTION A-A
RIPRAP REVEMENT
SCALE: 1" = 10' (H&V)

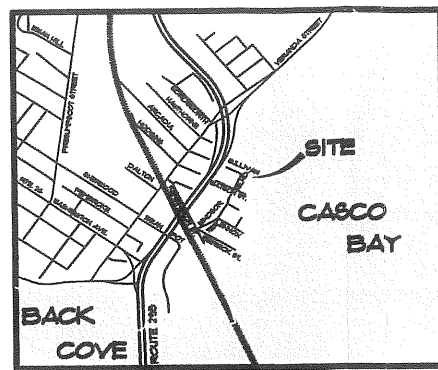
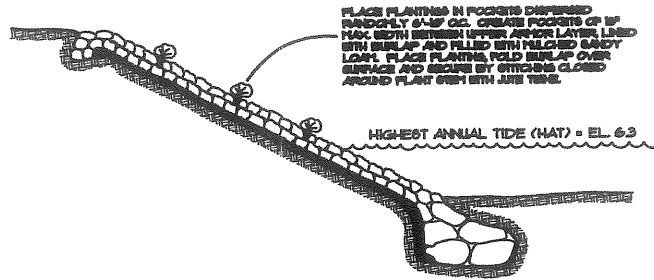
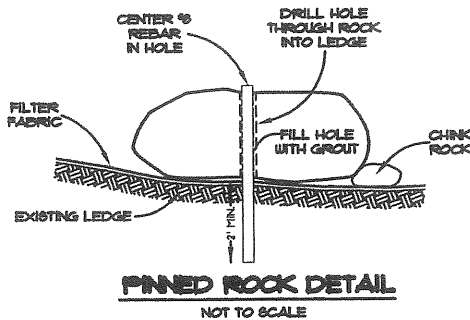


TYPICAL SILT FENCE
(NOT TO SCALE)
NOTE: USE ENVIROFENCE BY MIRAFI, INC. OR EQUIVALENT

LANDSCAPE LEGEND

- 15 - MYRTICA PENSYLVANICA (8" - 12")
"BAYBERRY"
OR
JUNIPERUS HORIZONTALIS (8" - 12")
"CREEPING JUNIPER"
- 16 - ROSA RUBROG (8" - 12")
"RUGOSA ROSE"
OR
FRUNIS MARTIMA (18" - 24")
"BEACH PLUM"

NOTE:
PLANTINGS TO BE MONITORED FOR GROWTH FOR AT LEAST ONE GROWING SEASON AND REPLACED IF NOT SURVIVED.



GRADING NOTES

- 1) THE CONTRACTOR SHALL PRESERVE EXISTING TREES WHERE POSSIBLE.
- 2) TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
- 3) EXISTING LAYERS SHALL BE REMOVED TO THE DEEPEST PORTION OF THE FILL AND AS PLACED FROM THE LAYERS SHALL BE PLACED APPROXIMATELY HORIZONTAL IN EACH HIGH (H) LIFT. AT THE CLOSE OF EACH DAY'S WORK THE EXISTING SURFACE SHALL BE GRADUALLY GRADUALLY, SLOPED, ROLLED AND GRADED AGAINST EROSION. EXCESS EXCAVATION, IF ANY, SHALL BE REMOVED OR FILLING MATERIALS GRADUALLY.
- 4) THE CONTRACTOR SHALL COMPACT FILL UNDER ALL PARKING, BUILDINGS, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 5) ASPHALT FOR GRAVEL SURFACE COURSE SHALL MEET TYPE 'A' PER DOT SPECIFICATIONS. ASPHALT FOR GRAVEL SURFACE COURSE SHALL MEET TYPE 'A' PER DOT SPECIFICATIONS. ASPHALT FOR GRAVEL SURFACE COURSE SHALL MEET TYPE 'A' PER DOT SPECIFICATIONS.
- 6) ALL AREAS WHERE LOAM IS REQUIRED SHALL BE TREATED AND SHAPED TO THE DESIRED GRADE. ALL EXCAVATIONS SHALL BE REMOVED FROM THE LOAN LOAN SHALL BE SPREAD UNIFORMLY ON THE PREPARED AREAS TO A UNIFORM DEPTH OF FOUR INCHES (4"). ANY EXCESS LOAM IN THE SURFACE RESULTING FROM TROUBLE OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR POLES. IT IS NECESSARY TO COMPACT THE TOPSOIL, EXCEPT TO INSURE GOOD CONTACT WITH THE UNDERLYING SOIL, HOWEVER, UNDER COMPACTION IS TO BE AVOIDED AS IT PREVENTS GOOD GERMINATION.
- 7) CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE PRIOR TO COMMENCING OTHER WORK.

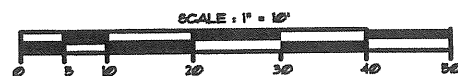
ISLAND STREET

N/F
MOULTON,
RICHARD C. & SHERI A.
MAP 48, LOT 48B&C&D

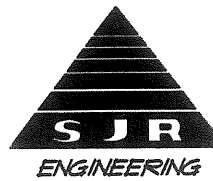
N/F
WOLF,
ALAN E. & GERALDINE G.
THE
MAP 48, LOT 48B&C&D

N/F
CORLETT,
PATRICK K. JR.
MAP 48, LOT 48B&C&D

CASCO BAY



REV. 1 06/20/00 NEW SECTION, PLANTING, H&C, NOTES



S.J.R. ENGINEERING
21 MAYFLOWER ROAD
AUGUSTA, MAINE
TEL: (207) 622-1616

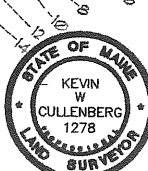
**TOPOGRAPHIC SITE PLAN
BANK EROSION CONTROL/REVEMENT**

YALE & ANN ARKEL
6 ISLAND STREET - PORTLAND, MAINE
CUMBERLAND COUNTY

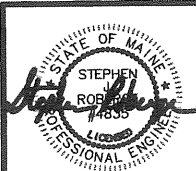
SCALE: AS SHOWN
DATE: JUNE, 2010

DRAWN BY: BOMAC
CHECKED BY: SJR

PROJECT: ARKEL-091
DRAWING: 01-1



KEVIN W. CULLENBERG PLS 1278



FOR APPROVAL & ONLY

NOTES

- 1) TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN ON THIS PLAN BASED UPON A FIELD SURVEY BY CULLENBERG LAND SURVEYING ON APRIL 15, 2004.
- 2) ELEVATIONS ARE REFERENCED TO GRID NORTH.
- 3) ELEVATIONS ARE NAVD83 (COMPUTED USING GEODESIC)

11