

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that Allison Brown

Located At 25 LENNOX ST

Job ID: 2012-08-4806-ALTR

CBL: 430- A-007-001

has permission to Interior Renovations

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4806-ALTR

Located At: 25 LENNOX ST

CBL: 430- A-007-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This permit is being issued with the condition that all the work is taking place within the existing footprint.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4806-ALTR	Date Applied: 8/23/2012	CBL: 430- A-007-001	
Location of Construction: 25 LENNOX ST	Owner Name: ALLISON BROWN	Owner Address: 125 NEWBURY ST PORTLAND, ME 04101	Phone: 207-650-9756
Business Name:	Contractor Name: George Maria	Contractor Address: 36 George St., Portland ME 04103	Phone: (207) 415-8466
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Single family	Proposed Use: Same – single family – interior alterations to existing house	Cost of Work: 16000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature:	Inspection: Use Group: 12-3 Type: SB IPC 09 Signature:
Proposed Project Description: Interior Renovations to existing house		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>beyond 75' setback.</i> <input type="checkbox"/> Wetlands <i>all work</i> <input type="checkbox"/> Flood Zone <i>with existing</i> <input type="checkbox"/> Subdivision <i>Leasprint.</i> <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>Ok w/ conditions F/24/12 ARM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ARM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

R-3.
sharland.

Centered 228



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-08-4806-ALTR

Location/Address of Construction: <u>25 Lennox ST</u>		
Total Square Footage of Proposed Structure/Area <u>1400</u>	Square Footage of Lot <u>4000</u>	Number of Stories <u>1 1/2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>430 / A / 7</u>	Applicant: (must be owner, lessee or buyer) Name <u>Allison + David Rush Brown</u> Address <u>125 Newbury ST</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>650-9756 (cell)</u> <u>874-0924 (h)</u>
Lessee/DBA RECEIVED AUG 23 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name _____ Address _____ City, State & Zip _____	Cost of Work: \$ <u>16,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>4180</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>home</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>renovation - interior interior renovations of existing house.</u>		
Contractor's name: <u>George maria</u> Email: _____ Address: <u>36 George ST</u> City, State & Zip <u>Portland, ME 04101</u> Telephone: <u>415-8466</u> Who should we contact when the permit is ready: <u>Allison Brown</u> Telephone: <u>650-9756</u> Mailing address: <u>125 Newbury ST Portland, ME 04101</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8-23-2012

This is not a permit; you may not commence ANY work until the permit is issued

GENERAL NOTES

1. The intent of the drawings is to include all necessary items for the proper execution and completion of the work. The contractor shall review all drawings and carefully verify all existing conditions for harmonious integration before proceeding with construction work. Any discrepancy shall be notified to the Owner.
2. All work shall be done in an orderly and professional manner. The owner's authorized representatives will be responsible for coordinating all work scheduled to be done by subcontractors, local authorities, state agencies, or utility companies, which may have jurisdiction over this project.
3. All work shall be executed in strict compliance with the State of Maine Uniform Building and Energy Code; International Residential Code 2008-IRC.
4. As designed, the Structure is self-supporting and stable after the entire building is completely constructed. The Contractor is solely responsible for erection procedures and sequencing during construction operations to provide and ensure local and overall stability of the building and its components. The Contractor shall retain a licensed structural engineer to design temporary bracing, shoring, and other temporary structural needs and modeling criteria.
5. Structural Design criteria is determined in compliance with the Minimum Design Loads for Buildings and Other Structures Standard 7, 2010 edition, American Society of Civil Engineers.
6. All contractors should visit the site at designated time to review existing conditions and should verify the location of existing utilities before commencing any work.
7. All utility connections and relocations shall be executed in accordance with state and local regulations. In case of conflict, the most restrictive ruling shall be followed.
8. Each subcontractor is responsible for handling & storing any materials, items and equipment associated to complete their work.
9. The contractor shall carry insurance policies as required by law and for the limits indicated by the Owner or the General Contractor (GC), to whom he or she may have a contract with. The General Contractor shall furnish one copy of this Certificate of Insurance to the Owner prior to commencing work.
10. The General Contractor (GC) shall be responsible, throughout the entire duration of the contract for construction, for all temporary shoring, precautions during building operations, safety of workers, protection of public and adjacent property, removal and disposal of debris, guarding barriers of hazardous openings and on-site sanitary provisions for the exclusive use of construction employees.
11. The Earthwork Contractor shall be responsible to remove and relocate existing earthwork material as required for proper execution of the contract for construction, including but not limited to, excavation, backfilling, and compaction of earthwork associated with foundation, land-grading preparation for landscaping, and environmental protection (erosion control) of adjacent land with/without included in the scope of work.
12. All Concrete shall comply with ACI 318-02 Standard. Exposed concrete surfaces shall be neatly rubbed. Floor slab control-joints shall be spaced at intervals not to exceed 12'-0" in each direction and shall be filled with adequate sealant.
13. All reinforcing steel bar shall be ASTM A615 Grade 60.
14. All structural steel shall be ASTM A615 Grade 60.
 - a. Angles, Plates ASTM A36
 - b. Steel Pipe ASTM A53
 - c. structural Tubing ASTM A600
 - d. NOT REQUIRED
15. Exterior Wall Covering (wood/wood-based products) shall meet, or exceed, durability criteria per ANSI/APA A136.8, Standard; and ANSI A134.4, Basic Requirements for properties and weather resistance of wood siding.
16. All wood construction shall conform to National Design Specifications for Wood Construction, 2005 Edition, American Wood Council of the American Forest and Paper Association.

CONTINUES ON NEXT PAGE

GENERAL NOTES -CONT.

17. All dimensional lumber shall conform to DCC-PS 20-05. All preservative treated wood shall conform to AWPA C1-03. Composite panels shall comply with ANSI A136.4-04. Structural Plywood shall comply with DCC-PS 1-07. Engineered wood trusses shall comply with WTC/AIA/ANSI/TPI 1-07 (Metal Plate Connected wood Truss Construction) Standard.
18. The Finish Carpentry Contractor shall be responsible for the installation and completion of the cabinetry, wood trim, countertop, and wall back-splash surfacing, and finish hardware of cabinets.
 - a. Architectural Woodwork shall meet AWI-06 CUSTOM GRADE Standard
19. The Drywall Contractor shall be responsible for the installation and completion of wall, ceiling and soffit surfaces in accordance with ASTM C840-Level 4 or 5 Standard. Gypsum board types and thickness shall be per USG-2000 Handbook.
20. All windows shall conform to NFRC-Class R and Performance Grade 40 or better, and Energy Star Certifications for Northern climate zone, including the following total unit energy performance rating criteria:
 - a. Thermal Transmittance, U-Factor: 0.28, or better
 - b. Solar Heat Gain Coefficient, SHGC: 0.32, or better
 - c. Visible Light Transmittance, VT: 0.62, or better
21. Interior Doors shall be factory-assembled molded type, 1-3/8" of thickness, solid or semi-solid Core with a Sound Transmission Coefficient (STC) of 29, or better. Owner will select product and finishes from standard manufacturer series. Acceptable manufacturer: Craftsmanstar.
22. The Door Hardware Contractor shall be responsible for the evaluation, analysis, design, and installation of the door hardware schedule. The Contractor shall have a minimum experience of two years in the installation of high-security door hardware in RESIDENTIAL GRADE construction.
23. Owner will select all finishes. Refer to Room Finish Schedule for coordination purposes.
24. The Flooring Contractor shall be responsible for the preparation, inspection, and protection of floor substrate surfaces; and the installation and completion of specified finish flooring in accordance with industry standards.
 - a. FLOORING TRANSITION JOINTS SHALL BE SMOOTH AND LEVEL
25. The Painting Contractor shall be responsible for the inspection of surfaces ready to receive primer and paint coats as specified by Owner. Protection of adjacent surfaces work during painting operations, and re-touching at indicated punch-list spots shall also be included.
26. The General Contractor (GC) shall be responsible for the work associated with preparation of wall, ceiling and other surfaces ready to receive top finish; such as caulking, cutting & patching, blocking, scrubbing, dusting, debris removals, and frequent cleaning; unless specifically pre-agreed upon contract with the Owner.
27. The Fire Protection Contractor shall be responsible for the design/build of the project's sprinkler system.
 - a. NOT REQUIRED
28. The Mechanical Contractor shall be responsible for the design/build of the project's HVAC system.
 - a. OWNER TO SELECT FIXTURES, EQUIPMENT, AND CONTROLS
 - b. HVAC CONTRACTOR TO PROVIDE AN INTEGRATED SYSTEM
29. The Plumbing Contractor shall be responsible for the design/build of the project's PLUMBING system.
 - a. OWNER TO SELECT FIXTURES, MATERIALS & PIPING INSULATION REQUIREMENTS
 - b. PLUMBING CONTRACTOR TO PROVIDE AN INTEGRATED SYSTEM
30. The Electrical Contractor shall be responsible for the design/build of the project's ELECTRICAL system.
 - a. OWNER TO SELECT FIXTURES AND CONTROLS
 - b. ELECTRICAL CONTRACTOR TO PROVIDE AN INTEGRATED SYSTEM

END OF GENERAL NOTES

RESIDENCE ADDITION & RENOVATIONS

25 Lennox Street Portland, Maine

DRAWING LIST

- A-0 COVER SHEET
- D-1 FLOOR & ROOF DEMOLITION PLANS
- A-1 FLOOR, ATTIC & ROOF PLANS, BUILDING SECTION
- A-2 BUILDING ELEVATIONS
- A-3 FOUNDATION & FRAMING PLANS, WALL SECTIONS & DETAILS



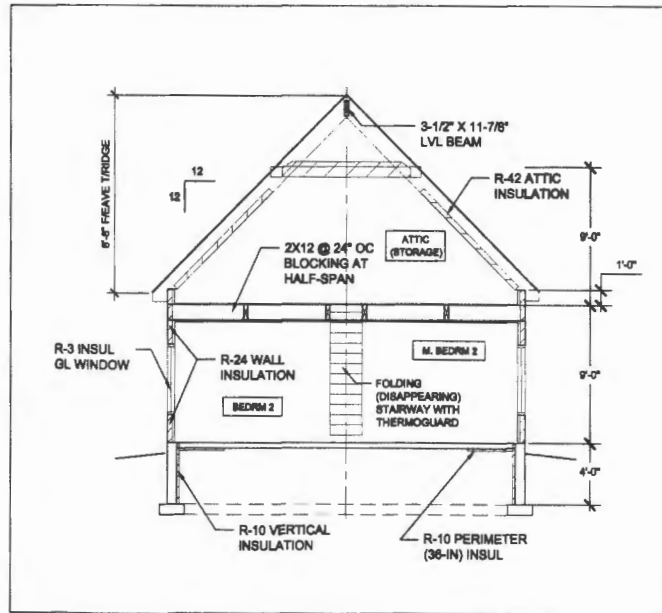
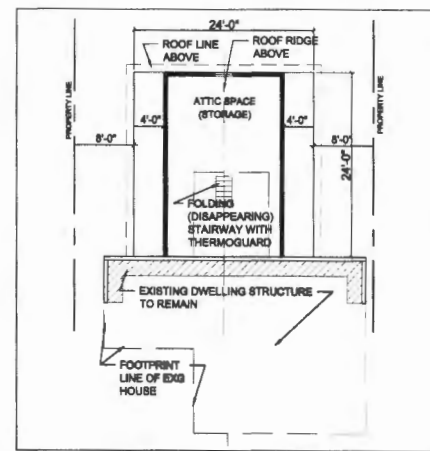
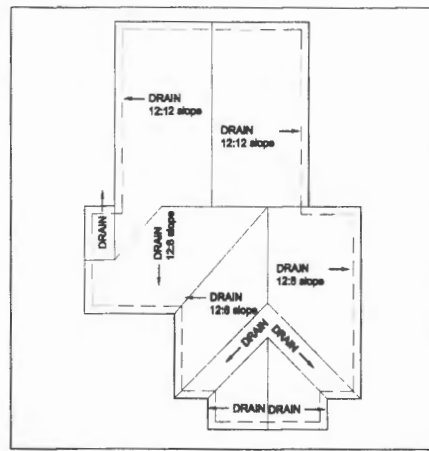
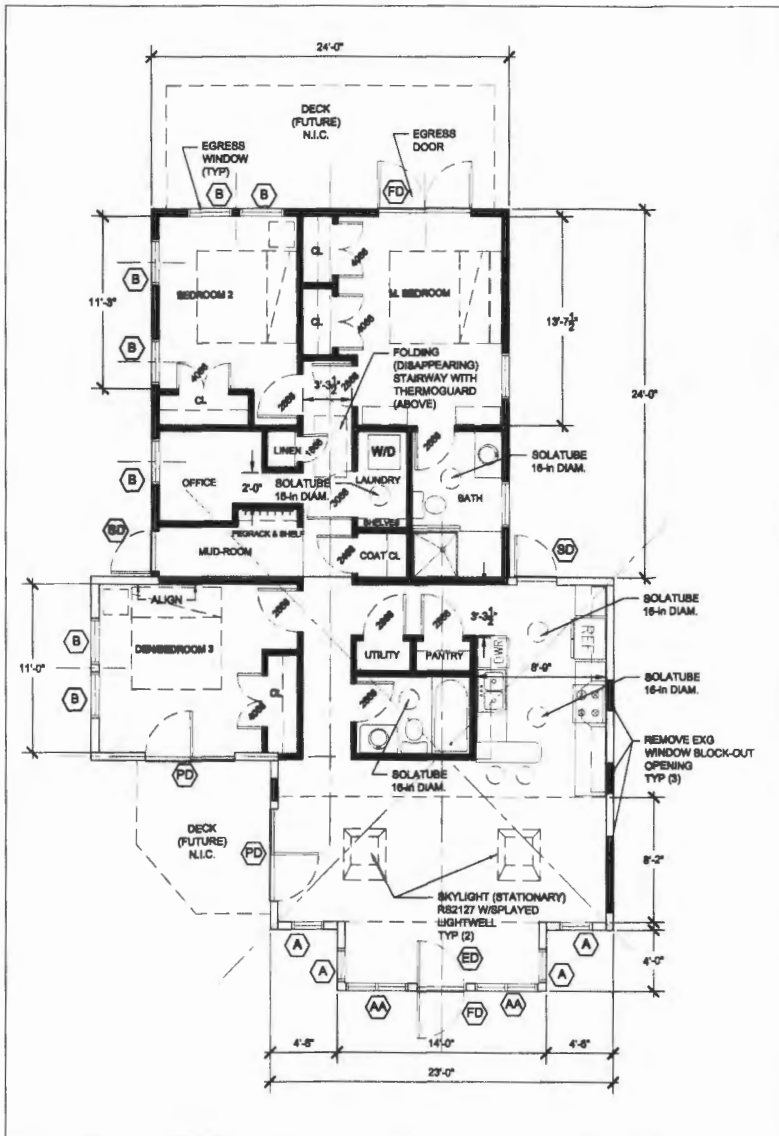
BUILDER'S SET - AUGUST 14, 2012

RESIDENCE ADDITION & RENOVATIONS

25 LENNOX STREET
PORTLAND, MAINE

ARCHITECT'S PROJECT NO.:
ARQ 13-08
DRAWN BY: SAO REVISIONS BY: -

A-0



BUILDER'S SET - AUGUST 14, 2012

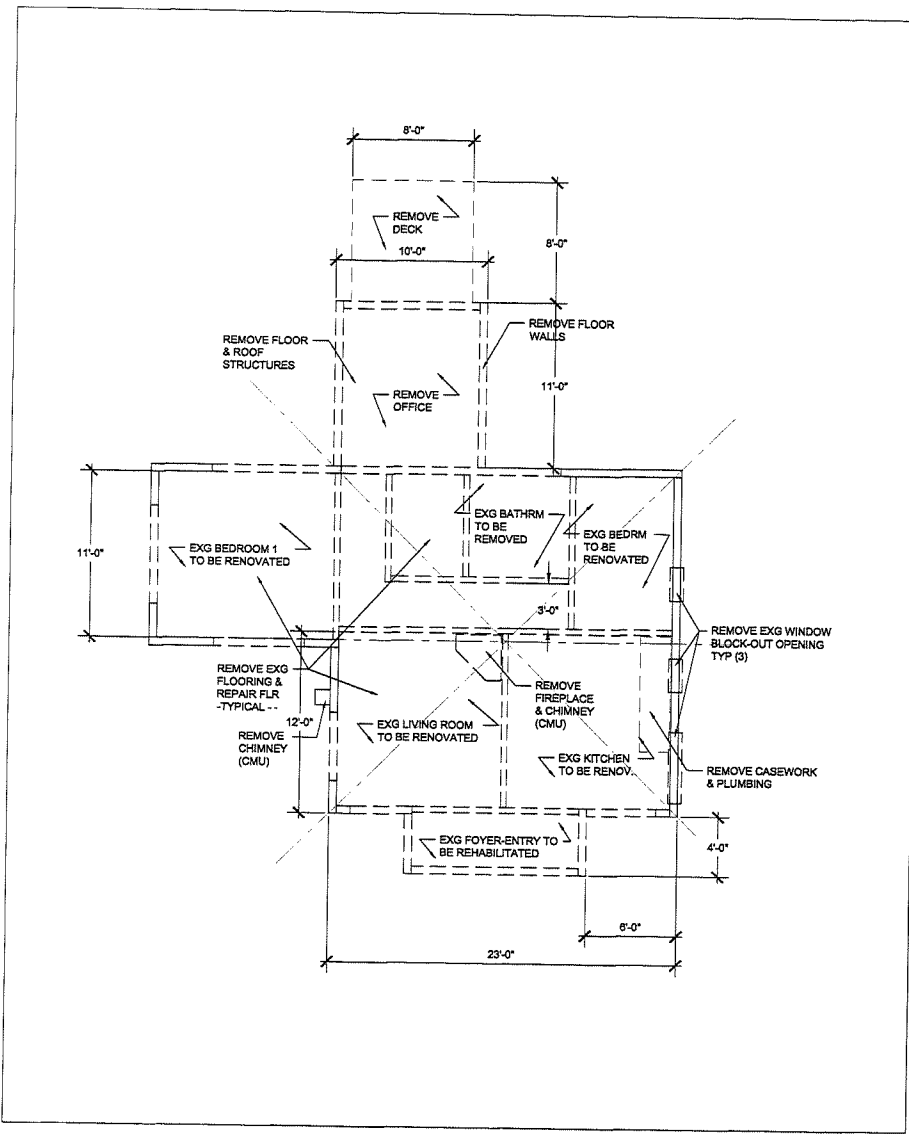


RUSH & ALLISON BROWN
PORTLAND, MAINE

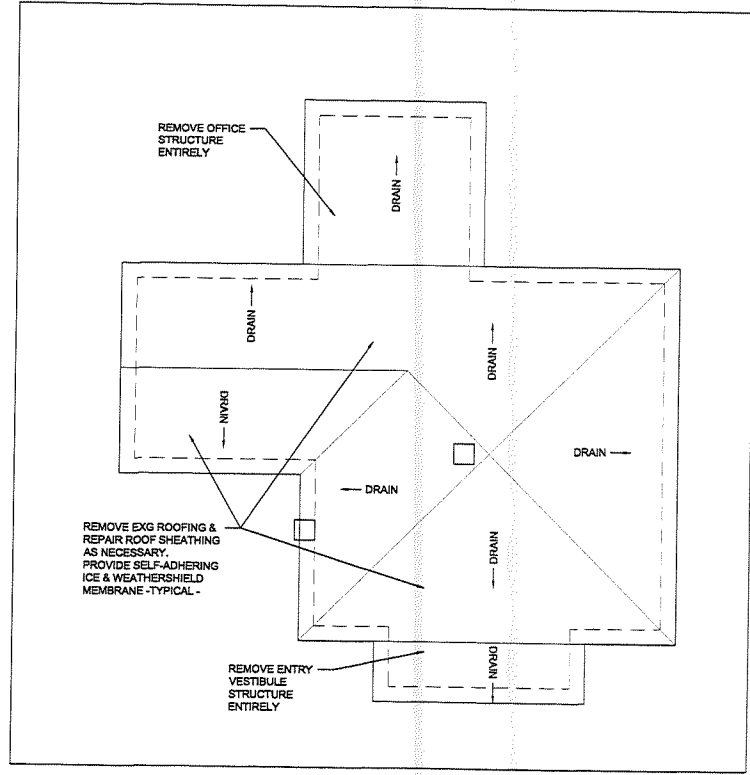
RESIDENCE ADDITION & RENOVATIONS
26 LEHIGH STREET
PORTLAND, MAINE



ARCHITECT'S PROJECT No.	ARQ 13-09
DRAWN BY:	SAG
REVIEWED BY:	-



1 FLOOR DEMOLITION PLAN
 Scale: 1/4" = 1'-0"



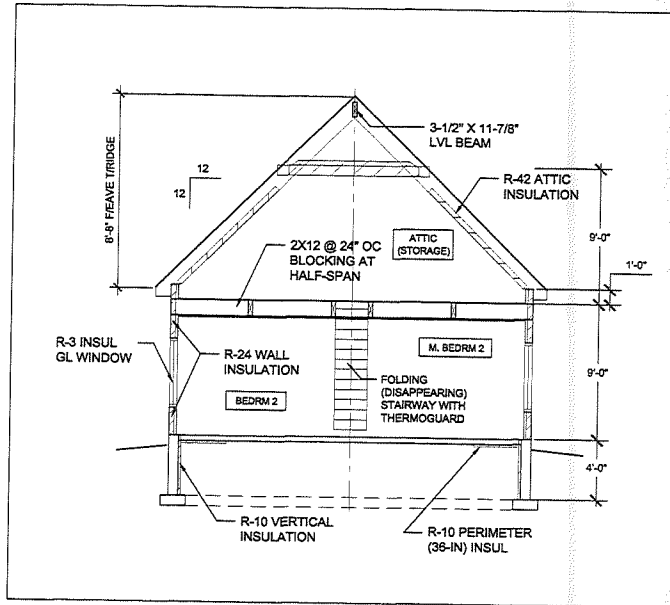
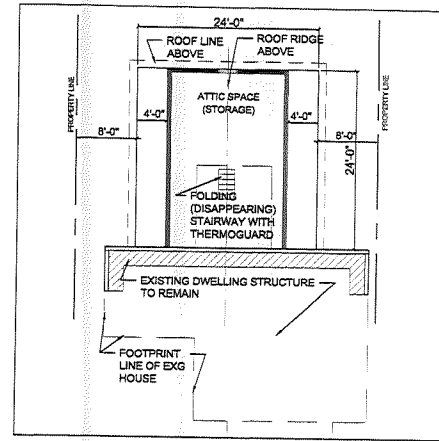
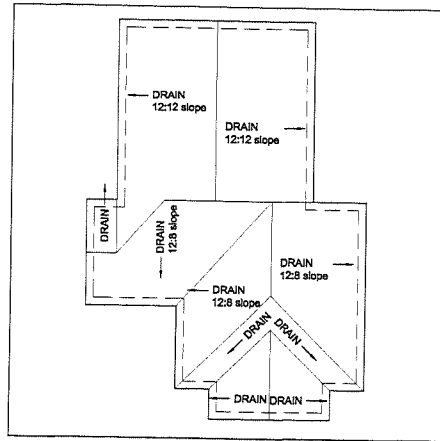
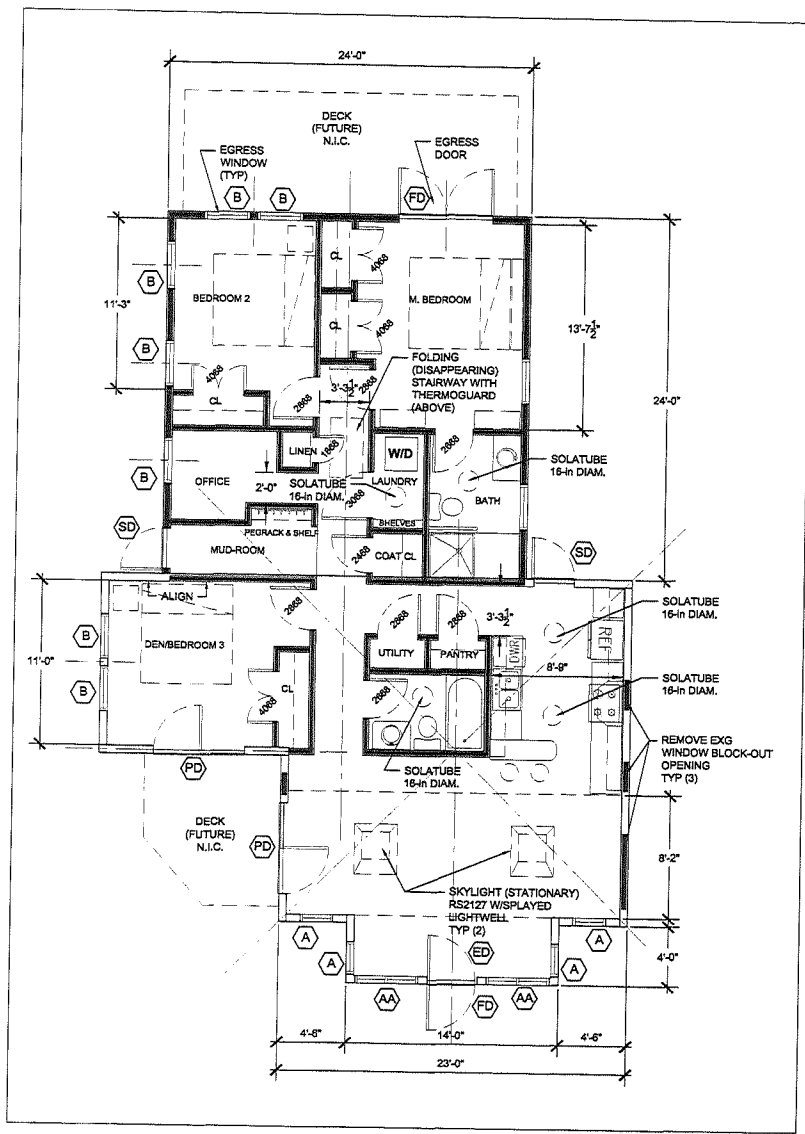
2 ROOF PLAN (EXISTING TO BE MODIFIED)
 Scale: 1/4" = 1'-0"



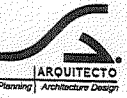
SAG



BUILDER'S SET - AUGUST 14, 2012



SAG
SERGIO A. CADAR
No. 2123
STATE OF MAINE
REGISTERED ARCHITECT

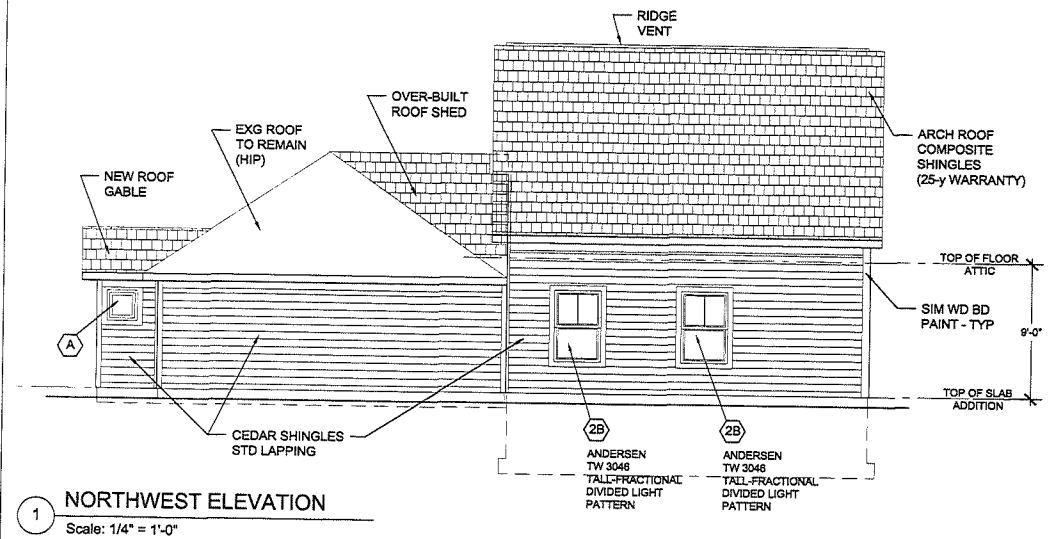


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PORTLAND, MAINE

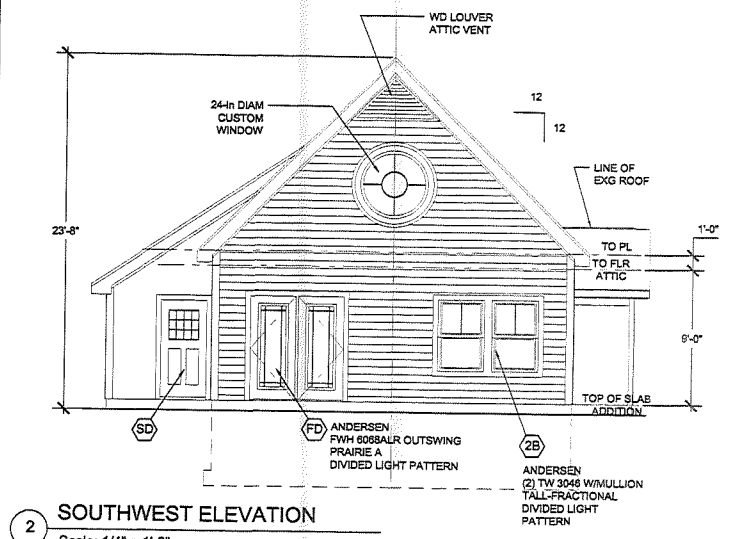
RESIDENCE ADDITION & RENOVATIONS
25 LENOX STREET
PORTLAND, MAINE

ARCHITECT'S PROJECT No.
ARQ 12-09
DRAWN BY: SAG
REVIEWED BY:

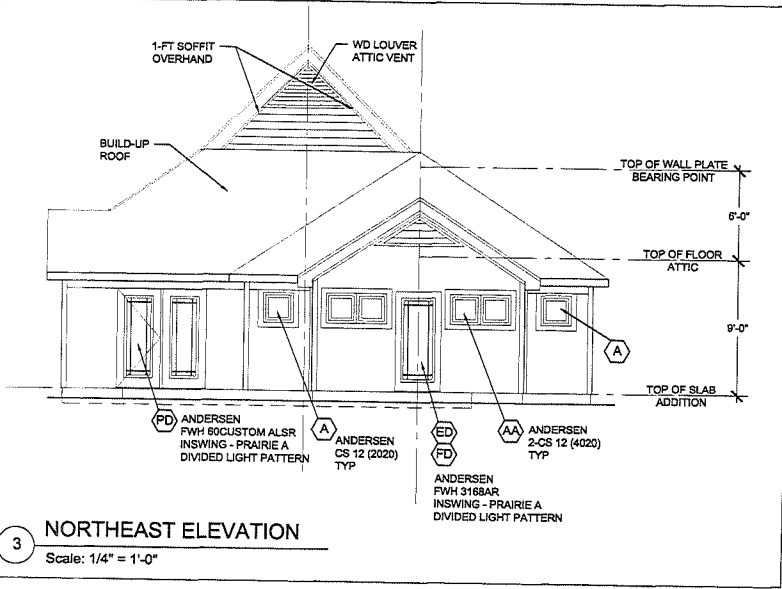
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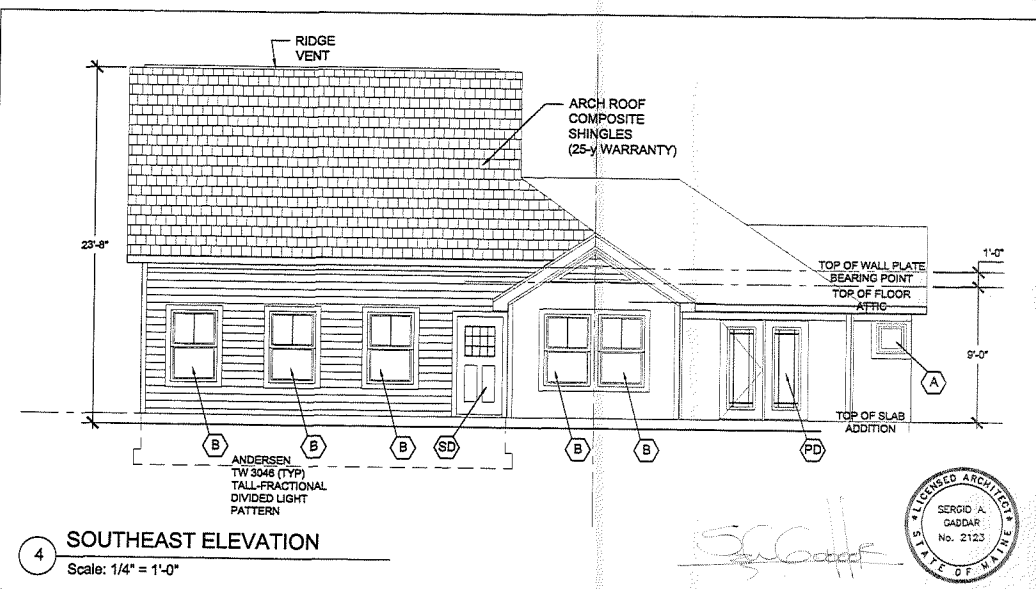
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 Scale: 1/4" = 1'-0"



2 SOUTHWEST ELEVATION
 Scale: 1/4" = 1'-0"

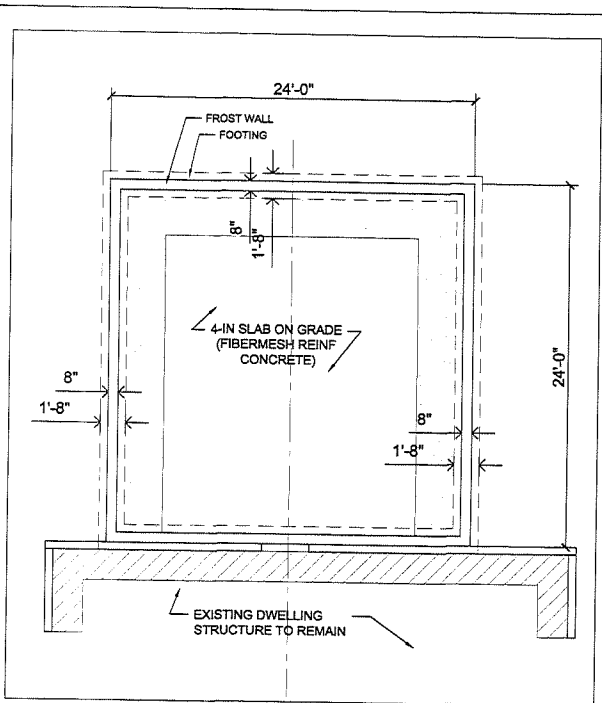


3 NORTHEAST ELEVATION
 Scale: 1/4" = 1'-0"

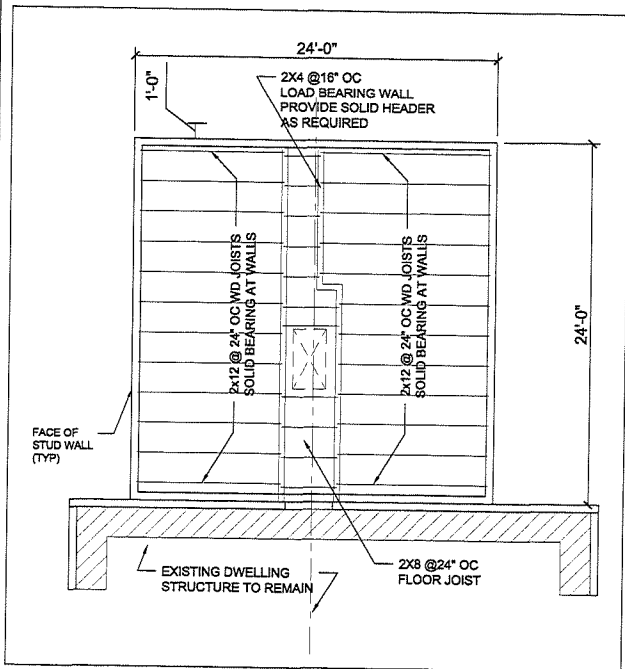


4 SOUTHEAST ELEVATION
 Scale: 1/4" = 1'-0"

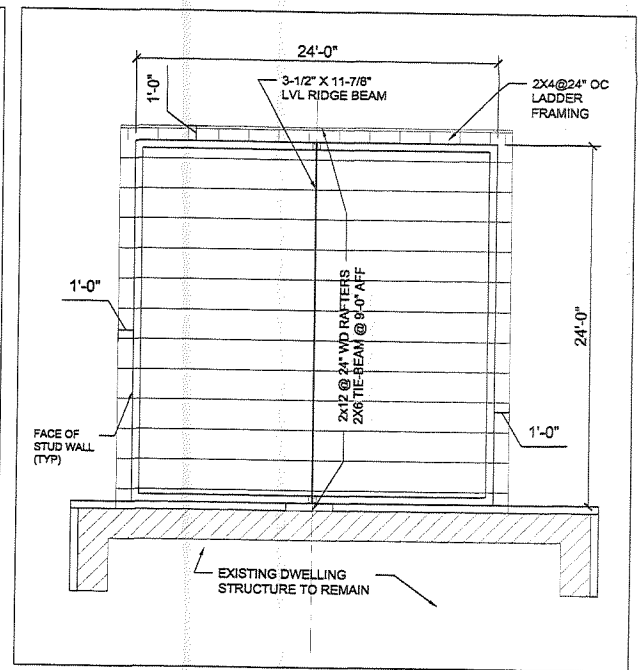
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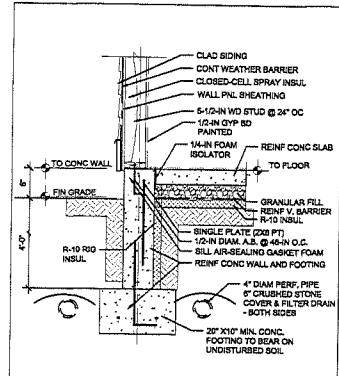
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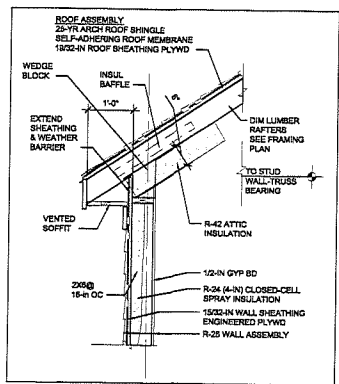
2 ATTIC FRAMING PLAN (ADDITION)
Scale: 1/4" = 1'-0"



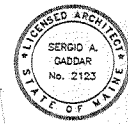
3 ROOF FRAMING PLAN (ADDITION)
Scale: 1/4" = 1'-0"



4 FOUNDATION DETAIL
Scale: 3/4" = 1'-0"



5 EAVES DETAIL
Scale: 3/4" = 1'-0"



SAG



BUILDER'S SET - AUGUST 14, 2012



RUSH & ALLISON BROWN
PORTLAND, MAINE

RESIDENCE ADDITION & RENOVATIONS
26 LENOX STREET
PORTLAND, MAINE

ARCHITECT'S PROJECT No.
ARQ 12-09
DRAWN BY: SAG REVIEWED BY: -

WINDOW & DOOR SCHEDULE

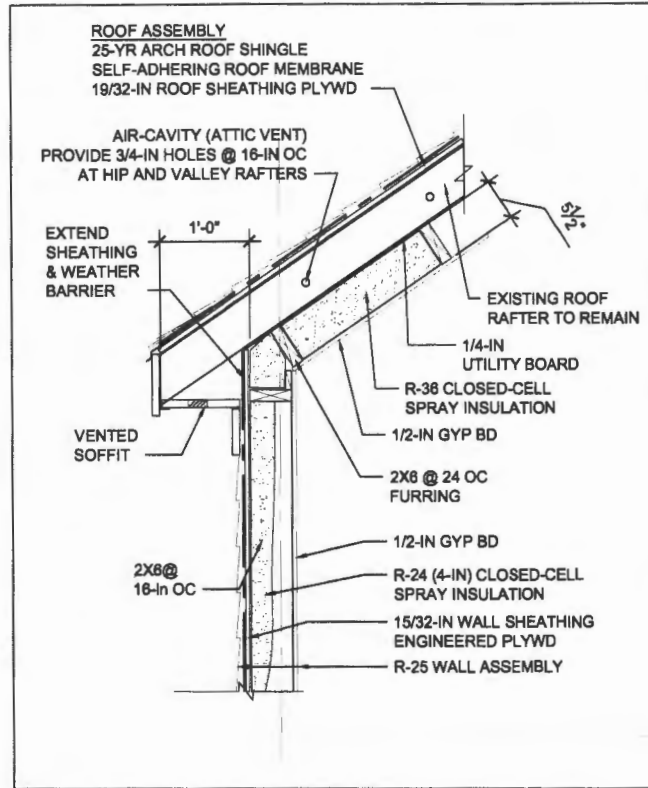
TAG	UNIT TYPE	UNIT SIZE W x H	ROUGH OPENING W x H	REMARKS
A	CASEMENT WINDOW	2'-0 $\frac{1}{4}$ " x 2'-0 $\frac{1}{4}$ "	2'-0 $\frac{3}{4}$ " x 2'-0 $\frac{3}{4}$ "	ENERGY STAR
AA	STATIONARY WIN.	4'-0" x 2'-0 $\frac{1}{4}$ "	4'-0 $\frac{1}{2}$ " x 2'-0 $\frac{3}{4}$ "	ENERGY STAR
B	TILT-WASH WINDOW	3'-1 $\frac{3}{4}$ " x 4'-9"	3'-2 $\frac{1}{4}$ " x 4'-9"	ENERGY STAR
2B	TILT-WASH WINDOW	3'-1 $\frac{3}{4}$ " x 4'-9"	3'-2 $\frac{1}{4}$ " x 4'-9"	ENERGY STAR
PD	PATIO DOOR	5'-11 $\frac{1}{4}$ " x 6'-7 $\frac{1}{2}$ "	6'-0" x 6'-8"	ENERGY STAR
FD	FRONT DOOR	3'-0 $\frac{1}{8}$ " x 6'-7 $\frac{1}{2}$ "	3'-1" x 6'-8"	ENERGY STAR
SD	SIDE DOOR	2'-8 $\frac{1}{4}$ " x 6'-7 $\frac{1}{2}$ "	2'-9" x 6'-8"	ENERGY STAR

NOTE: WINDOW AND DOOR UNIT MANUFACTURER BASIS OF DESIGN IS ANDERSEN. PLEASE CONFIRM WITH OWNER PRIOR TO ORDERING.

1

WINDOW & DOOR SCHEDULE

Scale: NTS



2

TYP EXISTING ROOF/NEW CEILING DETAIL

Scale: 3/4" = 1'-0"

Sergio A. Gaddar



AUGUST 22, 2012



**RESIDENCE ADDITION AND RENOVATIONS
 RUSH & ALLISON BROWN**

25 LENNOX STREET
 PORTLAND, MAINE

ARCHITECT'S PROJECT No.:
ARQ 12-09

DRAWN BY: **SAG** REVIEWED BY: **-**

CSK-2



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: David Brown, Check Number: 8062

Tender Amount: 180.00

Receipt Header:

Cashier Id: Idobson

Receipt Date: 8/24/2012

Receipt Number: 47529

Receipt Details:

Referance ID:	7798	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	180.00	Charge Amount:	180.00
Job ID: Job ID: 2012-08-4806-ALTR - Interior Renovations			
Additional Comments: 25 Lennox			

Thank You for your Payment!