

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4408-ALTR 2012-49617 AMEND	Date Applied: 10/24/2012	CBL: 430- A-007-001	
Location of Construction: 25 LENNOX ST	Owner Name: ALLISON BROWN	Owner Address: 125 NEWBURY STREET PORTLAND, ME 04101	Phone: 650-9756
Business Name:	Contractor Name: George Maria	Contractor Address: 36 GEORGE ST PORTLAND MAINE 04103	Phone: (207) 415-8466
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADD	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to change from trusses to stick built rafters, add dormer to roof on new addition and add a drop-down access stair	Cost of Work: \$25,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: P-3 Type: SB TKC 09 Signature:
Proposed Project Description: dormer		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>over 75' from HAT</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i> <i>10/26/12</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>10/26/12</i></p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: </p>
---	---	--	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that ALLISON BROWN

Located At 25 LENNOX ST

Job ID: 2012-07-4408-ALTR

CBL: 430- A-007-001

has permission to Amend permit# 2012-07-4408 Change from trusses to stick built rafters, add dormer, on new addition provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer



Code Enforcement Officer / Plan Reviewer

11/01/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

SCANNED

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

All inspection requirements from permit#2012-07-4408 are still applicable

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

Entered 10/24/12

Parent

2012-07-4408 - ALTR

(B)

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

201249617

Location/Address of Construction: <u>25 Lennox St., Portland</u>		
Total Square Footage of Proposed Structure/Area <u>1400</u>	Square Footage of Lot <u>4000</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>430 - A - 7</u>	Applicant: (must be owner, lessee or buyer) Name <u>Allison Brown</u> Address <u>125 Newbury St</u> City, State & Zip <u>Portland, ME 04101</u>	Telephone: <u>650-9756</u>
Lessee/DBA RECEIVED OCT 24 2012 <i>Dept. of Building Inspections City of Portland Maine</i>	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>15000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ <u>170</u> Total Fee: \$ 15000
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>dormer to roof on addition / roof framing</u> <u>Amendment - 2012-074408 ALTR</u>		
Contractor's name: <u>George Maria</u> Email: _____ Address: <u>Genesee St</u> City, State & Zip: <u>Portland</u> Telephone: <u>415-8466</u> Who should we contact when the permit is ready: <u>Allison Brown</u> Telephone: <u>650-9756</u> Mailing address: <u>125 Newbury St, Portland 04101</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10-23-12

This is not a permit; you may not commence ANY work until the permit is issued



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , Check Number: 9395

Tender Amount: 170.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 10/24/2012

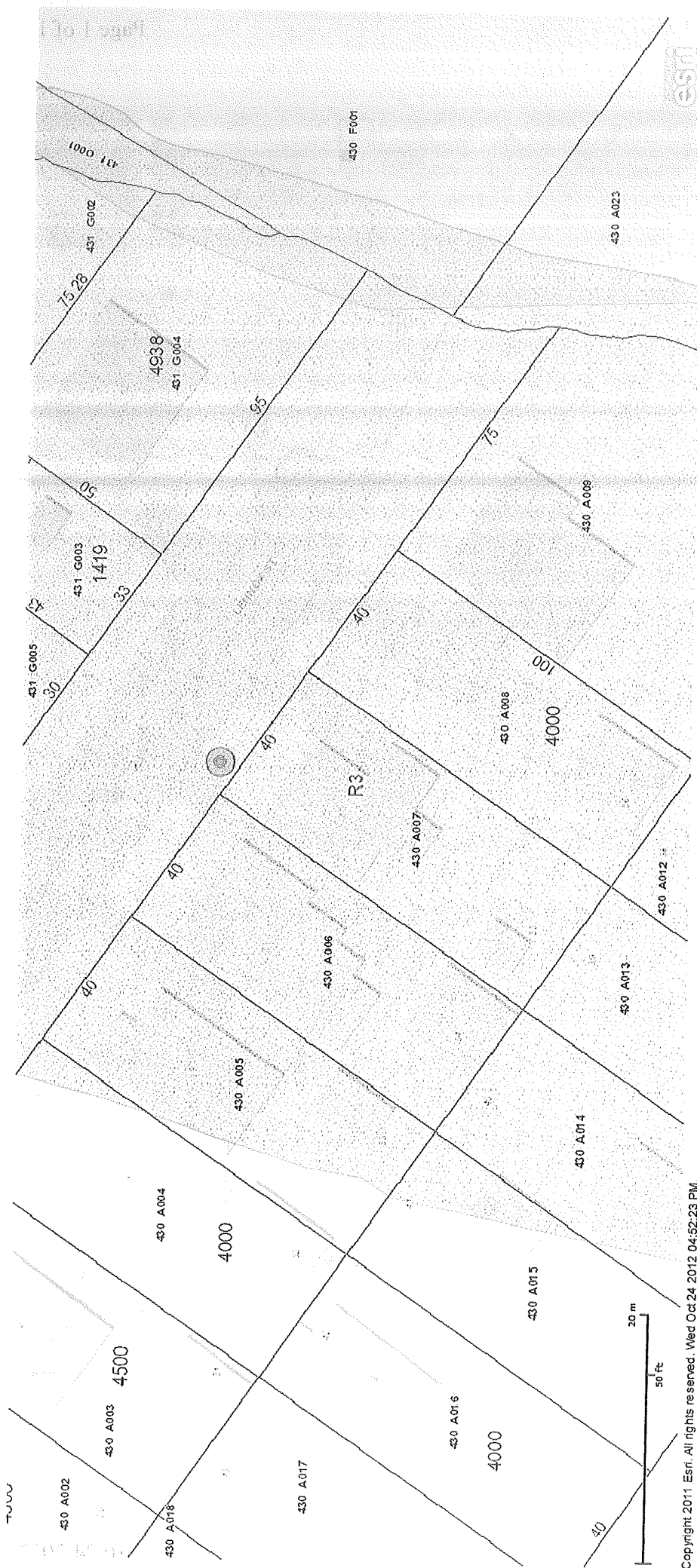
Receipt Number: 49618

Receipt Details:

Referance ID:	8515	Fee Type:	UI-MI
Receipt Number:	0	Payment Date:	
Transaction Amount:	170.00	Charge Amount:	170.00
Job ID: Job ID: 2012-07-4408-ALTR - 576 Sq Ft Addition to Existing Single Family			
Additional Comments: 25 Lennox St.			

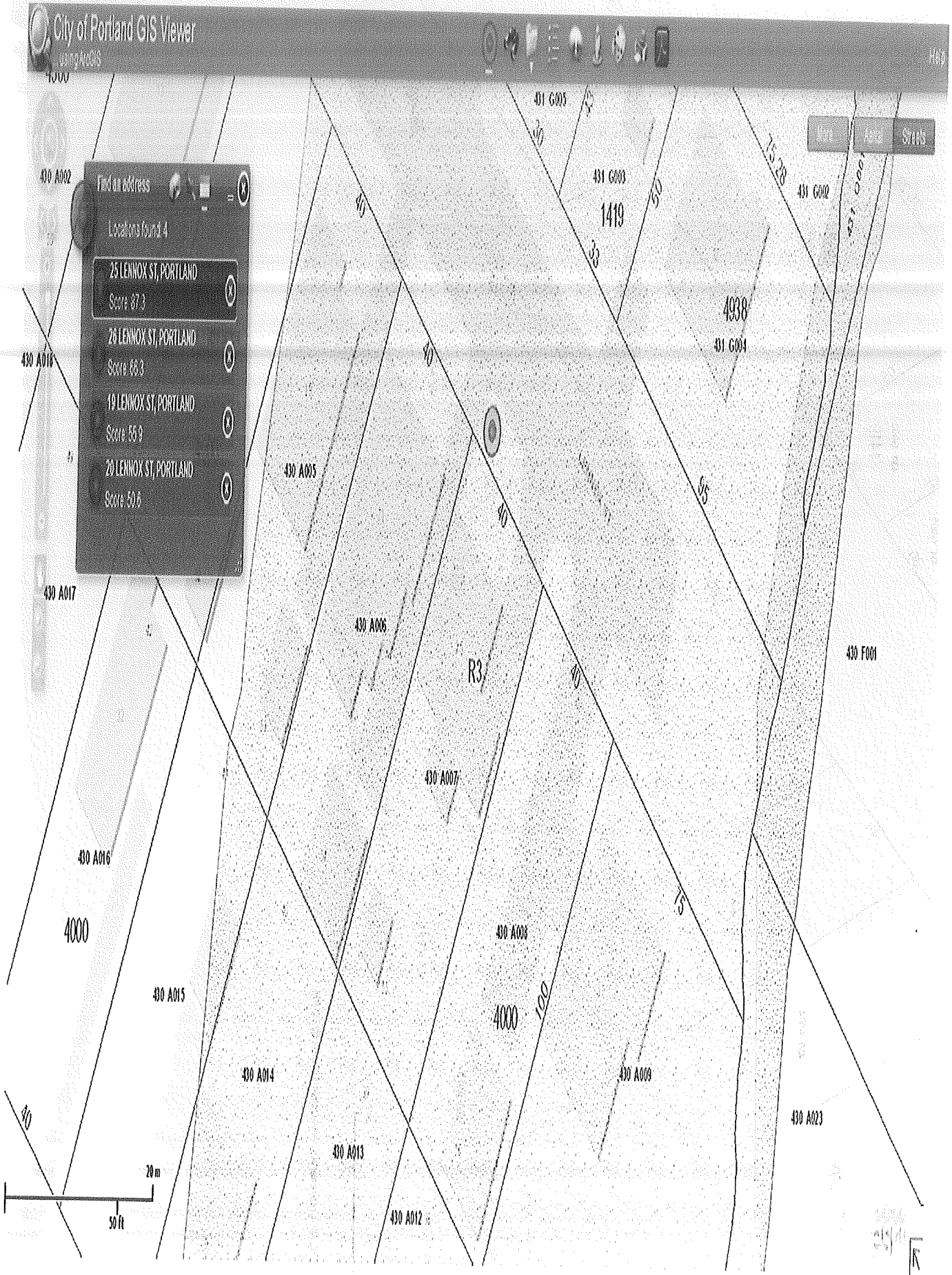
Thank You for your Payment!

25 Lennox St



Copyright 2011 Esri. All rights reserved. Wed Oct 24 2012 04:52:23 PM.

0000000000



25 LENNOX ST

seating capacity of at least six thousand (6,000) seats.

Stockpiling. Any placement or creation of piles or loads of soil, loam, sand, gravel, rock or other mineral deposits upon a site for the purpose of storage, warehousing or reserving for future use. Stockpiles shall be considered structures for purposes of dimensional requirements under the Land Use Code.

Stormwater detention area: A storage area for the temporary storage of stormwater runoff which does not contain water during non-storm conditions.

Storm water retention area: A pond or basin used for the permanent storage of stormwater runoff.

Story: That portion of a building included between the surface of any floor and the surface of the floor, or the roof, next above. A half story is a story situated under a sloping roof, the area which at a height four (4) feet above the floor does not exceed two-thirds of the floor area of the story immediately below it and which does not contain an independent apartment or dwelling unit. A story which exceeds eighteen (18) feet in height shall be counted as two (2) stories. A basement shall be counted as a story for the purpose of height measurement where more than one-half of its height is above the average level of the adjoining ground.

Stream: A free-flowing body of water from the outlet of the confluence of two (2) perennial streams as depicted on the most recent edition of a United States Geological Survey 7.5-minute series topographic map, or if not available, a 15-minute series topographic map, to the point where the body of water becomes a river or flows to another water body or wetland within a shoreland area, or any stream designated within a Stream Protection Zone.

Street: A public way established by or maintained under public authority, or a way dedicated to the use of the public and appearing on the official map of the city.

Street line: The line of demarcation between a street and the abutting land.

Structure: Anything constructed or erected of more than one (1) member which requires a fixed location on the ground or attached to something having a fixed location on the ground.

0/13/12 H/C

originally
Submitted

THIS IS NOT A BOUNDARY SURVEY

This copyrighted document expires 09-11-12. Reproduction and/or dissemination after this date is unauthorized.

MORTGAGE INSPECTION OF: DEED BOOK 3779 PAGE 241 COUNTY Cumberland
PLAN BOOK 10 PAGE 83 LOT 55

ADDRESS: 25 Lennox Street, Portland, Maine

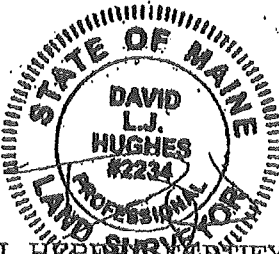
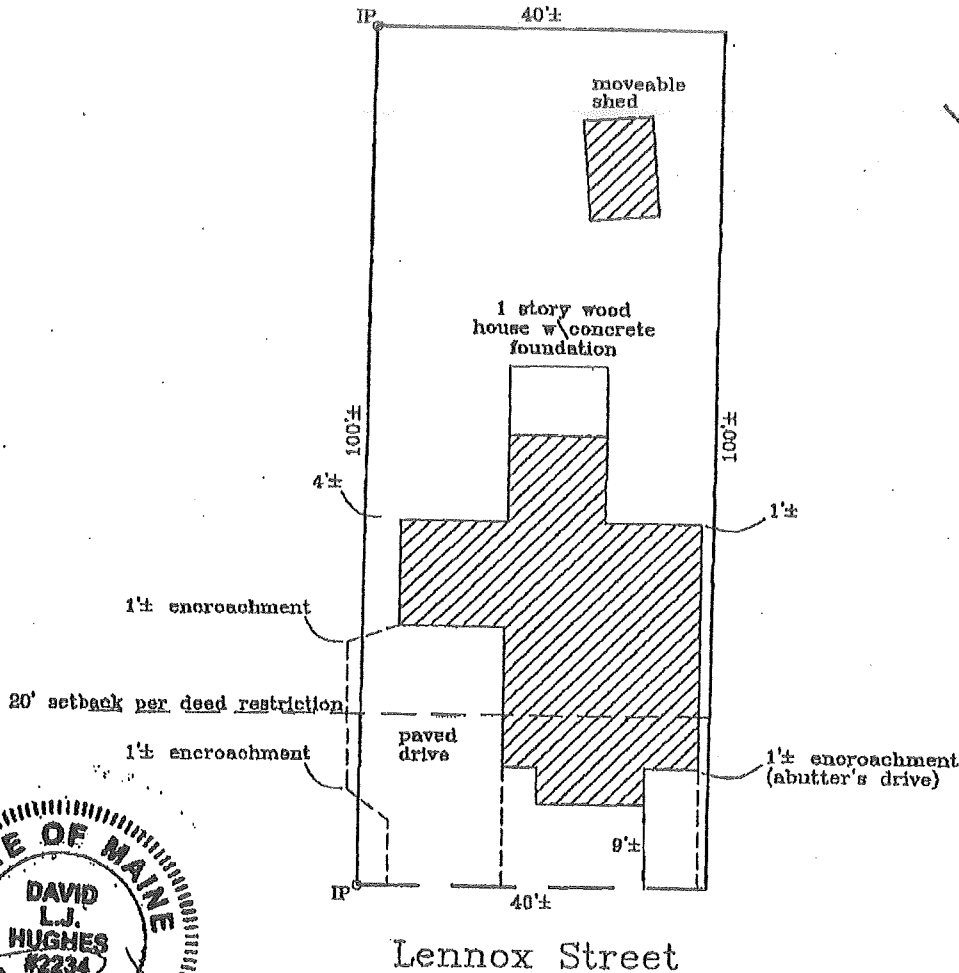
Job Number: 754-05

Inspection Date: 08-11-12

Scale: 1" = 20'

Buyers: Allison S. & David R. Brown

Sellers: Maxelle J. & Gladys L. Rea



I HEREBY CERTIFY TO: Bay Area Title, the lender
and its title insurer,
with the deed description.

Monuments found did not conflict with the deed description.
The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel E30051 0008B:

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

A wetlands study has not been performed.

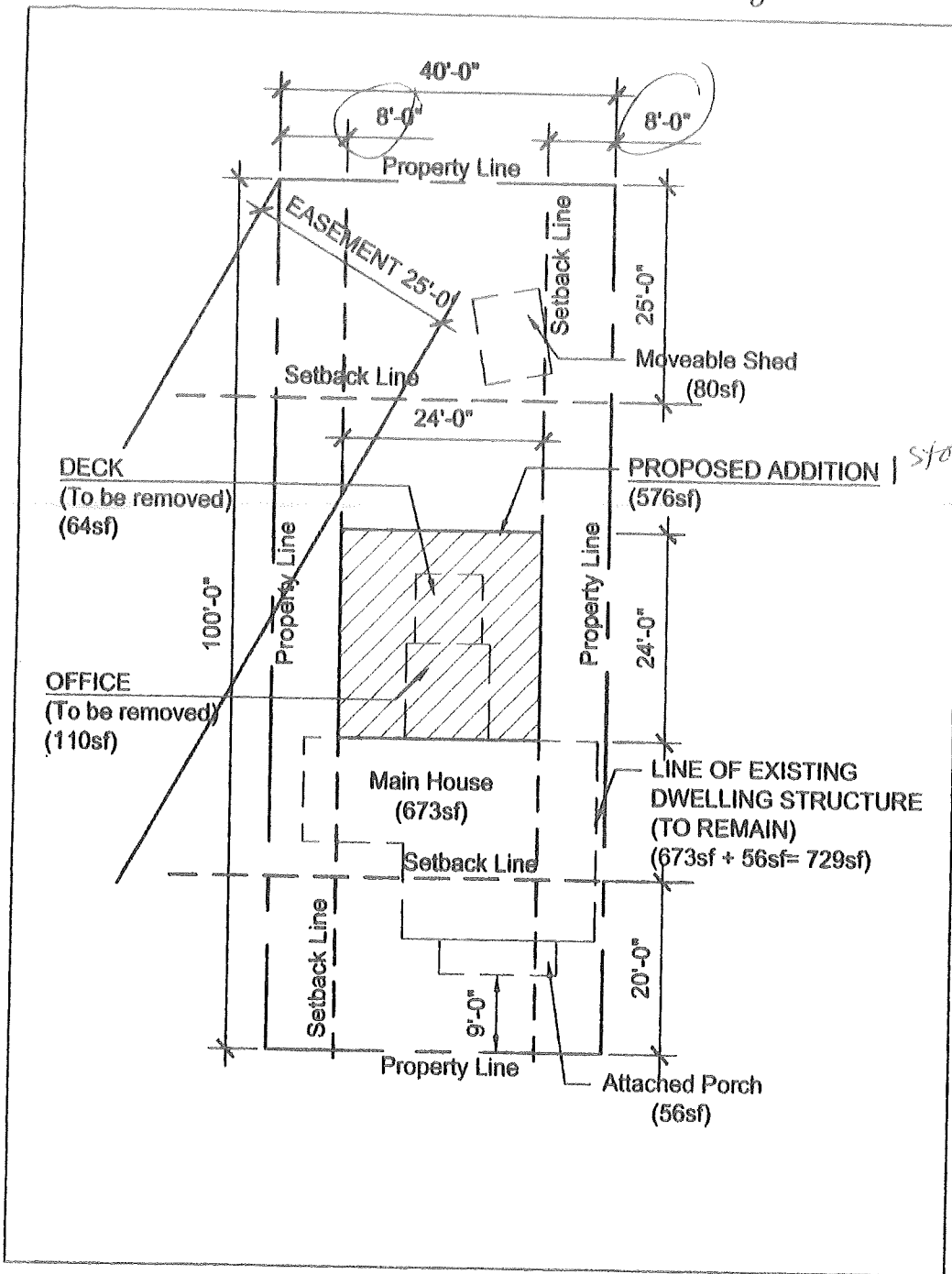
APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright ©

Livingston-Hughes
Professional Land Surveyors
88 Guinea Road
Kennebunkport, Maine 04046
207-967-9761 phone 207-967-4831 fax
www.livingstonhughes.com

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

Originally Submitted



R-3
 Rear - 25' min
 25' + show
 Side: 8' min
 (15' show) 8' show
 Front N/A

story

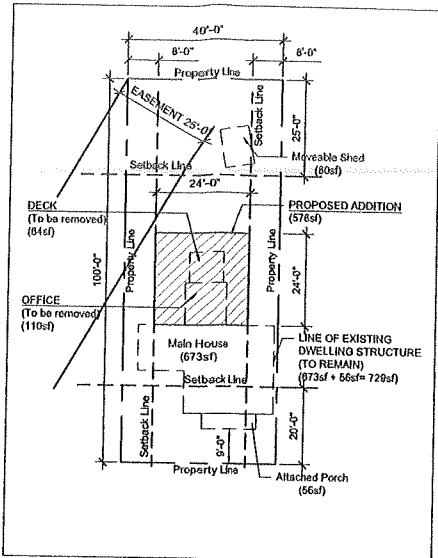
RECEIVED
 JUL 05 2012
 Dept. of Building Inspections
 City of Portland Maine

1 **PLOT PLAN**
 Scale: 1/16" = 1'-0"

LOT AREA: 4,000 Sq. Ft.
 PERMISSIBLE COVERED AREA: 1,400 Sq. Ft. (35%)
 EXISTING AREA TO REMAIN: 729 Sq. Ft.
 PROPOSED ADDITION: 576 Sq. Ft.
 PROPOSED TOTAL COVERED AREA: 1,305 Sq. Ft. (33%)

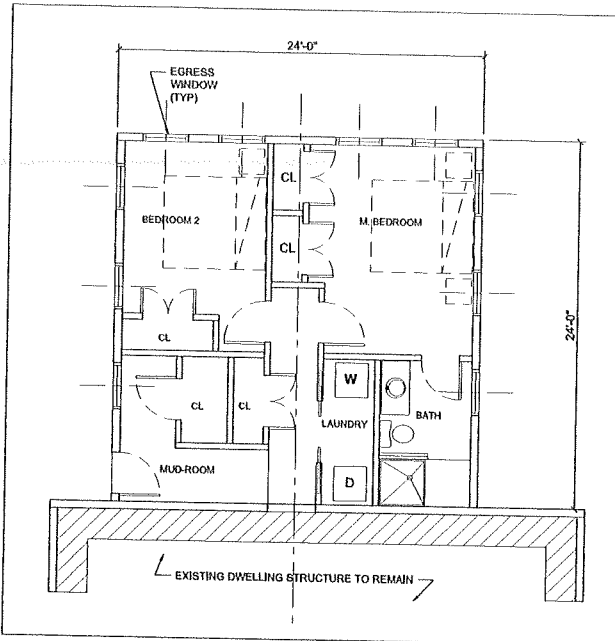
OK
 1305
 BO
 1385 ft
 shed not included

original permit

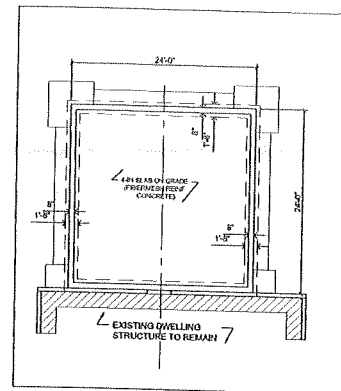


1 PLOT PLAN
Scale: 1/16" = 1'-0"

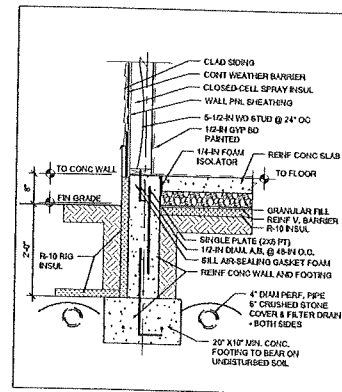
LOT AREA: 4,000 Sq. Ft.
 PERMISSIBLE COVERED AREA: 1,400 Sq. Ft. (35%)
 EXISTING AREA TO REMAIN: 729 Sq. Ft.
 PROPOSED ADDITION: 576 Sq. Ft.
 PROPOSED TOTAL COVERED AREA: 1,305 Sq. Ft. (33%)



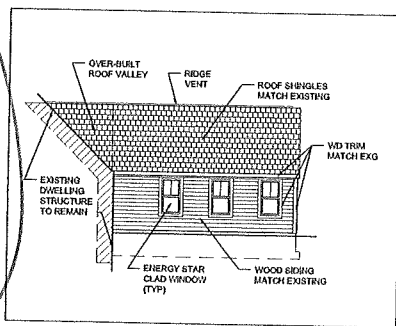
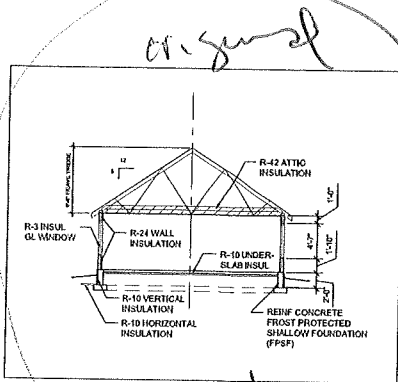
2 FLOOR PLAN
Scale: 1/4" = 1'-0"



3 FOUNDATION PLAN
Scale: 1/8" = 1'-0"



7 FOUNDATION DETAIL
Scale: 3/4" = 1'-0"



The New Amendment Shows a Different Roof No trusses





GENERAL NOTES:

- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH JOB SPECIFICATIONS AND ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SITE DRAWINGS. CONSULT THESE DRAWINGS FOR LOCATIONS AND DIMENSIONS OF OPENINGS, GUSES, INSERTS, REGLETS, SLEEVES, DEPRESSIONS, AND OTHER DETAILS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO ENSURE SAFETY OF THE STRUCTURE AND PERSONNEL DURING ERECTION. THIS INCLUDES THE ADDITION OF THE NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUTS OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
- ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.
- IT IS THE OWNER'S SOLE RESPONSIBILITY TO EMPLOY ONE OR MORE SPECIAL INSPECTORS (IF REQUIRED) TO PROVIDE INSPECTIONS IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS OF IBC 2006.

DESIGN NOTES:

- THIS BUILDING IS DESIGNED TO COMPLY WITH THE 2009 EDITION OF THE INTERNATIONAL BUILDING CODE.
- SNOW LOAD**
 - GROUND SNOW LOAD = 60 PSF
 - FLAT ROOF SNOW LOAD = 42 PSF
 - SNOW LOAD IMPORTANCE FACTOR $I = 1.0$
 - SNOW EXPOSURE FACTOR $C_e = 1.0$
 - SNOW THERMAL FACTOR $C_t = 1.0$
 - BALANCE AND UNBALANCED SNOW LOADS IN ACCORDANCE WITH ASCE 7/05.
- WIND LOADS**
 - BASIC WIND SPEED $V = 100$ MPH
 - WIND LOAD IMPORTANCE FACTOR $I = 1.0$
 - WIND INTERNAL PRESSURE COEFFICIENT $GCFI = +10$
 - Wind Exposure = D
- ROOF DEAD LOAD**
 - TOP CHORD = 10.0 PSF
 - BOTTOM CHORD = 15.0 PSF
 - HVAC UNIT(S) - TO BE DETERMINED
- ROOF LIVE LOAD**
 - TOP CHORD = 20.0 PSF
 - BOTTOM CHORD - ATTIC LOAD Per Code
- EARTHQUAKE LOAD**
 - DESIGN OF EARTHQUAKE LOAD IN ACCORDANCE WITH ASCE 7/05
 - SEISMIC IMPORTANCE FACTOR $I = 1.0$
 - 0.2% DAMPED SPECTRAL RESPONSE ACCELERATION S_a - per code
 - 1.0% DAMPED SPECTRAL RESPONSE ACCELERATION S_1 - per code
 - SITE CLASS = CLASS D
 - SPECTRAL RESPONSE COEFFICIENT SDS - per code
 - SPECTRAL RESPONSE COEFFICIENT SD_1 - per code
 - SEISMIC DESIGN CATEGORY = CATEGORY B
 - BASIC SEISMIC FORCE RESISTING SYSTEM: BEARING WALL SYSTEM - LIGHT FRAMED WALL SYSTEMS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
 - RESPONSE MODIFICATION FACTOR $R = 3$
 - DEFLECTION AMPLIFICATION FACTOR $C_d = 3$
 - ANALYSIS PROCEDURE - EQUIVALENT LATERAL FORCE PROCEDURE
- DEFLECTION CRITERIA**
 - ROOF (LIVE) = $L/360$
 - ROOF (TOTAL) = $L/240$

FOUNDATION NOTES:

- FOUNDATION DESIGNED BASED ON AN ASSUMED MAXIMUM ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO VERIFY THE SOIL BEARING CAPACITY. NOTIFY THE ENGINEER AND STOP WORK IF CLAY, NET SOILS, FILL, OR OTHER DELETERIOUS MATERIALS ARE ENCOUNTERED.
- DESIGN OF EXTERIOR FOUNDATIONS IS BASED ON A FROST DEPTH OF 4'-4" BELOW FINISHED GRADE.
- NO HORIZONTAL JOINT WILL BE PERMITTED IN THE WALLS UNLESS NOTED OTHERWISE.
- PROVIDE CONTROL JOINTS IN SLABS AT 12 FT O.C. MAX.
- EXCAVATING AND BACK FILLING AT NEW FOUNDATION WALLS SHALL BE DONE SUCH THAT SYMMETRICAL LOADING SHALL BE MAINTAINED ON BOTH SIDES. WHERE DESIGN CONDITIONS REQUIRE DIFFERENT BACK FILL HEIGHTS, WALLS SHALL BE FIRMLY SHORED IN POSITION, AND SHORES SHALL REMAIN UNTIL FLOORS ARE PLACED AND PROPERLY SET, TO PROVIDE FULL SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY NEEDLING, SHORING, OR BRACING OF EXISTING STRUCTURES.
- VAPOR BARRIER BENEATH SLAB SHALL BE 10 MIL "STEGO WRAP" OR APPROVED EQUAL. POLYETHYLENE IS NOT AN ALTERNATE PRODUCT.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL CONFORM TO ACI-318.
- ALL CONCRETE EXCEPT INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 3000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". ALL INTERIOR AND EXTERIOR SLABS ON GROUND SHALL BE 4000 PSI AT 28 DAYS AND A MAXIMUM SLUMP OF 4". MAXIMUM SIZE AGGREGATE SHALL BE $\frac{1}{4}$ " (WALL/FOOTINGS) AND $\frac{1}{2}$ " (SLABS ON GROUND).
- CONCRETE TO REMAIN EXPOSED TO WEATHER SHALL BE AIR ENTRAINED. NO AIR ENTRAINMENT IN INTERIOR CONCRETE SLABS.
- CONCRETE SHALL NOT BE PLACED IN WATER OR ON FROZEN GROUND.
- REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60. DEFORMED BARS SHALL BE DETAILED AND FABRICATED IN ACCORDANCE TO ACI-318 LATEST EDITION, AND PLACED IN ACCORDANCE WITH ACI-318.
- SPLICERS OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH ACI-318.
- ANCHOR RODS SHALL CONFORM TO ASTM F1554-36.
- HOOKS NOT DIMENSIONED SHALL BE ACI STANDARD HOOKS.
- CONCRETE COVER OVER REINFORCEMENT SHALL BE AS FOLLOWS:

CONCRETE CAST AGAINST EARTH	= 3"
CONCRETE EXPOSED TO EARTH OR WEATHER	= 1 1/2"
CONCRETE NOT EXPOSED TO EARTH OR WEATHER	= 3/4"
- PROVIDE CONTROL JOINTS IN STRUCTURAL SLAB AT 12'-0" ON CENTER MAX.
- PROPORTION DESIGN MIXES TO PROVIDE CONCRETE FOR INTERIOR AND EXTERIOR SLABS-FROGRADE WITH THE FOLLOWING PROPERTIES:

a. STRENGTH, 4000psi @ 28 DAYS, 3/4" AGGREGATE
b. W/C RATIO: 0.36
c. ENTRAINED AIR: 6% ± 1%
d. SLUMP: 3" ± 1"

STRUCTURAL STEEL NOTES - GENERAL:

- STRUCTURAL STEEL FABRICATION, ERECTION, AND CONNECTION DESIGN SHALL CONFORM TO AISC SPECIFICATION FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL 9th EDITION.
- ALL STEEL SHAPES AND PLATES TO BE ASTM A36 UNLESS NOTED OTHERWISE. WF BEAMS SHALL BE A992 (50KSI).
- STEEL PIPES SHALL BE A53, GRADE B.
- WELDING SHALL BE IN ACCORDANCE WITH AWS D11 - LATEST EDITION. ALL WELDS SHALL BE MADE WITH E70XX ELECTRODES.
- STEEL BEAMS AND COLUMNS SHALL BE CUT FROM FULL LENGTH STOCK. UNAUTHORIZED SPLICES WILL BE CAUSE FOR REJECTION.
- STRUCTURAL STEEL SHALL BE PAINTED WITH A SHOP APPLIED COAT OF THE FABRICATOR'S RUST INHIBITIVE PRIMER.

WOOD FRACING NOTES:

- STRUCTURAL LUMBER: SERVICE PINE FIR 11000K OR BETTER
 F_b = 875 PSI F_v = 125 PSI
 E = 1950 PSI E = 1400000 PSI
- MANUFACTURED LUMBER: BOISE CASCADE VERSA-LAM 2.0 3100
 F_b = 3100 PSI F_v = 285 PSI
 E = 3000 PSI E = 2000000 PSI
- DESIGN CODE: IBC 2009 / NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION BY THE NATIONAL FOREST PRODUCTS ASSOCIATION
- NAILING REQUIREMENTS FOR PLYWOOD SHEATHING: SEE DETAILS ON SG FOR NAILING AND SPACING REQUIREMENTS.
- STAKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING MULTIPLE 2x LUMBER.
- PROVIDE GALVANIZED METAL TIES EQUAL TO SIMPSON H.D.C. HURRICANE TIES BETWEEN ROOF RAFTERS OR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE. PROVIDE GALVANIZED METAL CONNECTORS EQUAL TO SIMPSON T2x TRUSS CONNECTOR BETWEEN ALL ROOF SCISSOR TRUSSES AND SUPPORTING WALL MEMBERS, UNLESS SHOWN OTHERWISE.
- PROVIDE PRESSURE TREATED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE.
- ROOF SHEATHING: 5/8" APA RATED SHEATHING, EXTERIOR OR STRUCTURAL I OR II RATED SHEATHING, SPAN RATING 32/16 (TRUSSES), 24/12 (JOISTS). INSTALL SHEETS WITH FACE GRAIN DIRECTION PERPENDICULAR TO SUPPORTING MEMBERS.
- PROVIDE 1/2" THRU BOLTS STAGGERED @ 24" O.C. FOR ATTACHMENT OF 2x NAILER AT TOP OR BOTTOM OF WF BEAM (COORDINATE w/ PLANS)
- WALL CONSTRUCTION - FIRST FLOOR: FRAMING AS SHOWN ON PLANS
 STUD HEIGHT UP TO 10'-4"
 F.T. 2x6 SILL PLATE
 (2) 2x TOP PLATES
 1/2" CDX SHEATHING
- ROOF CONSTRUCTION: FRAMING AS SHOWN ON PLANS
 3/4" APA RATED PLYWOOD SHEATHING (REFER TO NOTE #7)
 PROVIDE 2x NAILERS @ 24" C. ALONG FRAMING MEMBERS
- ALL NAILS, SPIKES, BOLTS ETC. FASTENING MEMBERS TO PRESSURE TREATED LUMBER SHALL BE EITHER STAINLESS STEEL OR HEAVY GALVANIZED.

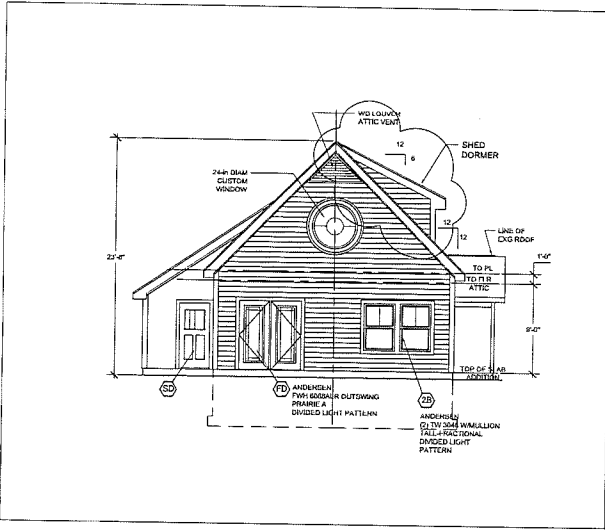
RECEIVED

OCT 29 2012

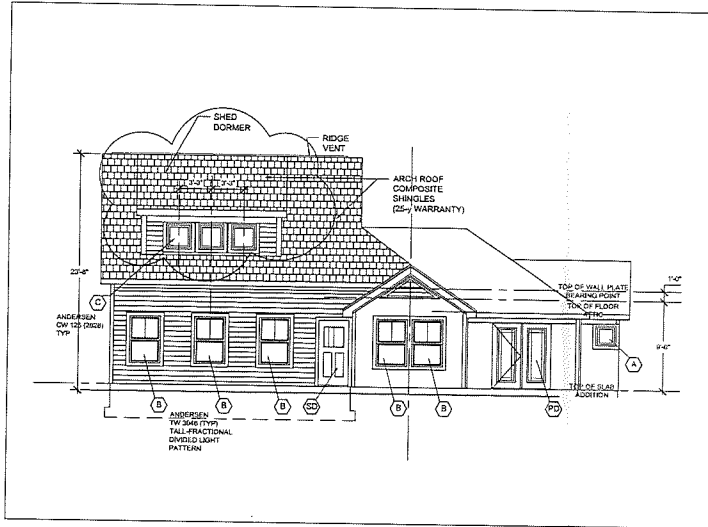
Dept. of Building Inspections
City of Portland Maine

Macteod INCORPORATED	
25 Lennox Street Portland, Maine	
PROJECT NO. _____	
DATE _____	
SCALE _____	
DRAWN BY _____	
CHECKED BY _____	
DATE _____	
SCALE _____	
DRAWING NUMBER: S-3	

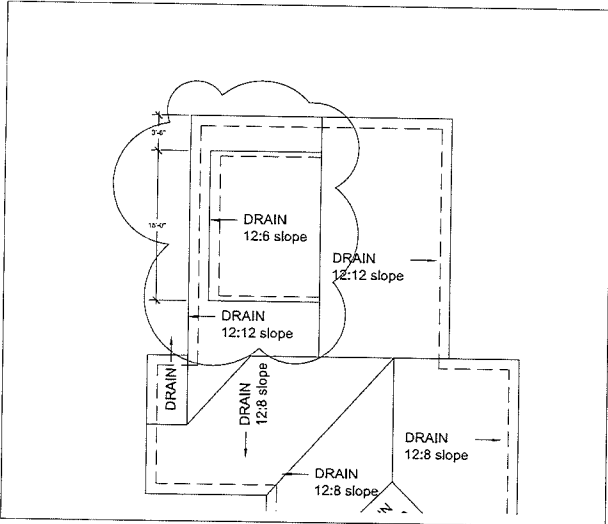
AS BUILT



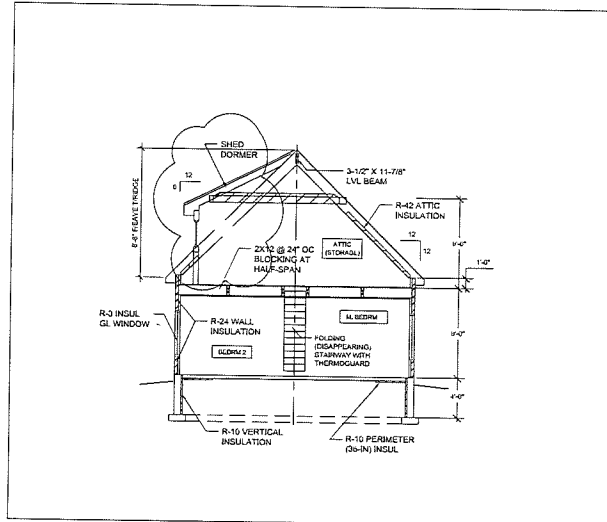
15 REAR ELEVATION
Scale: 3/16" = 1'-0"



16 SIDE ELEVATION
Scale: 3/16" = 1'-0"



14 PART - ROOF PLAN
Scale: 3/16" = 1'-0"



13 CROSS SECTION
Scale: 3/16" = 1'-0"

RECEIVED
OCT 26 2012
Dept. of Building Inspections
City of Portland Maine

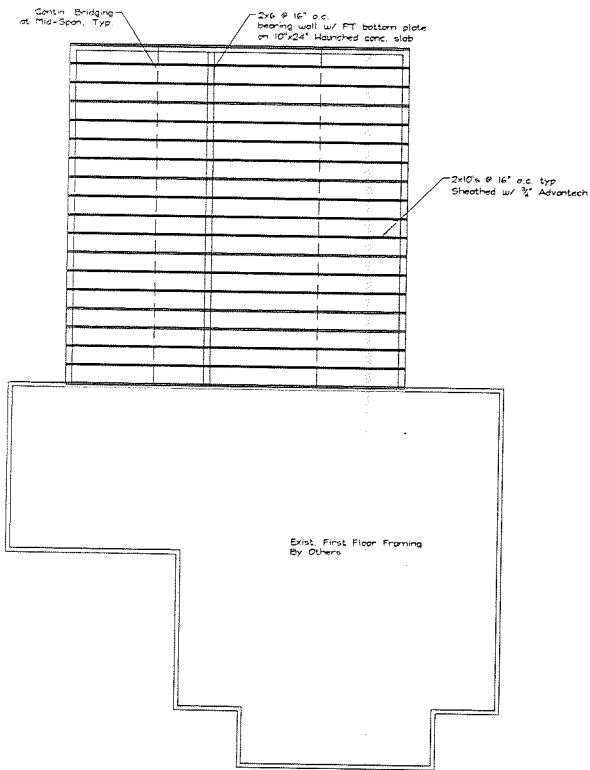
Rev. As Built



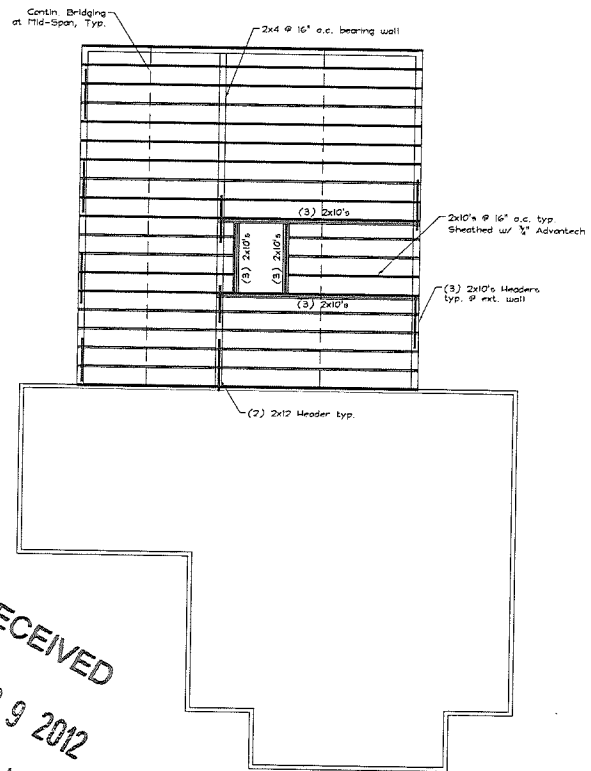
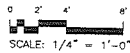
FOR PERMITTING | AMENDMENT 2 - OCTOBER 23, 2012



SHED DORMER ASSESS - R001	
ARCHITECT'S PROJECT No.	ARQ 12-09
DRAWN BY	SAG
REVIEWED BY	-
AP-3	



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

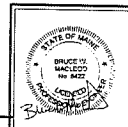


SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

RECEIVED
OCT 29 2012
Dept. of Building Inspections
City of Portland Maine

DETAILED USE:
14 1st & 2nd Floor Framing Plans
22 Roof Framing Plan
23 Note

Drawn by: <i>Jim Lombardo, Builder</i>	
25 Lennox Street Portland, Maine 04103	
25 Lennox Street Portland, Maine 04103	
1st & 2nd Floor Framing Plans	
DATE: 10/27/12	DRAWN BY: JML
SCALE: as noted	PROJECT: S-1



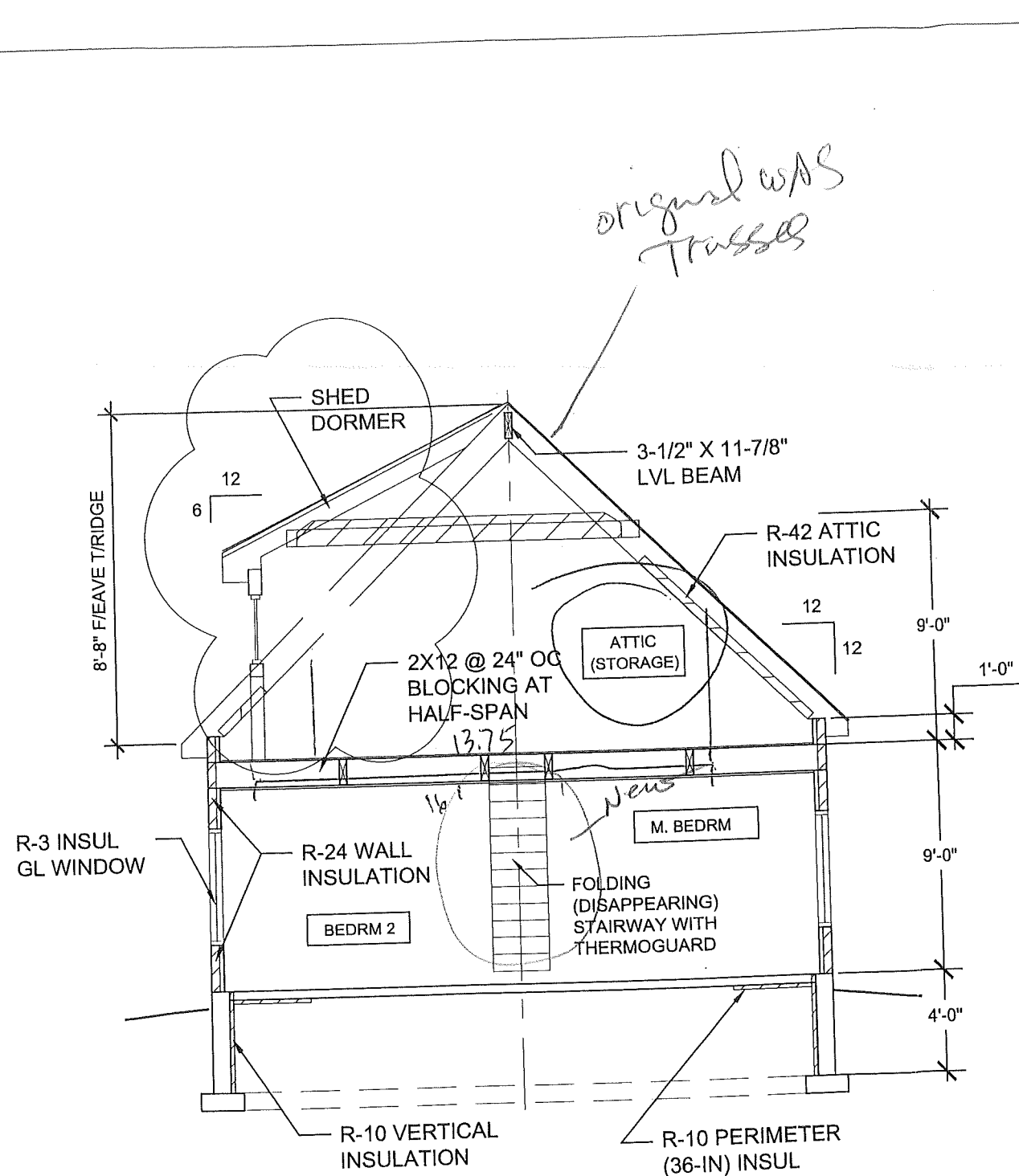
25 LENNOX STREET
PORTLAND, MAINE

As Built

SIDE ELEVATION

16

Scale: 3/16" = 1'-0"



original was Trusses

3 2x8 HDR.
± 30" SPAN

$24 \times 24 = 576 \times \frac{4}{3} = 383.66$ or 384^A

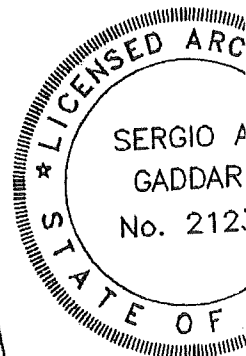
$18 \times 24 = 384^A$

*Just meets the 1/2 story
Criteria - setbacks
Are still OK*

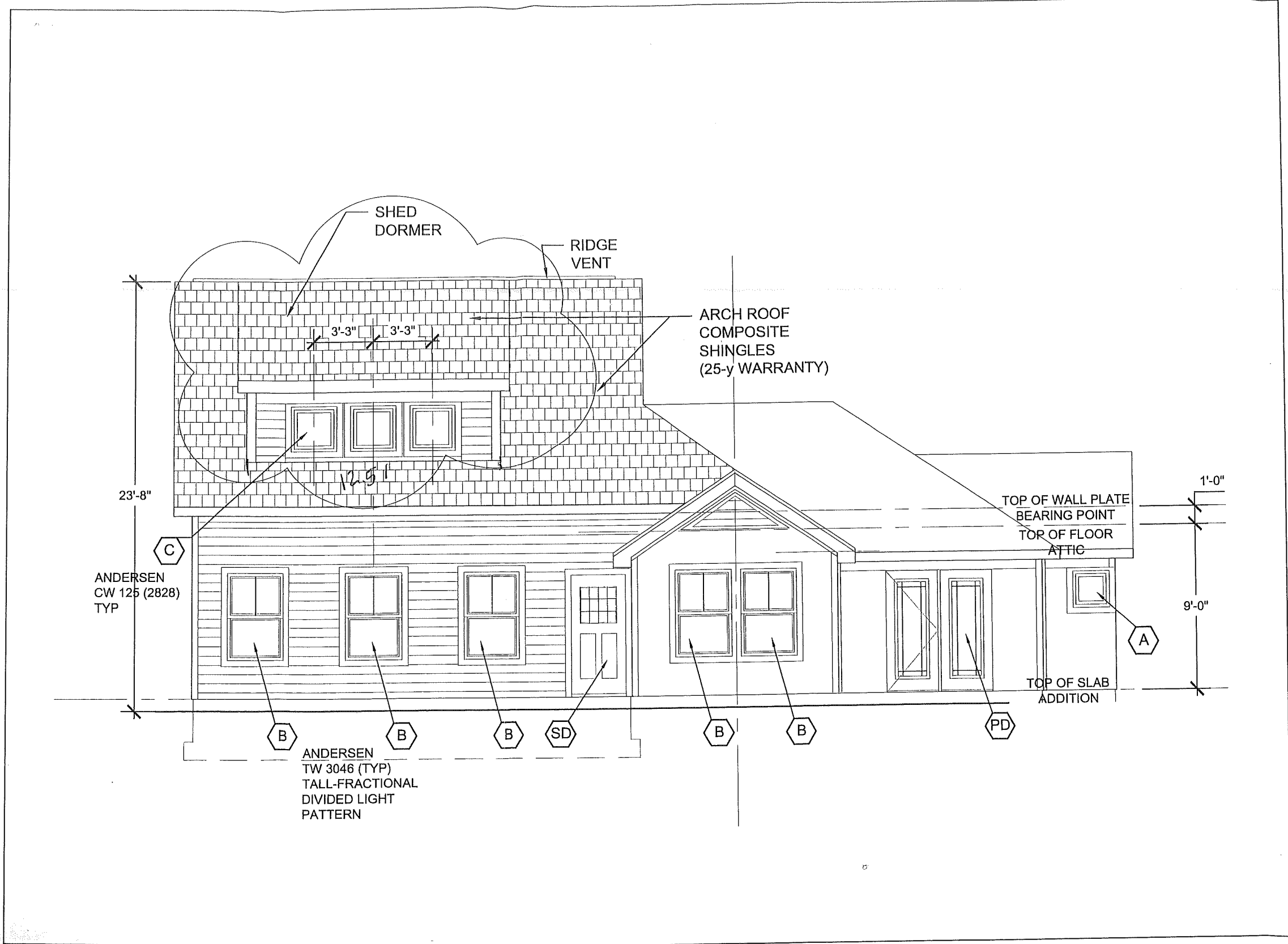
CROSS SECTION

13

Scale: 3/16" = 1'-0"



Sergio A. Gaddar



16

SIDE ELEVATION

Scale: 3/16" = 1'-0"

3 2x8 HDR.