

# Building Addition 522 Washington Ave Schneider Property Management, LLC

## BUILDING CODE COMPLIANCE:

Design Criteria - This project has been designed for compliance with the following codes:

- A. International Building Code (IBC) 2009 Edition
- B. NFPA 101 - 2009 Edition

### Occupancy Classification

Office	Business Group B
Use Classification	Professional Services

### Occupant Load

Existing Facility First Floor - 696	-	9
Existing Facility Second Floor - 677	-	7
Total Existing - 1373	-	16
New Addition First Floor - 914	-	10
New Addition Second Floor - 914	-	10
Total New Addition - 1828	-	19
Total Remodeled Facility - 3403	-	35

Required egress into 0.2' per occupant = 7', 72" provided  
Construction Classification Type V

Fire separation requirements per table 508.4  
B, F-1, M, S-1 from B, F-1, M, S-1 N (none)

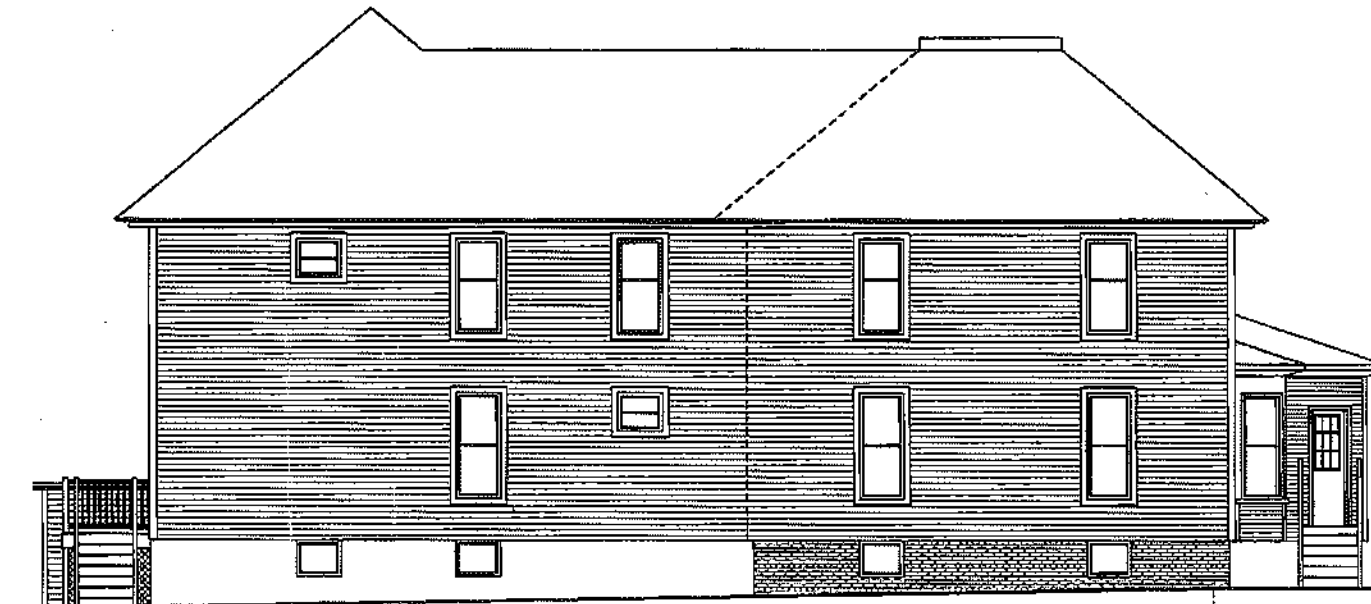
### Fire System Requirements:

- A. An automatic sprinkler system is not required in group B facilities with operating areas less than 12,000 SF.
- B. Portland fire extinguishers rating shall be 2-A-20-B-C. spacing shall not exceed 75-feet.

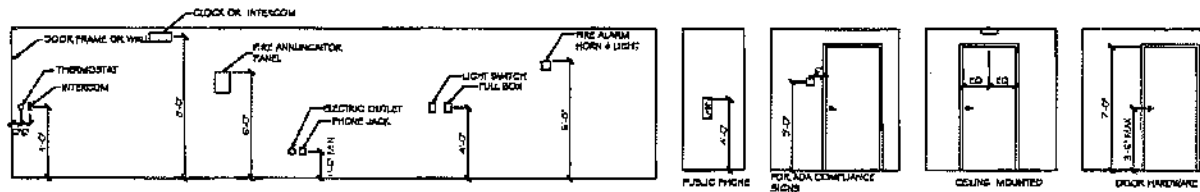
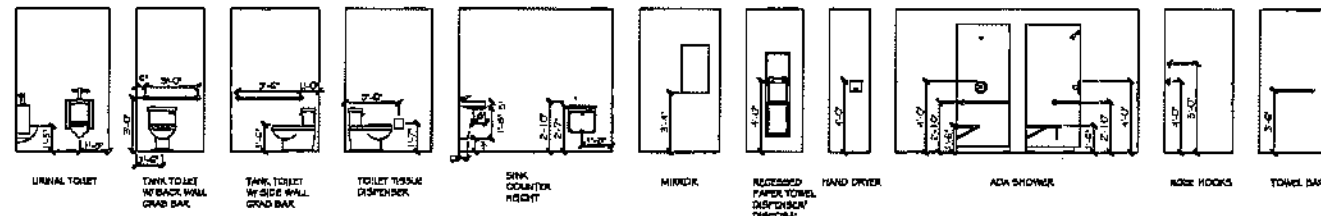
### Fire Alarm and detection system requirements

- A. An automatic fire alarm and detection system is not required.
- B. No Manual fire alarm system is required.
- C. No automatic or manual flameable Gas detection system is required.

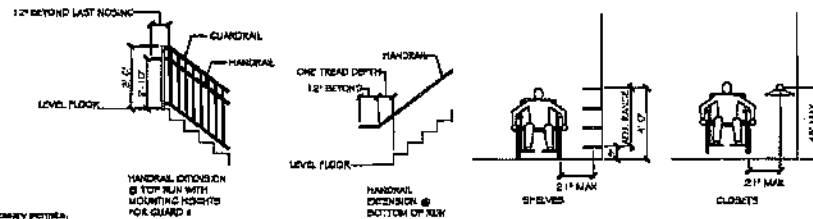
- AD.01 COVER SHEET
- A1.01 EXISTING CONDITIONS
- A1.02 FOUNDATION PLAN
- A1.03 FIRST & SECOND FLOOR PLANS
- A1.04 FIRST & SECOND FLOOR FRAMING PLANS
- A1.05 ROOF FRAMING & ROOF PLAN
- A1.06 LIFE SAFETY PLANS
- A2.01 ELEVATIONS
- A3.01 BUILDING SECTION



VERANDA STREET ELEVATION  
SCALE: 1/4" = 1'-0"



ELECTRICAL & FIRE PROTECTION DEVICES  
TYPICAL UNLESS NOTED OTHERWISE

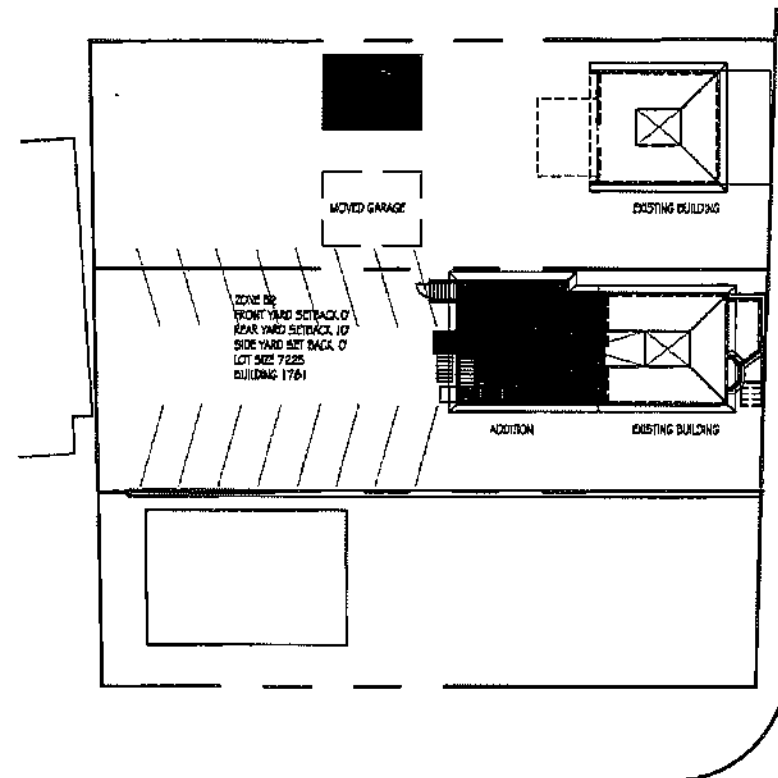


HANDRAIL DIMENSION @ TOP RAIL WITH MOUNTING HOISTS FOR GUARD & HANDRAIL.

### NOTES:

THE CONTRACTOR SHALL PROVIDE ALL INFORMATION FOR LOCAL CODE COMPLIANCE. ALL SCHEDULES, PLANS, SPECIFICATIONS, AND NOTICES SHALL BE PROVIDED TO THE CLIENT AND SHALL BE SUBJECT TO THE CLIENT'S REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

1. Contractor/owner responsible for securing all necessary permits.
2. Contractor/owner will comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.



SITE PLAN  
SCALE: 1/16" = 1'-0"

PROPERTY OF  
**Code-Tech**  
235 Riverside Industrial Parkway  
Portland, ME 04102

**SCHNEIDER**  
Property Management

Building Addition  
522 Washington Ave  
Schneider Property  
Management, LLC

BY:	JJO
DATE:	08-24-15
NO. REMARKS:	
ISSUED FOR PERMIT:	
DATE:	08-24-15
CODE:	IRC 2009
TOWN:	PORTLAND
SCALE:	As Noted
DRAWN:	JJO
TITLE:	COVER SHEET
FILE:	
SHEET:	AD-01