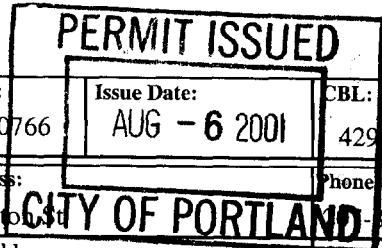


City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0766	Issue Date: AUG - 6 2001	CBL: 429 G001001
-----------------------	-----------------------------	---------------------

Location of Construction: 93 Kensington St	Owner Name: Yacht Haven Llc	Owner Address: 65 Kensington St	Phone: 442-9000
Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Commercial	Zone: I-L

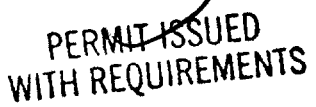


Past Use: Vacant / Past use was Webber tank farm	Proposed Use: Marina Development; Construction of 250' x 20' Pier with floating 32' x 12' dock. Site Plan # 20010159	Permit Fee: \$1,374.00	Cost of Work: \$225,000.00	CEO District: 2
Proposed Project Description: Construct 250' x 20' pier & 32' x 12' floating dock MARINA - No Bldg. included Private Not Public		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 4 PERMIT ISSUED WITH REQUIREMENTS	

Signature: <i>[Handwritten Signature]</i>	Signature: <i>[Handwritten Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: gg	Date Applied For: 06/26/2001	Zoning Approval	
------------------------	---------------------------------	------------------------	--

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>on Water</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>Panel B Zone A Z ee. MA</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2001-0159</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>ok with conditions 6/6/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Handwritten Signature]</i>
--	---	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

0001 0159

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 100 KENSINGTON ST PORTLAND ME 04103

Total Square Footage of Proposed Structure 5,000 Square Footage of Lot 272,117

Tax Assessor's Chart, Block & Lot Number 429 61 7 Chart# 480 Block# E-1 Lot# 4 430 B 13	Owner: FSF MAINE Partners 344 Madison St Denver Co 80206	Telephone#: 207-842-9000
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Lessee/Buyer's Name (If Applicable)	Owner's/Purchaser/Lessee Address:	Cost Of Work: \$225,000	Site Fee: \$1,374. Fee: \$1,374.
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Current use: Proposed Marina Development Site Fee 400.
If the location is currently vacant, what was prior use: webber oil tank farm
Approximately how long has it been vacant: 10+ years ? Total 1,774.
Proposed use: Create Access to Deep Water
Project description: Construction of Pier (250' x 20') with Floating Dock (32' x 12')
with Embankment Reinforcement

Contractor's Name, Address & Telephone:
Applicants Name, Address & Telephone:
YACHT HAVEN, 100 KENSINGTON ST. PORTLAND ME. 04103
Who should we contact when the permit is ready: MASON SEARS
Telephone: 207-842-9000
If you would like the permit mailed, what mailing address should we use:
will pick up.

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JUN 26 2001
6/26/01
Rec'd By: [Signature]

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE
PERMIT IS ISSUED**

SINGLE FAMILY ADDITIONS AND ALTERATIONS

- 1 Copy of the deed if you have owned the property less than 360 days**
- 1 Copy of the site/plot plan**
- 1 copy of the building/construction plan**
- 1 copy of the site/plot plan and construction/building plan on paper no larger than 11" x 17".**

You may submit hand drawn plans, but if they are professionally drawn we will need a set on 11" x 17".

If you are doing an exact replacement of a deck, stairs or shed it will not require a plot plan, but any change of footprint, or new structure must have a plot plan submitted in order to review the plans

A "minor/minor" site plan review is required for New Single Family Homes Only. The Site/Plot plan must be prepared and sealed by a registered land surveyor. The following must be submitted:

- 4 copies of the site/plot plan**
- 1 copy of the building/construction plan on 32" x 48"**
- 1 copy of the site plan/plot plan and construction/building plan on paper no larger than 11" x 17"**

On all Commercial/Minor & Major projects must submit the following:

- 1 copy of the site/plot plan**
- 2 copy of the building/construction plan on 32" x 48"**
- 1 copy of the site/plot and construction /building plan on paper no larger than 11" X 17"**

Please note that if the project requires site plan review, you will also submit the following in packet form, along with the SITE PLAN APPLICATION.

- 9 copies of the deed**
- 9 copies of the site/plot plan**
- 9 copies of the cover page of the SITE PLAN APPLICATION**
- 9 copies of the cover letter explaining the project**

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

PLOT PLAN INCLUDES THE FOLLOWING:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
 - Floor Plans & Elevations
 - Window and door schedules
 - Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

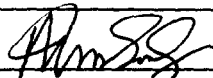
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

Minor/Minor Site Review Fee for New Single Family homes: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

ONE SET OF SUBMISSIONS INCLUDING CONSTRUCTION AND SITE PLAN DRAWINGS MUST BE SUBMITTED ON PAPER NO LARGER THAN 11" x 17" BEFORE ANY BUILDING PERMIT WILL BE ISSUED

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 6-26-01
---	---------------

BUILDING PERMIT REPORT

DATE: 30 July 2001 ADDRESS: 93 Kensington ST. CBL: 429-G-001

REASON FOR PERMIT: Pier & docks (floating)

BUILDING OWNER: Yacht Haven LLC

PERMIT APPLICANT: /CONTRACTOR: GAO

USE GROUP: U CONSTRUCTION TYPE: CONSTRUCTION COST: 225,000 PERMIT FEES: 1,374.0

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

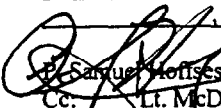
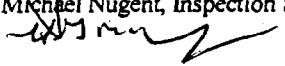
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *28, *32, *33, *35

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

6/26/01

- 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements. *All requirements and conditions on the attached site development review sheets shall be met.*
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- 36. All flashing shall comply with Section 1406.3.10.
- 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X 38. *All reports and approval from approving agencies (Fed. State and Nuclear Commission, DSP, shall be sent to this office before work is started.*


 Samuel Morris, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager


PSH 10/1/00

**This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

***THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)

****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

*****CERTIFICATE OF OCCUPANCY FEE \$50.00

FSF MAINE PARTNER LLC
(Yacht Haven, LLC)

Applicant:

Date: 11/17/00

Address: 100 Kensington St

C-B-L: ~~429-G-177~~ 430-E-174

CHECK-LIST AGAINST ZONING ORDINANCE

429-G-177
430-B-13, 15
430-X-1

Date - New

Zone Location - I-L & R-3

Interior or corner lot - end of st.

RACK for 4 Marina & US

Proposed Use/Work - construct boat storage 20,520^{sq}

Sewage Disposal - City

Lot Street Frontage - 60' min - 60' shown
~~shall be 40' from HWM.~~ (40 feet from the high water mark can be closer than 40' ok)
Front Yard - 25' req N/A - got ZBA approval to be closer 9/1993

Rear Yard - 25' req

Side Yard - 25' req (not abutting residential)

Projections - pavement setback:

Width of Lot - N/A

Height - 45' max height

Lot Area - nomin. req 6.9 Acres 272,117^{sq} shown

Lot Coverage Impervious Surface - 45,080

Area per Family - N/A 41% proposed 317,197^{sq} total

Off-street Parking - req. 169 SPACES - 171 SPACES shown

Loading Bays - N/A

Site Plan - minor #19990172

9/1973 - APPEAL info showed OK to be within 75' of HWM
The footprint is part of the old bed

Shoreland Zoning/Stream Protection - within Shoreland - get APPROVALS from Planning Board and Previous Zoning Administrator Bill Giroux -

Flood Plains - Panel 8

Zone A2
el 14 - 1st floor elevation required at 16'

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2001-0159
Application I. D. Number
06/26/2001
Application Date
100 Kensington Street
Project Name/Description

Yacht Haven Llc
Applicant

65 Kensington St , Portland , ME 04103
Applicant's Mailing Address

H. Mason Sears
Consultant/Agent

Applicant Ph: (207) 842-9000 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

65 - 65 Kensington St, Portland, Maine
Address of Proposed Site

429 G001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) 250'x20' pier w/32'x12' dock

deck 4,760 sq.ft. 6.25
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date 06/26/2001

DRC Approval Status:

Reviewer Chris Earle/Steve Bushey

- Approved Approved w/Conditions See Attached Denied

Approval Date 07/27/2001 Approval Expiration 07/27/2002 Extension to _____ Additional Sheets Attached

Condition Compliance Chris Earle/Steve Bushey 07/27/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0159
Application I. D. Number
06/26/2001
Application Date
100 Kensington Street
Project Name/Description

Yacht Haven Lic
Applicant
65 Kensington St , Portland , ME 04103
Applicant's Mailing Address
H. Mason Sears
Consultant/Agent
Applicant Ph: (207) 842-9000 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

65 - 65 Kensington St, Portland, Maine
Address of Proposed Site
429 G001001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) 250'x20' pier w/32'x12' dock

deck 4,760 sq.ft. 6.25
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date: 06/26/2001

Planning Approval Status:

Approved Approved w/Conditions
See Attached Denied
 Reviewer Kandi Talbot
 Approval Date 07/27/2001 Approval Expiration 07/27/2002 Extension to _____ Additional Sheets
 Attached
 OK to Issue Building Permit Kandi Talbot 07/27/2001
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0159

Application I. D. Number

06/26/2001

Application Date

100 Kensington Street

Project Name/Description

Yacht Haven Lic

Applicant

65 Kensington St , Portland , ME 04103

Applicant's Mailing Address

H. Mason Sears

Consultant/Agent

Applicant Ph: (207) 842-9000 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

65 - 65 Kensington St, Portland, Maine

Address of Proposed Site

429 G001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

- 1 Pier approval replaces site plan approval ID #1999-0172 approved December 14, 1999. As stated in your letter dated July 27, 2001, Yacht Haven is withdrawing site plan 1999-0172 and building permit 001333. Any work other than pier construction would require site plan review and approval.

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2001-0159
Application I. D. Number
06/26/2001
Application Date
100 Kensington Street
Project Name/Description

Yacht Haven Lic
Applicant
65 Kensington St , Portland , ME 04103
Applicant's Mailing Address
H. Mason Sears
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65 - 65 Kensington St, Portland, Maine
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Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) 250'x20' pier w/32'x12' dock
deck 4,760 sq.ft. 6.25
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date: 06/26/2001

Insp Approval Status:

Reviewer Marge Schmuckal

Approved Approved w/Conditions See Attached Denied
Approval Date 08/06/2001 Approval Expiration 08/06/2002 Extension to _____ Additional Sheets Attached
 Condition Compliance Marge Schmuckal 08/06/2001
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2001-0159
Application I. D. Number

06/26/2001
Application Date

100 Kensington Street
Project Name/Description

Yacht Haven Lic

Applicant

65 Kensington St , Portland , ME 04103

Applicant's Mailing Address

H. Mason Sears

Consultant/Agent

Applicant Ph: (207) 842-9000 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

65 - 65 Kensington St, Portland, Maine

Address of Proposed Site

429 G001001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of Planning

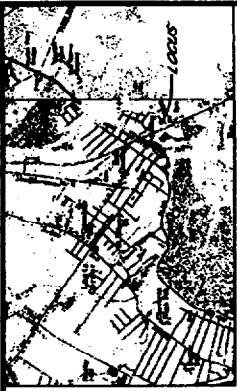
- 1 Pier approval replaces site plan approval ID #1999-0172 approved December 14, 1999. As stated in your letter dated July 27, 2001, Yacht Haven is withdrawing site plan 1999-0172 and building permit 001333. Any work other than pier construction would require site plan review and approval.

Approval Conditions of Insp

- 1 This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2 The previous permits that were issued are voided out with the issuance of this approval.
- 3 It is understood that this will be a private marina for the OWNER ONLY. At a later date there may be a proposal for the use of this mariana to be public. PRIOR to the use by the public, this office shall be notified for a separate review. There shall be parking requirements and other zoning requirements that will need to be met at that time.
- 4 It is necessary to fill out and sign, and return the attached FLOOD PLAIN and FLOODPROOFING PERMIT FORMS as required.

Approval Conditions of Fire

- 1 Application requires State Fire Marshal approval.



NOTICE: THIS MAP IS A PRELIMINARY PLAN. IT IS NOT TO BE USED FOR CONSTRUCTION OR AS A BASIS FOR ANY OTHER PLAN.

NO.	DATE	DESCRIPTION
1	11/24/20	ISSUED FOR PERMIT
2	11/24/20	ISSUED FOR PERMIT
3	11/24/20	ISSUED FOR PERMIT
4	11/24/20	ISSUED FOR PERMIT
5	11/24/20	ISSUED FOR PERMIT
6	11/24/20	ISSUED FOR PERMIT
7	11/24/20	ISSUED FOR PERMIT
8	11/24/20	ISSUED FOR PERMIT
9	11/24/20	ISSUED FOR PERMIT
10	11/24/20	ISSUED FOR PERMIT

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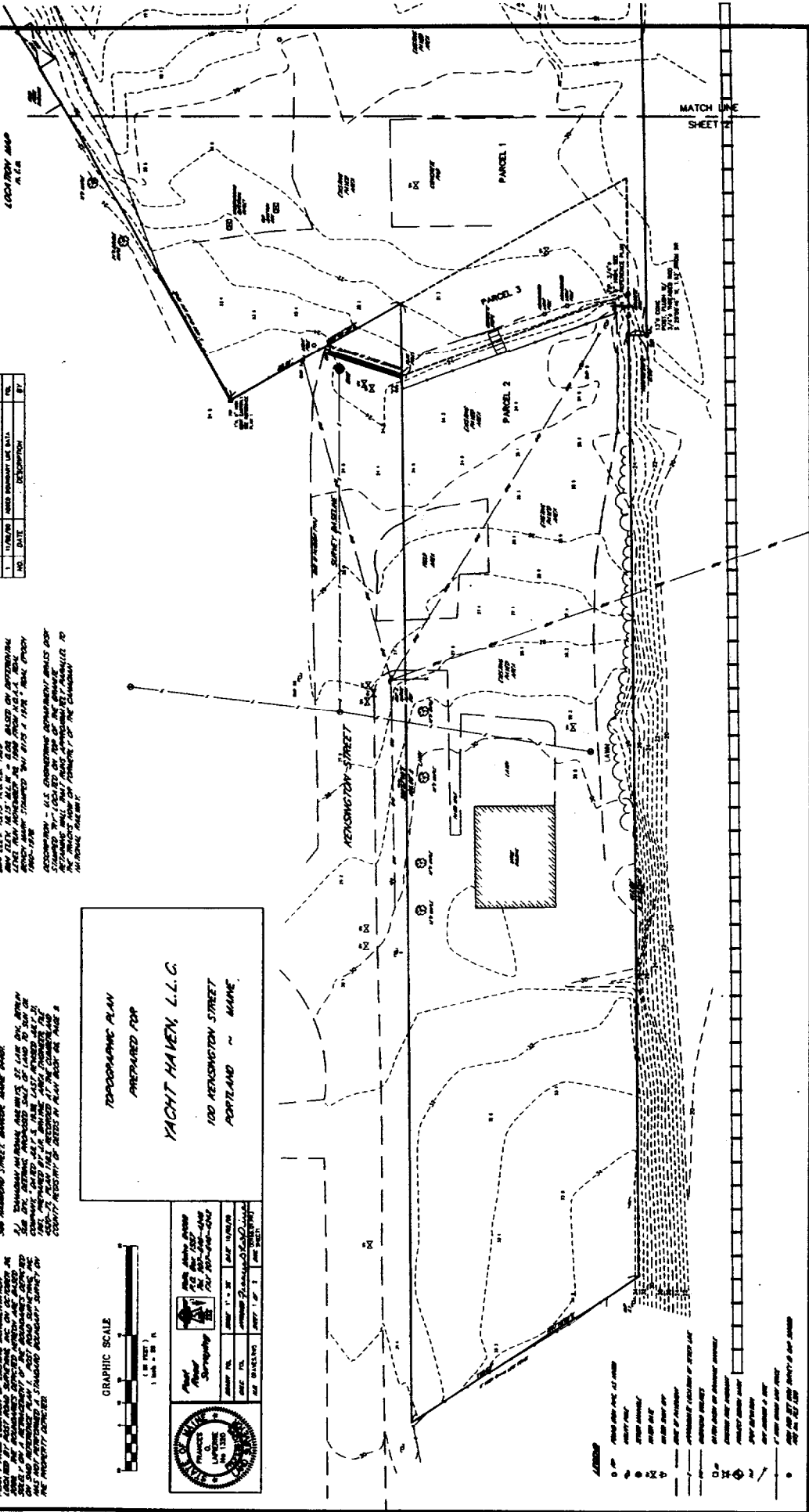
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TOPOGRAPHIC PLAN
PREPARED FOR
YACHT HAVEN L.L.C.
100 REARSONGTON STREET
PORTLAND, MAINE

GRAPHIC SCALE
 1" = 100' (1" = 30.48 M)

PROFESSIONAL SEAL
 STATE OF MAINE
 PROFESSIONAL LAND SURVEYOR
 JOHN J. [Name]
 No. [Number]

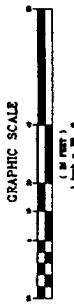
DATE	11/24/20
SCALE	1" = 100'
PROJECT NO.	100-REARSONGTON-STREET
DATE	11/24/20

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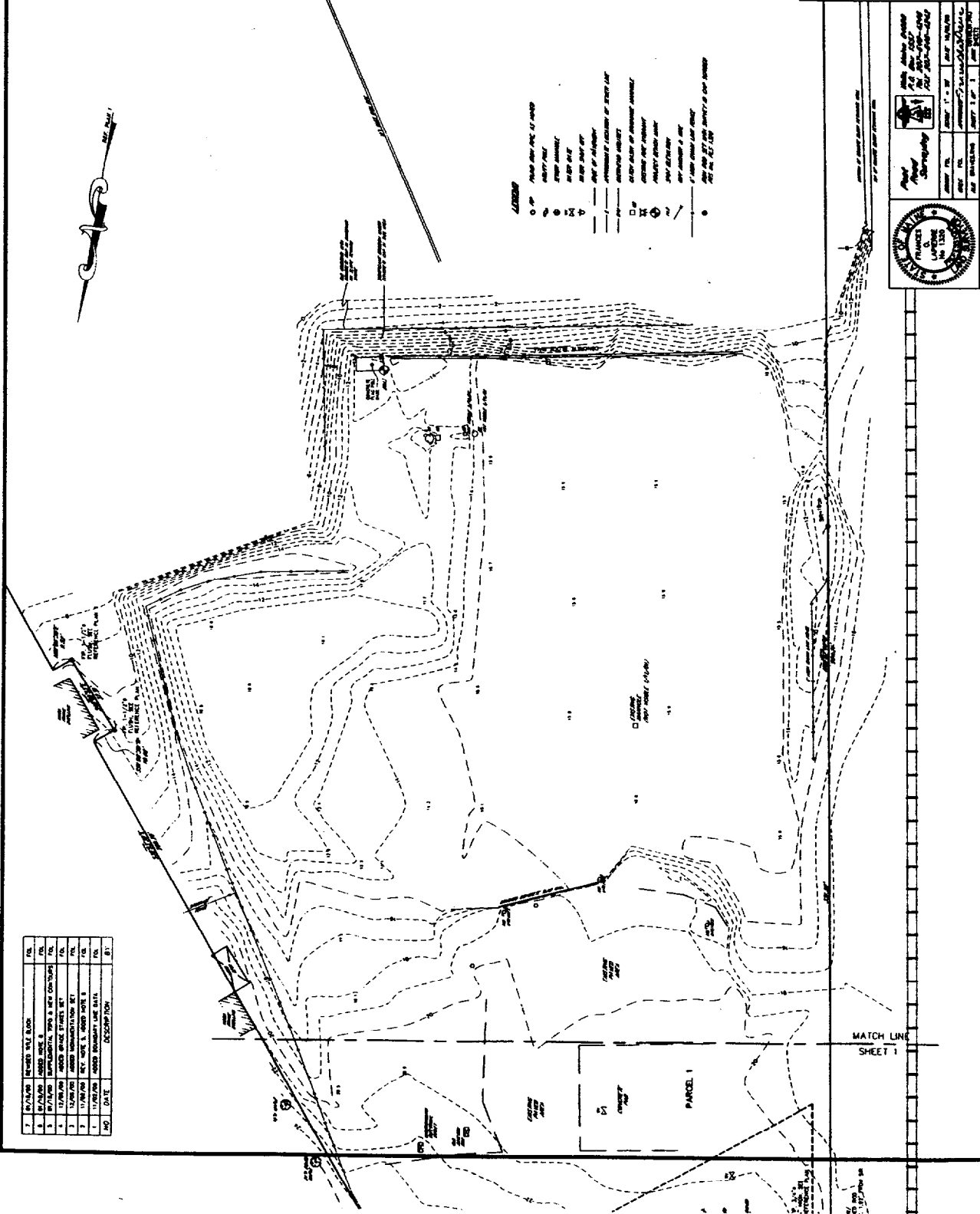
NOTE: FOR GENERAL ADVICE, REFERENCE PLANS AND BENCH MARK DATA SEE SHEET 1 OF 2



TOPOGRAPHIC PLAN
PREPARED FOR
YACHT HAVEN, L.L.C.
100 WASHINGTON STREET
PORTLAND, MAINE



- LEGEND**
- 1' MESH GRID
 - 2' MESH GRID
 - 3' MESH GRID
 - 4' MESH GRID
 - 5' MESH GRID
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 - 995' MESH GRID
 - 1000' MESH GRID



NO.	DATE	DESCRIPTION	BY
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3	03/05/20	FINAL PLAN	J.P.
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99	03/01/28	REVISIONS	J.P.
100	04/01/28	REVISIONS	J.P.

PROFESSIONAL SEAL

STATE OF MAINE

LAND SURVEYOR

NO. 12345

J. P. SURVEYOR

RECEIVED

NOV 15 2024

MAINE SURVEYORS ASSOCIATION

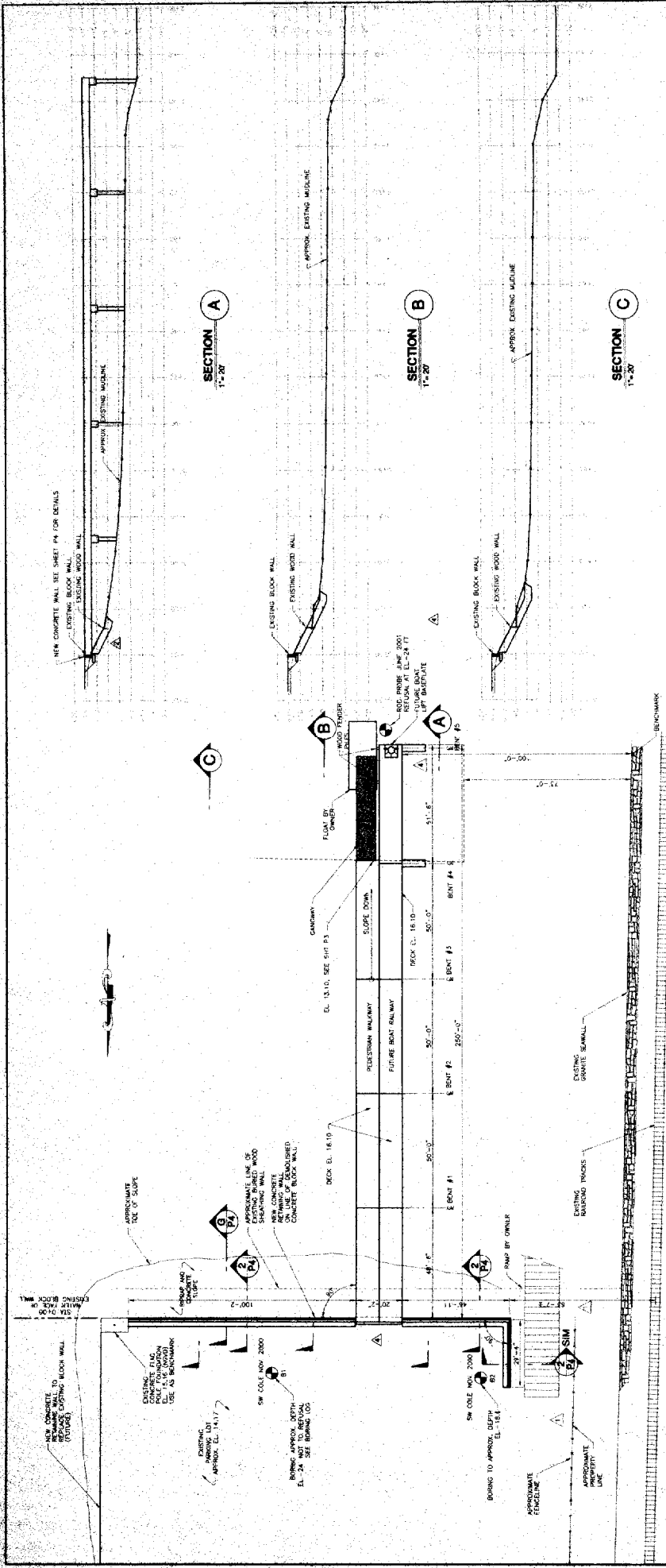
100 WASHINGTON STREET

PORTLAND, MAINE 04101

TEL: 603-866-1234

FAX: 603-866-5678

WWW.MA.SURVEYORS.COM

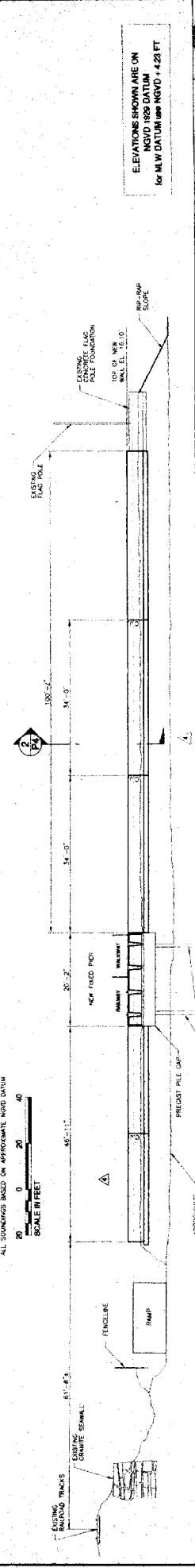


SITE PLAN
1" = 20'

ALL DIMENSIONS BASED ON APPROXIMATE WOOD DATUM
SCALE IN FEET



ELEVATION VIEW AT NEW CONCRETE WALL
1" = 17'



ELEVATION VIEW AT NEW CONCRETE WALL
1" = 17'



SECTION A
1" = 20'

SECTION B
1" = 20'

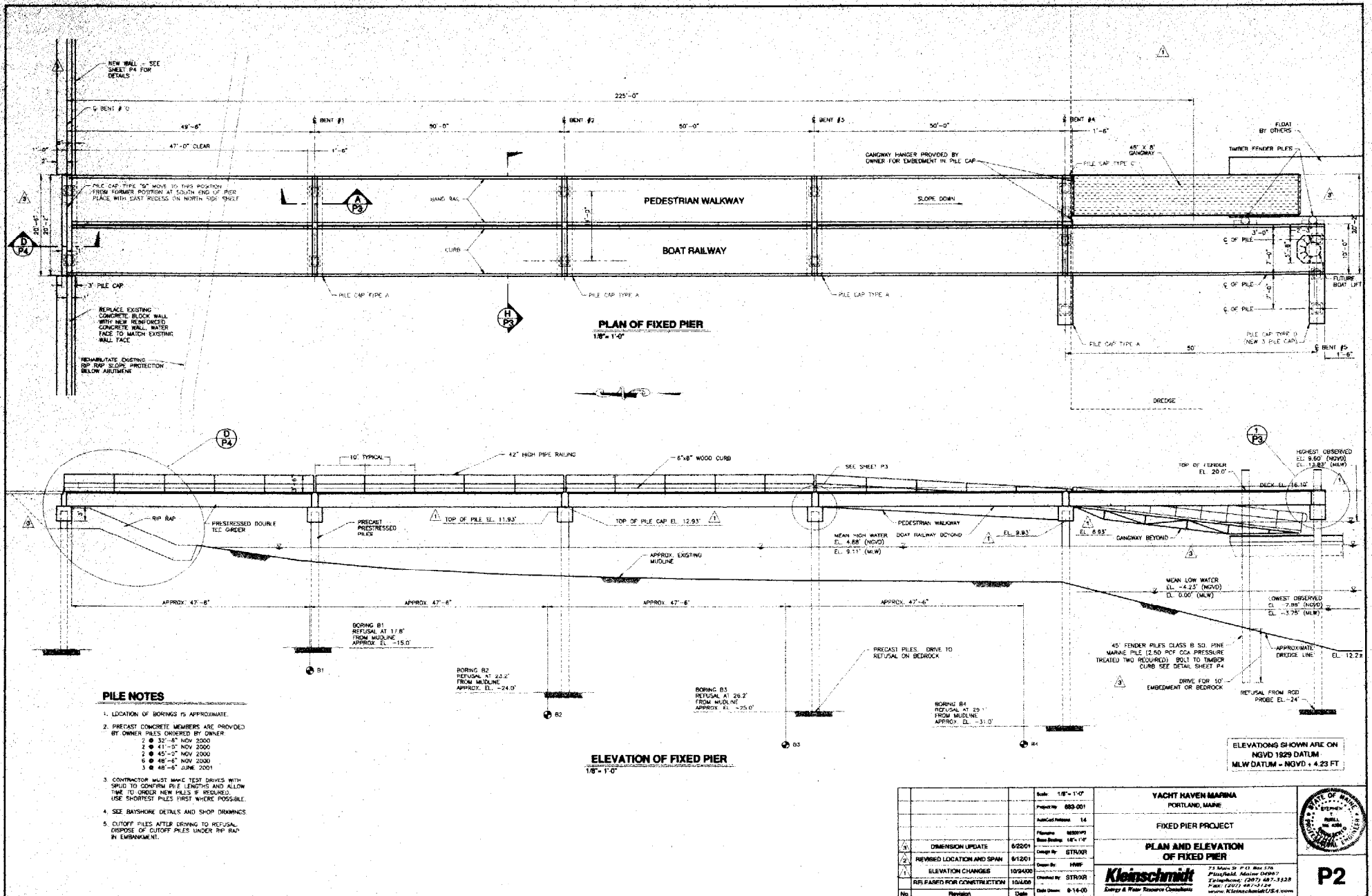
SECTION C
1" = 20'

ELEVATIONS SHOWN ARE ON
NGVD 1928 DATUM
for M.W. DATUM use NGVD + 4.28 FT

		YACHT HAVEN MARINA PORTLAND, MAINE	
FIXED PIER PROJECT		GENERAL ARRANGEMENT	
DATE	AS NOTED	NO.	DATE
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03/02/11	03/02/11	99	03/02/11
03/02/11	03/02/11	100	03/02/11

P1

Kleinschmidt
Engineering & Surveying
175 State Street
Portland, ME 04102
Tel: (603) 762-1234
Fax: (603) 762-1235
www.kleinschmidt.com

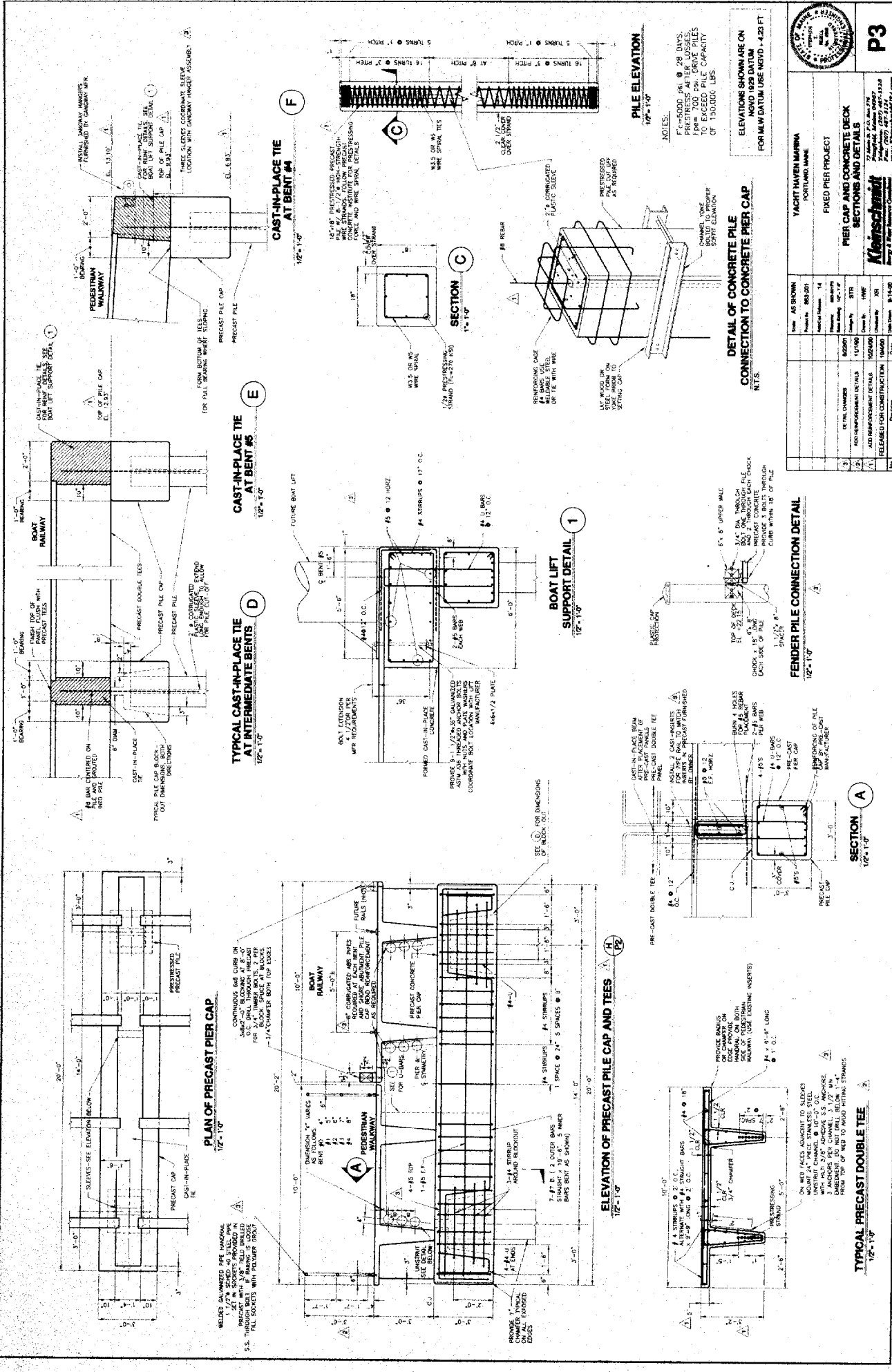


PLAN OF FIXED PIER
1/8" = 1'-0"

ELEVATION OF FIXED PIER
1/8" = 1'-0"

- PILE NOTES**
1. LOCATION OF BORINGS IS APPROXIMATE.
 2. PRECAST CONCRETE MEMBERS ARE PROVIDED BY OWNER PILES ORDERED BY OWNER.
 - 2 @ 32'-6" NOV 2000
 - 2 @ 41'-0" NOV 2000
 - 2 @ 45'-0" NOV 2000
 - 6 @ 48'-6" NOV 2000
 - 3 @ 48'-6" JUNE 2001
 3. CONTRACTOR MUST MAKE TEST DRIVES WITH SPIES TO DETERMINE PILE LENGTHS AND ALLOW TIME TO ORDER NEW PILLS IF REQUIRED. USE SHORTEST PILES FIRST WHERE POSSIBLE.
 4. SEE BAYSHORE DETAILS AND SHOP DRAWINGS.
 5. CUTOFF PILES AFTER DRIVING TO REFUSAL, DISPOSE OF CUTOFF PILES UNDER RIP RAP IN EMBANKMENT.

Scale: 1/8" = 1'-0"		YACHT HAVEN MARINA PORTLAND, MAINE		
Project No: 003-001		FIXED PIER PROJECT		
Revised Location and Span: 6/12/01		PLAN AND ELEVATION OF FIXED PIER		
Elevation Changes: 10/9/00		Kleinschmidt Energy & Water Resource Consultants <small>25 Main St. P.O. Box 176 Portland, Maine 04101 Telephone: (207) 487-3328 Fax: (207) 487-4149 www.kleinschmidtusa.com</small>		
Ref. Plans for Construction: 10/10/00		Date: 0-14-00		
Revision:		Date:		



P3

NO.	Revisions	Date	Drawn	Checked	Scale
1	PRELIMINARY DESIGN	10/14/00	JJK	JJK	
2	REVISED FOR CONSTRUCTION	11/14/00	JJK	JJK	
3	REVISED FOR CONSTRUCTION	11/14/00	JJK	JJK	
4	REVISED FOR CONSTRUCTION	11/14/00	JJK	JJK	
5	REVISED FOR CONSTRUCTION	11/14/00	JJK	JJK	

AS SHOWN

PER PROJECT

PIERS AND CONCRETE DECK

SECTIONS AND DETAILS

Knaisschmitt

22 Main St., P.O. Box 770

Portland, Maine 04101-0770

Phone: (207) 467-1137

Fax: (207) 467-1134

www.knaisschmitt.com

YACHT HAVEN MARINA

PORTLAND, MAINE

PIERS AND CONCRETE DECK

SECTIONS AND DETAILS

Knaisschmitt

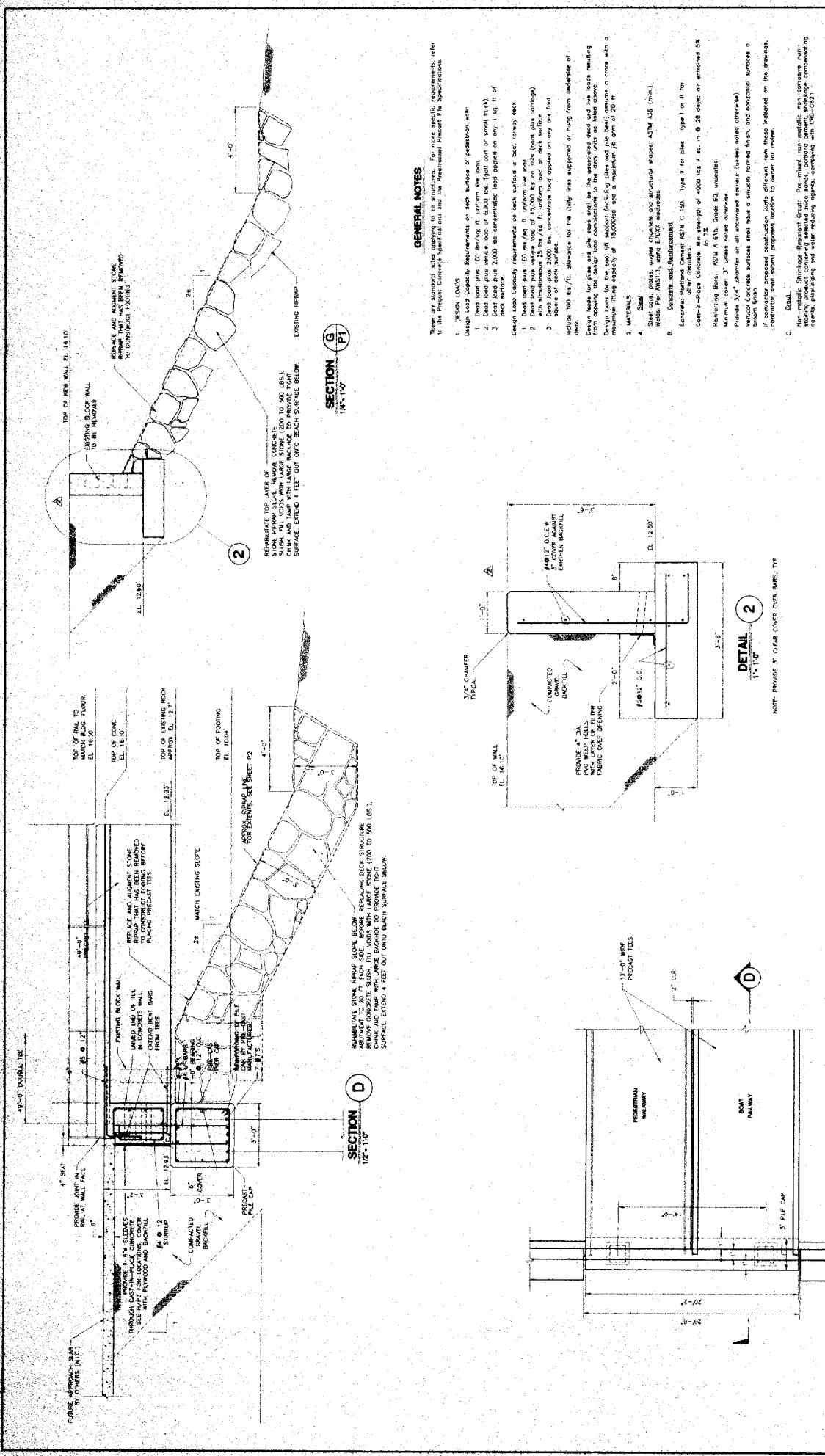
22 Main St., P.O. Box 770

Portland, Maine 04101-0770

Phone: (207) 467-1137

Fax: (207) 467-1134


www.knaisschmitt.com



GENERAL NOTES

Refer to drawings for details. For more detailed information, refer to the Project's General Specifications and the Precast/Prestressed Concrete Institute Specifications.

- DESIGN LOADS**
 Design dead loads shall be based on each surface of pedestrian with:
 1. 100 lbs/sq ft uniformly distributed load (UDL) on horizontal surfaces.
 2. Dead load plus vehicle load of 6,000 lbs. (full cart or small truck).
 3. Dead load plus 2,000 lbs concentrated load applied on any 1 sq ft of deck surface.
 Design load capacity requirements at each surface of each abutment deck:
 1. 100 lbs/sq ft uniformly distributed load (UDL) on horizontal surfaces.
 2. Dead load plus vehicle load of 15,000 lbs on the deck (load plus surcharge) with dimensions 36 in x 74 in uniformly load on deck surface.
 3. 2,000 lbs concentrated load applied on any one foot square of deck surface.
 Provide 100 lbs/ft allowance for the utility lines supported or hung from underside of deck.
 Design loads for piles and pile caps shall be the unbalanced dead and live loads resulting from the deck and the maximum lateral force and the deck and pile caps shall be designed for the maximum pile capacity of 150,000 lbs and a maximum pile cap of 20 ft.
 2. **MATERIALS**
 A. **Steel**
 1. Steel bars, plates, angles, channels and structural shapes ASTM A36 (min.)
 2. Welds per AWS D1.1, using E70XX electrodes.
 B. **Concrete and Mortar**
 1. Concrete: Portland Cement ASTM C 150, Type I or II per ACI 308.1-90.
 2. Mortar: Portland Cement ASTM C 150, Type I or II per ACI 308.1-90.
 3. Grout: Grout Concrete Mix strength of 4,000 psi / 40,000 psi or 28 days or enclosed US 1010 to 75.
 Reinforcing Bars: ASTM A 615, Grade 60, uncoated.
 4. Minimum cover: 3" unless noted otherwise.
 5. Provide 3/4" diameter or an uncoated galvanized steel mesh (unless noted otherwise).
 6. Provide 3/4" diameter or an uncoated galvanized steel mesh (unless noted otherwise) and horizontal surfaces of beams shall have a smooth turned finish, and horizontal surfaces of beams shall have a smooth turned finish, and horizontal surfaces of beams shall have a smooth turned finish.
 7. If contractor proposed construction joints different from those indicated on the drawings, contractor shall submit proposed location to owner for review.
 C. **Finish**
 1. Non-metallic Shrinkage Reinforcing Grid: Non-metallic, non-ferrous, non-corrosive non-woven, polypropylene or polyethylene fibers, complying with CR-1063.
 2. Non-metallic Shrinkage Reinforcing Grid: Non-metallic, non-ferrous, non-corrosive non-woven, polypropylene or polyethylene fibers, complying with CR-1063.
 3. Non-metallic Shrinkage Reinforcing Grid: Non-metallic, non-ferrous, non-corrosive non-woven, polypropylene or polyethylene fibers, complying with CR-1063.



P4

AS SHOWN	885-001	YACHT HAVEN MARINA	PORTLAND, MAINE
Project No.	885-001	Client	YACHT HAVEN MARINA
Architect	KLING STUBBINS	Contract No.	
Scale	AS SHOWN	Date	08/20/10
Sheet No.	4	Revision	
Sheet Title	FIXED PIER PROJECT	Author	KLING STUBBINS
Check By	HW	Drawn By	HW
Scale	AS SHOWN	Project No.	885-001

SECTIONS AND DETAILS

SECTION G
1/4" = 1'-0"

DETAIL 2
1/4" = 1'-0"

PLAN OF CONCRETE DECK CONNECTION TO ABUTMENT

1/4" = 1'-0"

**ELEVATIONS SHOWN ARE ON NGVD 1929 DATUM
M.W. DATUM = NGVD + 4.23 FT**



P5

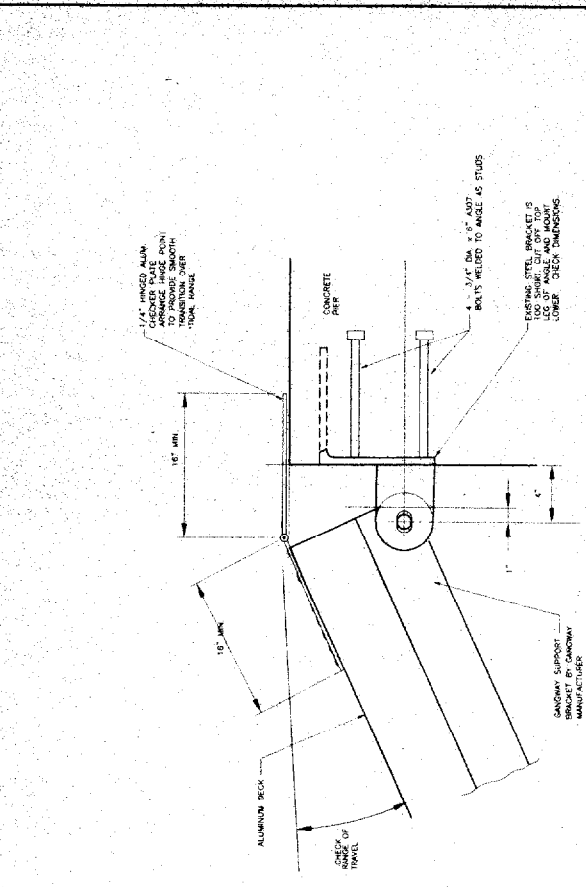
YATCH HAVEN MARINA
PORTLAND, ME

PIER PROJECT

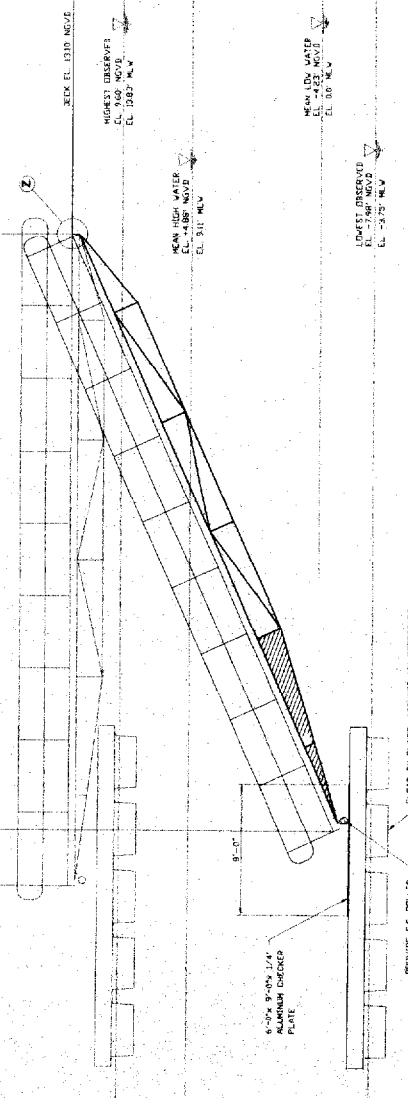
GANGWAY MODIFICATIONS

Kleeschmitt
Design & Construction Consultants
175 State Street, Portland, ME 04101
Tel: (603) 877-3339
Fax: (603) 877-3338
www.kleeschmitt.com

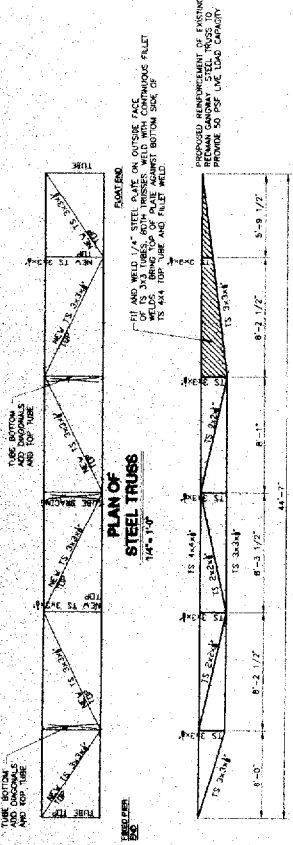
Issue	AS BIDDING	Date	02/01/01
Project No.	883-002		
Project Name	PIER PROJECT		
Client	STI		
Drawn By	STI		
Checked By	STI		
Scale	AS SHOWN		
Revision			
No.			



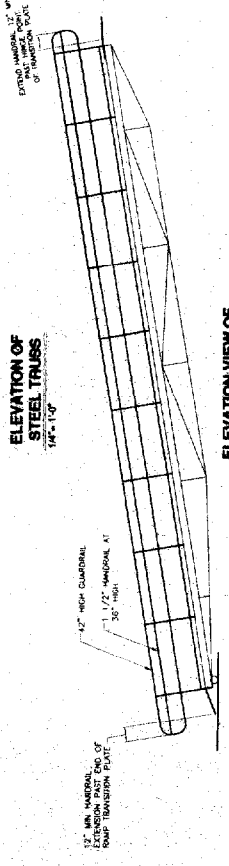
DETAIL Z
3/4" x 1'-0"



TYPICAL SECTION
3/4" x 1'-0"

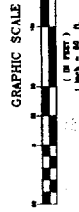
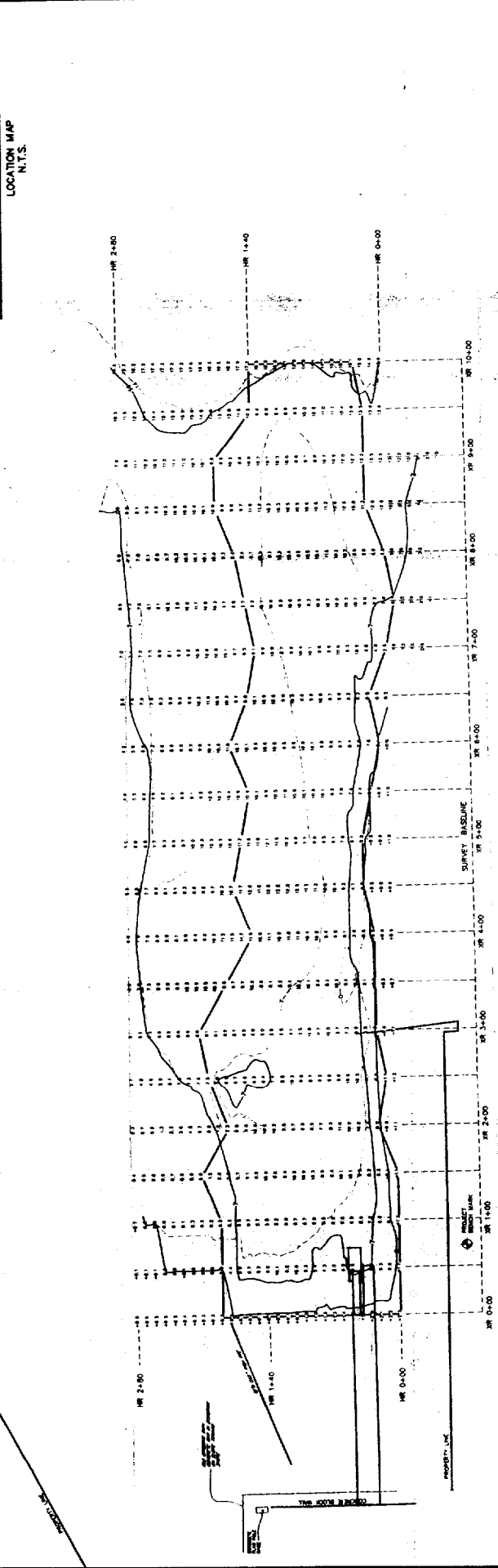
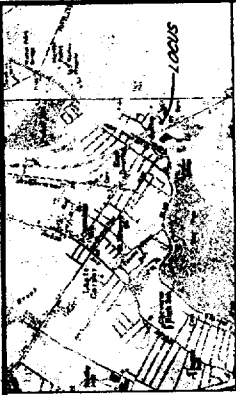


PLAN OF STEEL TRUSS
1/4" x 1'-0"



ELEVATION OF ALUMINUM HAND RAIL
1/4" x 1'-0"

GANGWAY ELEVATION
1/4" x 1'-0"



POST-DREDGE / CONDITION SURVEY
YACHT HAVEN MARINA
 100 KENSINGTON STREET
 PORTLAND, MAINE

	Project Name: Yacht Haven Marina Date: 1/12/20 Scale: AS SHOWN
	Surveyor: Francis Landry License No.: 1320 State: MAINE

NOTES:

- 1.) POST-DREDGE SURVEY PERFORMED JANUARY 12, 2020
- 2.) SOUNDINGS TAKEN UTILIZING A RAYTHEON DEPTH SOUNDER, MODEL DETHIC, SN 8486.
- 3.) PROJECT BRIDGE MARK IS A STANDARD DISK STAMPED "S.E. ENGINEERING DEPT. STA. RY" IN TOP OF GRANITE BLOCK RETAINING WALL. ELEVATION = 18.15' ABOVE MEAN LOW WATER.
- 4.) PROJECT TOTAL BRIDGE MARK IS STANDARD DISK STAMPED "S.H.I. 8175 A 1974, SE" ALONG IN A WALL VICE IN THE SOUTH-WEST CORNER OF THE BRICK BUILDING AT THE SOUTHWEST CORNER OF THE PIER 18.5 FEET SOUTHWEST OF THE SOUTHWEST CORNER OF THE BRICK BUILDING. ELEVATION = 15.80' ABOVE MEAN LOW WATER AND BASED ON TOTAL EPOCH 1980-1978.
- 5.) APPROXIMATE EDGE OF DREDGING IS DERIVED FROM VISUAL INSPECTION OF FATHOMETER PRINTOUT AND PNE & POST-DREDGE GRADE MATCHING.
- 6.) EXISTING PILING & PIERS NOT LOCATED OR SHOWN AS PART OF THIS SURVEY.

LINE LEGEND:

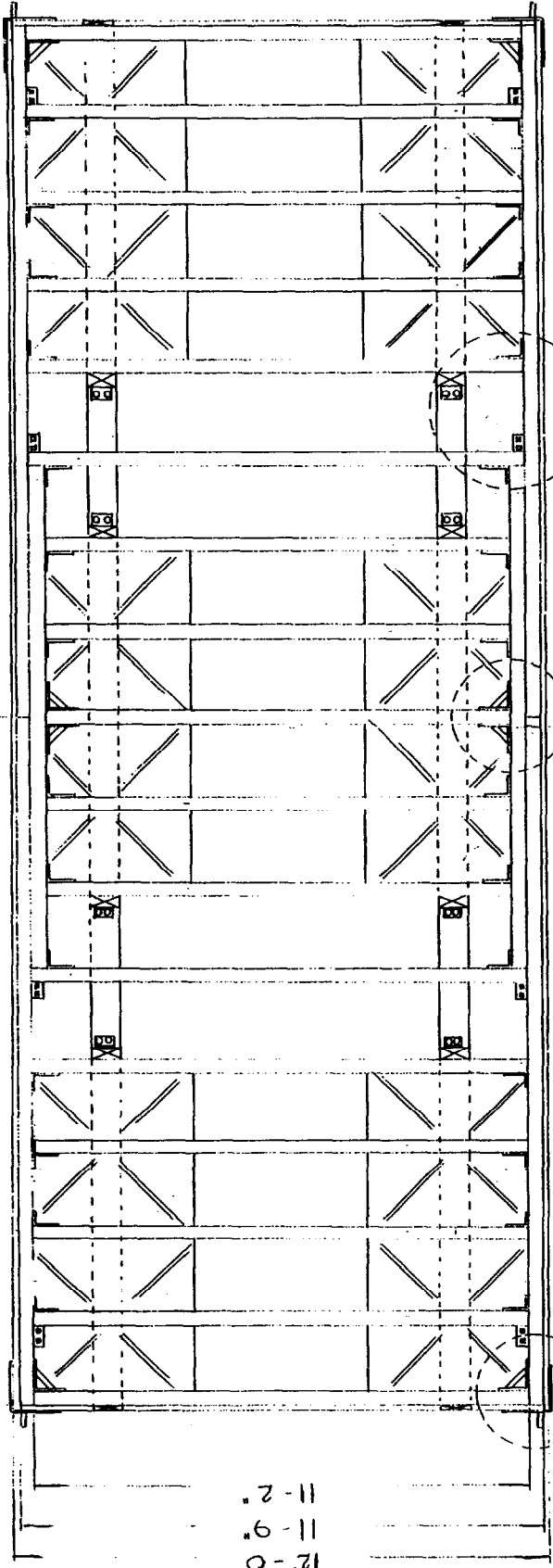
- PNE-DREDGE CONTOUR
- LIMIT OF DREDGING
- - - - - POST-DREDGE CONTOUR

32'-0"
31'-9"

15'-10 1/2"

15'-10 1/2"

12'-0"
11'-9"
11'-2"



JOB _____

SHEET NO. 17 x 32' FLOAT W/ #5 SLIDS

CALCULATED BY S.F.D. DATE _____

CHECKED BY _____ DATE _____

SCALE 3/8" = 1'

CUSTOM FLOAT SERVICES
 36 Union Wharf
 PORTLAND, MAINE 04101
 (207) 772-3796
 Fax (207) 772-8471

m.s.p. copy

FLOOD HAZARD DEVELOPMENT PERMIT APPLICATION

PORTLAND, Maine

(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Yacht Haven LLC Address: 100 Kensington St.
Portland, ME 04103

Ph. No: (207) 842-9000

Applicant: Mason Sears - Yacht Haven Address: _____

Ph. No: Same as above

Contractor: owner Address: _____

Ph. No: _____

LEGAL DESCRIPTION

Is this lot a part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ ~~429-G~~ Lot #: 1-7

Tax Map: ~~103~~ ⁹³ Kensington St ~~429-G~~ Lot #: 1-7

Address: _____
Street/Road Name 430-B-13, 15
430-X-1

Zip Code: 04103

General explanation of proposed development: Construct Marina Pier 250' x 20' and
Private (not for the public at this time) 32' x 12' floating dock
Estimated value of improvements: \$225,000

OTHER PERMITS

Are other permits required from State or Federal Jurisdictions? Yes No
If yes, are copies of these permits attached? Yes No Not Applicable
in previous permit as

Federal and State Permits may include but not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining, USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

(This Section to be completed by Municipal Official)

Date Submitted _____; Fee Paid _____; Reviewed by CEO _____; Reviewed by Planning Board _____

Permit # _____ Issued by _____ Date _____

(This section to be completed by Municipal Official)

LOCATION

Flooding source (name of river, pond, ocean, etc)

Atlantic Ocean

- VI-30 Zone
- VE Zone
- AE Zone
- ^{AZ} A1-30 Zone
- A Zone
- FRINGE
- FLOODWAY (1/2 width of floodplain in A Zone)

If proposed development is in an "AE" or "A1-A30" Zone and cross section data is available in the Flood Insurance Study please note the Nearest Cross Section References and Elevation of Base Flood at Nearest Cross Section.

Cross Section	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Base Flood Elevation (bfe) at the site _____ NGVD [Required for New Construction or Substantial Improvements]

Basis of A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC II HY 7 Quick-2 Other _____
- Highest Known Water level
- Other (Explain) _____

VALUE

If the development involves improvements to an existing structure, the Market Value of existing structure: \$ _____

- New development or Substantial Improvement
- Minor improvement or addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left for the type(s) of development requested, and complete information for each applicable line:

<input type="checkbox"/> 1. Residential Structure	Dimensions		Cubic Yards
<input type="checkbox"/> 1a. New Structure	_____	<input type="checkbox"/> 5. Filling ¹	_____
<input type="checkbox"/> 1b. Add to Structure	_____	<input type="checkbox"/> 6. Dredging	_____
<input type="checkbox"/> 1c. Renovations/other changes	_____	<input type="checkbox"/> 7. Excavation	_____
<input type="checkbox"/> 2. Non-Residential Structure		<input type="checkbox"/> 8. Levee	_____
<input type="checkbox"/> 2a. New structure	_____	<input type="checkbox"/> 9. Drilling	_____
<input type="checkbox"/> 2b. Add to Structure	_____		Number of Acres
<input type="checkbox"/> 2c. Renovations/other changes	_____	<input type="checkbox"/> 10. Mining:	_____
<input type="checkbox"/> 2d. Floodproofing	_____	<input type="checkbox"/> 11. Dam: Water surface to be created	_____
<input type="checkbox"/> 3. Water Dependent use:		<input type="checkbox"/> 12. Water Course Alteration	
<input checked="" type="checkbox"/> 3a. Dock	<u>12' x 32'</u>	Detailed description must be attached with copies of all applicable state and federal permits.	
<input checked="" type="checkbox"/> 3b. Pier	<u>20' x 250'</u>	<input type="checkbox"/> 13. Other: Explain	_____
<input type="checkbox"/> 3c. Boat Ramp	_____	_____	_____
<input type="checkbox"/> 3d. Other	_____	_____	_____
<input type="checkbox"/> 4. Paving	_____	_____	_____

¹Certain prohibitions apply in Velocity Zones

attach with returned form

Attachment and Site Plan - drawn to scale with north arrow

- Show property boundaries, floodway and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.
- For New Construction or Substantial Improvement, also include existing grade elevations done by a Professional Land Surveyor, Architect or Engineer.
- For New Construction or Substantial Improvement, attach statement describing in detail how each applicable development standard in Article VI will be met.

Special Note: Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIII, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. (Article VI §L)

The Applicant Understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view and;
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and the attachments to this application are a true description of the existing property and the proposed development project.

end

Sign

Owner _____ Date _____
signature

or

Authorized Agent _____ Date _____
signature

nsp. Copy

FLOOD HAZARD DEVELOPMENT PERMIT

For FLOODPROOFING Non-Residential Structures

Portland, Maine

This Flood Hazard Development Permit allows Floodproofing of Non-residential Structures in a Special Flood Hazard Area. Floodproofing means any combination of structural and non-structural additions, changes or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and contents.

If the floodproofing is to serve as a method of bringing a structure into compliance with National Flood Insurance Program (NFIP) elevation requirements:

- All standards required by NFIP 44 CFR 60.3(c)(3) and all standards required by Article VI.G of the Floodplain Management Ordinance must be met;
- The application for this permit must include a signed statement from a registered professional engineer or architect that the design and methods of construction will be in accordance with accepted standards of practice for meeting the provisions of NFIP 44 CFR 60.3(c)(3) as well as Article VI.G of the Floodplain Management Ordinance; and
- After the development takes place, elevation and engineering certificates must be completed by the registered professional engineer or architect and submitted to the Code Enforcement Officer before a Certificate of Compliance can be issued.

Tax Map: 429-G Lot #: 1-7
430-B-13,15
430-X-1

93 Kensington St

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter the premises and inspect development covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view and;
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and the attachments to this permit are a true description of the existing property and the proposed development project.

Owner _____
signature

Date _____

Authorized Agent _____
signature

Date _____

Issued by _____

Date _____

Permit # _____

NSP Copy

O.M.B. NO. 3067-0077
Expires July 31, 2002

FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

FLOODPROOFING CERTIFICATE
FOR NON-RESIDENTIAL STRUCTURES

The floodproofing of non-residential buildings may be permitted as an alternative to elevating to or above the Base Flood Elevation; however, a floodproofing design certification is required. This form is to be used for that certification. Floodproofing of a residential building does not alter a community's floodplain management elevation requirements or affect the insurance rating unless the community has been issued an exception by FEMA to allow floodproofed residential basements. The permitting of a floodproofed residential basement requires a separate certification specifying that the design complies with the local floodplain management ordinance.

Yacht Haven, LLC
BUILDING OWNER'S NAME
100 Kensington St, Portland, ME 04103
STREET ADDRESS (Including Apt., Unit, Suite and/or Bldg. Number) OR P.O. ROUTE AND BOX NUMBER
429-G-1-7; 430-B-1315; 430-X-1
OTHER DESCRIPTION (Lot and Block Numbers, etc.)
RE: 93 Kensington St
CITY Portland STATE ME ZIP CODE 04103

FOR INSURANCE COMPANY USE
POLICY NUMBER
COMPANY NAIC NUMBER

SECTION I FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

Provide the following from the proper FIRM:

COMMUNITY NUMBER	PANEL NUMBER	SUFFIX	DATE OF FIRM INDEX	FIRM ZONE	BASE FLOOD ELEVATION (In AO Zones, Use Depth)
------------------	--------------	--------	--------------------	-----------	--

SECTION II FLOODPROOFING INFORMATION (By a Registered Professional Engineer or Architect)

Floodproofing Design Elevation Information:

Building is floodproofed to an elevation of feet NGVD. (Elevation datum used must be the same as that on the FIRM.)

Height of floodproofing on the building above the lowest adjacent grade is feet.

(NOTE: for insurance rating purposes, the building's floodproofed design elevation must be at least one foot above the Base Flood Elevation to receive rating credit. If the building is floodproofed only to the Base Flood Elevation, then the building's insurance rating will result in a higher premium.)

SECTION III CERTIFICATION (By Registered Professional Engineer or Architect)

Non-Residential Floodproofed Construction Certification:

I certify that, based upon development and/or review of structural design, specifications, and plans for construction, the design and methods of construction are in accordance with accepted standards of practice for meeting the following provisions:

The structure, together with attendant utilities and sanitary facilities, is watertight to the floodproofed design elevation indicated above, with walls that are substantially impermeable to the passage of water.

All structural components are capable of resisting hydrostatic and hydrodynamic flood forces, including the effects of buoyancy, and anticipated debris impact forces.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

CERTIFIER'S NAME	LICENSE NUMBER (or Affix Seal)		
TITLE	COMPANY NAME		
ADDRESS	CITY	STATE	ZIP CODE
SIGNATURE	DATE	PHONE	

Copies should be made of this Certificate for: 1) community official, 2) Insurance agent/company, and 3) building owner.

fill-in
sign

*NAS The Stamped
Approved Plan Attached*

**Site Review Pre-Application
Multi-Family/Attached Single Family Dwellings/Two-Family Dwelling
or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for Site Plan Review

NOTE**If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Yacht Haven L.L.C.
Applicant

June 26, 2001
Application Date

100 Kensington St Portland Me.
Applicant's Mailing Address

Yacht Haven Marina
Project Name/Description

H. Mason Sears
Consultant/Agent
T: 842 9000
F: 842 9274
Applicant/Agent Daytime telephone and FAX

100 Kensington St Portland Me
Address Of Proposed Site
429 - 61 - 7 430 - B - 13
430 - E1 - 4
Assessor's Reference, Chart#, Block, Lot#

Proposed Development (Check all that apply) New Building Building Addition Change of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other(Specify) Pier

4,760 Deck Area
Proposed Building Square Footage and /or # of Units

6.25
Acreage of Site

I-L
Zoning

Major Site Plan _____ Minor Site Plan X

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) 9 sets of Site Plan packages containing the information found in the attached sample plans and checklist.

(Section 14-522 of the Zoning Ordinance outlines the process, copies are available for review at the counter, photocopies are \$ 0.25 per page)

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if an approval for the proposed project or use described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this approval at any reasonable hour to enforce the provisions of the codes applicable to this approval.

Signature of applicant:



Date:

6-26-2001

Site Review Fee: Major \$500.00 Minor 400.00

This application is for site review ONLY, a Building Permit application and associated fees will be required prior to construction.



June 26, 2001

City of Portland
Planning Board
389 Congress St. Portland Me

Dear Review Board,

Yacht Haven Marina is at a stage of development where we wish to proceed with the construction of a pier to allow deepwater access. The pier is a 250' x 20' concrete structure that extends into the previously dredged deep water off of the property's shore. This would also include a retaining wall along the shorefront foundation of the pier.

This pier has been designed and cast to provide a critical role in the development of a marina, of which a site plan has already been approved by the City of Portland. At this time it is planned by Yacht Haven to review that existing site plan with the city as changes may be made in the future. Yacht Haven asks that you approve the construction of the pier which has been cast and stored so we may continue the development process.

I look forward to meeting with your department about this matter.

Sincerely,

H. Mason Sears

Yacht Haven L.L.C.
100 Kensington St Portland Me
T: 207-842-9000

QUITCLAIM DEED WITH COVENANT

WEBBER OIL COMPANY, survivor by merger with Webber Petroleum Company, a Maine corporation with a mailing address of P. O. Box 929, Bangor, Penobscot County, Maine 04402-0929, for consideration paid, grants to **FSF Maine Partners, LLC**, a Colorado limited liability company, having a mailing address of c/o Fritz C. Voekler; 344 Madison, Denver, Colorado 80206, with Quitclaim Covenant, the land together with any buildings or improvements thereon in Portland, Cumberland County, State of Maine, described on Schedule A attached.

Being a portion of the premises conveyed by Sun Oil Company of Pennsylvania to Webber Petroleum Company dated September 19, 1975 and recorded in the Cumberland County Registry of Deeds in Book 3774, Page 281.

Webber Oil Company is the surviving corporation following a merger with Webber Petroleum Company as evidenced by Articles of Merger filed January 16, 1986 with the Maine Secretary of State.

Parcel No. 1 described on Schedule A is subject to the rights and easements granted by Sun Oil Company to Central Maine Power Company by instrument dated May 8, 1970 and recorded in the Cumberland County Registry of Deeds in Book 3146, Page 256.

Excepting from Parcel No. 1 the premises conveyed by Webber Petroleum Company to David P. Bradford and Anne K. Bradford by deed recorded January 28, 1983 and recorded in the Cumberland County Registry of Deeds in Book 6109, Page 328.

Parcels No. 1, 2 and 3 described on Schedule A are subject to the following:

- a) Terms, conditions, rights and easements as set forth in an instrument from Webber Petroleum Company to Portland Water Distract dated December 21, 1976 and recorded in the Cumberland County Registry of Deeds in Book 3964, Page 320.
- b) Rights and easements granted to Central Maine Power Company as set forth in an instrument from Webber Petroleum Company dated January 23, 1984 and recorded in the Cumberland County Registry of Deeds in Book 6417, Page 266.
- c) Rights and easements granted to Central Maine Power Company as set forth in an instrument from Webber Petroleum Company dated April 30, 1984 and recorded in the Cumberland County Registry of Deeds in Book 6528, Page 116.

d) **Terms, conditions, rights and easements as set forth in an instrument from Webber Petroleum Company to Portland Water District dated August 6, 1985 and recorded in the Cumberland County Registry of Deeds in Book 6867, Page 324.**

e) **All other customary easements now of record, if any, for utilities and drainage.**

f) **Other covenants or restrictions now of record, if any.**

Parcels No. 2 and 3 above described are subject to the following:

a) **Restrictions as set forth in the deed from Windsor Land Company to Hugh J. Chisholm dated March 2, 1907 and recorded in the Cumberland County Registry of Deeds in Book 804, Page 201.**

The premises are conveyed **SUBJECT TO** the condition that they shall be restricted from being used as a gasoline station or for the wholesale distribution or storage of heating oil, liquid petroleum gas, gasoline or other automotive fuel. This restriction shall not prohibit the use of the Premises as a marina and the attendant retail sale of gasoline, diesel fuel, motor oil and products normally stocked in an auto parts type store. This condition shall run with the land and shall inure to the benefit of Webber Oil Company, and the real estate of said corporation in Portland, Cumberland County, Maine, now owned or hereafter acquired.

By its acceptance of this deed FSF Maine Partners, LLC, for itself and its successors and assigns, agrees as follows:

1. In accordance with requirements of the Maine Department of Environmental protection in connection with the Voluntary Response Action Plan ("the VRAP"; see 38 M.R.S.A. § 343-E) for the property submitted by Grantor and Grantee, no groundwater extraction wells may be installed or used on the property, without prior written permission from the Department of Environmental Protection, its successors or assigns.

2. FSF Maine Partners, LLC shall hold harmless Webber Oil Company, its directors and officers, and their successors and assigns from any claims arising from any use or development of the property by FSF Maine Partners, LLC or its employees, contractors, agents, successors and assigns, which do not comply with the workplan submitted by Webber Oil Company to the Maine Department of Environmental Protection in connection with the VRAP.

IN WITNESS WHEREOF, WEBBER OIL COMPANY has caused this instrument to be signed in its corporate name and sealed with its corporate seal by Larry K. Mahaney, its President, hereunto duly authorized, this 14 day of January, 2000.

WITNESS:

Lynn A. Steer

WEBBER OIL COMPANY

By: *Larry K. Mahaney*
Larry K. Mahaney
Its President
Hereunto Duly Authorized

STATE OF MAINE
PENOBSCOT, ss.

January 14, 2000

Then personally appeared the above-named Larry K. Mahaney and acknowledged the foregoing instrument to be its free act and deed in its said capacity and the free act and deed of said corporation.

Before me,

Raymond J. Cota Jr.
Name: Raymond J Cota Jr
Notary Public
~~Maine Attorney-at-Law~~
NOV 2003

38000/
103654-1

SCHEDULE A

PARCEL NO. 1

A certain lot or parcel of real estate situated in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows: Beginning at the southwesterly corner of Parcel No. 3 and running North $53^{\circ} 06' 30''$ East bounding northwesterly on said Parcel No. 3, on Kensington Street, and on land now or formerly of Raymond P. and Arlene M. Doyle one hundred ninety-five and fifty-six hundredths (195.56) feet to a point; thence turning an interior angle of $90^{\circ} 00'$ and running South $36^{\circ} 53' 30''$ East bounding northeasterly on said land now or formerly of Raymond P. and Arlene M. Doyle, on said land now or formerly of Paul H. and Ellen K. Abildgaard, on land now or formerly of James H. Martin, on land now or formerly of Vincent J. and Irma Kennedy, on land now or formerly of Voramus L. and Emma C. Frye, and on land now or formerly of State of Maine approximately one thousand two hundred eighty (1,280) feet to the mean low water mark of Casco Bay; thence running in a generally westerly direction along the mean low water mark of Casco Bay approximately one thousand two hundred fifty (1,250) feet to a point on the southerly side of a pier extending easterly from the main right of way of Canadian National Railways; thence running South $78^{\circ} 48'$ West by said pier and bounding southerly on land now or formerly of Canadian National Railways approximately one hundred ten (110) feet to a point; thence turning an interior angle of $86^{\circ} 52' 10''$ and running North $8^{\circ} 04' 10''$ West bounding westerly on land now or formerly of Canadian National Railways ten (10) feet to a point; thence turning an interior angle of $93^{\circ} 07' 50''$ and running North $78^{\circ} 48'$ East bounding northerly on land now or formerly of Canadian National Railways fifteen and two hundredths (15.02) feet to a point; thence turning an interior angle of $266^{\circ} 52' 10''$ and running North $8^{\circ} 04' 10''$ West bounding westerly on land now or formerly of Canadian National Railways nine hundred four and twenty-one hundredths (904.21) feet to a point; thence turning an interior angle of $90^{\circ} 00'$ and running North $81^{\circ} 55' 50''$ East bounding northerly on land now or formerly of Canadian National Railways eight (8) feet to the westerly line of Parcel No. 2; thence turning an interior angle of $90^{\circ} 00'$ and running South $8^{\circ} 04' 10''$ East bounding easterly on Parcel No. 2 and on Parcel No. 3 seventy (70) feet to the point of beginning, making an interior angle of $298^{\circ} 49' 20''$ with the first described course; containing ten and seven tenths (10.7) acres of land.

Also conveying hereby, insofar as the Grantor has the right or title to convey, an easement to install, maintain, repair and replace pipe lines for conveyance of gasoline, oils and fuels of all types with all necessary fixtures and appurtenances thereto, including utility lines for illuminating and servicing pipe lines and docks, from the existing dock and from the proposed dock as shown on a plan entitled "Proposed Sale of Land to Sun Oil Company" recorded in the Cumberland County Registry of Deeds, Plan Book 66, Page 9, northerly over, across and under the railway right of way to a point located south-westerly of the storage tanks along the route as shown on said Plan; also the right to install, maintain, repair, and replace a suitable walkway for foot passage from said proposed dock northerly to the mainland; also the right to support said pipe lines and walkway upon the seawall, except that said pipe lines and walkway to be located southerly of said seawall shall be at least fifteen (15) feet from railway trestle and shall be supported by an independent structure within said railway right of way; also the right to enter upon the railway right of way for all the above purposes and also to maintain, repair, replace and enlarge the existing dock as well as to erect, maintain, repair, replace and enlarge the proposed dock, all as shown on said Plan.

Also conveying hereby such riparian and shore rights as the Grantor has appurtenant to the above described premises.

Subject to a sewer easement for a ten inch (10") pipe and extending across the above described premises to Casco Bay.

Subject to right of Canadian National Railway Company to enter upon the above described premises for the purpose of maintaining, repairing and replacing the seawall.

Subject to the rights of others in and to any portion of said parcel which may be a part of the original Atlantic and St. Lawrence Company right of way condemned in 1838 for railroad purposes.

PARCEL NO. 2

A certain lot or parcel of real estate situated in Portland, County of Cumberland and State of Maine, situated on the westerly side of Kensington Street in said Portland and bounded and described as follows:

Beginning at an iron pipe, said pipe being at the northwesterly corner of Parcel No. 3 and the southwesterly corner of the herein described property; thence North $8^{\circ} 16' 30''$ West four hundred thirty-five and thirty-nine hundredths (435.39) feet along land of Canadian National Railway through an iron pipe to Interstate Route 295; thence North $49^{\circ} 03' 30''$ East one hundred eighteen and ninety-two hundredths (118.92) feet along Interstate Route 295 to an iron pipe; thence South $8^{\circ} 15'$ East four hundred sixty-four and sixteen hundredths (464.16) feet along Kensington Street to an iron pipe; thence South $62^{\circ} 12'$ West one hundred five and ninety-nine hundredths (105.99) feet along Parcel No. Three to the point of beginning.

PARCEL NO. 3

A certain lot or parcel of real estate situated in Windsor Heights, so-called, in the East Deering section of the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning on the westerly side of Kensington Street at the southeasterly corner of Lot #23 as shown on the plan of Windsor Heights, said plan being recorded in Cumberland County Registry of Deeds, Plan Book 10, Page 83;

Thence southerly thirty-one and forty-seven hundredths (31.47) feet on a straight prolongation of the westerly side of said Kensington Street to the northwesterly line of land now or formerly of the Grand Trunk Railway Company of Canada;

Thence southwesterly along said northwesterly line to the westerly corner of land of said Railway Company and the easterly line of the right of way of said Railway Company;

Thence northerly along said right of way, a distance of fifty (50) feet, to the southwesterly corner of said Lot #23;

Thence northeasterly along the southeasterly line of said Lot #23 to the point of beginning.

Containing three thousand nine hundred and thirty-six (3,936) square feet, more or less.

Said parcel is designated on said Plan as Sherwood Street but was never laid out or accepted by the City of Portland.

Subject to the rights of other property owners of lots shown on said Plan in and to this parcel.

Subject to easements, restrictions and conditions of record, easements or restrictions visible upon the ground and any state of facts which an accurate survey would disclose.

NOTES

1.) ELEVATIONS DEPICTED HEREON ARE BASED ON N.E.S.D. TIDE.

2.) THE TOPOGRAPHY AND SPOT ELEVATIONS DEPICTED HEREON REFLECT A SURVEY PERFORMED ON SEPTEMBER 28, 1968 ON A PORTLAND CANAL UNDER THE SUPERVISION OF CONSULTING ENGINEER, CONSTRUCTION TECHNOLOGY, STEREO AIRBORNS AND AERIAL PHOTOGRAPHS WERE LOCATED.

3.) THE SITE EXISTING ON THIS PLAN IS UNDER CONSTRUCTION. INFORMATION DEPICTED ON THIS PLAN REFLECTS THE EXISTING CONDITIONS ON THE DATE OF THE FIELD SURVEY.

4.) NEAREST POINT OF THE LOCATION OF ALL UNDERGROUND UTILITIES FROM ANY CONSTRUCTION ACTIVITY IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

5.) BOUNDARY LINES DEPICTED HEREON ARE BASED ON TOPOGRAPHY AND MONUMENTATION DEPICTED ON REFERENCE PLAN 1 FROM LOCATION OF EXISTING MONUMENTATION LOCATED BY POST ROAD SURVEYING, INC. ON OCTOBER 24, 1968. THE MONUMENTATION DEPICTED HEREON WAS BASED SOLELY ON A RETRANSMISSION OF THE BOUNDARIES DEPICTED ON SAID REFERENCE PLAN 1. POST ROAD SURVEYING, INC. HAS NOT RETRANSMISSION A STANDARD BOUNDARY SURVEY ON THE PROPERTY DEPICTED.

6.) FOR LOCATION OF EASEMENTS AND ADDITIONAL UNDERGROUND UTILITIES, SEE REFERENCE PLAN 1.

7.) DEED REFERENCE TO LOCUS PARCEL FOR MAINE PARTNERS, L.L.C. TO HIGHWAY L.L.C. DATED AUGUST 22, 1965, RECORDED AT THE CLAMBERTLAND COUNTY REGISTRY OF DEEDS IN BOOK 15276, PAGE 73.

8.) TOPOGRAPHY DEPICTED HEREON WAS REVISED 1/24/69 FROM ADDITIONAL FIELD SURVEYS PERFORMED 1/11-13/69 BY 18 INCHES OF SHOT CORNER. POST ROAD SURVEYING, INC. IS NOT RESPONSIBLE FOR LOCATION OF BOUNDARIES WHICH ARE NOT VISIBLE OR APPARENTLY DUE TO SHOW CORNER.

REFERENCE PLANS

1.) STANDARD BOUNDARY SURVEY FOR ROBERT PETROLEUM COMPANY, KENSINGTON STREET, CLAMBERTLAND COUNTY, PORTLAND, MAINE, DATED MAY 18, 1965, REVISED 4/24/1968, PREPARED BY RICHARD W. FERRIS, JR., P.L.S., 586 HANNOCK STREET, BANGOR, MAINE 04401.

2.) TOWNSHAW MARSHAL REAL ESTATE, ST. LAW, INC., BETHLE SEM DR., BETHLESEM, MASSACHUSETTS, LAST REVISED JULY 22, 1965, PREPARED BY L.R. BURLING, CIVIL ENGINEER, P.L.C., 450-71, PLAN 1815 RECORDED AT THE CLAMBERTLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 86, PAGE 8.

BENCHMARK DATA:

BM1 ELEV. 25.01' N.E.S.D. 1929

DESCRIPTION - 5" SQUARE GRANITE MONUMENT IN 8" BALLS PLUS AT THE INTERSECTION OF LEWIS AND HENDALL STREETS (N.E.S.D. REFERENCE MARK #6)

BM2 ELEV. 23.84' N.E.S.D. 1929

DESCRIPTION - IRON NAIL IN CHISELED TRIANGLE ON THE SOUTHWEST CORNER OF A CONCRETE WALL AT THE SOUTHWEST CORNER OF KENSINGTON STREET.

BM3 ELEV. 15.16' N.E.S.D. 1929

DESCRIPTION - TOP OF THE NORTHWEST CORNER OF THE CONCRETE FLAG POLE BASE, TWO INCHES IN FROM EACH FACE.

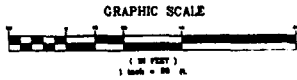
BM4 ELEV. 13.75' N.E.S.D. 1929

DESCRIPTION - 10" x 10" x 10" - 3.00" BASED ON INTERNATIONAL LEVEL, RUN INDEPENDENT IN 1968 FROM N.O.A. TBM, BENCH MARK STAMPED "M1 8175 A 1978" REAL EPOCH 1960-1978.

DESCRIPTION - U.S. ENGINEERING DEPARTMENT BRASS DISK SQUARED "M" LOCATED ON TOP OF THE GRANITE RETAINING WALL THAT RUNS APPROXIMATELY PARALLEL TO THE TRUCKY ROAD ON FORMERLY OF THE CANADIAN NATIONAL RAILWAY.



NO.	DATE	REVISION	BY
1	8/24/68	REVISED TITLE BLOCK	PKL
2	8/24/68	ADDED NOTE 6	PKL
3	8/24/68	SUPPLEMENTAL TOPO & HDY CONTOURS	PKL
4	12/28/68	ADDED GRADE STAMPED SET	PKL
5	12/28/68	ADDED MONUMENTATION SET	PKL
6	1/24/69	REV. NOTE 6 & ADDED NOTE 8	PKL
7	11/26/70	ADDED BOUNDARY LINE DATA	PKL
NO.	DATE	DESCRIPTION	BY



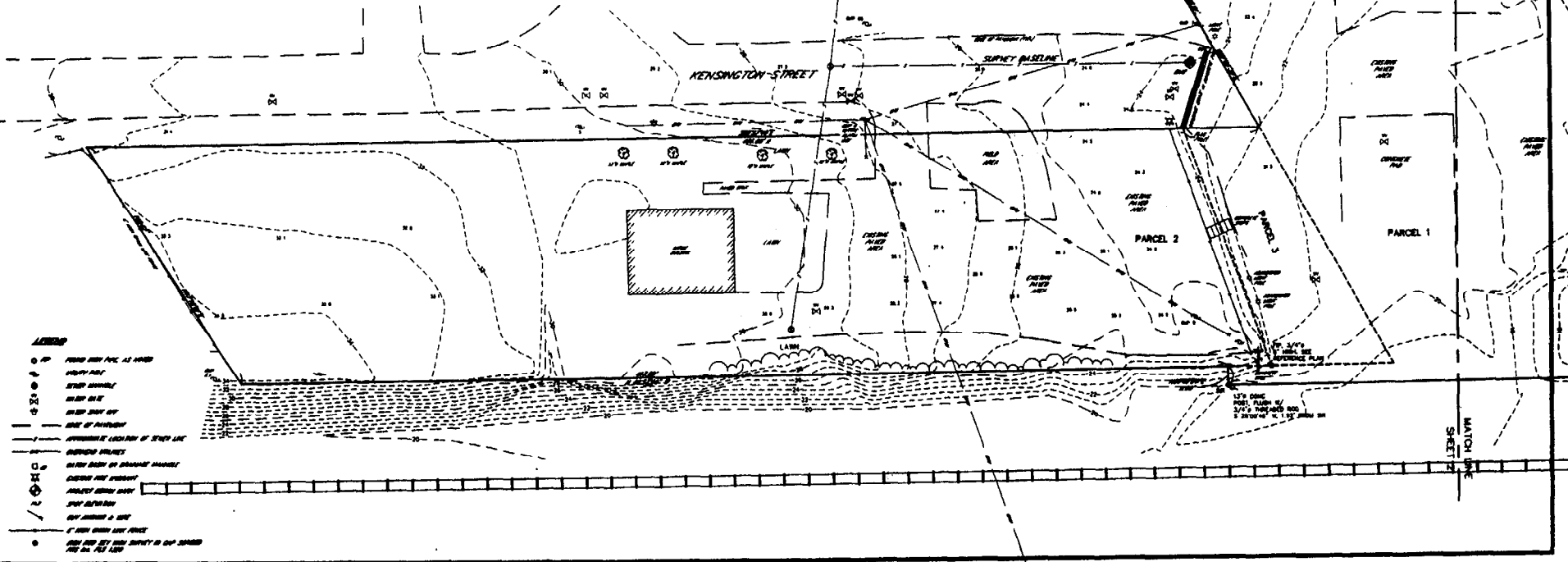
TOPOGRAPHIC PLAN
PREPARED FOR
YACHT HAVEN, L.L.C.
100 KENSINGTON STREET
PORTLAND - MAINE

Francis J. Laroche
Professional Engineer
No. 1320
State of Maine

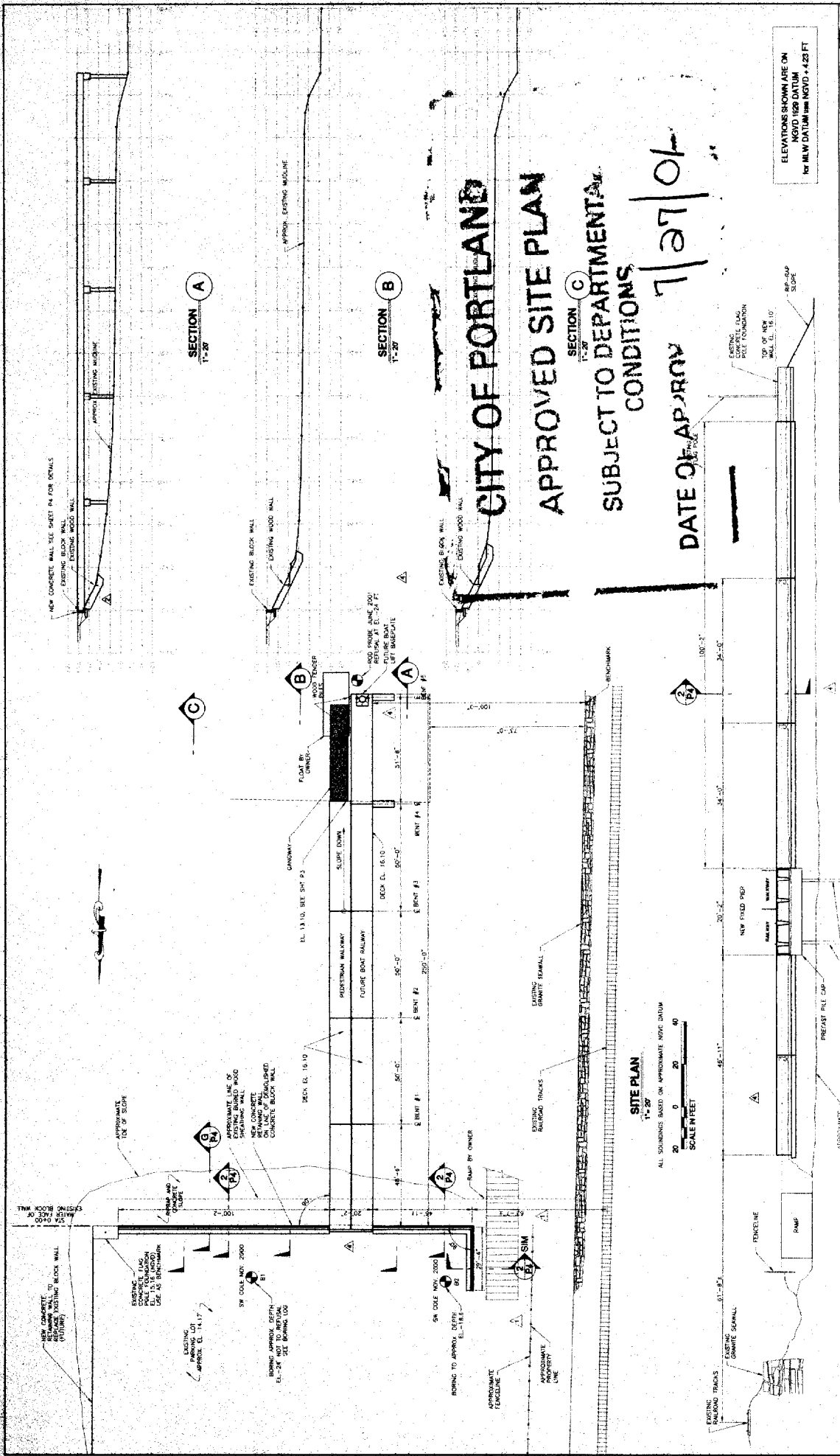
Project
Topographic Surveying

Scale
1" = 80'

Sheet
1 of 1



- LEGEND**
- SP. ELEV. 10' TO 100' AS SHOWN
 - SP. ELEV. 100' TO 200'
 - SP. ELEV. 200' TO 300'
 - SP. ELEV. 300' TO 400'
 - SP. ELEV. 400' TO 500'
 - SP. ELEV. 500' TO 600'
 - SP. ELEV. 600' TO 700'
 - SP. ELEV. 700' TO 800'
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 - SP. ELEV. 9900' TO 10000'



CITY OF PORTLAND
APPROVED SITE PLAN
SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROVAL 7/27/04

ELEVATIONS SHOWN ARE ON
 NGVD 1929 DATUM
 for M.L.W. DATUM (see NGVD + 4.28 FT)

		P1
YACHT HAVEN MARINA PORTLAND, MAINE		
GENERAL ARRANGEMENT		
DIMENSION UPDATE 02/20/04	REVISION LOCATION AND SWIM 01/01/04	DATE 02/20/04
ADDED WALL DETAILS 12/20/03	MOODY PIER ALIGNMENT 10/24/03	DATE 12/20/03
RELEASED FOR CONSTRUCTION 10/04/03	DATE 10/04/03	DATE 10/04/03



NEW CONCRETE WALL SEE SHEET P4 FOR DETAILS
 EXISTING BLOCK WALL
 EXISTING WOOD WALL
 APPROX. EXISTING MOULDER

APPROXIMATE TOP OF SLOPE
 BORING APPROX. DEPTH
 EL. -24' NOT TO RETURN
 SEE BORING LOG

EXISTING APPROX. DEPTH
 APPROX. EL. 14.17'

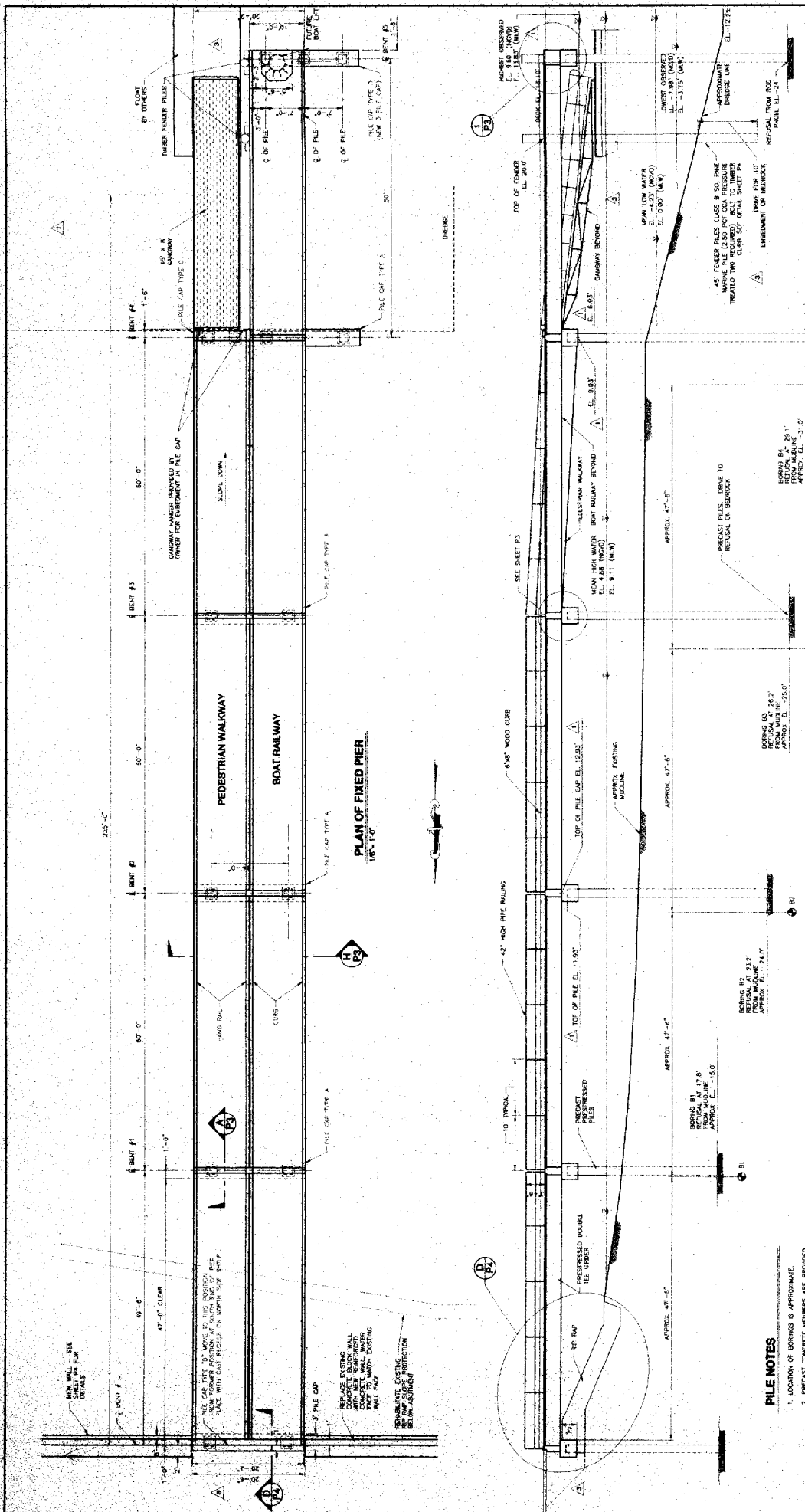
BORING TO APPROX. DEPTH
 EL. -14'

APPROXIMATE FENCE LINE
 APPROXIMATE PROPERTY LINE

EXISTING RAILROAD TRACKS
 EXISTING GRANITE SPALLS
 FENCE LINE
 RAMP

EXISTING RAILROAD TRACKS
 EXISTING GRANITE SPALLS
 FENCE LINE
 RAMP

EXISTING RAILROAD TRACKS
 EXISTING GRANITE SPALLS
 FENCE LINE
 RAMP



PLAN OF FIXED PIER
18'-11"

ELEVATION OF FIXED PIER
18'-11"

PILE NOTES

1. LOCATION OF BORINGS IS APPROXIMATE.
2. PRECAST CONCRETE MEMBERS ARE PROVIDED BY OWNER. CONCRETE SHALL BE 4000 PSI STRENGTH.
 - 1 30'-0" x 30'-0" x 2000
 - 2 41'-0" x 40' x 2000
 - 3 41'-0" x 40' x 2000
 - 4 45'-0" x 40' x 2000
 - 5 45'-0" x 40' x 2000
 - 6 45'-0" x 40' x 2000
3. CONCRETE SHALL BE TESTED WITH 1000 PSI COMPRESSIVE STRENGTH. USE SHORTEST PILES WHEN POSSIBLE.
4. SEE BARS/SHORE DETAILS AND SHOP DRAWINGS.
5. CHECK ALL PILES BEFORE ANY PILING OR TURNAMENT.

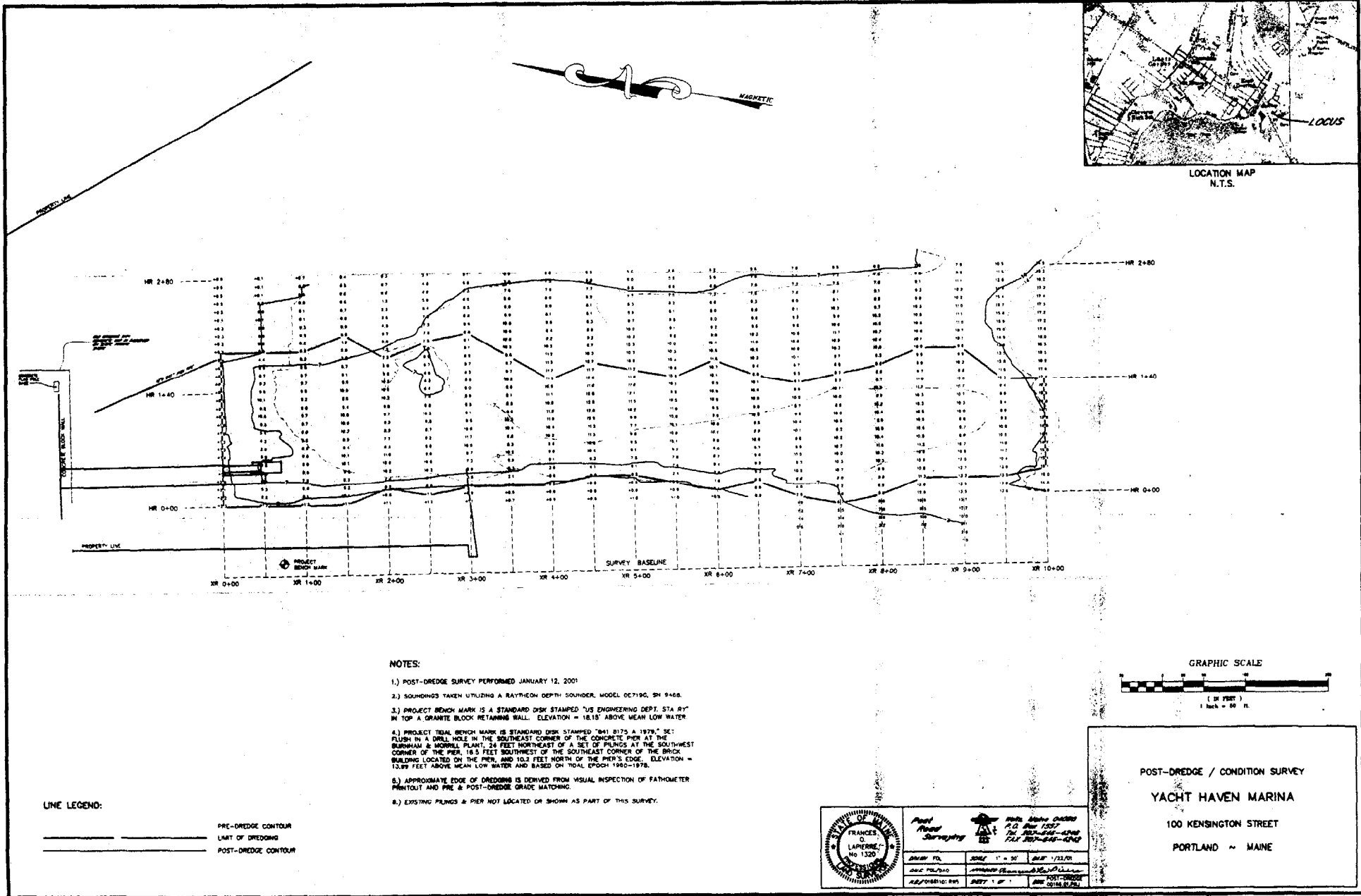


P2

YACHT HAVEN MARINA PORTLAND, OREGON	
FIXED PIER PROJECT	
PLAN AND ELEVATION OF FIXED PIER	
Scale	1/8" = 1'-0"
Project No.	045-000
Sheet No.	11
Contract No.	045-000
Drawn By	EST/AM
Checked By	MMF
Reviewed By	ST/AM
Issue Date	9-14-00
Revision	Code
1	REVISIONS
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
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97	REVISIONS
98	REVISIONS
99	REVISIONS
100	REVISIONS

ELEVATIONS SHOWN ARE ON
NGVD 1989 DATUM
M.S.V. DATUM - NGVD + 4.25 FT.

Kleinschmidt
Energy & Water Resources
Portland, Oregon
www.kleinschmidt.com

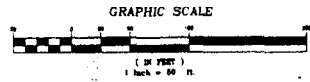


NOTES:

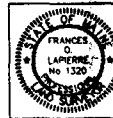
- 1.) POST-DREDGE SURVEY PERFORMED JANUARY 12, 2001
- 2.) SOUNDINGS TAKEN UTILIZING A RAYTHEON DEPTH SOUNDER, MODEL OC790, SN 9466.
- 3.) PROJECT BENCH MARK IS A STANDARD DISK STAMPED "US ENGINEERING DEPT. STA 81" IN TOP A GRANITE BLOCK RETAINING WALL. ELEVATION = 18.15' ABOVE MEAN LOW WATER.
- 4.) PROJECT TIDAL BENCH MARK IS STANDARD DISK STAMPED "041 0175 A 1979," SET FLUSH IN A DRILL HOLE IN THE SOUTHWEST CORNER OF THE CONCRETE PIER AT THE BURNHAM & MORRILL PLANT, 24 FEET NORTHEAST OF A SET OF PILING AT THE SOUTHWEST CORNER OF THE PIER, 16.5 FEET SOUTHWEST OF THE SOUTHWEST CORNER OF THE BRICK BUILDING LOCATED ON THE PIER, AND 10.2 FEET NORTH OF THE PIER'S EDGE. ELEVATION = 13.89 FEET ABOVE MEAN LOW WATER AND BASED ON TIDAL EPOCH 1980-1978.
- 5.) APPROXIMATE EDGE OF DREDGING IS DERIVED FROM VISUAL INSPECTION OF FATHOMETER PRINTOUT AND PRE & POST-DREDGE GRADE MATCHING.
- 6.) EXISTING PILING & PIER NOT LOCATED OR SHOWN AS PART OF THIS SURVEY.

LINE LEGEND:

- PRE-DREDGE CONTOUR
- LIMIT OF DREDGING
- POST-DREDGE CONTOUR



POST-DREDGE / CONDITION SURVEY
YACHT HAVEN MARINA
 100 KENSINGTON STREET
 PORTLAND ~ MAINE



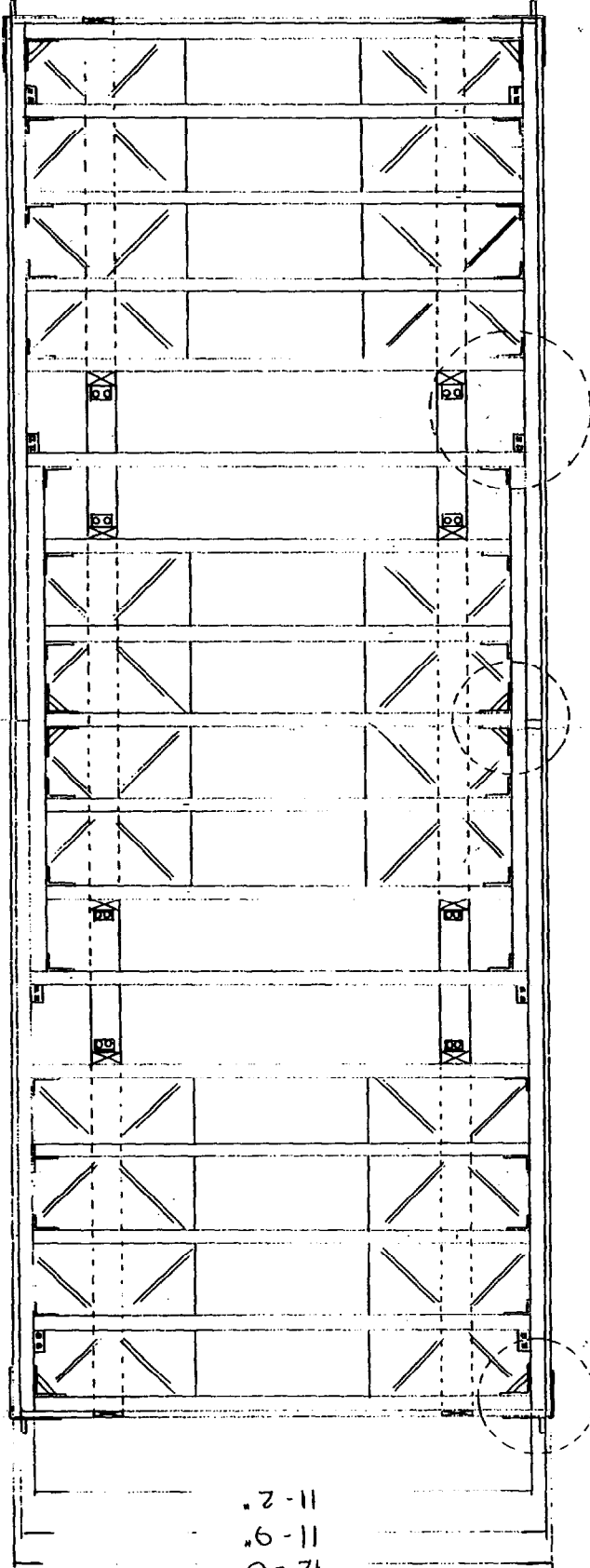
Project No.	1001	Date	1/12/01
Client	Yacht Haven Marina	Scale	1" = 50'
Surveyor	Francis O. Lapierre	Sheet	1 of 1
Project Title	POST-DREDGE / CONDITION SURVEY	Project Location	YACHT HAVEN MARINA, PORTLAND, MAINE

32'-0"
31'-9"

15'-10 1/2"

15'-10 1/2"

12'-0"
11'-9"
11'-2"



JOB _____
SHEET NO. 12 x 32 FLOAT ✓ SKIDS
CALCULATED BY S.E.D. DATE _____
CHECKED BY _____ DATE _____
SCALE 3/8" = 1'

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