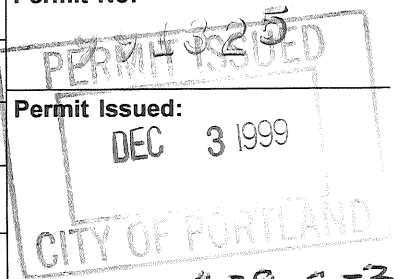


**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 537 Washington Ave 04102		Owner: * Richard Waltz		Phone: 774-2234		Permit No:	
Owner Address: 537 Washington Ave.		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Ernest Dobson		Address:		Phone: 797-2722		Permit Issued: DEC 3 1999	
Past Use: Vacant/ Single Family		Proposed Use: Detached Garage		COST OF WORK: \$ 10,000.00		PERMIT FEE: \$ 84.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 4 Type: 5B BOC 12-96	
Proposed Project Description: Construct Detached Garage				Signature:		Signature: <i>Hoffman</i>	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: CBL: 428-C-3	
				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied: <input type="checkbox"/>		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: GD		Date Applied For: GD		November 23, 1999			



1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call For Pick up  
Richard Waltz  
772-2801

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

November 23, 1999

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_



COMMENTS

12-14-99 went to site met w/ contractor checked setbacks All OK. JR

1-26-00 went for final checked framing, dimensions, etc. as built according to plans JR

→ No c/o needed, close permit.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 537 Washington Avem 04102		Owner: * Richard Waltz		Phone: 774-2234		Permit No:	
Owner Address: 537 Washington Ave.		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Ernest Dobson		Address:		Phone: 797-2722		Permit Issued: DEC 3 1999	
Past Use: Vacant/ Single Family		Proposed Use: Detached Garage		COST OF WORK: \$ 10,000.00		PERMIT FEE: \$ 84.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: 4 Type: 5B BOCA 96	
				Signature:		Signature: <i>Hoffen</i>	
Proposed Project Description:  Construct Detached Garage				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Zone: CBL: 428-C-3 R-5	
Permit Taken By: GD		Date Applied For: GD		November 23, 1999		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call For Pick up  
Richard Waltz  
772-2801

**CERTIFICATION**

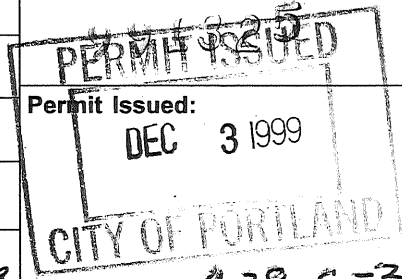
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

November 23, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

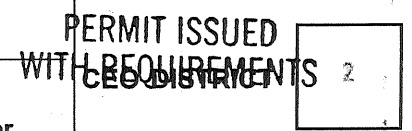


Zoning Appeal  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: *[Signature]*



COMMENTS

12-14-99 Went to site met w/ contractor checked setbacks All OK. JR

1-26-00 Went for final checked framing, dimensions, etc. as built according to plans JR

→ No c/o needed, close permit.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 537 Washington Ave

Tax Assessor's Chart, Block & Lot Number Chart# <u>409</u> Block# <u>H</u> Lot# <u>009</u>		Owner: <u>Richard White</u>	Telephone#: <u>7742234</u>
Owner's Address: <u>537 Washington Ave</u>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$10,000</u> Fee <u>\$84.<sup>00</sup></u>
Proposed Project Description:(Please be as specific as possible) <u>Garage / detached</u>			
Contractor's Name, Address & Telephone <u>Beverest N. Dobson + sons 797-2722</u>		Rec'd By: <u>[Signature]</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

*\* Call for Plan  
772-2801  
Richard Wattz*

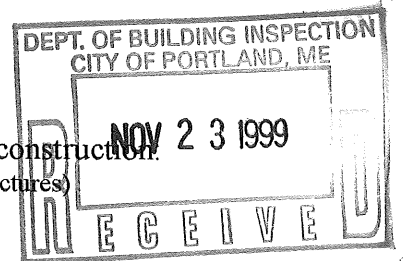
If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 11/23/99

Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

Inspection Services  
Michael J. Nugent  
Manager



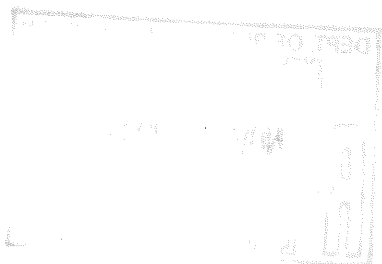
Department of Urban Development  
Joseph E. Gray, Jr.  
Director

**CITY OF PORTLAND**

*congratulations !!!!!*

**Building or Use Permit Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

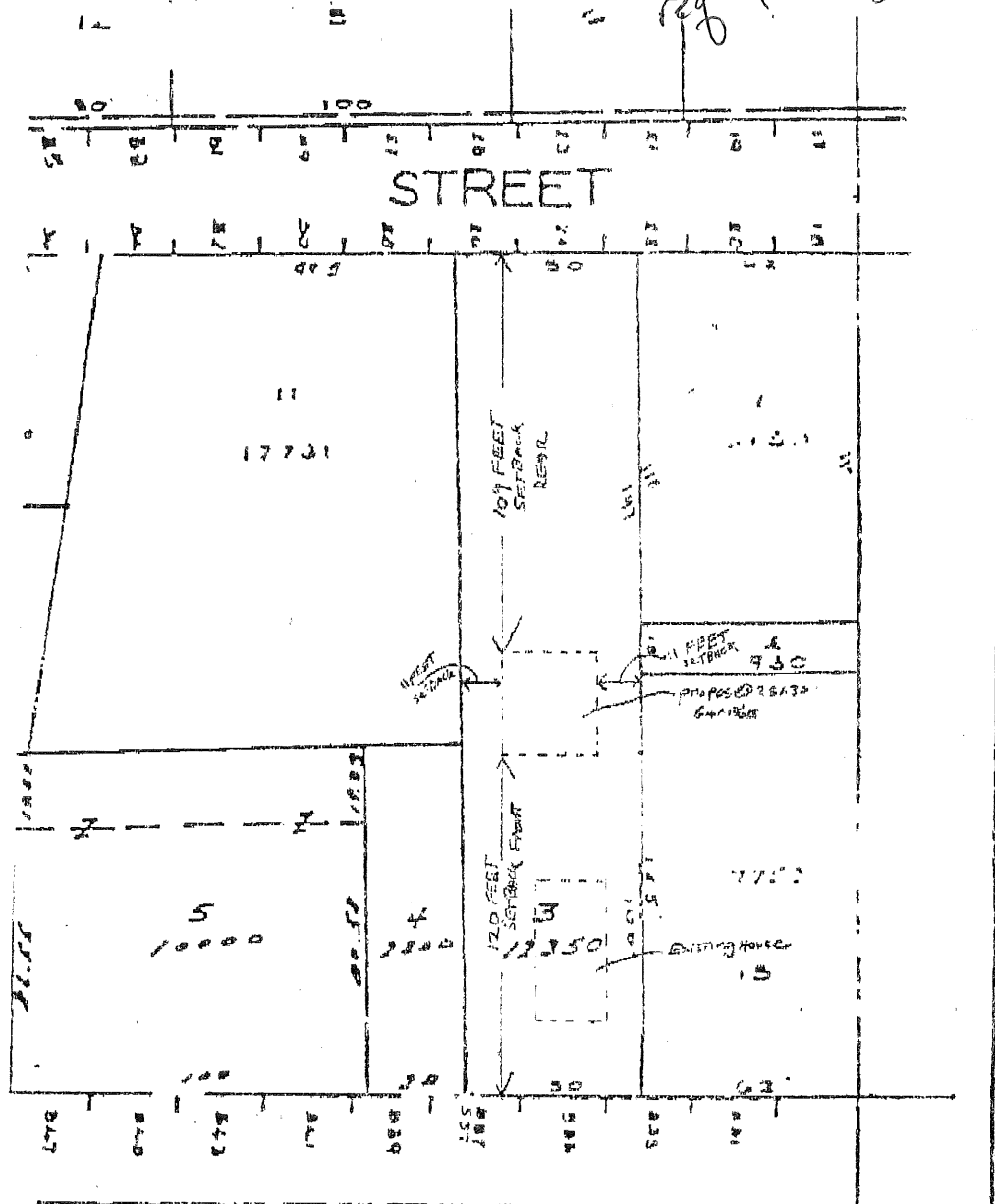
As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.



Revised plot plan  
 received 12/3/99  
 R-5

Req. side yard 8' - 11' shown on both sides  
 Req. rear yard 20' - 109' shown  
 Req. front yard 20' - 120' shown

AL



RICHARD P. WALTZ  
 537 WASHINGTON AVE.

CITY OF PORTLAND  
 ASSESSORS PLAN

## BUILDING PERMIT REPORT

DATE: 24 NOV. 98 ADDRESS: 537 Washington Ave CBL: 409-17-009  
 REASON FOR PERMIT: To Construct a 28'x30' detached garage  
 BUILDING OWNER: Richard Waltz  
 PERMIT APPLICANT: \_\_\_\_\_ / CONTRACTOR Ernest Dobson  
 USE GROUP: 4 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$10,000.00 PERMIT FEES: \$84.00

The City's Adopted Building Code (The BOCA National Building code/1996 with City Amendments)  
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

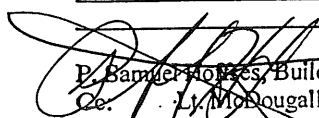
### CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*2 \*27 \*29 \*34, \*35  
\*37 \*38, \*31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
5. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1.2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38"). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)



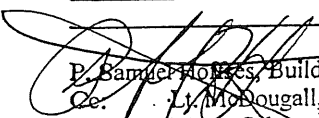
19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall maintained to NFPA #72 Standard.
22. The Sprinkler System shall maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- \*27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
- \*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- (31) Please read and implement the attached Land Use Zoning report requirements. *Issued AS An Accessory use to A Single Dw. NOT to be used ANY other way.*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
33. Bridging shall comply with Section 2305.16.
- \*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2405.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1996).
- \*36. This permit is authorizing the construction of a private detached garage only, NOT a commercial garage
- \*37. Clearance of wood to earth 15 G", except for preservative-treated wood
- \*38. Roof Trusses design shall be done in accordance with sections 107.7 and 114.0. - Please submit the design data for the proposed roof trusses

  
 P. Bamler-Holmes, Building Inspector  
 Ce. L. McDonougall, PFD  
 Marge Schmeckel, Zoning Administrator

PSH 10/25/99

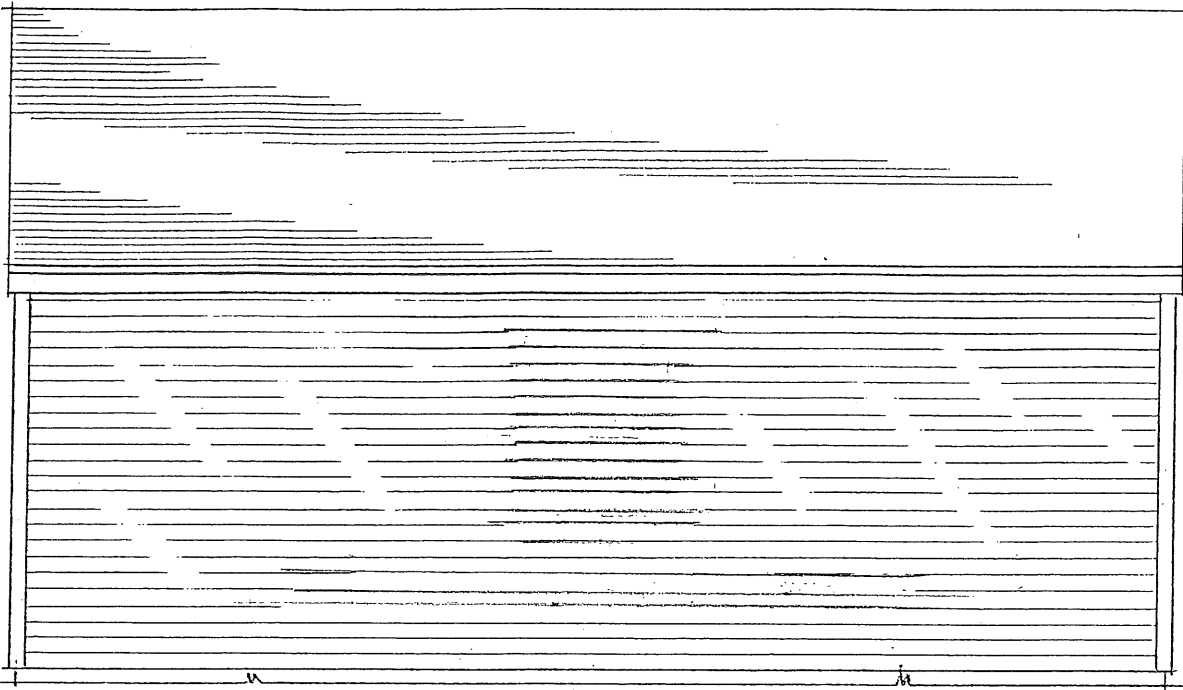
**\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.**

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31. Please read and implement the attached Land Use Zoning report requirements. *ISSUED AS AN ACCESSORY USE TO A SINGLE F.A. NOT TO BE USED ANY OTHER WAY.*
32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
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- \*37. Clearance of wood to earth is 6" except for preservative-treated wood
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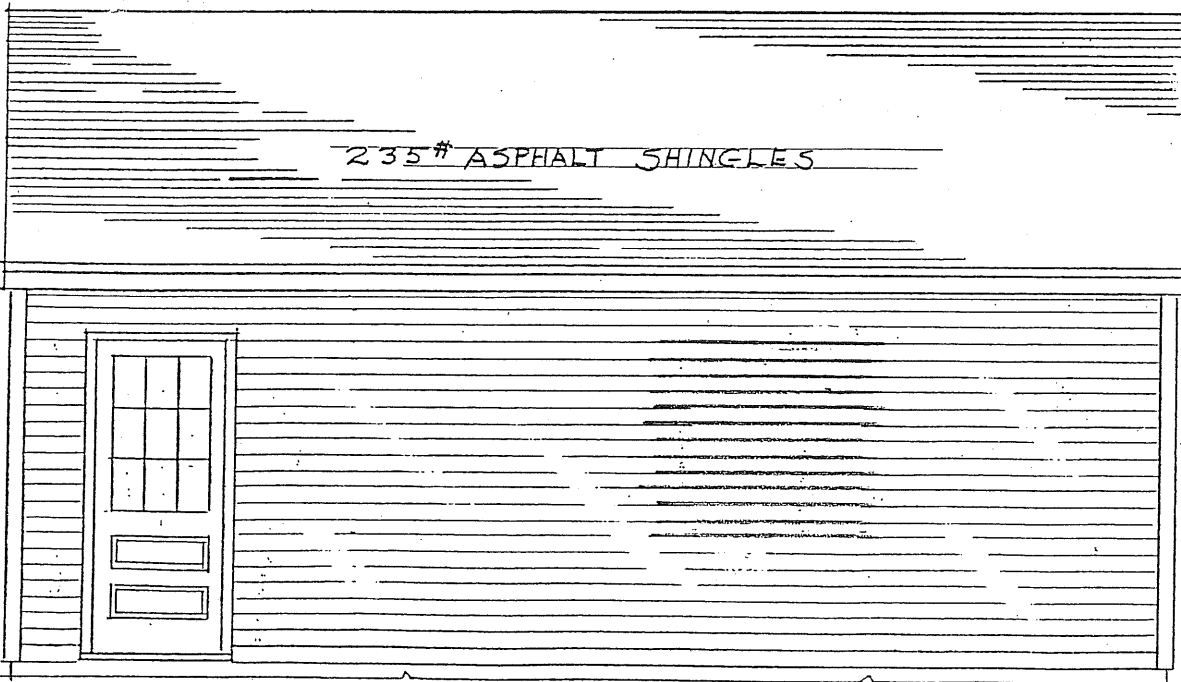
  
 P. Bamber-Moffes, Building Inspector  
 Ce. Ly. Monouggall, PFD  
 Marge Schnuckal, Zoning Administrator

PSH 10/25/99

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.



LEFT SIDE ELEVATION



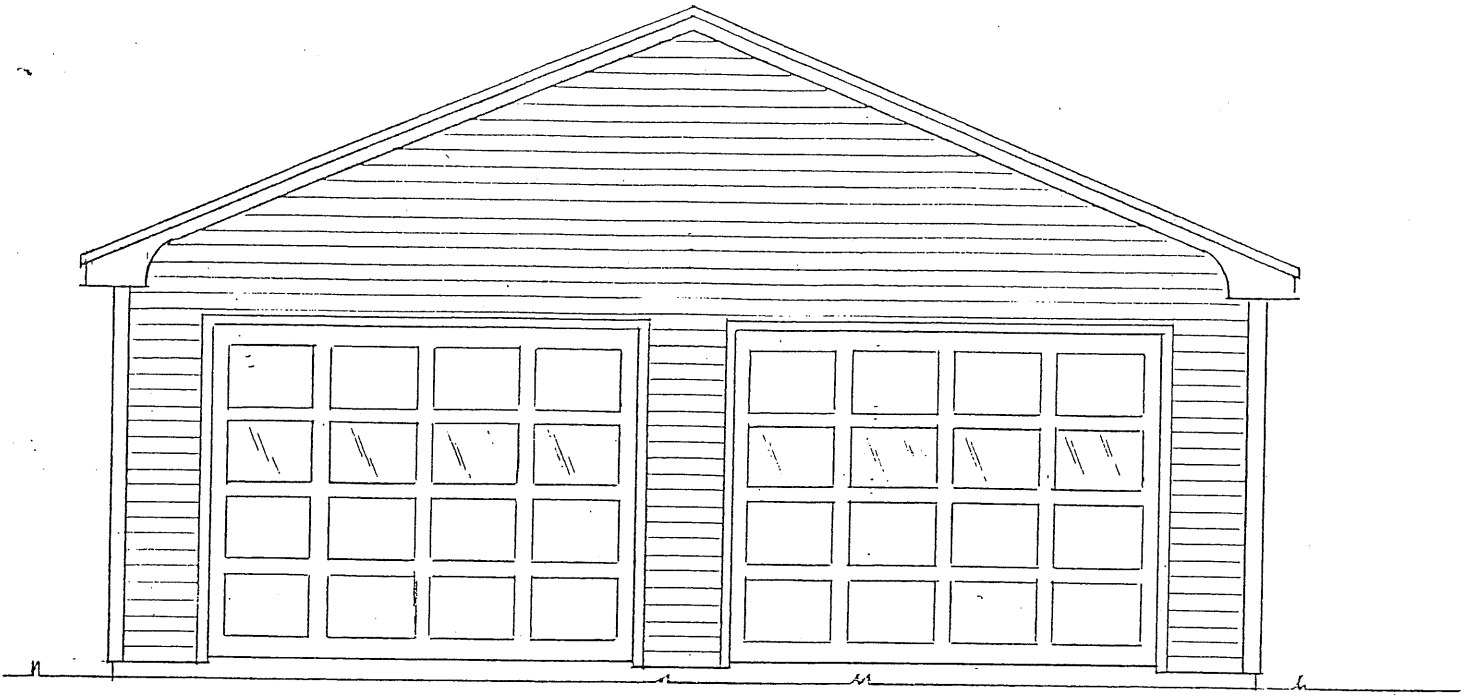
235# ASPHALT SHINGLES

RIGHT SIDE ELEVATION

SCALE 1/4" = 1'

RICHARD P. WALTZ

537 WASHINGTON A.



FRONT ELEVATION



5"

REAR ELEVATION



P.O. Box 347  
14 Pomerleau Street  
Biddeford, ME 04005

Tel: 207-282-7556  
ME WATS: 800-339-0716  
Out-Of-State: 800-341-9612

# Facsimile Cover Sheet

**To:** *Jeff Dobson*  
**Company:**  
**Phone:**  
**Fax:**

**From:** *Kim*  
**Company:** WOOD STRUCTURES, INC.  
**Phone:** 207-282-7556  
**Fax:** 207-282-2423

**Date:** *12/13*  
**Pages including this  
cover page:**

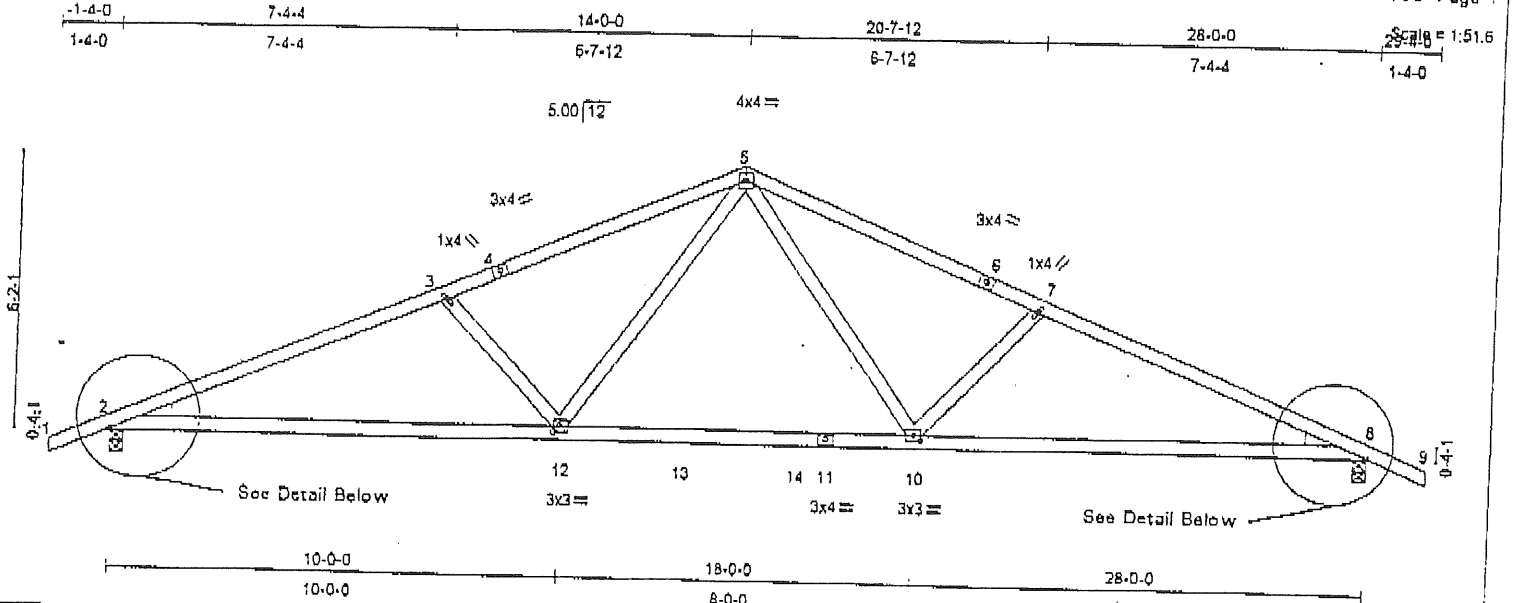
*2*

**Comments:**

*28' 5/12 Roof Trusses*

Job ST67545	Truss 528	Truss Type FINK	Qty 300	Ply 1	WSI Stock Trusses 1/1/99 11/3/99	Sheet 37
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WOOD STRUCTURES INC., BIDDEFORD, ME 4.0-32 & Sep 7 1999 Mitak Industries, Inc. Wed Nov 03 14:01:05 1999 Page 1



LOADING (psf)	SPACING 2-0-0	CSI	DEFL (in) (loc) l/defl	PLATES GRIP
TCLL 42.0	Plates Increase 1.15	TC 0.78	Vert(LL) -0.34 10-12 > 987	M20 169/123
TCDL 7.0	Lumber Increase 1.15	BC 0.88	Vert(TL) -0.49 2-12 > 683	Weight: 93 lb
BCLL 0.0	Rep Stress Incr YES	WB 0.53	Horz(TL) 0.12 8 n/a	
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

LUMBER  
 TOP CHORD 2 X 4 SPF 1650F 1.5E  
 BOT CHORD 2 X 4 SPF 1650F 1.5E  
 JS 2 X 4 SPF-S Stud  
 JGE  
 Left: 2 X 4 SPF No.2, Right: 2 X 4 SPF No.2

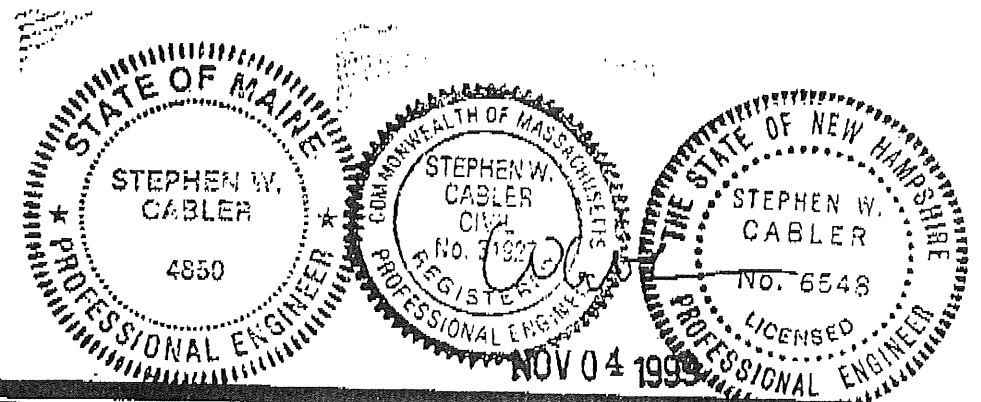
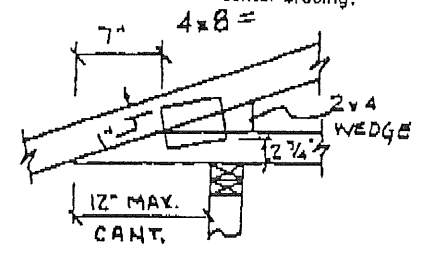
BRACING  
 TOP CHORD Sheathed or 2-8-2 on center purlin spacing.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) B = 1832/0-3-8, 2 = 1832/0-3-8

FORCES (lb) - First Load Case Only  
 TOP CHORD 1-2 = 48, 2-3 = 3427, 3-4 = 2932, 4-5 = -2800, 5-6 = -2800, 6-7 = 2932, 7-8 = 3427, 8-9 = 48  
 BOT CHORD 2-12 = 3036, 12-13 = 2068, 13-14 = 2068, 11-14 = 2068, 10-11 = 2068, 8-10 = 3036  
 WEBS 3-12 = -673, 5-12 = 918, 5-10 = 918, 7-10 = -673

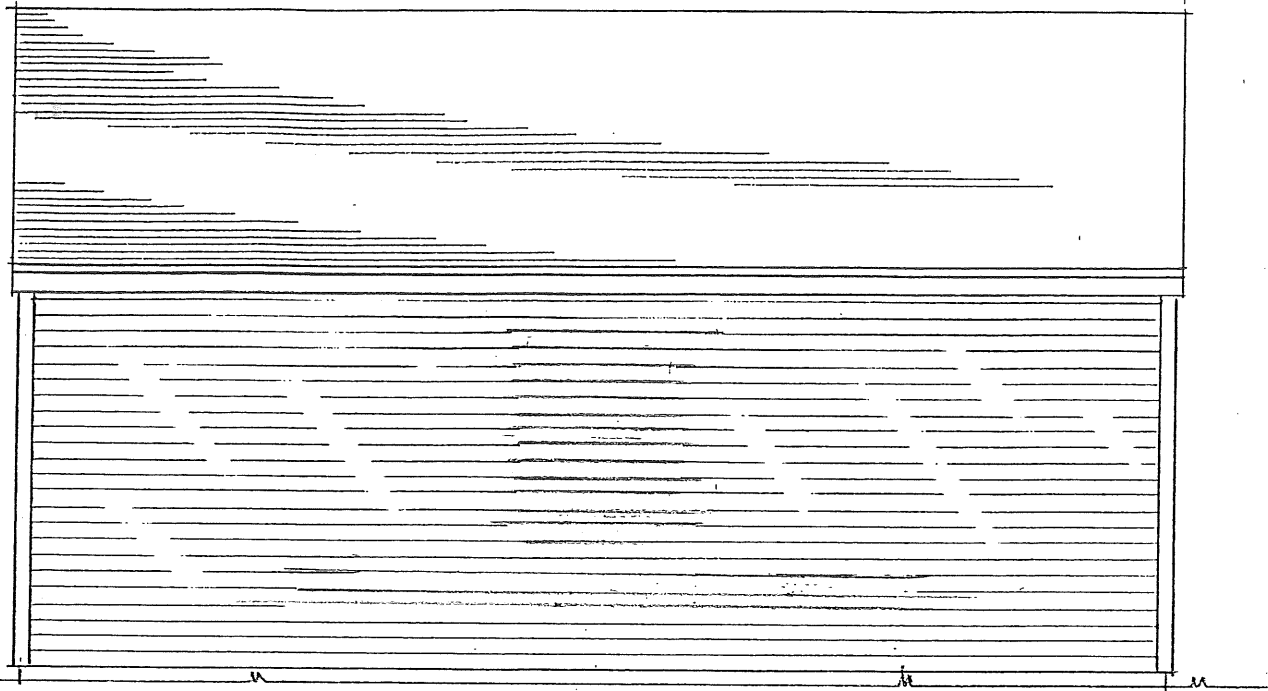
NOTES  
 1) This truss has been checked for unbalanced loading conditions.  
 2) All plates are M20 plates unless otherwise indicated.  
 3) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3-6-0 between the bottom chord and any other members.  
 4) This truss has been designed with ANSI/TPI 1-1995 criteria.

LOAD CASE(S) Standard  
 DESIGN LOADING:  
 TCLL/TOTAL (PSF)  
 42/59 @ 24" oc.  
 53/74 @ 19.2" oc.  
 63/89 @ 16" oc.

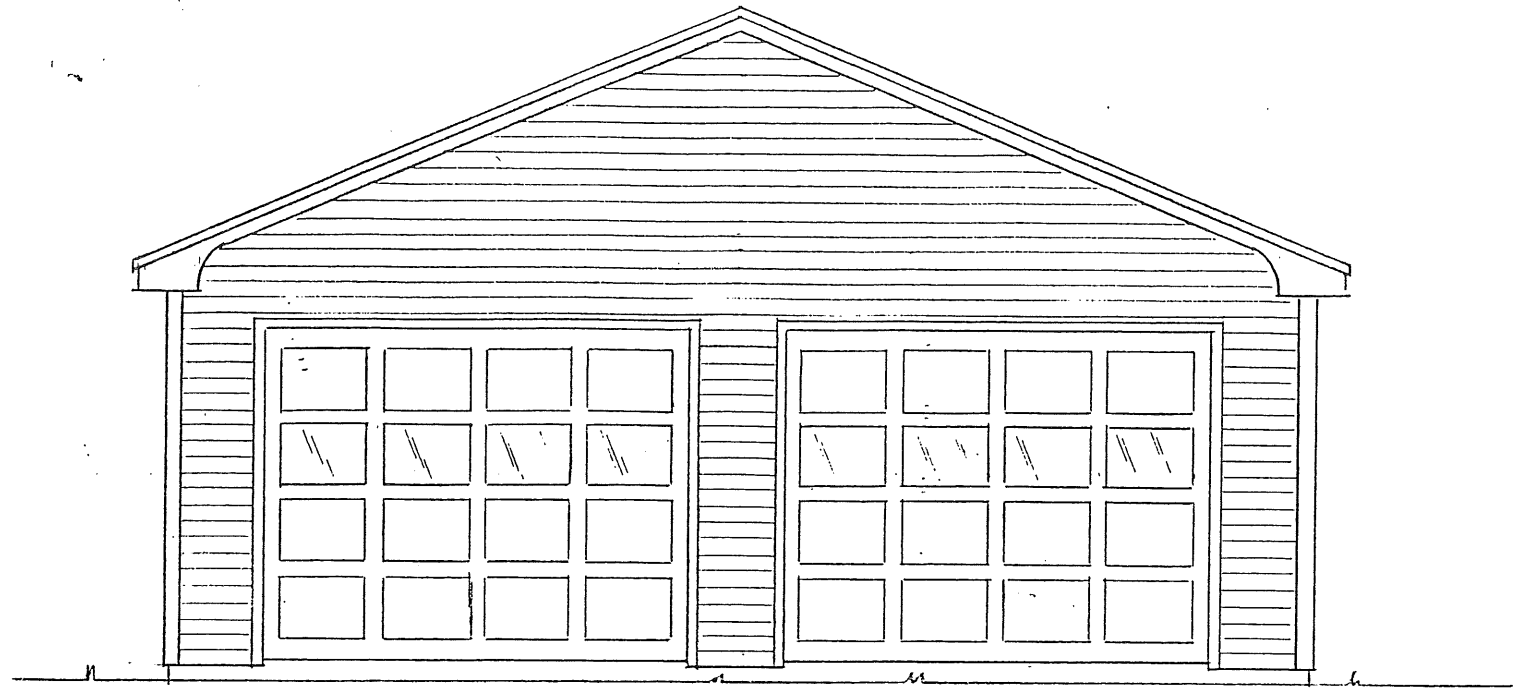


**WARNING - Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.**  
 Design valid for use only with Miltek connectors. This design is based only upon parameters shown, and it is the responsibility of the building designer, not the manufacturer, to verify the applicability of design parameters and proper incorporation of component responsibility of building designer. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance handling instructions, consult OSHA and other relevant regulations.

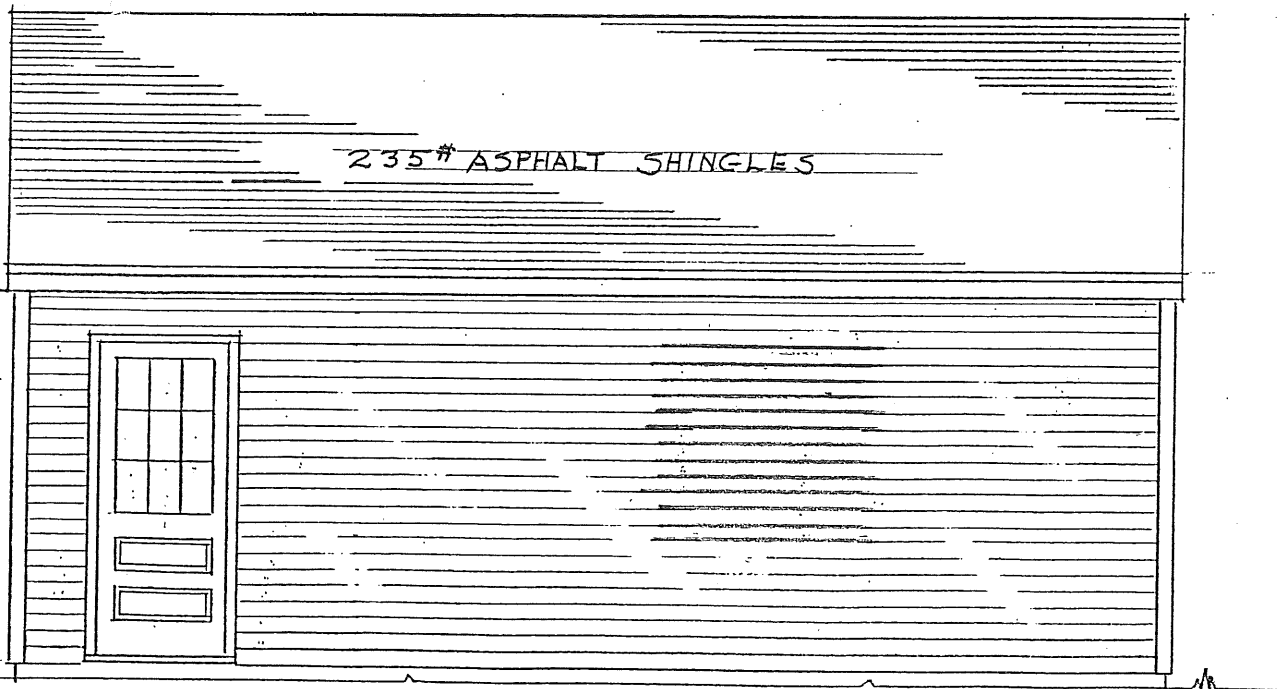
**MII**  
 TOTAL P.02  
 12.13.99 06:06 PM P02



LEFT SIDE ELEVATION

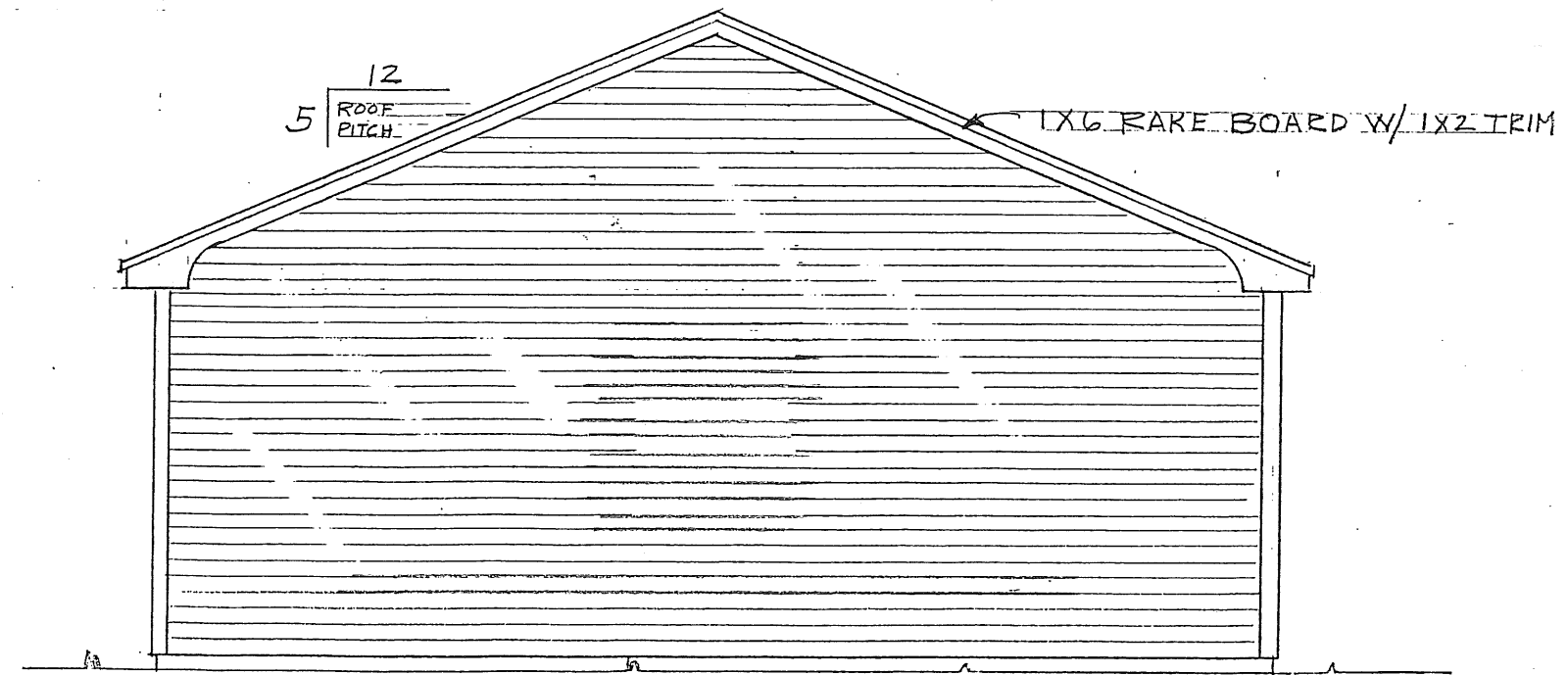


FRONT ELEVATION



235# ASPHALT SHINGLES

RIGHT SIDE ELEVATION



5 ROOF PITCH  
12

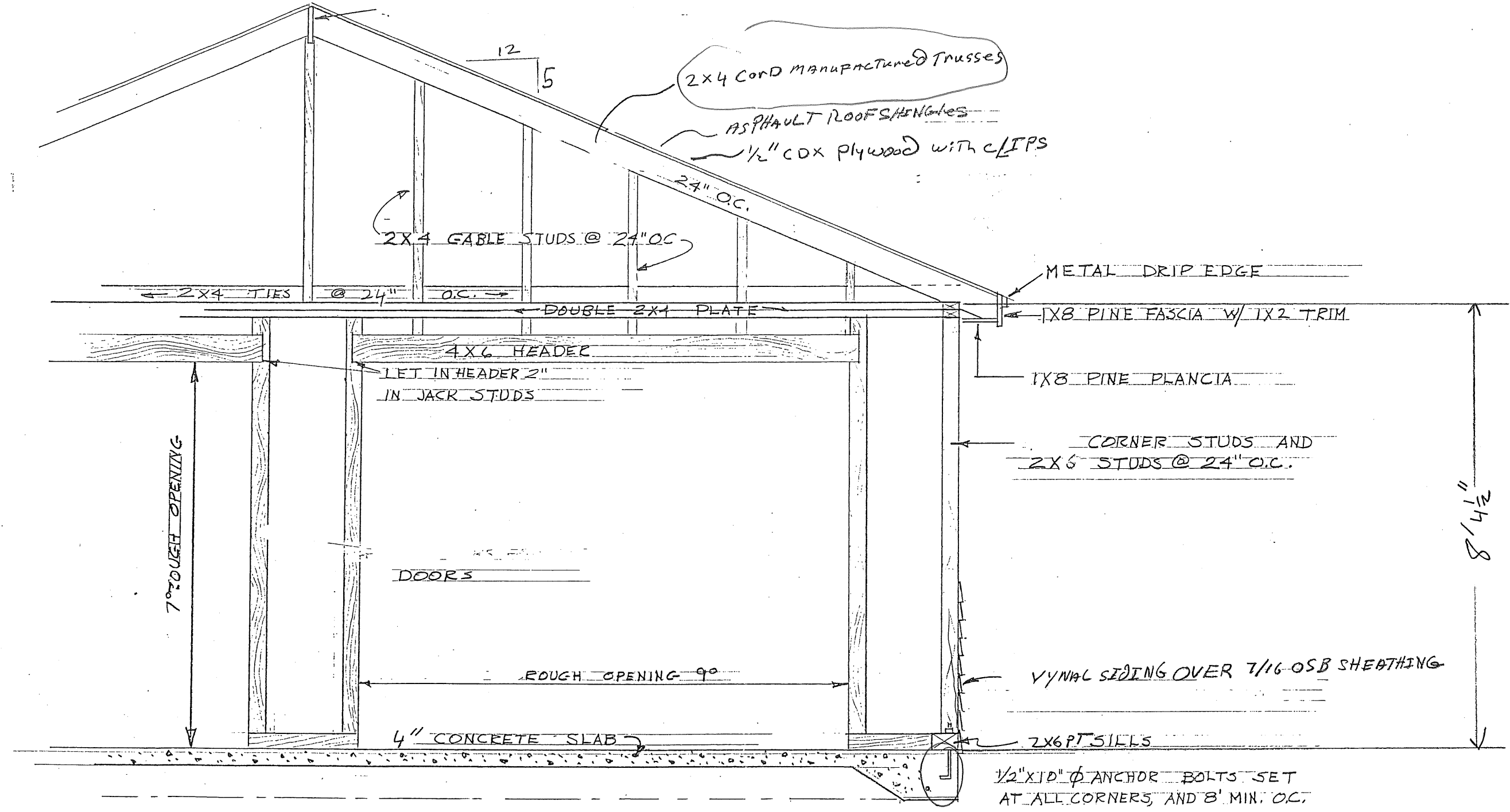
1X6 BAKE BOARD W/ 1X2 TRIM

REAR ELEVATION

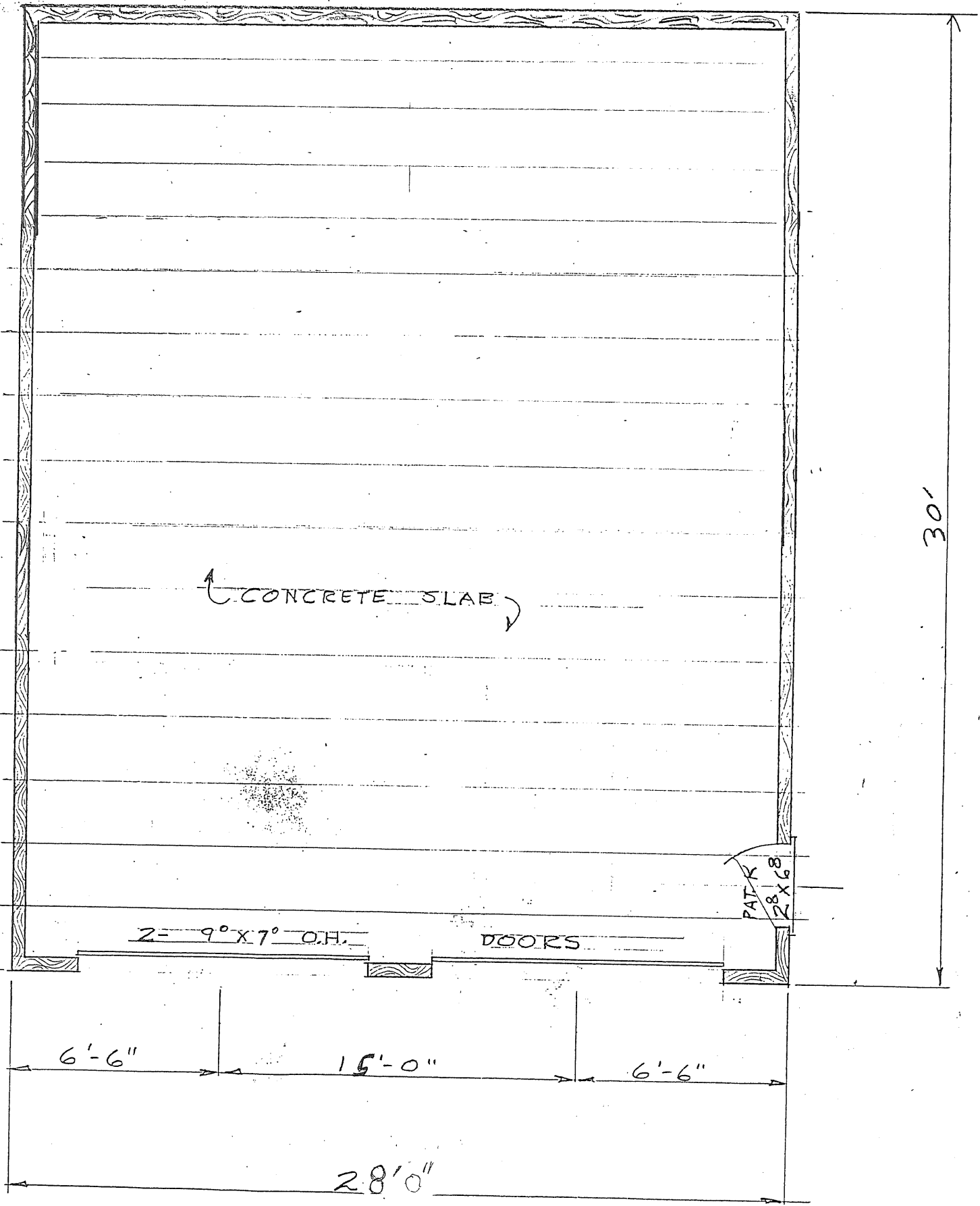
SCALE 1/4" = 1'-0"

RICHARD P. WALTZ

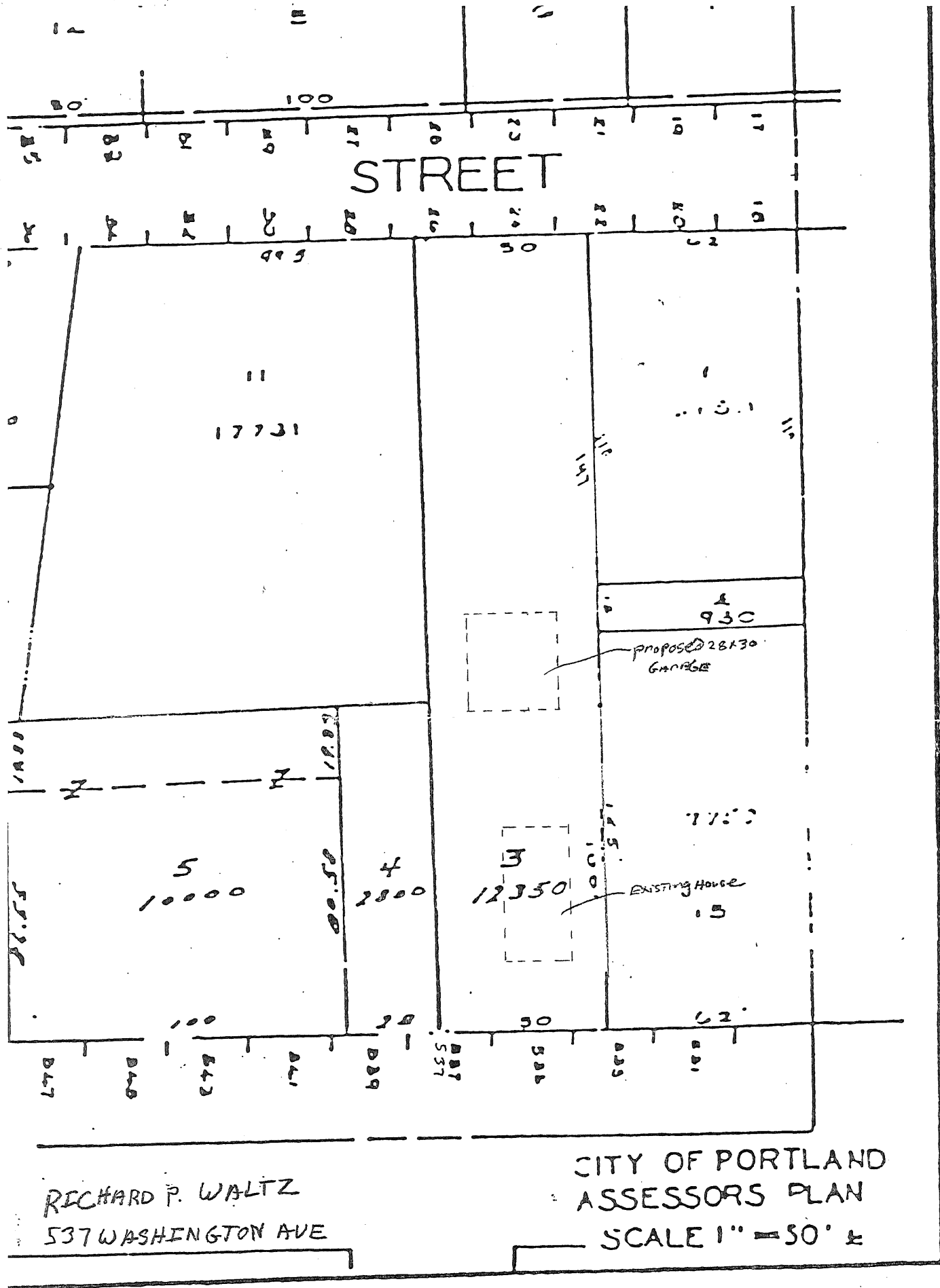
537 WASHINGTON AVE.







FLOOR PLAN  
SCALE 1/4" = 1'-0"



12/1/99  
There are ~~NO~~  
Setback dimensions  
on this & it is  
not to a 50' scale