

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 100231

### PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that Portland Housing Authority/M Label Renovate community kitchen and replace community kitchen cabinets  
has permission to 14 Churchill St (66 Pembroke St.)  
AT 428 B022001 MAR 22 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**  
Fire Dept. CAPT. R. [Signature]  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

[Signature] 3/22/10  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0231	Issue Date:	CBL: 428 B022001
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Location of Construction: 14 Churchill St (66 Pembroke St.)	Owner Name: Portland Housing Authority	Owner Address: 14 Baxter Blvd	Phone:
Business Name:	Contractor Name: Mark Lebel	Contractor Address: 6 Eastern Avenue Falmouth	Phone: 2077976051
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R5

Past Use: Portland Housing Authority - Community Center	Proposed Use: Portland Housing Authority / Community Center - Renovate community kitchen	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied *See Conditions	INSPECTION: Use Group: A-3 Type: SB IBR 2003	

Proposed Project Description:  
Renovate community kitchen move and replace community kitchen cabinets.

Signature: *(Signature)*

Signature: *(Signature)*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gg	Date Applied For: 03/09/2010	<b>Zoning Approval</b>		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 3/10/10 <i>(Signature)</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>(Signature)</i></p>
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**PERMIT ISSUED**

MAR 22 2010

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )  
or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.**

PERMIT ISSUED  
MAR 22 2010  
City of Portland

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0231	Date Applied For: 03/09/2010	CBL: 428 B022001
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Location of Construction: 14 Churchill St (66 Pembroke St.)	Owner Name: Portland Housing Authority	Owner Address: 14 Baxter Blvd	Phone:
Business Name:	Contractor Name: Mark Lebel	Contractor Address: 6 Eastern Avenue Falmouth	Phone: (207) 797-6051
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: Portland Housing Authority / Community Center - Renovate community kitchen	Proposed Project Description: Renovate community kitchen
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 03/10/2010
<b>Note:</b> Washington Gardens			<b>Ok to Issue:</b> ✓
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 03/22/2010
<b>Note:</b>			<b>Ok to Issue:</b> ✓
1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
<b>Dept:</b> Fire	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Capt Keith Gautreau	<b>Approval Date:</b> 03/19/2010
<b>Note:</b>			<b>Ok to Issue:</b> ✓
1) No means of egress shall be affected by this renovation			
2) Fire extinguishers required. Installation per NFPA 10			
3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.			
4) All construction shall comply with NFPA 1 and 101.			

**PERMIT ISSUED**

MAR 22 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Washington Gardens / 14 Churchill</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>428</u> Block# <u>3</u> Lot# <u>022</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Portland Housing Auth.</u> Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable) <b>RECEIVED</b> MAR - 9 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,000.-</u> C of O Fee: \$ <u>0</u> Total Fee: \$ <u>100.00</u>
Current legal use (i.e. single family) _____	Number of Residential Units _____	
If vacant, what was the previous use? _____	Proposed Specific use: <u>CABINET + COUNTER REPLACEMENT</u>	
Is property part of a subdivision? _____	If yes, please name _____	
Project description: <u>SWAP EXISTING CABINETS + COUNTERS w/ NEW Kitchen - NEW FLOOR - NEW Range Hood</u>		
Contractor's name: <u>M.A. Lebel</u>	existing swap cabinets cap	
Address: <u>6 EASTERN AVE</u>		
City, State & Zip: <u>PORTLAND</u>	Telephone: <u>797-6057</u>	
Who should we contact when the permit is ready: <u>Mark Lebel</u>	Telephone: <u>650-4020</u>	
Mailing address: _____		

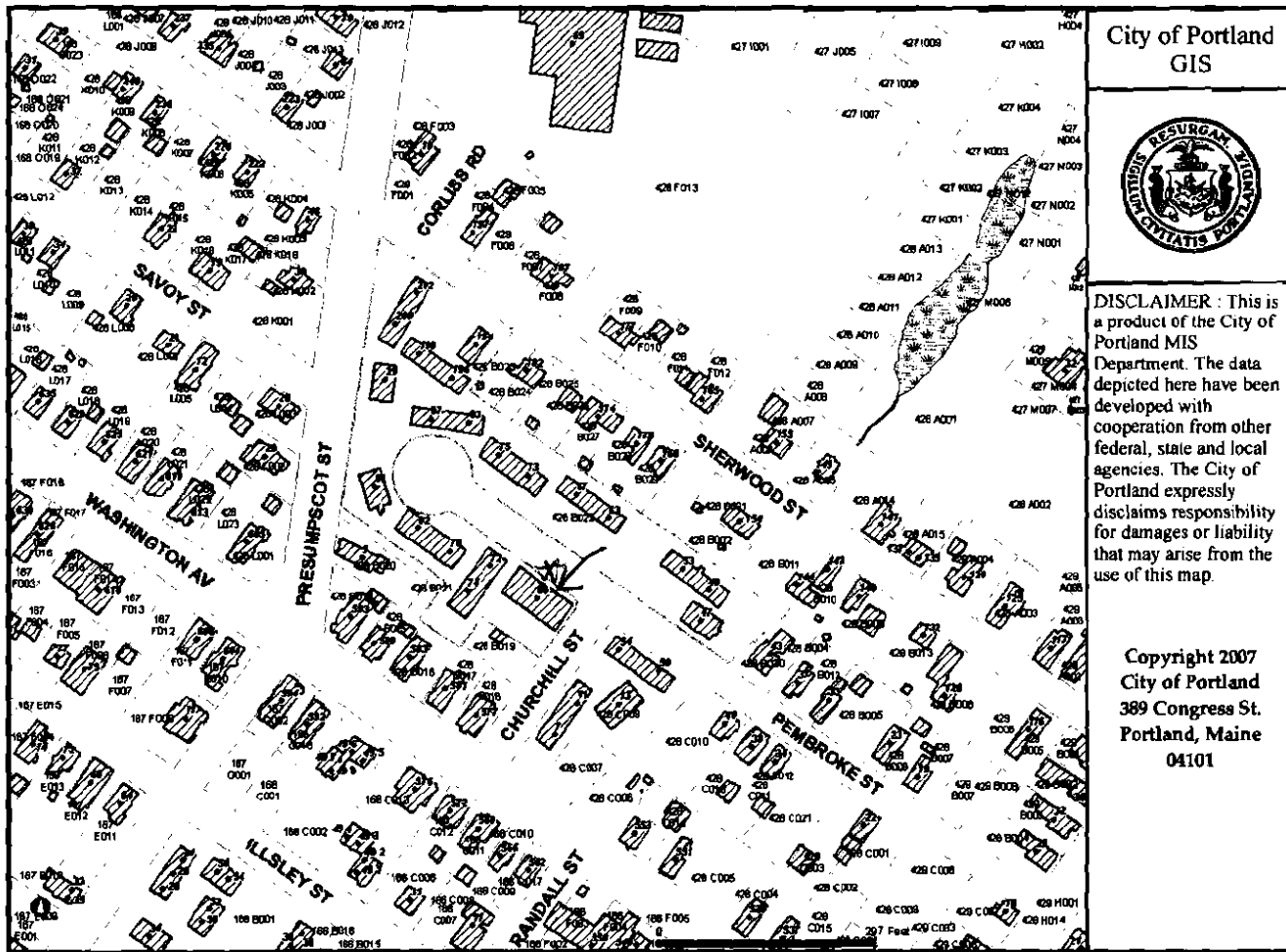
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: M.A. Lebel Date: 3/8/10

This is not a permit; you may not commence ANY work until the permit is issued



City of Portland GIS



**DISCLAIMER :** This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007  
 City of Portland  
 389 Congress St.  
 Portland, Maine  
 04101

ITEM	LOCATION	MANUFACTURER	MODEL NO.	LAFF#	NOTES
CLG LIGHTS	KITCHEN	LIGHTOLER	SLD2F5V333 10 50 BP	3-18	2 1/2" SURFACE HTD. ELECTRONIC BALLAST NEW CLG LIGHTS AT RIVERTON PARK AND WASHINGTON GARDENS ONLY
OUTLETS/SWITCHES	KITCHEN	LEVITON	EMTE STANDARD	N/A	
HALL LIGHT	BATH-HNT BDT 10' AFF	LIGHTOLER	MSO WHITE	3-19B	1/2" TUBE 2 PH MAGNETIC XPF DOV RIVERTON PARK BATH ONLY
FAN/LIGHT	BATH	MOTOREIGHT/FAN	824	1-15B	8U TO CONTROL FAN ONLY IN FAN/LIGHT UNIT WASHINGTON GARDENS BATH ONLY
OCCUPANCY	BATH	LEVITON	FRWD-10	N/A	WASHINGTON GARDENS BATH ONLY - CONTROLS LIGHTS ONLY IN FAN/LIGHT UNIT
TYPICAL NOTES	<p>CONTRACTOR TO PROVIDE NEW SWITCHES OUTLET JUNCTION BOXES COVER PLATES AND ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL LOCAL ORDINANCES AND ALL RELATED REGULATIONS AND ALL RELATED PERMITS AND APPROVALS. CONTRACTOR TO PROVIDE AND INSTALL ALL LABOR MATERIALS AND ALL RELATED SERVICES INCIDENTAL TO THE RENOVATIONS OF THE COMMUNITY KITCHEN AND BATHS IN THE FOUR PROJECTS DEPICTED ON THE PLANS.</p>				

ITEM	LOCATION	MANUFACTURER	MODEL NO.	NOTES
SNK	KITCHEN	ELCAT	GEGR 333 CELEBRITY 55 SNK	PROVIDE CHROME DRAIN, TRAP, STRAINER, AND PROVIDE 55 FLEXIBLE SUPPLY LINES
FAUCET	KITCHEN	RELIANT	4105 DOD	POLISHED CHROME FINISH, INCLUDE SPRAY NOSE
INSULATION	KITCHEN	TREURO	BA5N GUARD	BA5N GUARD
SNK	BATH	AMERICAN STANDARD	DECLYN HJT #033L WHITE	PROVIDE CHROME PLATED STOPS, DRAIN P-TRAP, 55 FLEXIBLE SUPPLY LINES
FAUCET	BATH	RELIANT	2385	POLISHED CHROME FINISH
INSULATION	BATH	TREURO	UNDERSENE PIPING COVERS LAY GUARD 2	UNDERSENE PIPING COVERS
WATER CLOSET	BATH	AMERICAN STANDARD	CADET I EL L6 #2704S	FLUSH HANDLE ON LEFT SIDE OF TANK AT WASHINGTON G. FLUSH HANDLE ON RIGHT SIDE OF TANK AT RIVERTON PARK CHROME PLATED STOP, 55 FLEXIBLE SUPPLY
TOILET SEAT	BATH	AMERICAN STANDARD	WHITE #5310G	
DISHWASHER	KITCHEN-WASHINGTON GARDENS, RIVERTON PARK, HARBOR TERRACE	EXISTING		REMOVE AND REINSTALL, REPLACE SUPPLY AND WASTE FITTINGS AS REQUIRED. COORDINATE W/ ELECTRICIAN

ITEM	LOCATION	MANUFACTURER	MODEL NO.	NOTES
RANGE HOOD, DUCTWORK, ANSUL FIRE SUPPRESSION SYSTEM	KITCHEN WASHINGTON GARDENS FRANKLIN TOWERS			PROVIDE AND INSTALL NEW STAINLESS STEEL KITCHEN STOVE EXHAUST HOOD AND FAN, ANSUL SYSTEM, INSULATED STAINLESS STEEL DUCTWORK, 3/4" CLG HOODS, HOOD CONTROLS, STAINLESS STEEL COFFERED CABINET FRONTING, EXHAUST FAN AND INTERIOR ACCESS AND FITTING, AND ALL OTHER APPLIANCES ASSOCIATED WITH THE INSTALLATION TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, PERMITS AND APPROVALS. CONTRACTOR IS RESPONSIBLE FOR PAYING FOR AND OBTAINING NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS, PERMITS AND FEES.

ITEM	LOCATION	MANUFACTURER	MODEL NO.	NOTES
TOILET PAPER HOLDER	BATH	BRADLEY	#1054	PROVIDE SOLID IN WALL BLOCKING
PAPER TOWEL DISPENSER	BATH	BRADLEY	#310-33	PROVIDE SOLID IN WALL BLOCKING
GRAB BARS	BATH	BRADLEY	#802-3L 31' LONG 55 GB	PROVIDE SOLID IN WALL BLOCKING
GRAB BARS	BATH	BRADLEY	#802-4B 48' LONG 55 GB	PROVIDE SOLID IN WALL BLOCKING

**GENERAL NOTES**

CONTRACTOR TO FIELD VERIFY ALL MEASUREMENTS AND EXISTING  
CONDITIONS.  
CONTRACTOR SHALL PAY FOR ALL FEES AND OBTAIN ALL NECESSARY  
PERMITS.  
THE TERMS "SUPPLY," "TURNISH," "PROVIDE," ARE TO MEAN, SUPPLY AND  
INSTALL.

SHOULD THE BIDDER FIND ANY DISCREPANCIES IN, OR OMISSIONS  
FROM THE DRAWINGS, OR SHOULD THERE BE ANY DOUBT AS TO THEIR  
MEANING, BIDDER IS TO NOTIFY THE ARCHITECT IN WRITING A  
MINIMUM OF 10 DAYS BEFORE SUBMITTING BID. CLARIFICATION AND  
DRAWINGS SHALL BE ADAPTED AS THE SITUATION REQUIRES.

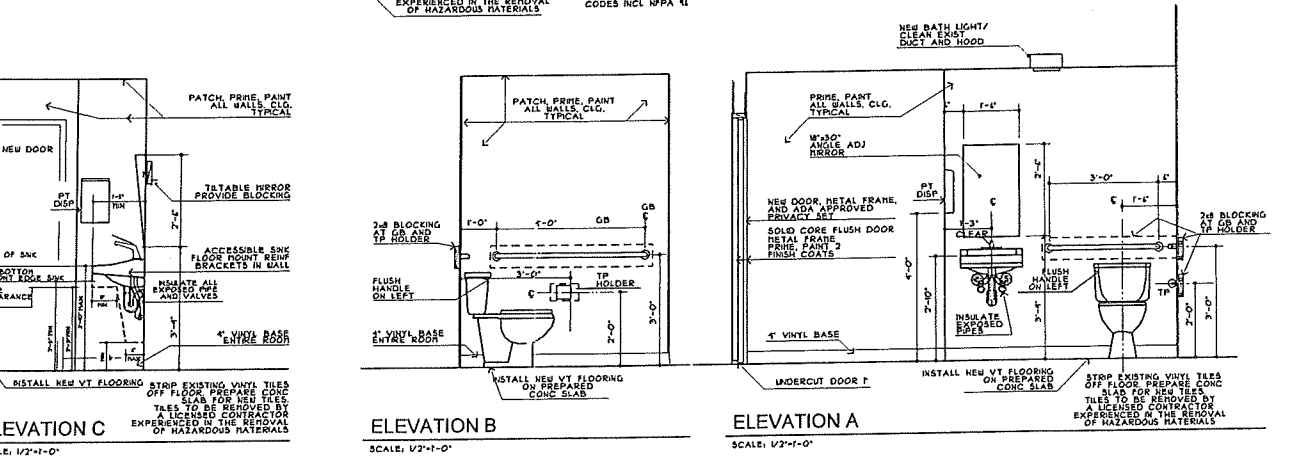
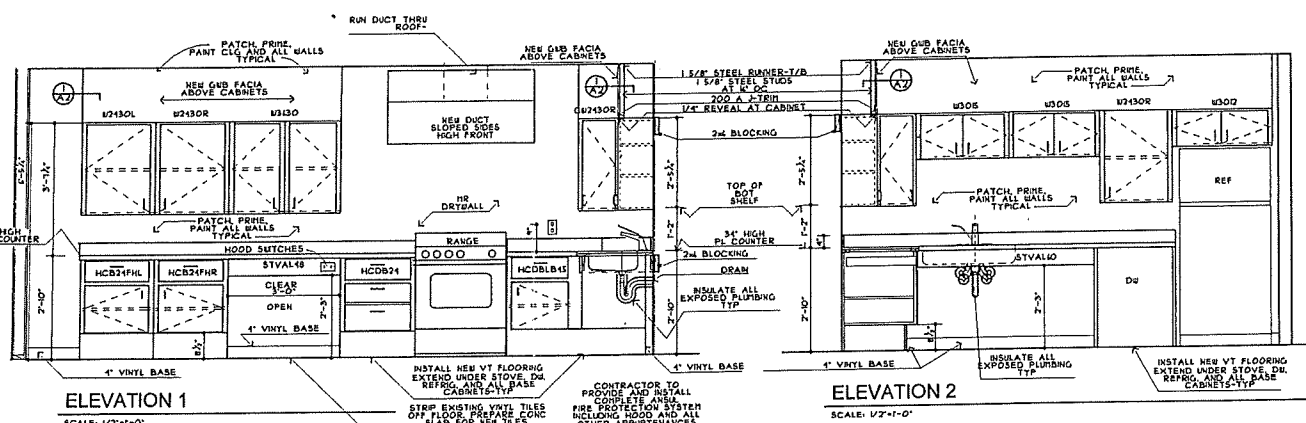
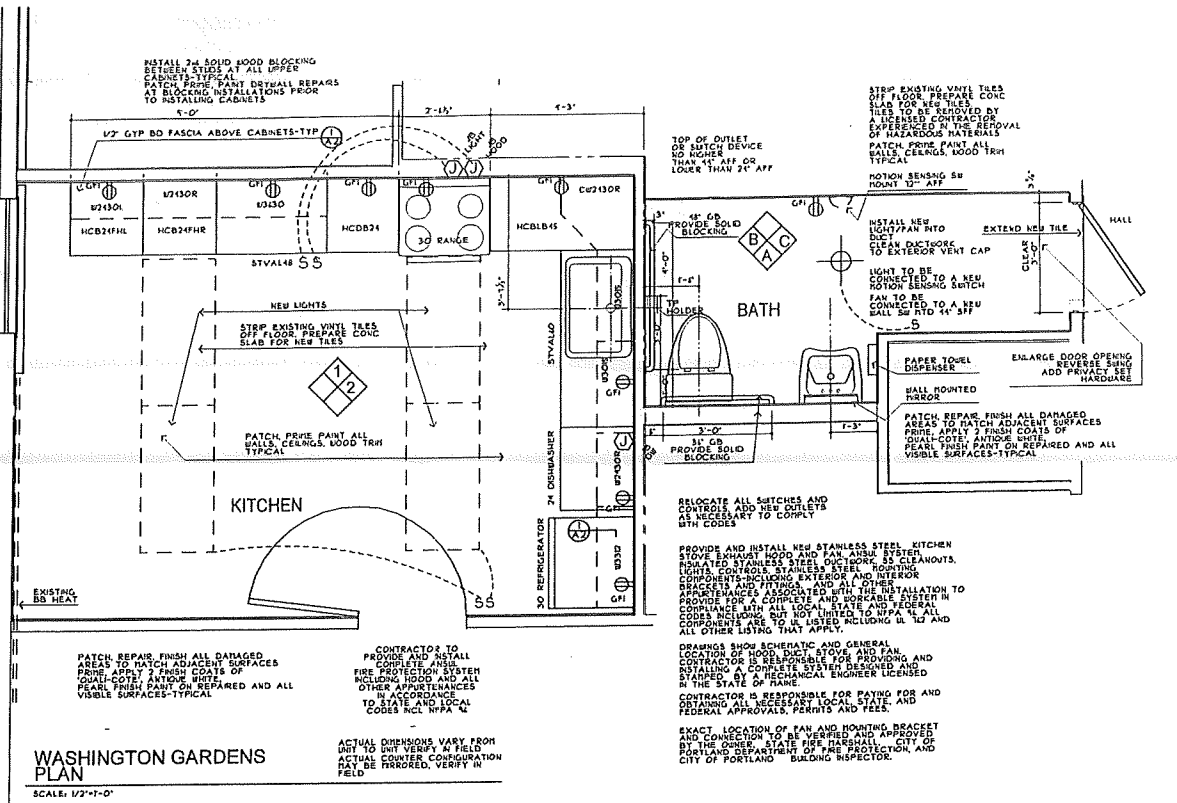
NUMERICAL DIMENSIONS SHALL SUPERSEDE SCALE MEASUREMENTS. LARGE  
SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALL AND  
MEASUREMENTS MUST BE VERIFIED AT THE SITE. THE MORE SPECIFIC  
DIMENSIONS SHALL TAKE PRECEDENCE OVER THE MORE  
GENERAL. THE MOST RECENT DRAWING, ADDENDA, OR AGREEMENTS  
TAKE PRECEDENCE. NO ALTERATIONS SHALL BE MADE IN THE DRAWINGS  
EXCEPT BY THE ARCHITECT.

IN CASE OF ANY CONFLICT OR INCONSISTENCY BETWEEN THE  
DRAWINGS AND OTHER DOCUMENTS, THE ARCHITECT'S INTERPRETATION  
SHALL GOVERN. ANY DISCREPANCY BETWEEN FIGURES AND DRAWING  
SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT, WHOSE  
DECISION SHALL BE CONCLUSIVE.

IT IS THE UNDERSTANDING THAT THE WORK SHOWN ON THE DRAWINGS  
AND CALLED OUT ELSEWHERE WILL RESULT IN A COMPLETE,  
THOROUGH, AND FINISHED PROJECT FOR THE USE INTENDED. WORK  
SHALL BE CARRIED OUT BY INDIVIDUALS EXPERIENCED IN THE VARIOUS  
AREAS OF WORK THAT THEY WILL BE PERFORMING. WORK  
SHALL BE PERFORMED IN A MANNER THAT IS EQUAL TO INDUSTRY  
STANDARDS.

CONTRACTORS ARE TO STORE, USE AND INSTALL ALL PRODUCTS,  
MATERIALS AND ITEMS IN SUCH A MANNER THAT FOLLOWS THE VARIOUS  
MANUFACTURERS' SPECIFICATIONS AND INSTALLATION REQUIREMENTS.  
CONTRACTOR TO FURNISH AND INSTALL ALL LABOR MATERIALS,  
EQUIPMENT, LEGAL DISPOSAL OF ALL DEBRIS, AND ALL RELATED  
SERVICES INCIDENTAL TO THE RENOVATIONS OF THE COMMUNITY  
KITCHEN AND BATHS IN THE FOUR PROJECTS DEPICTED ON THE  
PLANS.

WORK TO INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:  
DEMOLITION, CARPENTRY/ELECTRICAL, MECHANICAL-PLUMBING,  
DESIGN, CONSTRUCTION AND INSTALLATION OF A COMMERCIAL  
KITCHEN VENT HOOD, DUCTWORK AND EXHAUST FAN WITH ANSUL  
FIRE SUPPRESSION SYSTEM CONFORMING TO NFPA 96  
CABINET INSTALLATION, FLOORING, DRYWALL, PAINTING, CABINET  
INSTALLATION.



project title  
**COMMUNITY ROOM  
KITCHEN and BATH  
RENOVATION**

PORTLAND  
HOUSING  
AUTHORITY  
14 BAXTER BOULEVARD  
PORTLAND, MAINE

GTA 2 architects  
44 oak street  
portland, maine 04101  
207-771-5461 fax 774-0640

revisions

date  
JANUARY, 2010

sheet title  
**FLOOR PLANS  
INTERIOR ELEVATION**

WASHINGTON  
GARDENS

scale  
AS NOTED

drawn by  
SMT

project number  
0809

sheet number  
**A 1**