

PERMIT TO INSTALL PLUMBING

15214

PERMIT NUMBER

Date Issued 5/21/65  
PORTLAND PLUMBING INSPECTOR

Address 19 Portland St.  
Installation For: Men, inside toilets  
Owner of Bldg. Same  
Owner's Address: Same

Plumber: Portland Gas Light Co. Date: 5/21/65

By [Signature]

APPROVED FIRST INSPECTION

Date 5/24/65

By [Signature]

APPROVED FINAL INSPECTION

Date 5/24/65

By JOSEPH D. WELCH

CHIEF PLUMBING INSPECTOR

- TYPE OF BUILDING  
☐ COMMERCIAL  
☐ RESIDENTIAL  
☐ SINGLE  
☐ MULTI FAMILY  
☐ NEW CONSTRUCTION  
☐ REMODELING

NEW	REP L	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS	1	\$2.00
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS		
		ROOF LEADERS (Conn. to house drain)		

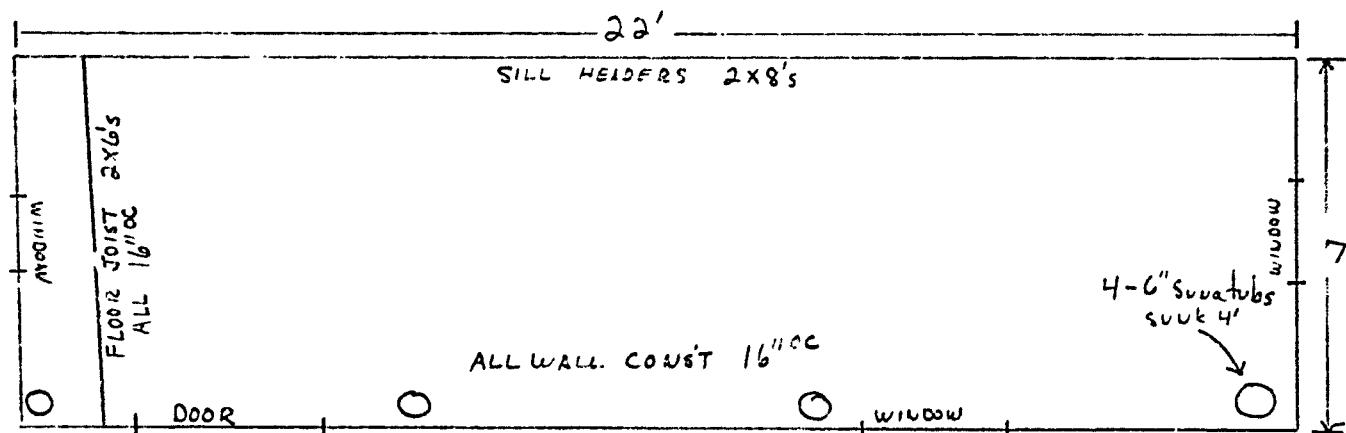
PORTLAND HEALTH DEPT. PLUMBING INSPECTION

TOTAL ► \$2.00

MR. R. P. RIDGE  
19 PEMBROKE ST  
PORTLAND ME.

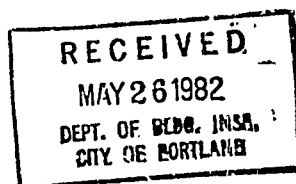
ENCLOSE A 22X7 FRONT PORCH AT THE ABOVE ADDRESS

USING CONSTRUCTION GRADE MATERIAL AS FOLLOWS:



PORCH DECK 2X6's, 2X8 MATERIAL; DECK FLOOR 1" CDX MATERIAL ALL MEMBERS 16" OC  
Three Wall's 2X4's w/shoe 2X4 + Double Top Plate: + 1/8" CDX  
3 WINDOWS; OUTSIDE STORM ONLY  
1 STEEL DOOR  
SIDED WITH VINYL

TOTAL ESTIMATION: \$2000.00



# APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00366

MAY 27 1982

ZONING LOCATION R-5 PORTLAND, MAINE May 26, 1982

CITY OF PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Law of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 19 Penbrooke Street  
 1. Owner's name and address Raymond P. Ridge - same Fire District #1 ☐ #2 ☐  
 Telephone 773-8626  
 2. Lessee's name and address Telephone  
 3. Contractor's name and address Raymond P. Ridge - Owner Telephone  
 Proposed use of building dwelling with porch enclosure No. of sheets  
 Last use No. families 1  
 Material No. stories Heat Style of roof Roofing  
 Other buildings on same lot  
 Estimated contractual cost \$ 2,000  
 FIELD INSPECTOR—Mr. @ 775-5451  
 Appeal Fees \$  
 Base Fee 20.00  
 Late Fee  
 TOTAL \$ 20.00

To enclose existing porch as per plans.  
 1 sheet of plans.

send permit to # 1 - 04103

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

## DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?  
 Is connection to be made to public sewer? If not, what is proposed for sewage?  
 Has septic tank notice been sent? Form notice sent?  
 Height average grade to top of plate Height average grade to highest point of roof  
 Size, front depth No. stories solid or filled land? earth or rock?  
 Material of foundation Thickness, top bottom cellar  
 Kind of roof Rise per foot Roof covering  
 No. of chimneys Material of chimneys of lining Kind of heat fuel  
 Framing Lumber—Kind Dressed or full size? Corner posts Sills  
 Size Girder Columns under girders Size Max. on centers  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor 2nd 3rd roof  
 On centers: 1st floor 2nd 3rd roof  
 Maximum span: 1st floor 2nd 3rd roof  
 If one story building with masonry walls, thickness of walls? height?

## IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

## APPROVALS BY:

DATE

## MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

Will work require disturbing of any tree on a public street?

ZONING: O.K. M.C.C. 5/26/82

BUILDING CODE:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant

Raymond P. Ridge

Phone # same

Type Name of above

Mrs. Raymond P. Ridge

2 ☐ 3 ☐ 4 ☐

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

NOTES

6-6-82 Job had been  
mostly completed  
prior to permit.  
OK as per plans and

7-1-82 Just finishing  
on fascia board  
& finish work. M.H.

Permit No. 82/2366  
Location 1910 Randolph St.  
Owner Raymond L. Briggs  
Date of permit 5-26-82  
Approved 5-27-82  
Dwelling - 15151 S. Parker  
Garage  
Alteration



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, April 27, 1959

PERMIT ISSUED  
APR 27 1959  
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 19 Pembroke St. Use of Building Dwelling No. Stories 2 New Building  
Name and address of owner of appliance John M. Conant, 19 Pembroke St. Existing "  
Installer's name and address Ballard Oil & Equipment Co., 135 Marginalway Telephone 2-1991

General Description of Work

To install Oil-fired domestic hot water heater.

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? none  
If so, how protected? Kind of fuel? oil  
Minimum distance to burnable material, from top of appliance or casing top of furnace 16"  
From top of smoke pipe 22" From front of appliance 6' From sides or back of appliance 6'  
Size of chimney flue 8x10 Other connections to same flue stove  
If gas fired, how vented? Rated maximum demand per hour  
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

IF OIL BURNER

Name and type of burner Esso-guntype Labelled by underwriters' laboratories? yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner cement Size of vent pipe 1 1/2" existing  
Location of oil storage basement Number and capacity of tanks 1-275 gal. existing  
Low water shut off Make No.  
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none  
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?  
If so, how protected? Height of Legs, if any  
Skirting at bottom of appliance? Distance to combustible material from top of appliance?  
From front of appliance From sides and back From top of smoke pipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented? Forced or gravity?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Replacing 30 gal. kitchen tank with new oil-fired water heater.

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater etc., in same building at same time.)

APPROVED:

4-27-59

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? Yes  
Ballard Oil & Equipment Co.

CITY OF PORTLAND

INSPECTION COPY

Signature of Installer by:

5-1

Permit No. 59/143  
Location 19 Cambridge St  
Owner John H. Conant  
Date of permit 4/27/59  
Approved J. G. Sullivan

NOTES

1	West side	<u>10/26/59</u>
2	East side	<u>10/26/59</u>
3	Bottom of tank	<u>10/26/59</u>
4	Name of tank	<u>10/26/59</u>
5	Name of tank	<u>10/26/59</u>
6	Name of tank	<u>10/26/59</u>
7	Name of tank	<u>10/26/59</u>
8	Name of tank	<u>10/26/59</u>
9	Name of tank	<u>10/26/59</u>
10	Name of tank	<u>10/26/59</u>
11	Name of tank	<u>10/26/59</u>
12	Name of tank	<u>10/26/59</u>
13	Name of tank	<u>10/26/59</u>
14	Name of tank	<u>10/26/59</u>
15	Name of tank	<u>10/26/59</u>
16	Name of tank	<u>10/26/59</u>



FILL IN AND SIGN WITH INK  
APPLICATION FOR PERMIT FOR  
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine. May 8, 1946

MA 8 14

00803

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 19 Pembroke Street Use of Building Dwelling No. Stories New Building  
Existing "  
Name and address of owner of appliance Adelbert Greeloy, 19 Pembroke Street  
Installer's name and address A. F. Moody, 479 Auburn Street Telephone 2-0072

General Description of Work

To install oil burning equipment in connection with existing gravity hot water heat

IF HEATER, OR POWER BOILER

Location of appliance or source of heat Type of floor beneath appliance  
If wood, how protected? Kind of fuel  
Minimum distance to wood or combustible material, from top of appliance or casing top of furnace  
From top of smoke pipe From front of appliance From sides or back of appliance  
Size of chimney flue Other connections to same flue  
If gas fired, how vented? Rated maximum demand per hour

IF OIL BURNER

Name and type of burner Petro Labelled by underwriters' laboratories? Yes  
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank? bottom  
Type of floor beneath burner concrete  
Location of oil storage basement Number and capacity of tanks 1-275 gal.  
If two 275-gallon tanks, will three-way valve be provided?  
Will all tanks be more than five feet from any flame? yes How many tanks fire proofed?

IF COOKING APPLIANCE

Location of appliance Kind of fuel Type of floor beneath appliance  
If wood, how protected?  
Minimum distance to wood or combustible material from top of appliance  
From front of appliance From sides and back From top of smokepipe  
Size of chimney flue Other connections to same flue  
Is hood to be provided? If so, how vented?  
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? \$1.00 (\$1.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

A. F. Moody

Signature of Installer

INSPECTION COPY

Permit No. 401 803

Location 19 (Cemburudli)

Owner Adelhan

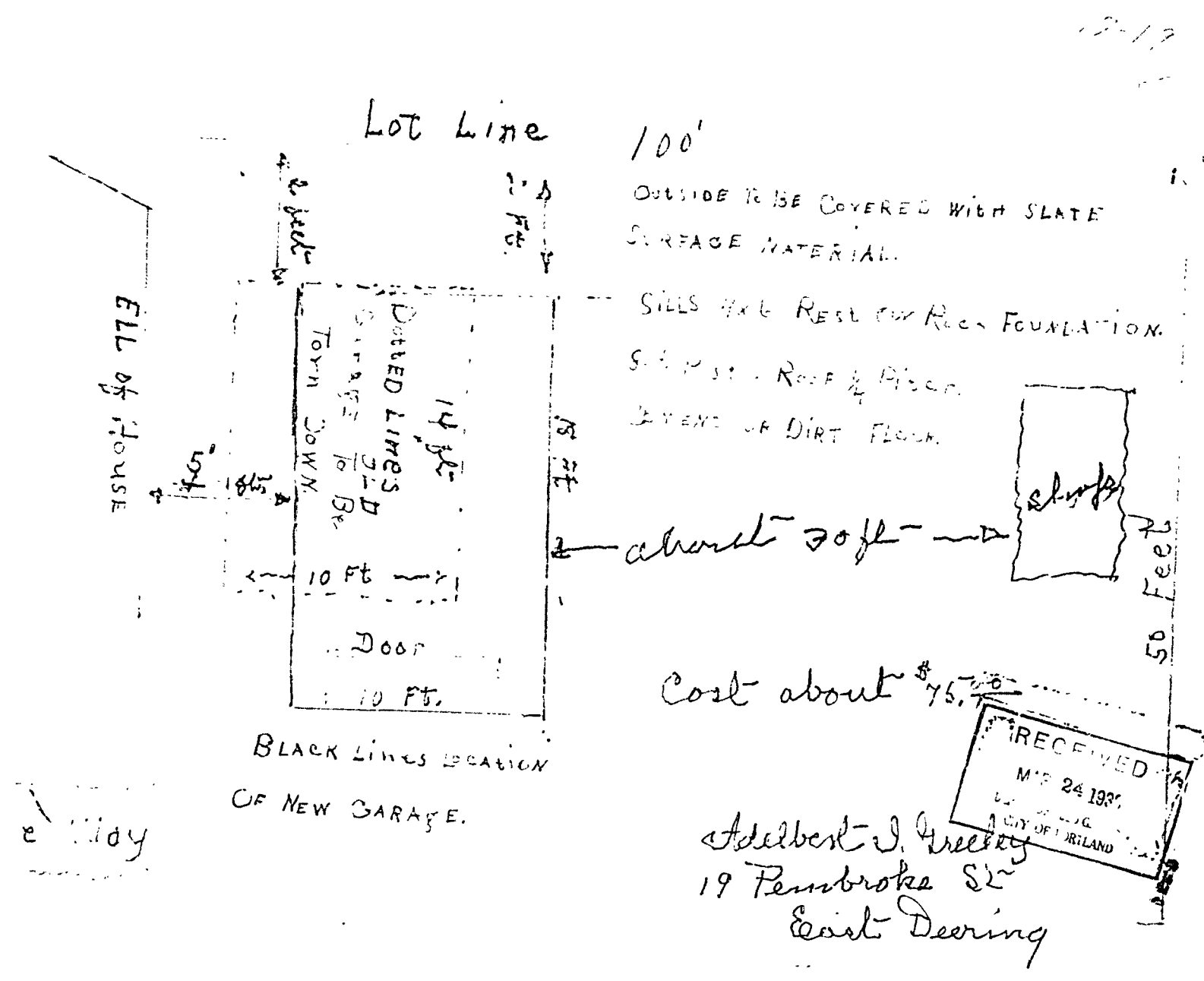
Date of permit 5. 2. 42

Approved 6. 20. 42 IF 111

NOTES

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18. 1. 1. 42 1. 1. 42  
19. 1. 1. 42 1. 1. 42  
20. 1. 1. 42 1. 1. 42





STATEMENT ACCOMPANYING APPLICATION FOR BUILDING PERMIT

for rebuild one car garage  
at 19 Pembroke Street

Date 3/24/38

1. In whose name is the title of the property now recorded? *A. J. Greeley*
2. Are the boundaries of the property in the vicinity of the proposed work shown clearly on the ground, and how? *grade*
3. Is the outline of the proposed work now staked out upon the ground? *no*. If not, will you notify the Inspection Office when the work is staked out and before any of the work is commenced? *yes*
4. What is to be maximum projection or overhang of eaves or drip? *4"*
5. Do you assume full responsibility for the correctness of the location plan or statement of location filed with this application, and does it show the complete outline of the proposed work on the ground, including bay windows, porches and other projections? *yes*
6. Do you assume full responsibility for the correctness of all statements in the application concerning the sizes, design and use of the proposed building? *yes*
7. Do you understand that in case changes are proposed in the location of the work or in any of the details specified in the application that a revised plan and application must be submitted to this office before the changes are made? *yes*

*Adelbert Greeley*



APARTMENT HOUSE ZONE  
APPLICATION FOR PERMIT

PERMIT ISSUED  
Permit No. 1330

Class of Building or Type of Structure

MAR 25 1938

Portland, Maine, No. 103-22, 23-24

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to alter, add, or install the following building equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any submitted herewith and the following specifications:

Location 19 Pembroke Street Ward 2 Within Fire Limits? Yes Dist. No. 1  
Owner's or Lessee's name and address Adair, I. Ouellet, 19 Pembroke St. Telephone 2-8855  
Contractor's name and address Owner Telephone           
Architect          Plans filed yes No. of sheets 1  
Proposed use of building 1 car garage No. families           
Other buildings on same lot 1 family dwelling, shop  
Estimated cost \$ 75. Fee \$ 30

Description of Present Building to be Altered

Material wood No. stories 1 Heat no Style of roof pitch Roofing asphalt  
Last use 1 car garage No. families         

General Description of New Work

To demolish existing one car garage 10' x 14'  
and  
to rebuilding shown on plan 10' x 18'

WITHDRAWN BEFORE LATENT  
CERTIFICATE OF OCCUPANCY  
ISSUED BY BUILDING

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by the heating contractor.

spruce and pine  
full size Details of New Work

Size, front          depth          No. stories 1 Height average grade to top of plate 8'  
To be erected on solid or filled land? solid earth or rock? earth  
Material of foundation flat rocks Thickness, top          bottom           
Material of underpinning          Height          Thickness           
Kind of Roof pitch Rise per foot 2" Roof covering asphalt roofing Glass G End. Lath.  
No. of chimneys no Material of chimneys          of lining           
Kind of heat no Type of fuel          Is gas fitting involved?           
Corner posts 5x5 Sills 4x6 Girt or ledger board?          Size           
Material columns under girders          Size          Max. on centers           
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.  
Joists and rafters: 1st floor concrete, 2nd         , 3rd         , roof 2x6  
On centers: 1st floor         , 2nd         , 3rd         , roof 2'  
Maximum span: 1st floor         , 2nd         , 3rd         , roof         

If one story building with masonry walls, thickness of walls?          height?         

If a Garage

No. cars now accommodated on same lot one to be accommodated one  
Total number commercial cars to be accommodated none (1 at present)  
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? no

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no  
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner Adair, I. Ouellet

CITY OF PORTLAND

1471C

Ward 9 Permit No. 38/330  
Location 19 Pembroke St.  
Owner Adelbert J. Giesley  
Date of permit 3/25/38  
Notif. closing-in  
Inspn. closing-in  
Final Notif.  
Final Inspn. 5/26/38  
Cert. of Occupancy issued None

NOTES

~~Ready for checking F.R.M.  
3/25/38 - taking out  
OK - A.G.S.  
3/30/38 - No work started  
A.G.S.  
4/8/38 - Same  
4/29/38 - Framing started  
A.G.S.  
5/4/38 - Roof framed - A.G.S.  
5/26/38 - Framing com-  
pleted - A.G.S.~~



1919.

No. 5304

APPLICATION FOR  
PERMIT TO BUILD 3d CLASS BUILDING

LOCATION

No. 17 19 Pembroke St

Pembroke

Ward 9

Inspector.

CONDITIONS

PERMIT GRANTED

April 11, 1919. 191

Permit filled out by

Permit number

Plan number

FINAL REPORT

191

Has the work been completed in accordance with  
this application and plans filed and approved?

Law been violated?

Nature of violation?

APPROVAL OF PLANS

Supervisor of Plans

Violation removed when? 191

Estimated cost of building, etc., \$

Building Inspector.



Location, Ownership and detail must be correct, complete and legible.  
Separate application required for every building.  
Plans must be filed with this application.

## Application for Permit for Alterations, etc.

To the Portland, Sept. 8, 1916 191

INSPECTOR OF BUILDINGS:

The undersigned applies for a permit to alter the following-described building:—

Location 19 Pembroke St Ward, 9 in fire-limits? No  
Name of Owner or Lessee, Adelbert Greeley Address 19 Pembroke St  
" " Contractor, owner " "  
" " Architect, " "  
Material of Building is wooden Style of Roof, pitch Material of Roofing, shingles  
Size of Building is 24 feet long; 28 feet wide. No. of Stories, 2½  
Cellar Wall is constructed of stone is blocks inches wide on bottom and batters to blocks inches on top.  
Underpinning is concrete is blocks inches thick; is blocks feet 'n height.  
Height of Building, 25' Wall, if Brick; 1st, 2d, 3d, 4th, 5th,  
What was Building last used for? dwelling No. of Families? one  
Building to be occupied for " Estimated Cost, \$ 1700

Descrip-  
tion of  
Present  
Bldg.

### DETAIL OF PROPOSED WORK

Put on shed attached to house. Building to comply to building  
Ordinance

### IF EXTENDED ON ANY SIDE

Size of Extension, No. of feet long? 13'; No. of feet wide? 11'; No. of feet high above sidewalk? 2'3"  
No. of Stories high? one; Style of Roof? pitch; Material of Roofing? shingles  
Of what material will the Extension be built wood Foundation? iron posts  
If of Brick, what will be the thickness of External Walls? inches; and Party Walls inches.  
How will the extension be occupied? shed for storing how connected with Main Building? built on

### WHEN MOVED, RAISED OR BUILT UPON

No. of Stories in height when Moved, Raised or Built upon? Proposed Foundations?  
No. of feet high from level of ground to highest part of Roof to be?   
How many feet will the External Walls be increased in height? Party Walls

### IF ANY PORTION OF THE EXTERNAL OR PARTY WALLS ARE REMOVED

Will an opening be made in the Party or External Walls? in Story.  
Size of the opening? How protected?  
How will the remaining portion of the wall be supported?

Signature of Owner or  
Authorized Representative

Adelbert Greeley  
Address 19 Pembroke St.

PERMIT MUST BE OBTAINED BEFORE BEGINNING WORK



179 Pembroke St.

## FINAL REPORT

191

Has the work been completed in accordance with this application and plans filed and approved?

Law been violated? Doc. No. of 191

Nature of violation?

### PERMIT GRANTED

Sept 8 1916

Permit filled out by

Permit number

Location 179 Pembroke St.

Violation removed, when? 191

Estimated cost of alterations, etc., \$

Inspector of Buildings.





# City of Portland.

OFFICE HOURS  
10 TO 12 M.  
4 TO 5 P. M.

## OFFICE OF INSPECTOR OF BUILDINGS

To the Inspector of Buildings of the City of Portland:

4-13-14. 191

The undersigned respectfully makes application for a permit to erect enlarge a building on  
Pembroke street, at number 19 to be  
One & 1/2 stories high. Twenty-eight feet long. Twenty-five  
feet wide; also an addition to be Twenty-five stories high,  
feet long, Twenty-five feet wide, and to be used as a Dwelling

CELLAR WALL—To be constructed of Stone to be 20 inches wide on bottom and  
batter to 16 inches on top.

UNDERPINNING—To be Blocks. Height of underpinning from top of cellar wall to bottom of  
sill 8 inches to be 8 inches in thickness.

EXTERIOR WALLS—To be constructed of Wood. If of Brick, Stone, etc. Total Height of wall  
ft. 16 inches. Thickness of 1st 8 2d 8 3d 8 4th 8  
5th 8 6th 8 story walls. If of reinforced concrete state mix and reinforcing system  
to be used.

If wood construction, sills to be 6-8" Girders 6-8" Floor Timbers 2-8" 16" on C  
Posts 4-6" Girts 4-4" Studs 2-4" to be spaced 16" on C

This building will be used for the purposes of Dwelling (If for apartments,  
tenements, or other family uses state number of families accommodated and number on each floor.  
If for manufacturing or mercantile purposes state character of business and amount of estimated  
weight to be carried by the floor.)

Number of families on floor One

Total number of families One

Manufacturing (state character) None

Estimated load on floors per sq. ft. None

Mercantile business (state character and load per sq. ft.) None

If building is used for tenement house or family use and more than one family, the following pro-  
visions of the Building Laws regarding dividing partitions shall be adhered to (Quote Law re. this).

FIRESTOPS—All bearing and center partitions will have firestops cut in tight on top of each partition cap  
and between each set of floor timbers. Where ledger boards are used there shall be firestops cut in  
tight against bottom of ledger boards, of same size as wall studs. Also wherever the Inspector of  
Buildings may consider necessary.

STAIRWAYS—No. in building None location None to be enclosed  
with None walls to be lathed with None lathing.

ROOF—To be constructed of Wood. Rafters to be 2-6" inches to be spaced 24  
inches on centers. Roof to be covered with Shingles

Gutters to be made of None Cornices to be made of None

Bay windows to be made of None to be covered with None

Dormer windows to be made of None to be covered None

Chimneys, Smoke flues to be lined with Flue Lining and provided with a 10-inch outside collar and  
an inside collar to go to the inside of the flue.

Estimated Cost of Building \$1600

INSPECTION—The Inspector of Buildings is to be notified when building is ready for lathing and at  
least 24 hours before the lathing is begun.

The Building is Owner by the day Address None

The Architect is None Address None

The Owner is Peter Christensen Address 559 Washington Ave.

No Deviation will be made from the above application without written permission from the Inspector of  
Buildings.

The above petition was granted the 13 day of April 1914.

(Applicant to sign here)

Peter Christensen

149 Pembroke St.  
13-15

10000 Let Russell  
5000 +  
5000 Gloucester  
gravel

PERMIT NO. 4149.....  
DATE OF ISSUE 4-13-14...  
LOCATION  
Pembroke St.....

Permit No. 4149  
Date of Issue 4-13-14  
Location Pembroke St.