

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 090666

Please Read
Application And
Notes, If Any,
Attached

This is to certify that KING ROBERT C & JESSICA WALLACE
has permission to Addition 8'x18' Deck with Stair
at 38 SAVOY ST CBI # 428 L011001

Provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is put in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

PERMIT ISSUED
JUN 25 2009
CITY OF PORTLAND

Thomas H. Mahler 6/25/09
Director - Building & Inspection Services

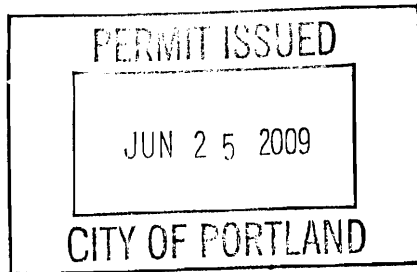
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0666	Issue Date:	CBL: 428 L011001
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Location of Construction: 38 SAVOY ST	Owner Name: KING ROBERT C & JESSICA M	Owner Address: 38 SAVOY ST	Phone: 207-838-2742 <i>cell</i>
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5
Past Use: Single Family Home	Proposed Use: Single Family Home - Addition 8'x18' Deck with Stairway.	Permit Fee: \$30.00	Cost of Work: \$500.00
Proposed Project Description: Addition 8'x18' Deck with Stairway.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	CEO District: 4
		INSPECTION: Use Group: R3 Type SB IRC 2003	Signature: <i>Am 6/25/09</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: lmd	Date Applied For: 06/25/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/25/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

_____ June 26 20 07 _____

Received from Cheryl Lee/Ken _____

Location of Work 38 Saveny St. _____

Cost of Construction \$1,000⁰⁰ (500⁰⁰) Building Fee: _____ ^{Per owner}

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: _____

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 438-L-011 _____

Check #: 1199 _____ Total Collected \$ 3000 _____

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: LMB _____

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 Saroy Street</u>		
Total Square Footage of Proposed Structure/Area <u>APPX. 156.33</u>	Square Footage of Lot <u>6150 sq. ft.</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>428 L 011</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Robert King</u> Address <u>38 Saroy St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207.838.2742</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Single family Home</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>8' x 18" addition of Deck w/in stairs</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____ Date: _____

This is not a permit; you may not commence ANY work until the permit is issue

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0666	Date Applied For: 06/25/2009	CBL: 428 L011001
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Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Addition 8'x18' Deck with Stairway.	Proposed Project Description: Addition 8'x18' Deck with Stairway.
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/25/2009

Note:**Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood based on a phone conversation with Rob King that the deck will be moved in 3' in order to gain the required 8' setback on the side yard.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/25/2009

Note:**Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

6/25/2009-mes: I spoke with Rob King on the phone and discussed the side setback. He was willing to move the deck in 3' in order to get the required 8' setback. The previous permit allowed a three seasons porch on an existing deck that was 5' from the property line. This is a new deck, not a replacement.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas H. Mally

Signature of Inspections Official

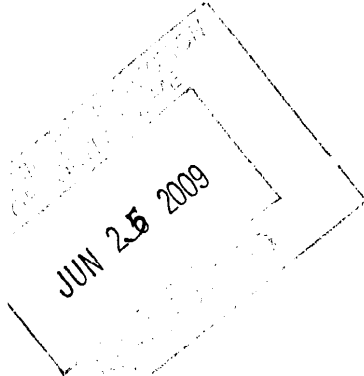
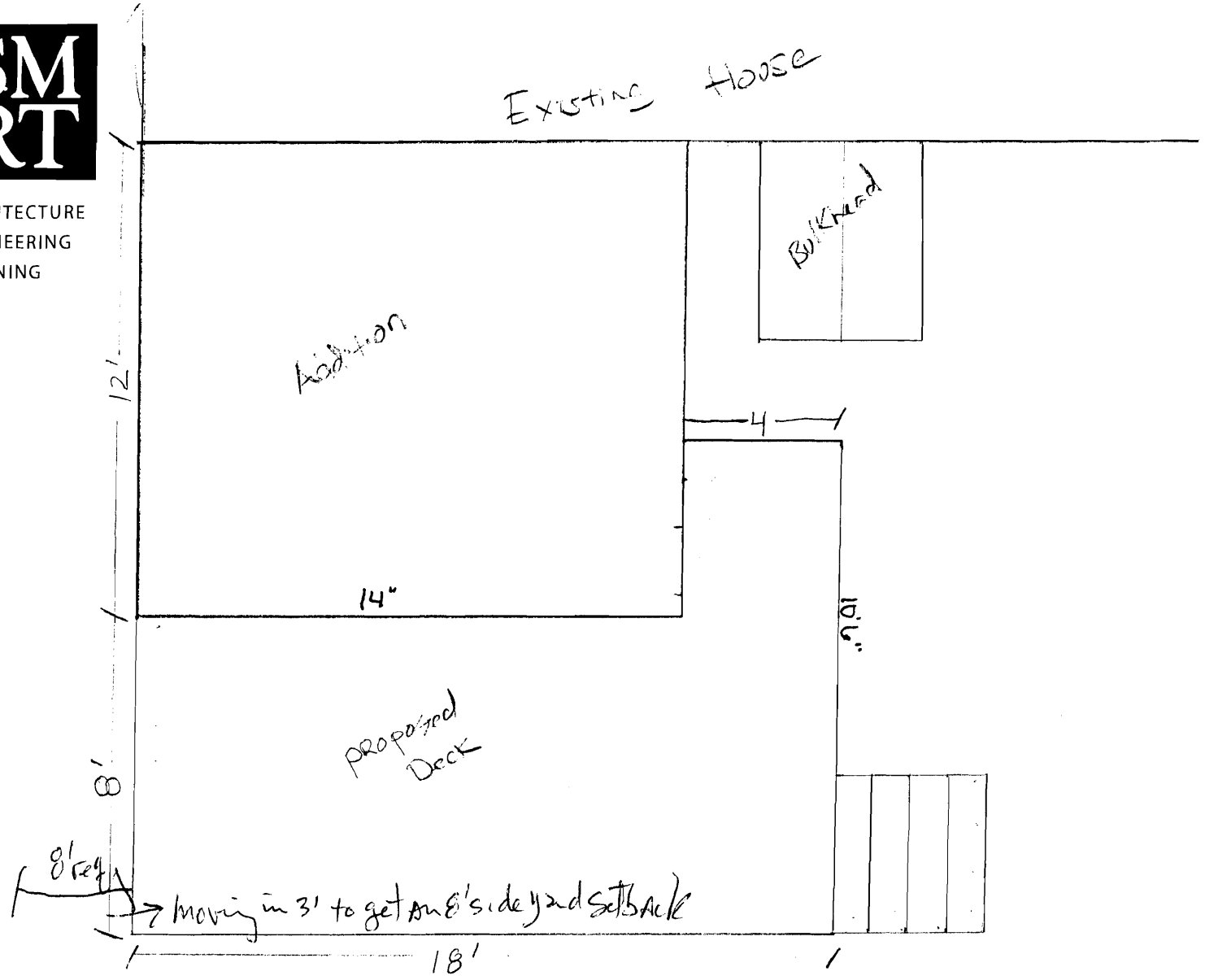
Date

6/25/02

Date



ARCHITECTURE
ENGINEERING
PLANNING



44 Fore Street
Q Box 618
Portland, Maine 04104
☎ 207 772-3846
☎ 207 772-1070

6/25/09 11:30 pm - spoke to Rob
about the side setback - He agreed
to move the structure in 3' for an
8' side setback
Deck Layout

- PLOT Plan, refer to previous

Plans

R-5

Front: N/A
Side: 8' min - 8' shown
Rear: 20' min - 20' + shown on original

Rob King

38 Savoy St.

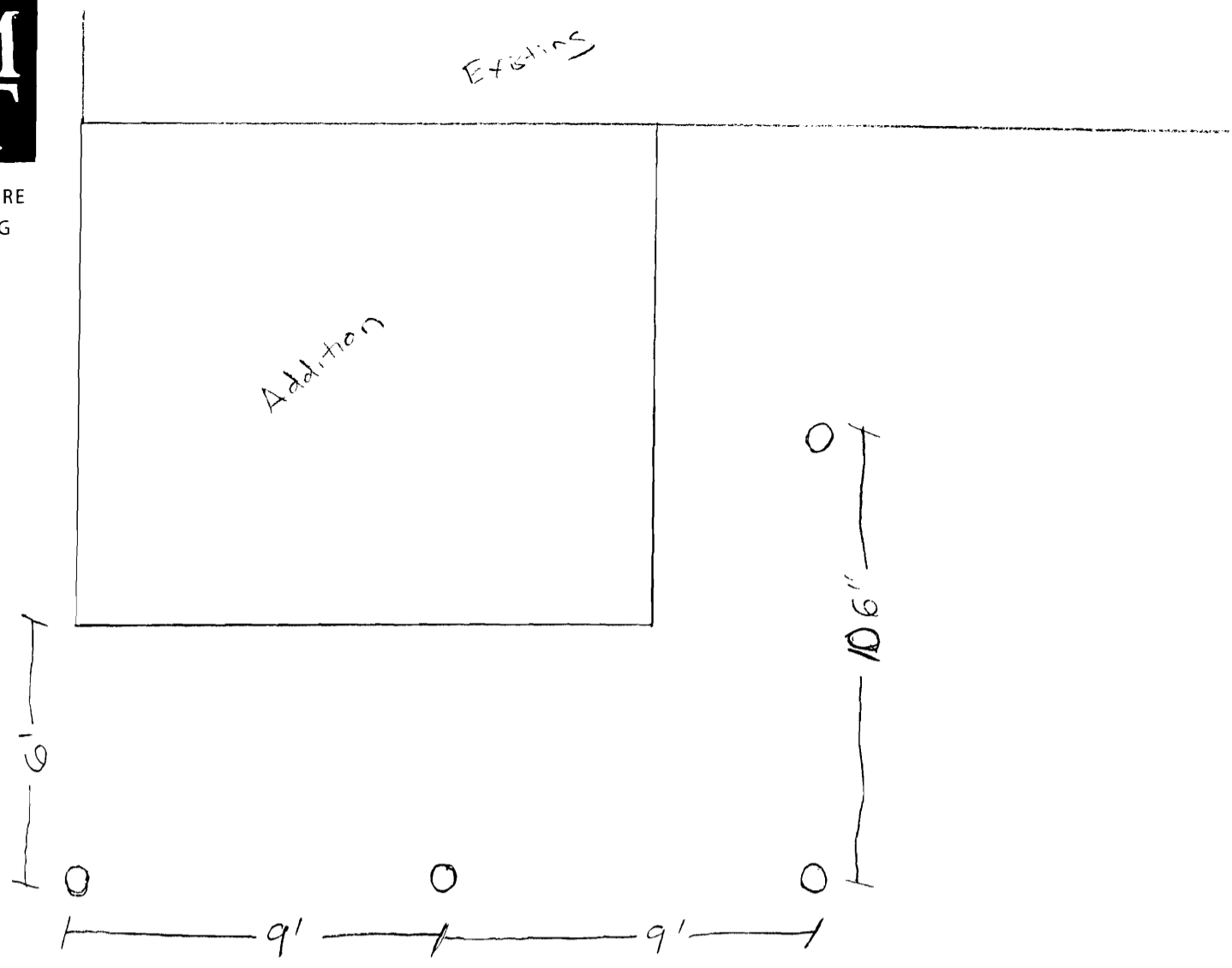
Portland, ME 04103

www.smrtinc.com

AC002168



ARCHITECTURE
ENGINEERING
PLANNING



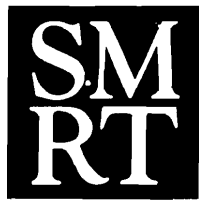
Pier Layout

- 8" Concrete tubes
- 4' below grade

44 Fore Street
PO Box 618
Portland, Maine 04104
☎ 207 772-3846
📠 207 772-1070

www.smartinc.com

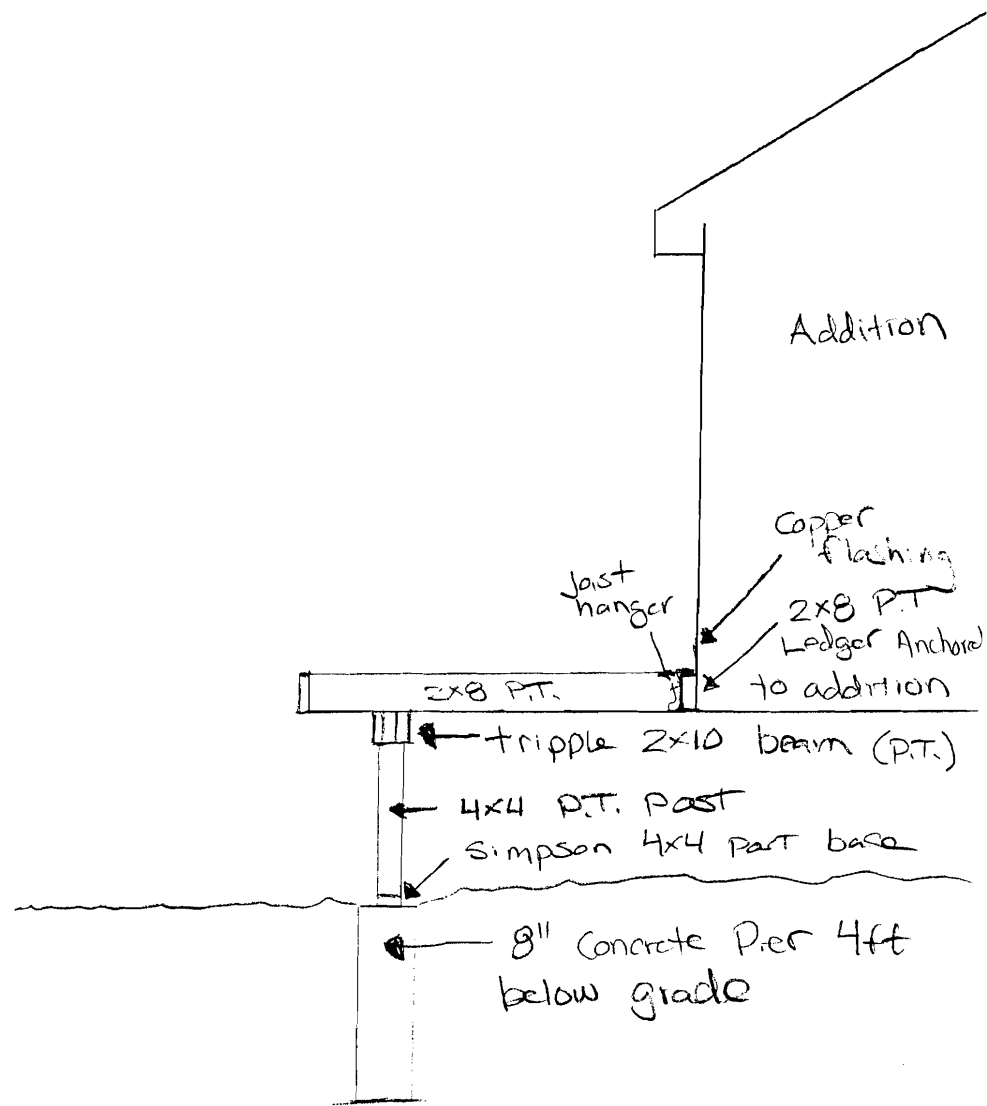
AC002168



ARCHITECTURE
ENGINEERING
PLANNING

Section / Framing

- 2x8 frame @ 16" O.C. (P.T.)
- Tripple 2x10 Carrying beam (P.T.)
- 3 1/2" lags into addition @ 16" O.C.



44 Fore Street
O Box 618
ortland, Maine 04104
T 207 772-3846
F 207 772-1070

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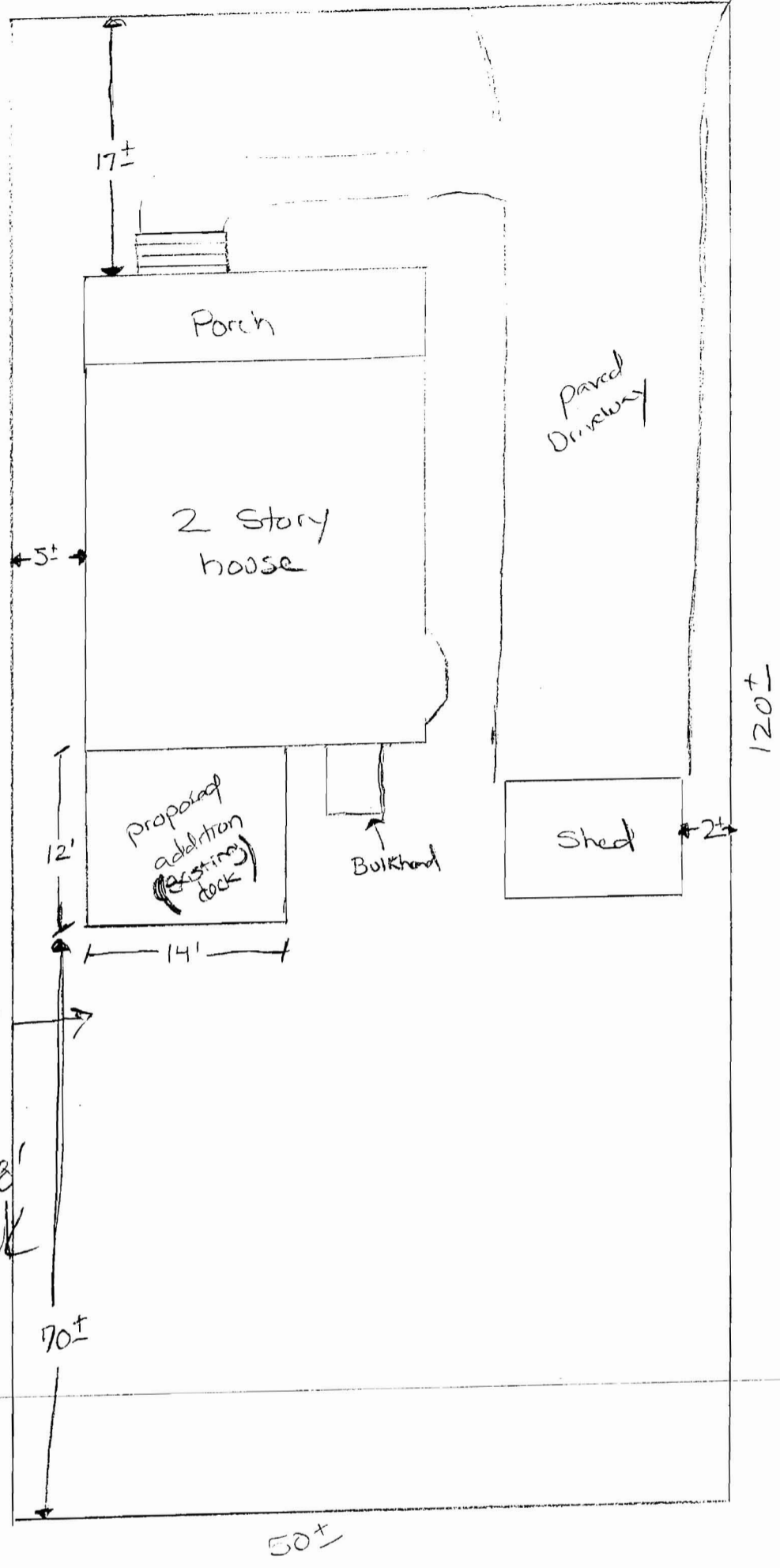
4C002168



ARCHITECTURE
ENGINEERING
PLANNING

JANUARY 2009
50' ±

PERMIT # 09-0397



6/25/09
spoke to Rob K.
he will pull
the New deck in
Fore Street
3' for Area
Setback

Fore Street
Box 618
Land, Maine 04104
07 772-3846
07 772-1070

w.smrtinc.com

2168



ARCHITECTURE
ENGINEERING
PLANNING

COPY FROM PERMIT
09.0397

Existing

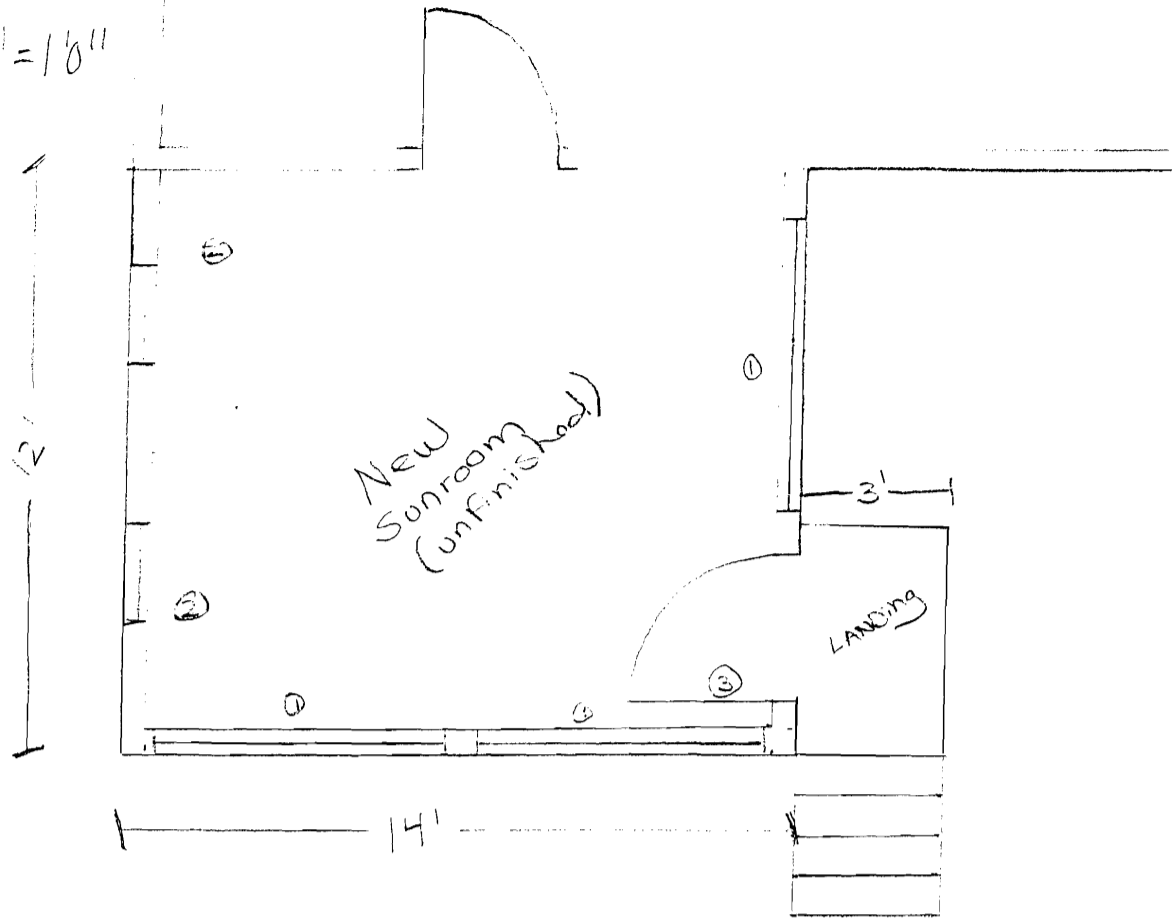
1/4" = 1'0"

Window Schedule

Size
6'0" x 5'0" Casement
2'0" x 3'0" Awning

DOOR

2'8" x 6'8"

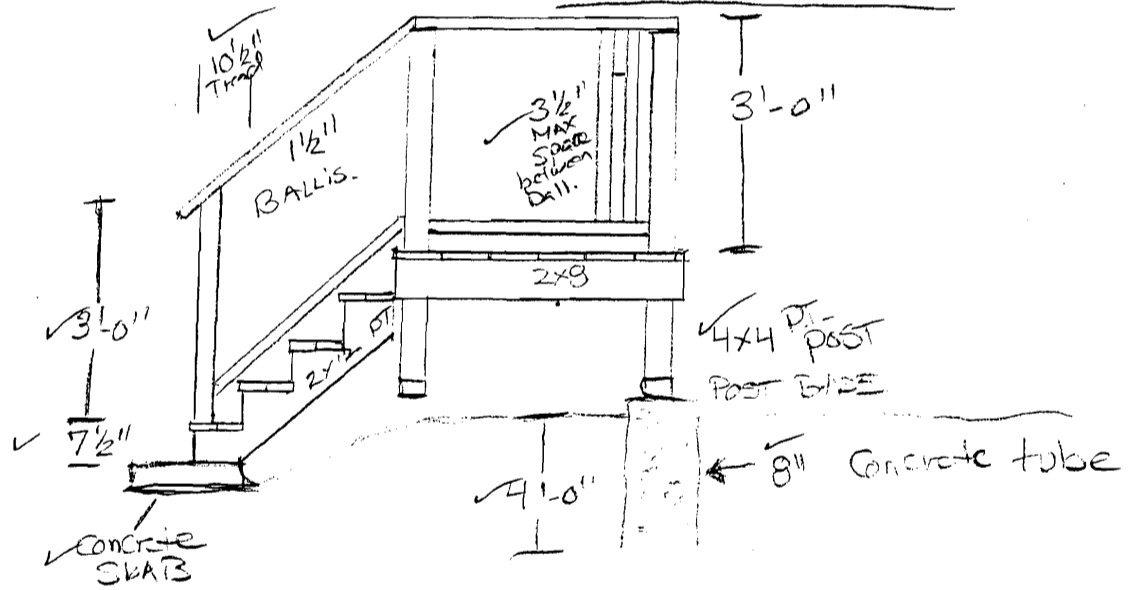


4 Fore Street
Box 618
Portland, Maine 04104
207 772-3846
207 772-1070

www.smrtinc.com

002168

STAIR DETAIL





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*Penny St. Louis Littell- Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

May 22, 2009

Jessica M. Wallace and Robert C. King
38 Savoy Street
Portland, Maine 04103

RE: 38 Savoy Street – 428-L-011 – R-5 Zone

Dear Jessica and Robert,

Recently this office issued you a permit to remove an existing rear deck and replace it with a 3 season room. During the permit review of the plot plan that you submitted, it came to my attention that there is a shed that is improperly sited on your property. Our records show that a required permit for the 10'3" x 12'3" shed was never applied for and never approved by this office. Your submitted plot plan shows the shed to be setback 2' from the side property line instead of the required minimum side setback of 5' for a detached structure 144 square feet or less in size (section 14-120(d)3).

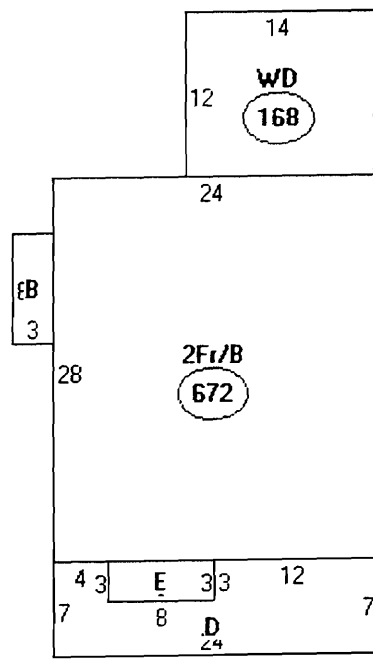
It will be necessary to correct this violation. Please note that such zoning violation(s) will affect any future property sale. We will be glad to work with you to bring your shed into compliance with the required permits and approvals. Please give me a call at 874-8695 so that we can meet and go over your options concerning this shed.

Very truly yours,

Marge Schmuckal
Zoning Administrator

file

New Deck permit



Descriptor/Area
 A: 2F1/B
 672 sqft
 B: FBAY/B
 24 sqft
 C: WD
 168 sqft
 D: OFF
 144 sqft
 E: FBAY/B
 24 sqft

672
~~24~~
 168
 144
 24
 144 = 18x8
 18 = 4.5x4
 16 = 4x4 stairs
 Shed
 125.56 = 10.25x12.25

1335.56 sqft

6150 sqft x 40% = 2460 sqft max lot cov. OK

6/25/09 - Cheryl Leeman brought
in this packet for her neighbor.

- > No application was presented -
(Cheryl did not have time)
- > No cost of work - she states it will cost
about 2500.00.
- > I asked for contact information for
property owner Rob King - I explained
that we would need to call the
owner if we have any questions.
Cheryl would like us to contact her directly
and needs the permit by 6/26/09.
- > I COMPLETED AN APPLICATION.
- > I attached previous permits.
- > I do however question the cost !!



PORTLAND MAINE

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*Penny St. Louis Littell - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator*

May 22, 2009

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RE: 38 Savoy Street – 428-L-011 – R-5 Zone

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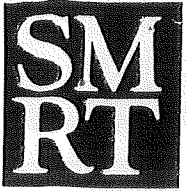
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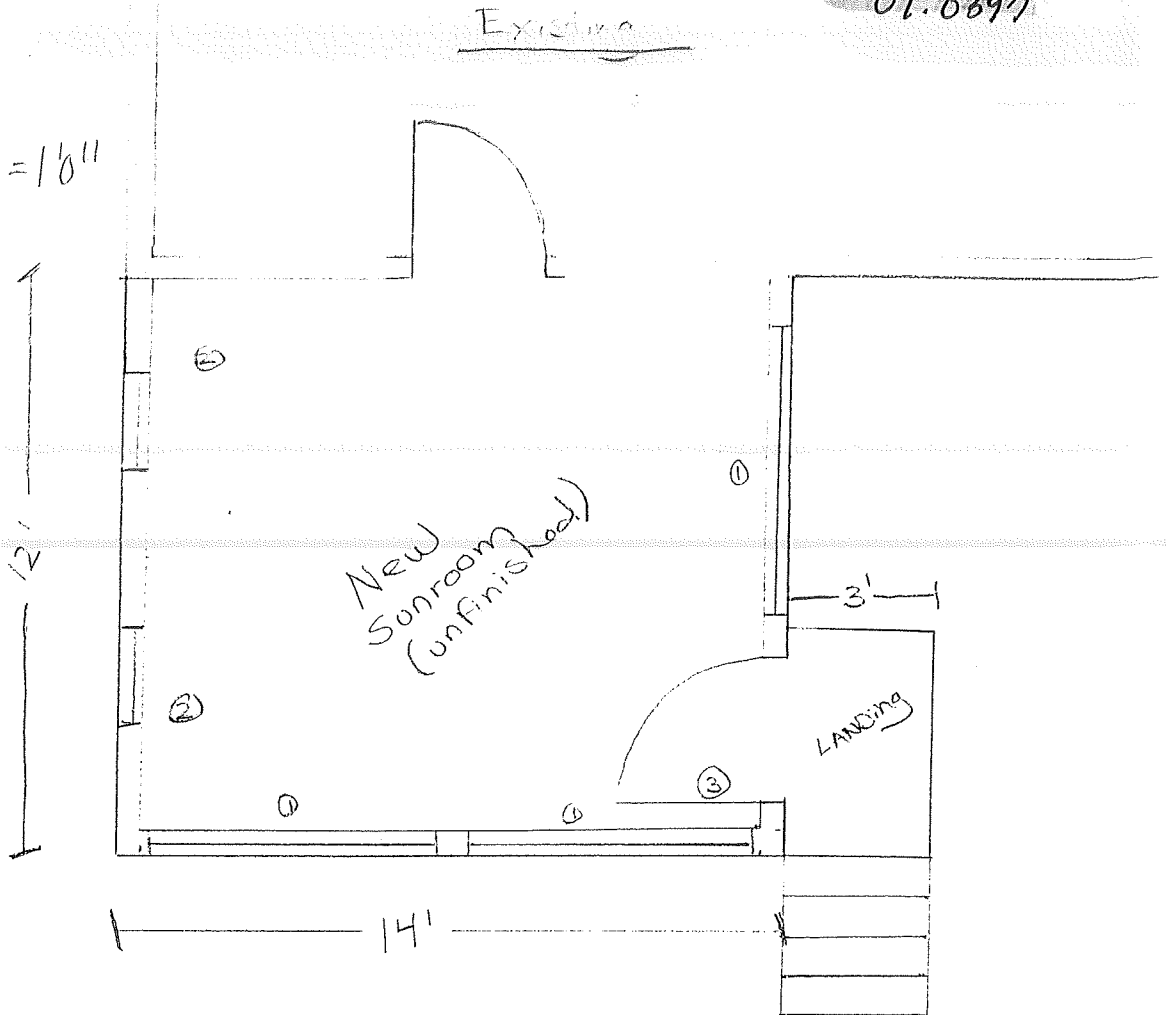
ARCHITECTURE
ENGINEERING
PLANNING

COPY FROM PERMIT
09.0897

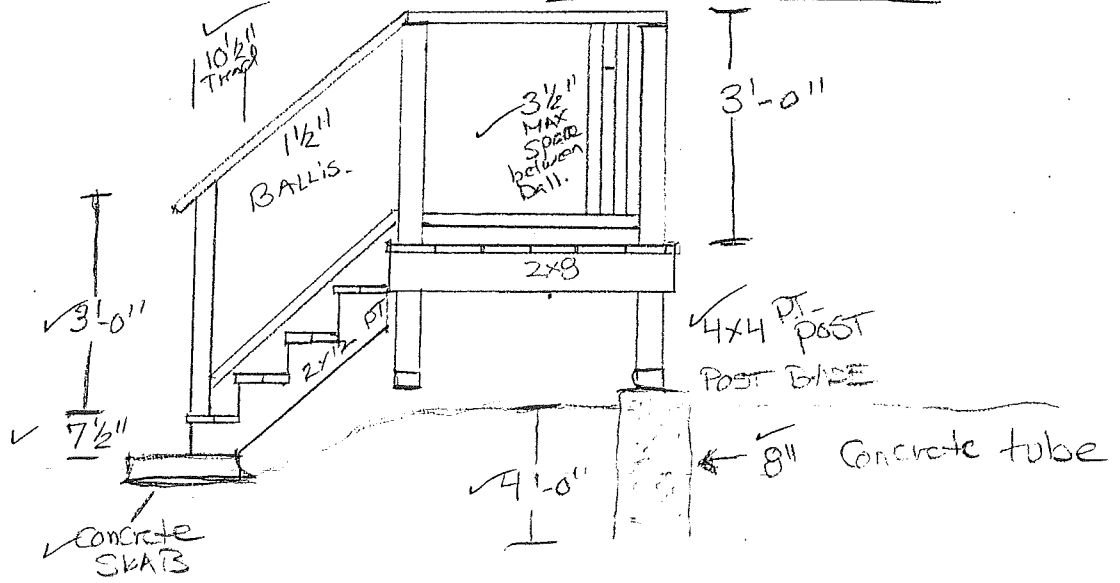
1/4" = 1/8"

Window Schedule

Size	
60" X 50"	Casement
2'0" X 2'0"	Awning
DOOR	
2'8" X 6'8"	

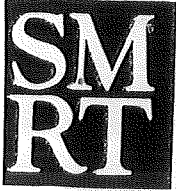


STAIR DETAIL



4 Fore Street
Box 618
Portland, Maine 04104
207 772-3846
207 772-1070

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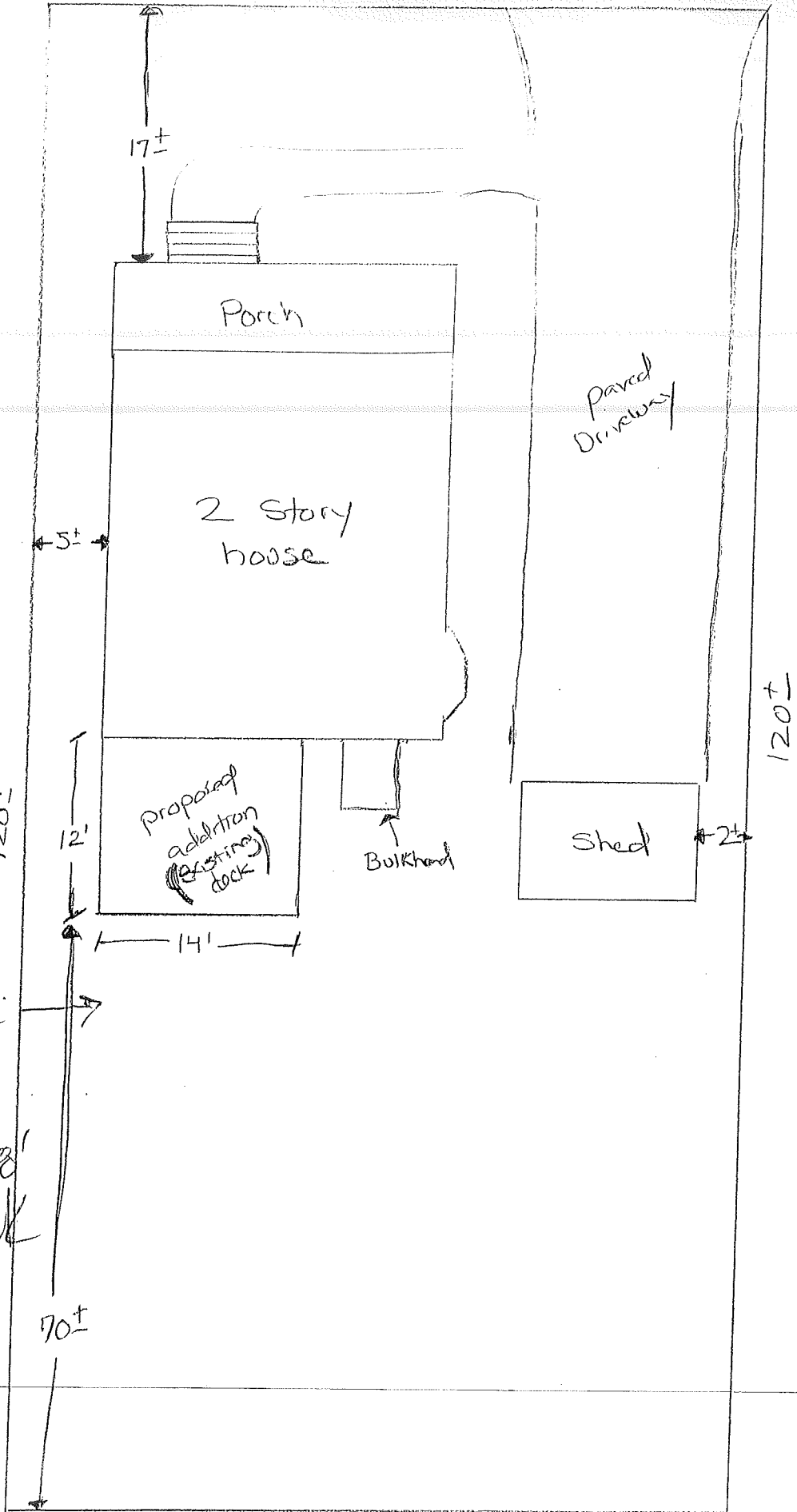


ARCHITECTURE
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JANUARY 2009

50' ±

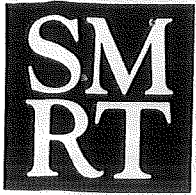
4145-LOPINE FROM
PERMIT # 09-0397



8/25/09
 spoke to Rob K -
 he will pull
 the New deck in
 3' for the
 setback

Fore Street
 Box 618
 Land, Maine 04104
 07 772-3846
 07 772-1070

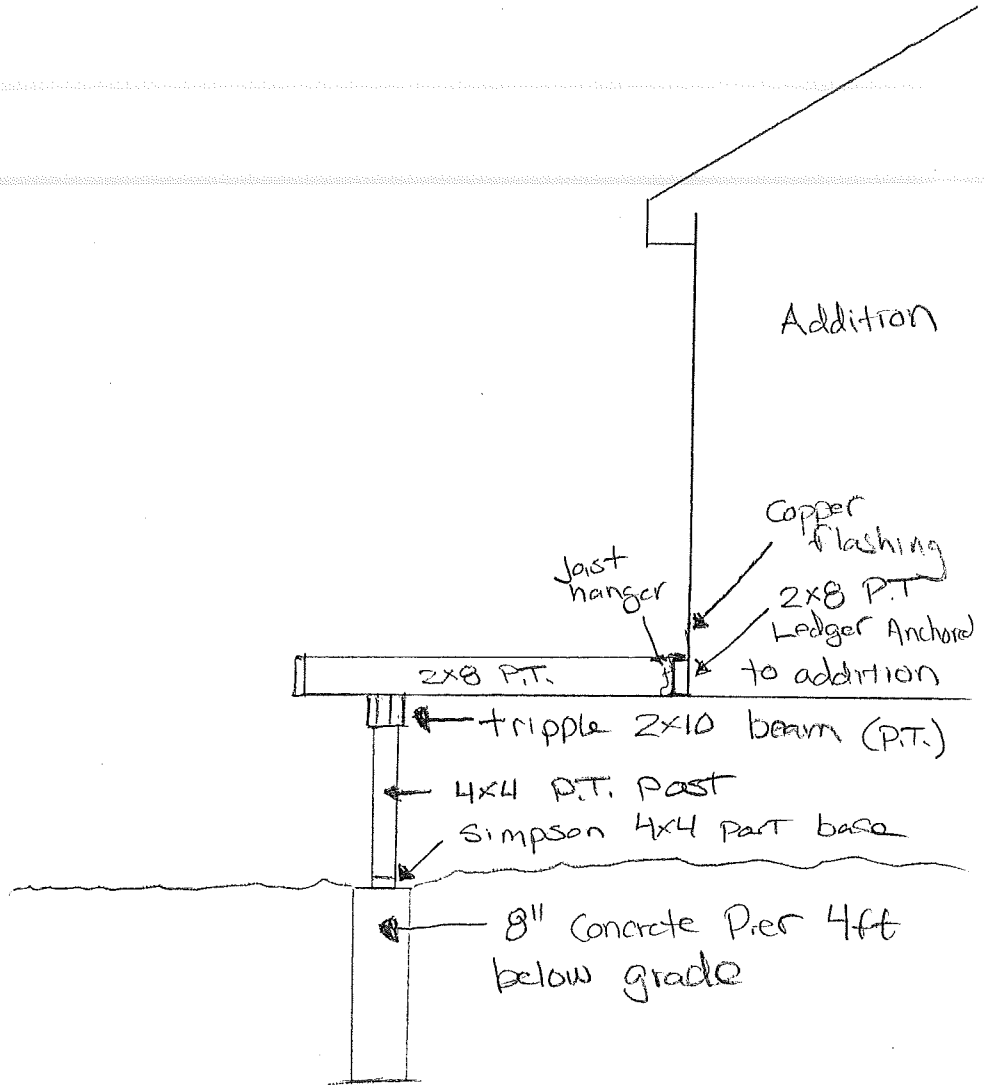
50' ±



ARCHITECTURE
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Section / framing

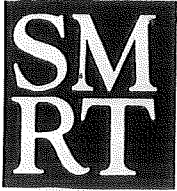
- 2x8 frame @ 16" O.C. (P.T.)
- Triple 2x10 carrying beam (P.T.)
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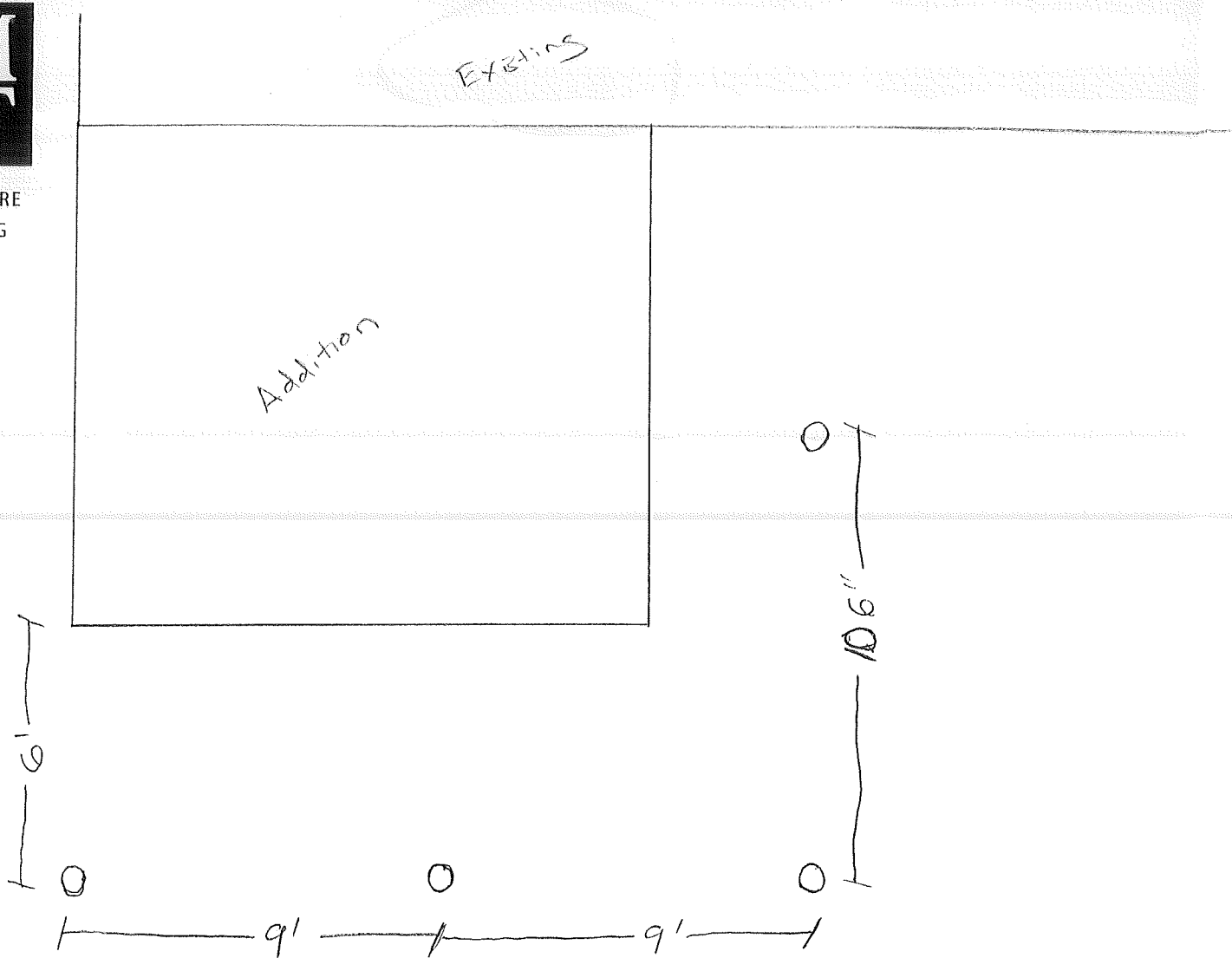
44 Fore Street
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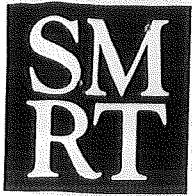
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- 8" Concrete tubes
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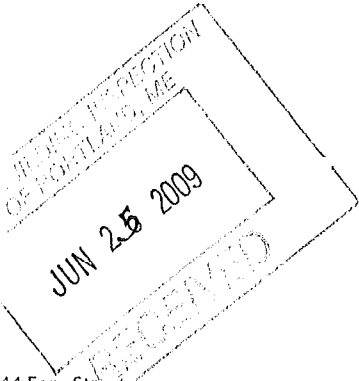
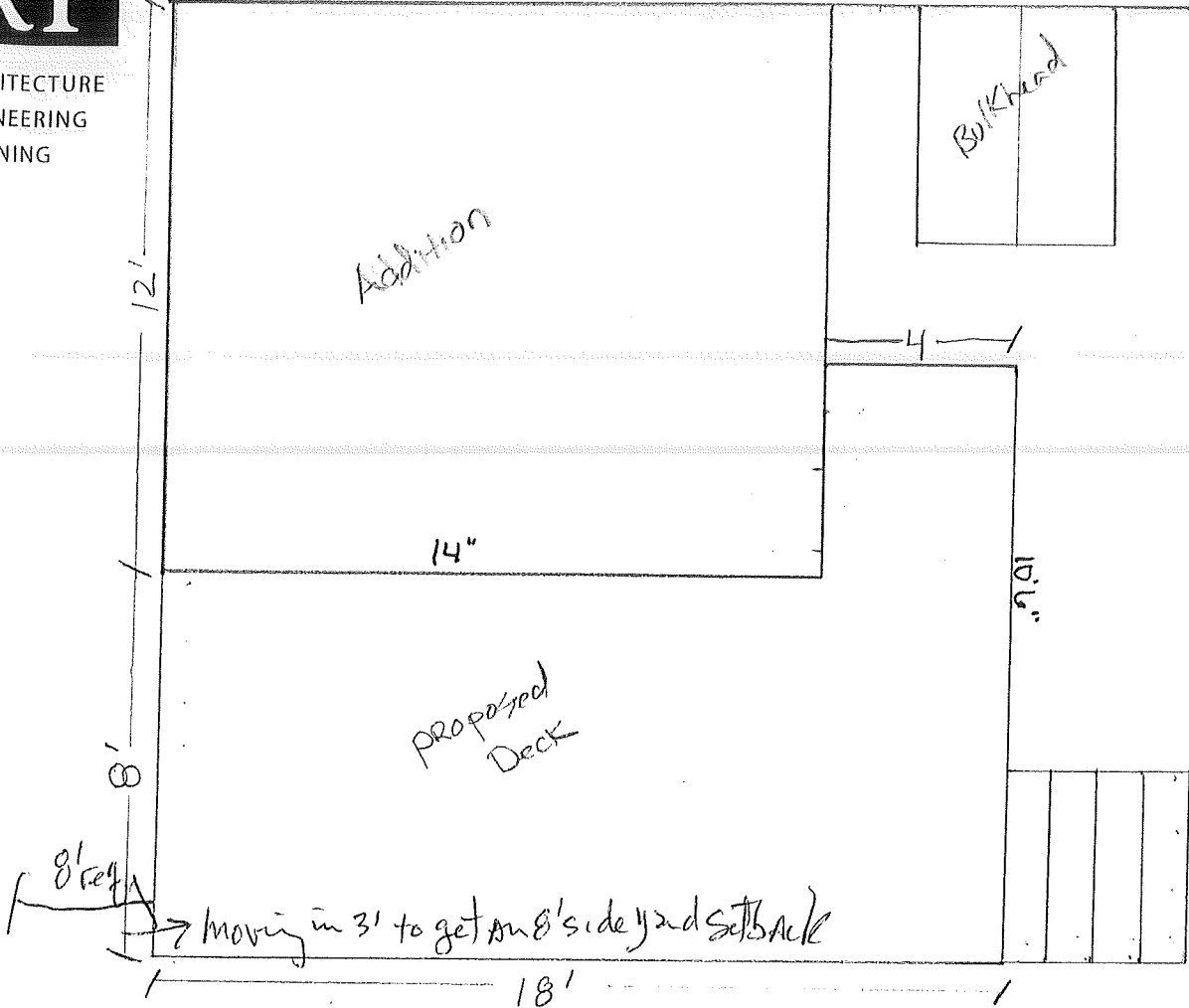
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ENGINEERING
PLANNING

Existing House

Bulkhead

Addition

Proposed Deck



6/25/09 11:30 pm - spoke to Rob about the side setback - He Agreed to move the structure in 3' for an 8' side setback

Deck Layout

44 Fore Street
 P.O. Box 618
 Portland, Maine 04104
 ☎ 207 772-3846
 📠 207 772-1070

- Plot Plan, refer to previous

Plans

R-5
 Front: N/A
 Side: 8' min - 8' shown
 Rear: 20' min - 20' + shown on original

Rob King
 38 Savoy St.
 Portland, ME 04103

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas H. Mally

Signature of Inspections Official

Date

6/25/09

Date