

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK  
**CITY OF PORTLAND**

BU **PERMIT** ICTION

Please Read Application And Notes, If Any, Attached

Permit Number: 090397

**PERMIT ISSUED**  
MAY 4 2009  
CITY OF PORTLAND

This is to certify that KING ROBERT C & JESSICA WALL (property owner)  
has permission to Remove existing deck (14' x 12' and frame new sun room size will not change - Room will be used for 3 seasons  
AT 38 SAVOY ST CP 428 L011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]* 5/4/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0397	Issue Date:	CBL: 428 L011001
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Location of Construction: 38 SAVOY ST	Owner Name: KING ROBERT C & JESSICA M	Owner Address: 38 SAVOY ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

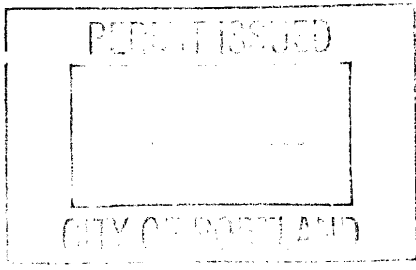
Past Use: Single Family Home	Proposed Use: Single Family Home - Remove existing deck (14' x 12') and frame new sun room size will not change - Room will be used for 3 seasons	Permit Fee: \$50.00	Cost of Work: \$2,500.00	CEO District: 4
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**Proposed Project Description:**  
Remove existing deck (14' x 12') and frame new sun room size will not change - Room will be used for 3 seasons

<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> Signature:	<b>INSPECTION:</b> Use Group: R-3 Type: SB <i>IRC 2003</i> Signature:
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Ldobson	Date Applied For: 05/01/2009	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/1/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	<i>using 14-433 to allow side setback</i>		



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

05-08-09 Footings/Sillbecks  
No access to deck; no return  
call for inspt. JAR

05/12/09 Footing holes okay ( $\frac{1}{2}$ -48")  
Locations okay to  
pour  
WIA

**K** ROBERT C. KING  
JESSICA W. KING  
38 SAVOY STREET  
PORTLAND, MAINE 04103-5024

186

Date 4/28/09

52-36/112 ME  
90932

Pay to the Order of City of Portland \$

Dollars

 Security features are included. Details on back.

**Bank of America**



ACH R/T 011200365

For Building Permit

JW

MP

⑆0⑆⑆200365⑆ 45800003⑆⑆18⑆⑆0⑆186

©Clarke American

**K** ROBERT C. KING  
JESSICA W. KING  
38 SAVOY STREET  
PORTLAND, MAINE 04103-5024

186

Date 4/28/09

52-36/112 ME  
90932

Pay to the Order of City of Portland \$ 50 <sup>00</sup>/<sub>100</sub>

Fifty

00 Dollars

 Security features are included. Details on back.

**Bank of America**



ACH R/T 011200365

For Building Permit

JW

MP

⑆0⑆⑆200365⑆ 45800003⑆⑆18⑆⑆0⑆186

©Clarke American

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0397	<b>Date Applied For:</b> 05/01/2009	<b>CBL:</b> 428 L011001
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<b>Location of Construction:</b> 38 SAVOY ST	<b>Owner Name:</b> KING ROBERT C & JESSICA M	<b>Owner Address:</b> 38 SAVOY ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> property owner	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Remove existing deck (14' x 12') and frame new sun room size will not change - Room will be used for 3 seasons	<b>Proposed Project Description:</b> Remove existing deck (14' x 12') and frame new sun room size will not change - Room will be used for 3 seasons
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 05/01/2009

**Note:** **Ok to Issue:**

- 1) This approval only allows the old deck/ new sunroom. It does not approve the unpermitted shed on the property. A separate letter will be written concerning the shed and its placement on the property.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/04/2009

**Note:** **Ok to Issue:**

- 1) This permit is being issued as an unheated 3-season room. If it is finished in the future, the insulation requirements must comply with the International Energy Conservation Code.
- 2) As discussed, all windows located within 24" of a door must be tempered glass.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

**Comments:**

5/1/2009-mes: 4/29/09 I made an inspection to the property after work. No one was home. I can use section 14-433 to reduce the one side yard from a required 8' to 5' as allowed. There is a window within 1.5' - 2' of the side of the house where the setback is being reduced. The other side of the deck is within a foot of a outside sill cock and then there is a bulkhead.

I am a little more concerned with the shed that was unpermitted and is 10'3" x 12'3" and is only 2' from the property line. See condition in this permit. I will write a separate letter to address this issue.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 Savoy Street</u>		
Total Square Footage of Proposed Structure/Area <u>168 sq. ft.</u>	Square Footage of Lot <u>6150 sq. ft.</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>428-L-011</u> Block# _____ Lot# _____	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>Robert King</u> Address <u>38 Savoy St.</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>(207) 838-2742</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>2,500.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>50</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Seasonal sun room</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Remove existing deck (14x12) and frame new sun room. size will not change. Room will be used for 3 seasons (no heat or plumbing)</u>		
Contractor's name: <u>Robert King</u> Address: <u>38 Savoy St.</u> City, State & Zip <u>Portland, ME 04103</u> Telephone: <u>207-838-2742</u> Who should we contact when the permit is ready: <u>Robert King</u> Telephone: <u>''</u> Mailing address: <u>38 Savoy st - Portland, ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

6,100 \$

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 4/28/09

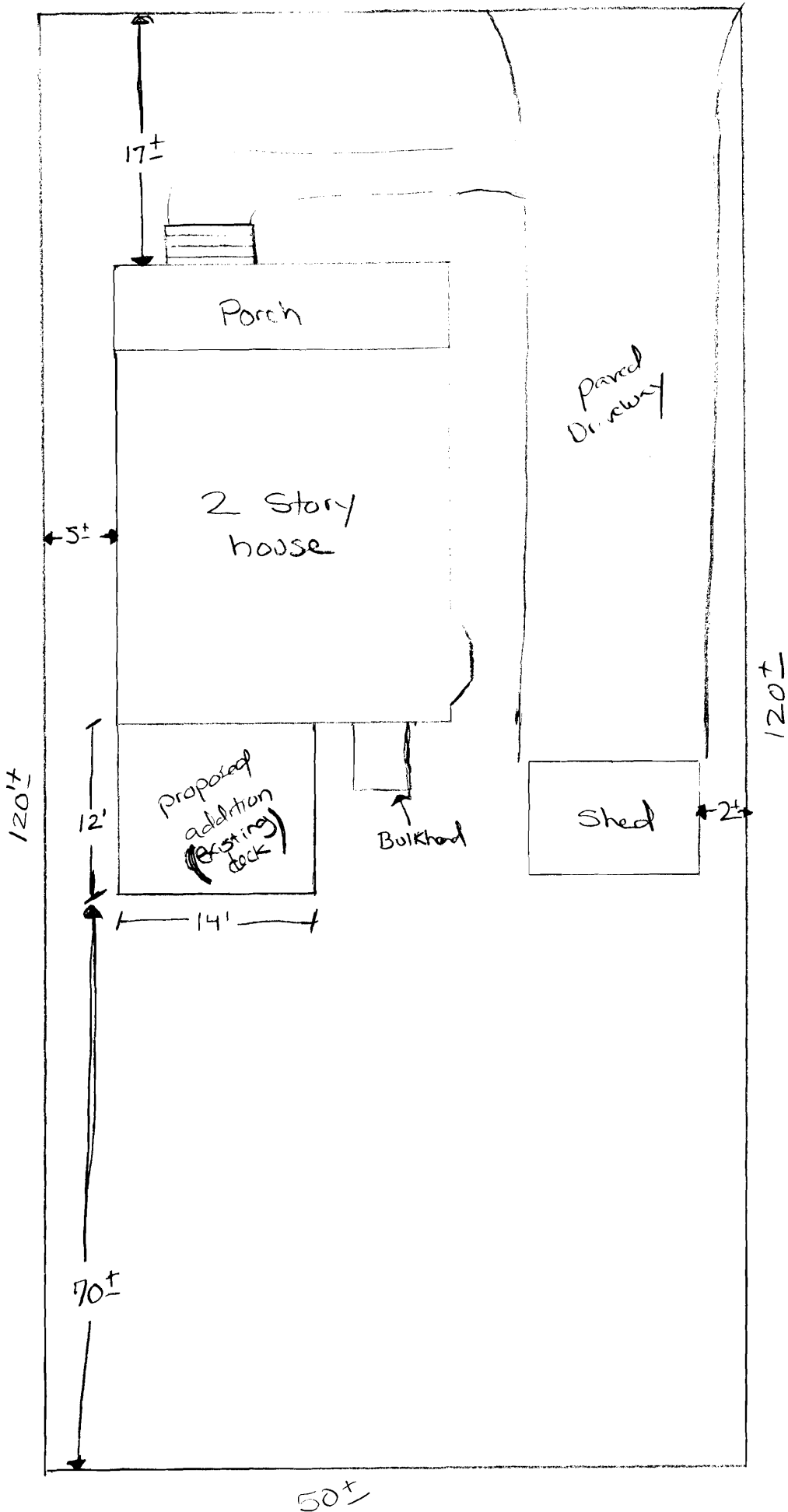
This is not a permit; you may not commence ANY work until the permit is issue

SAVOY ST -

50' ±



ARCHITECTURE  
ENGINEERING  
PLANNING



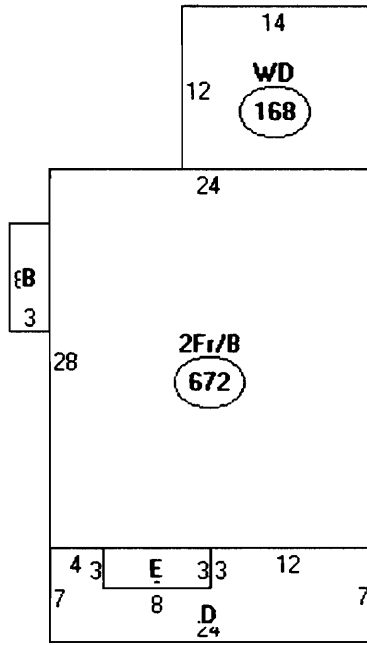
144 Fore Street  
PO Box 618  
Portland, Maine 04104

☎ 207 772-3846  
📠 207 772-1070

www.smrinc.com

AAC002168

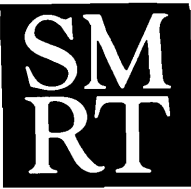
50' ±



Descriptor/Area

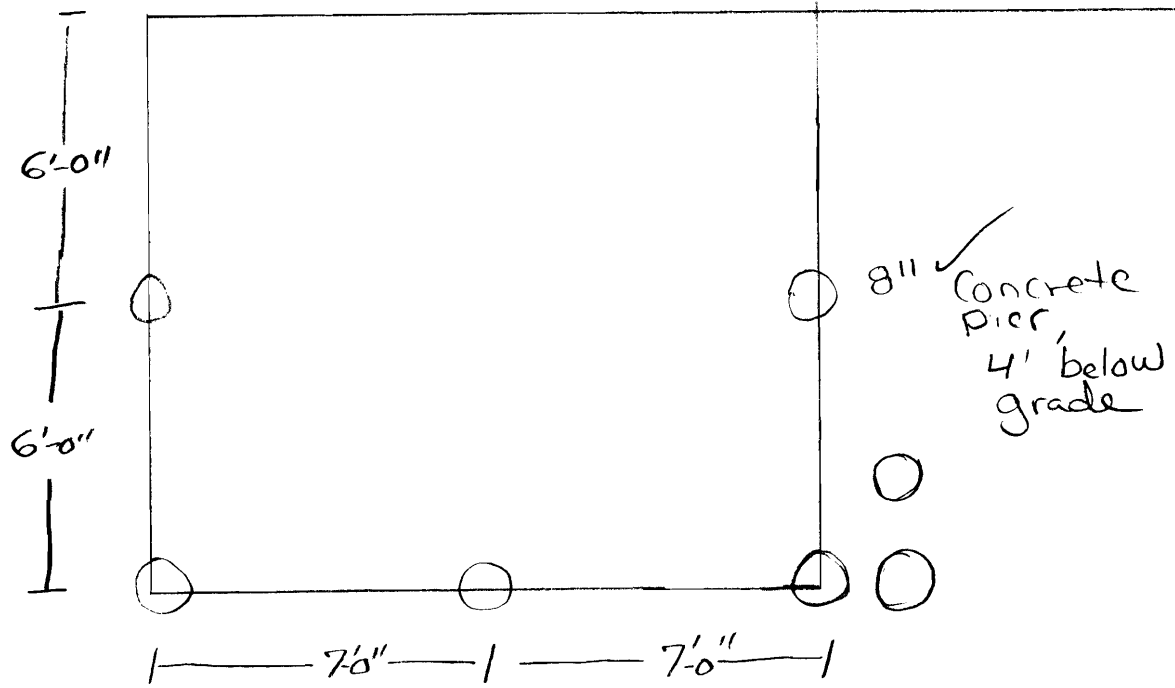
- A: 2F1/B  
672 sqft
- B: FBAY/B  
24 sqft
- C: WD  
168 sqft
- D: OFF  
144 sqft
- E: FBAY/B  
24 sqft



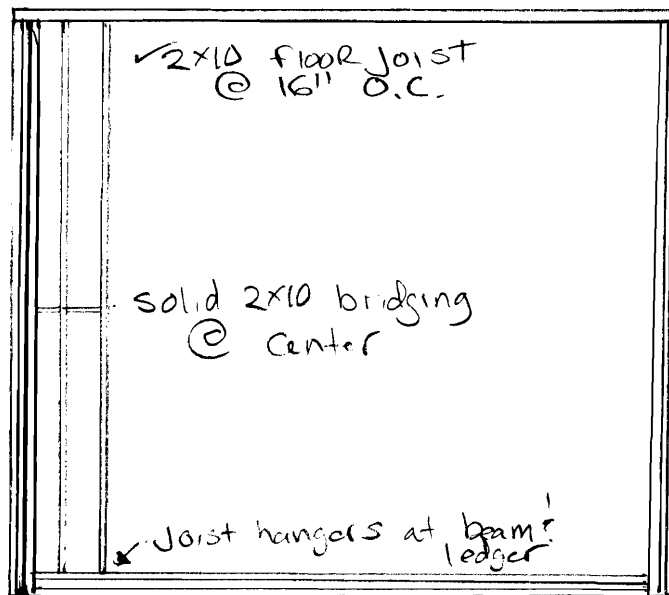


ARCHITECTURE  
ENGINEERING  
PLANNING

# 1/4" = 1'0" PIER LAYOUT / FLOOR FRAME



2x10 Ledger Anchored to house by lag bolt



(3) 2x10 RIM BAND

(3) 2x10 RIM

144 Fore Street  
PO Box 618  
Portland, Maine 04104

☎ 207 772-3846  
📠 207 772-1070

www.smrtinc.com



RN

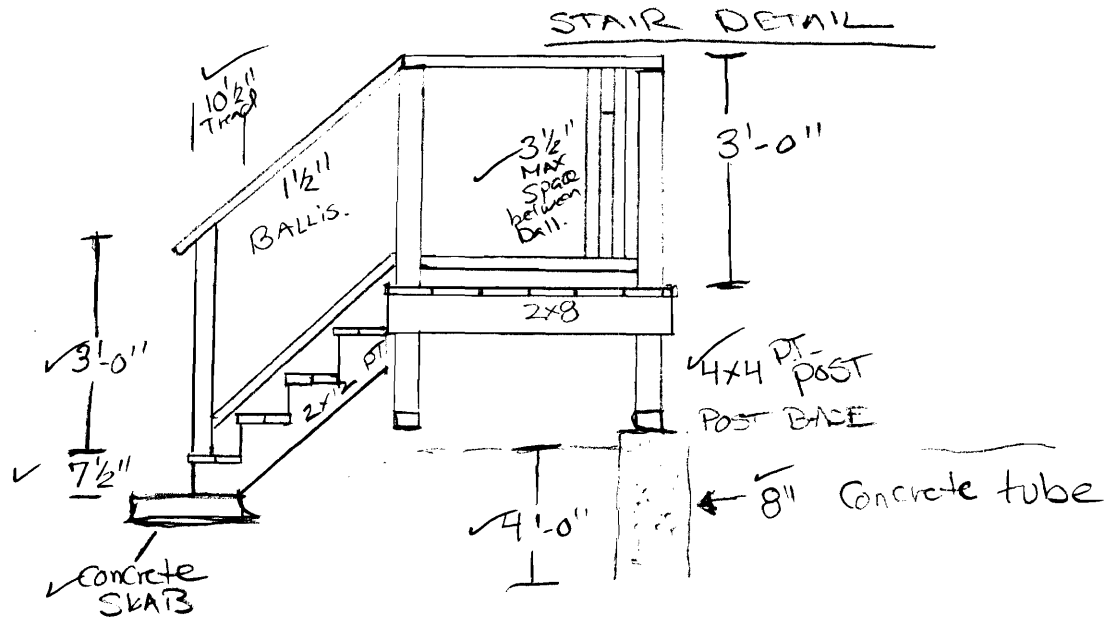
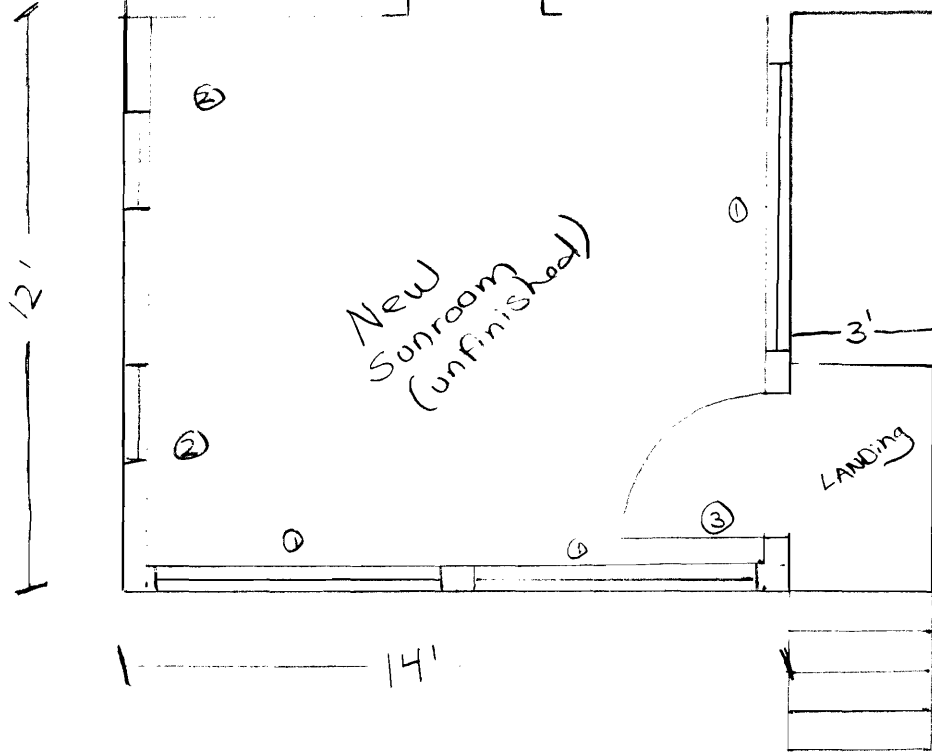
ARCHITECTURE  
ENGINEERING  
PLANNING

$\frac{1}{4}'' = 1'0''$

Existing

Window Schedule

Unit	Size	
1	6'0" x 5'0"	Casement
2	2'0" x 2'0"	Awning
DOOR		
③	2'8" x 6'8"	

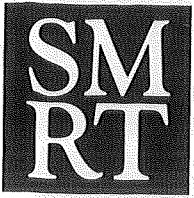


144 Fore Street  
PO Box 618  
Portland, Maine 04104

☎ 207 772-3846  
☎ 207 772-1070

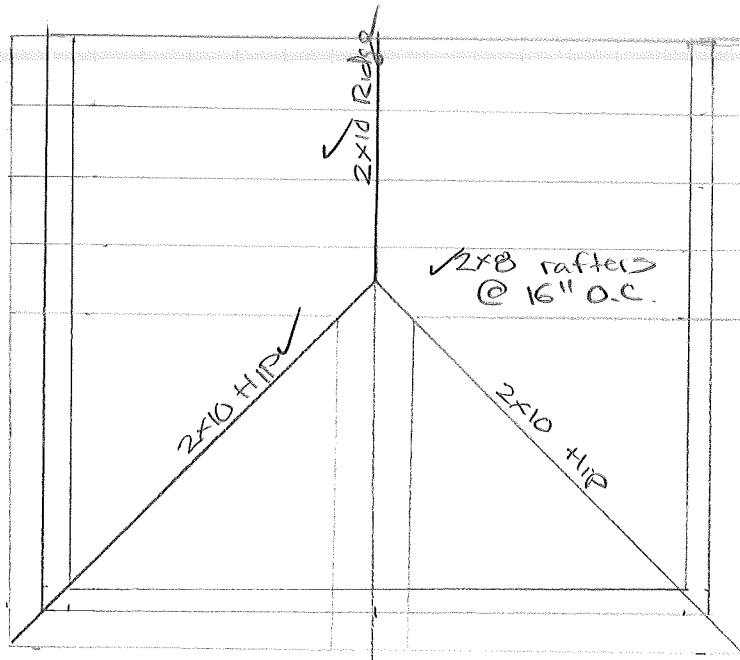
www.smrtinc.com

AAC002168



ARCHITECTURE  
ENGINEERING  
PLANNING

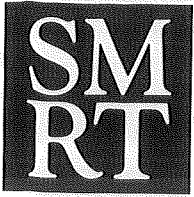
# 1/4" = 1'0" Roof Framing PLAN



144 Fore Street  
PO Box 618  
Portland, Maine 04104

☎ 207 772-3846  
📠 207 772-1070

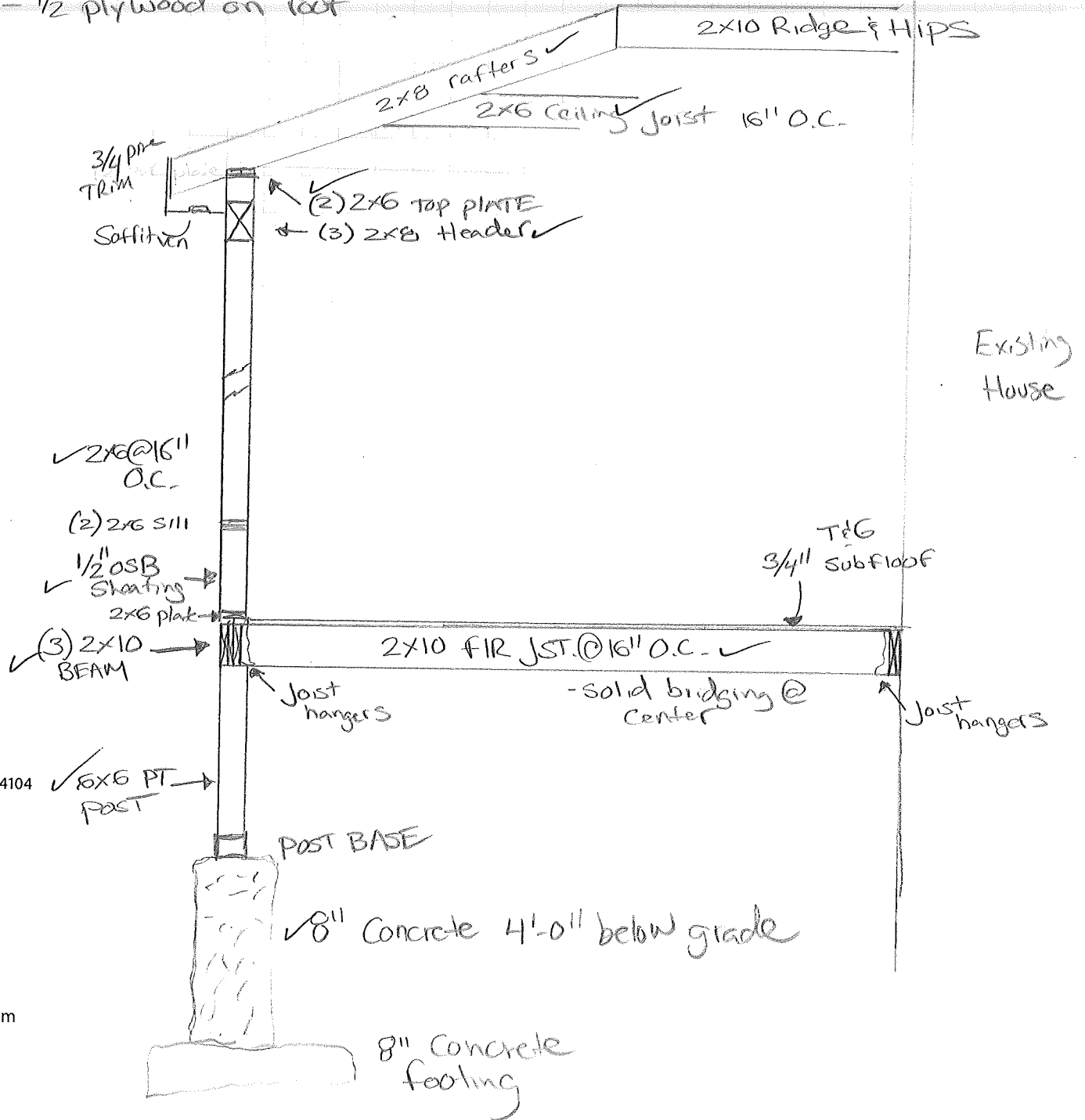
[www.smrtinc.com](http://www.smrtinc.com)



ARCHITECTURE  
ENGINEERING  
PLANNING

CROSS SECTION

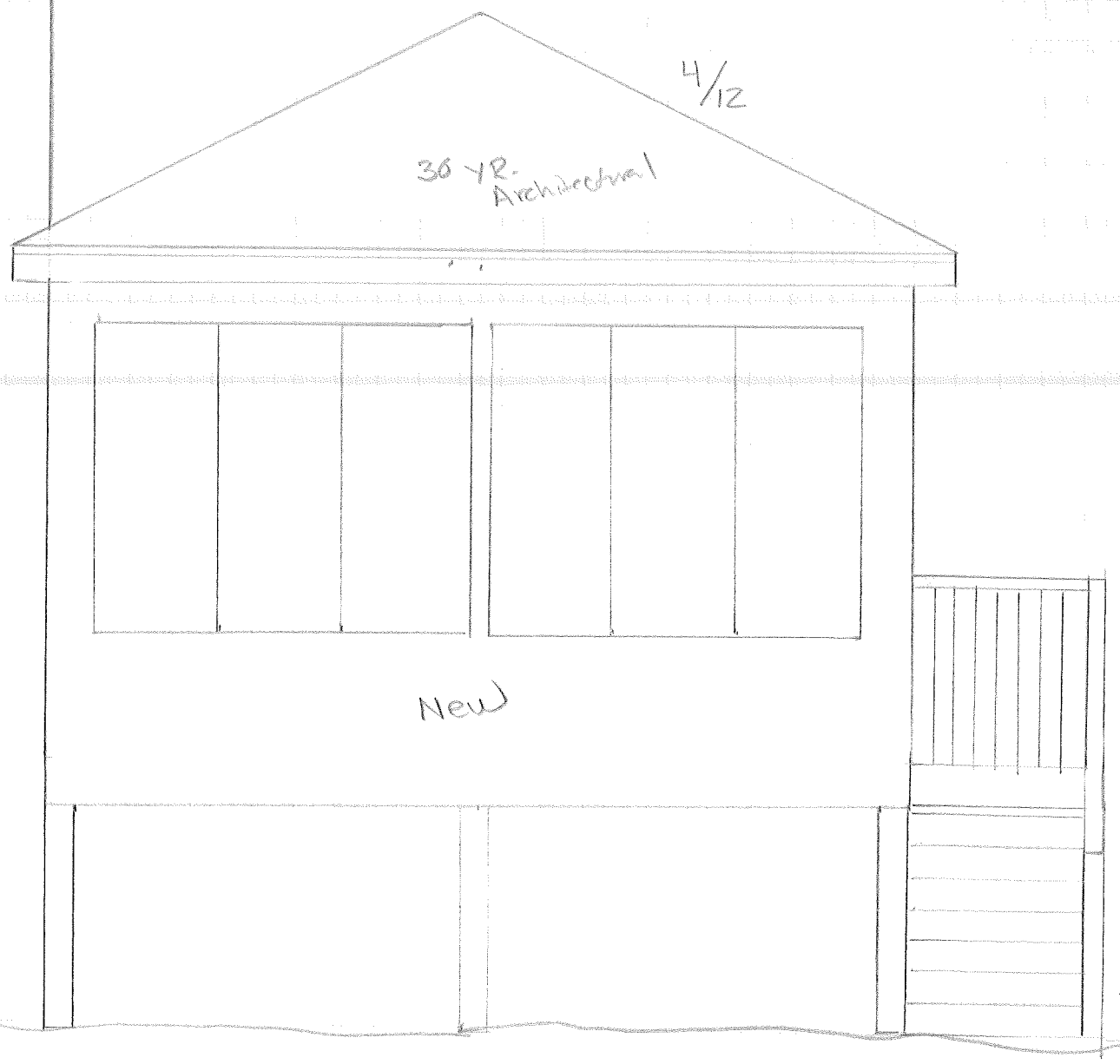
- Architectural Shingles
- ice & water shield entire roof 4/12 pitch
- 1/2 plywood on roof



144 Fore Street  
PO Box 618  
Portland, Maine 04104  
☎ 207 772-3846  
☎ 207 772-1070

Existing House

 **NEMSCHOFF**



SOUTH ELEVATION

Scale  
 $3/8'' = 1'0''$



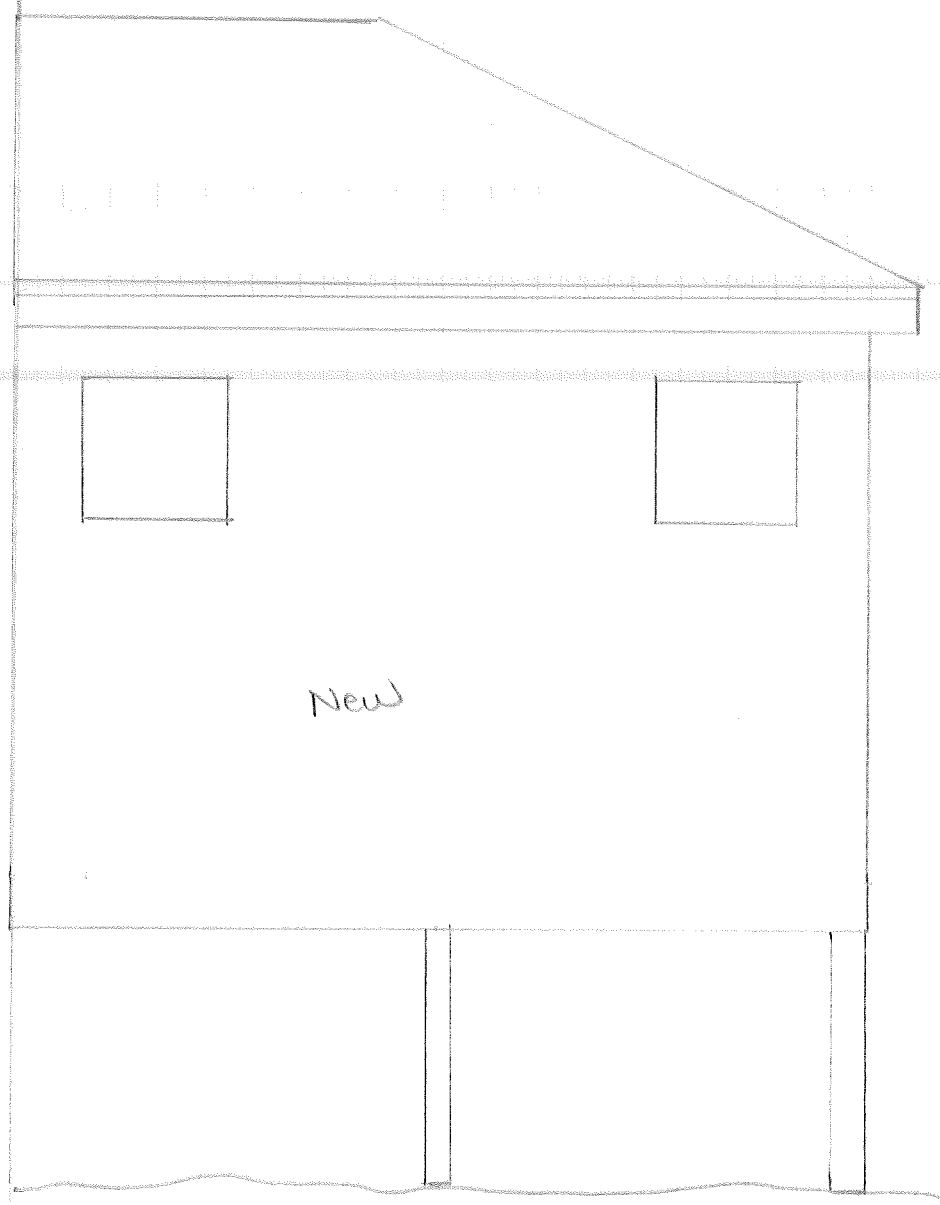
Existing  
House

New

EAST ELEVATION

Scale

$3/8'' = 1'0''$



Existing  
House

New

scale

$3/8" = 1'0"$

WEST ELEVATION



OFFICE HOURS  
10 TO 12 M.  
4 TO 8 P. M.

# City of Portland.

## OFFICE OF INSPECTOR OF BUILDINGS

7-10-14

191

To the Inspector of Buildings of the City of Portland:

The undersigned respectfully makes application for a permit to erect enlarge a building on  
Savoy street, at number lot 127 to be  
Two stories high Twenty-eight feet long, Twenty-four  
feet wide; also an addition to be stories high,  
feet long, feet wide, and to be used as a Dwelling

CELLAR WALL—To be constructed of Concrete to be 12 inches wide on bottom and  
batter to 12 inches on top.

UNDERPINNING—To be Blocks Height of underpinning from top of cellar wall to bottom of  
sill ft. inches to be 8 inches in thickness.

EXTERIOR WALLS—To be constructed of Wood If of Brick, Stone, etc. Total Height of wall  
ft. inches. Thickness of 1st 2d 3d 4th  
5th 6th story walls. If of reinforced concrete state mix and reinforcing system  
to be used.

If wood construction, sills to be 6-8 Girders 8-8 Floor Timbers 2-8  
Posts 4-6 Girts 4-4 Studs 2-4 to be spaced 16" on C

This building will be used for the purposes of Dwelling (If for apartments,  
tenements, or other family uses state number of families accommodated and number on each floor.  
If for manufacturing or mercantile purposes state character of business and amount of estimated  
weight to be carried by the floor.)

Number of families on floor One

Total number of families One

Manufacturing (state character)

Estimated load on floors per sq. ft.

Mercantile business (state character and load per sq. ft.)

If building is used for tenement house or family use and more than one family, the following pro-  
visions of the Building Laws regarding dividing partitions shall be adhered to (Quote Law re. this).

FIRESTOPS—All bearing and center partitions will have firestops cut in tight on top of each partition cap  
and between each set of floor timbers. Where ledger boards are used there shall be firestops cut in  
tight against bottom of ledger boards, of same size as wall studs. Also wherever the Inspector of  
Buildings may consider necessary.

STAIRWAYS—No. in building location to be enclosed  
with walls to be lathed with lathing.

ROOF—To be constructed of Wood Rafters to be 2-6 inches to be spaced 18  
inches on centers. Roof to be covered with Shingles

Gutters to be made of Cornices to be made of

Bay windows to be made of to be covered with

Dormer windows to be made of to be covered

Chimneys, Smoke flues to be lined with Flue Lining and provided with a 10-inch outside collar and  
an inside collar to go to the inside of the flue.

Estimated Cost of Building \$2500

INSPECTION—The Inspector of Buildings is to be notified when building is ready for lathing and at  
least 24 hours before the lathing is begun.

The Building is Owner by the day Address

The Architect is Address

The Owner is Thos. C. Bean Address 30 Presumpscot St

No Deviation will be made from the above application without written permission from the Inspector of  
Buildings.

The above petition was granted the 10 day of July 191 4



**REAL ESTATE ASSESSMENT RECORD - CITY OF PORTLAND, MAINE**

CURR. DESC.	LAND NOS.	STREET	BLDG. NO.	CARD NO.	DEVELOPMENT NO.	AREA	DIST.	ZONE	CHART	BLOCK	LOT	CURR. DESC.
	36-38	Savoy		OF			82		428	L	11	

**TAXPAYER ADDRESS AND DESCRIPTION**

DYER MAE TIBBETTS  
88 SAVOY ST.  
CITY

LAND & BLDG. SAVOY ST. #36-38 LOT  
127 REC. PL. LUNT PROPERTY ASSESS-  
ORS PLAN 428-L-11 AREA 6150 SQ.  
FT.

RECORD OF TAXPAYER		YEAR	BOOK	PAGE

PROPERTY FACTORS	
TOPOGRAPHY	IMPROVEMENTS
LEVEL	WATER
HIGH	SEWER
LOW	GAS
ROLLING	ELECTRICITY
SWAMPY	ALL UTILITIES
STREET	
TREND OF DISTRICT	
PAVED	IMPROVING
SEMI-IMPROVED	STATIC
DIRT	DECLINING
SIDEWALK	Wa
TILLABLE	PASTURE
	WOODED
	WASTE

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	YEAR 1951	19
50	123	620	107	640	320	
<b>TOTAL VALUE LAND</b>					320	
<b>TOTAL VALUE BUILDINGS</b>					2700	
<b>TOTAL VALUE LAND AND BUILDINGS</b>					3020	
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
<b>TOTAL VALUE LAND</b>						
<b>TOTAL VALUE BUILDINGS</b>						
<b>TOTAL VALUE LAND AND BUILDINGS</b>						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
<b>TOTAL VALUE LAND</b>						
<b>TOTAL VALUE BUILDINGS</b>						
<b>TOTAL VALUE LAND AND BUILDINGS</b>						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

LAND VALUE COMPUTATIONS AND SUMMARY						
FRONTAGE	DEPTH	UNIT PRICE	DEPTH FACTOR	FRONT FT. PRICE	19	19
<b>TOTAL VALUE LAND</b>						
<b>TOTAL VALUE BUILDINGS</b>						
<b>TOTAL VALUE LAND AND BUILDINGS</b>						
SQ. FT. TO-FROM CH.		BLK.	LOT			
SQ. FT. TO-FROM CH.		BLK.	LOT			

YEAR	ORIG. COST	RENTAL
YEAR	SALE PRICE	EXPENSE
YEAR	U. S. R. S.	NET

ASSESSMENT RECORD				INCREASE	DECREA
1950	LAND	175			
	BLDGS.	1350			
	TOTAL	1525			
1951	LAND	200			
	BLDGS.	1625			
	TOTAL	1825			
195	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				
19	LAND				
	BLDGS.				
	TOTAL				

# RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

## CONSTRUCTION

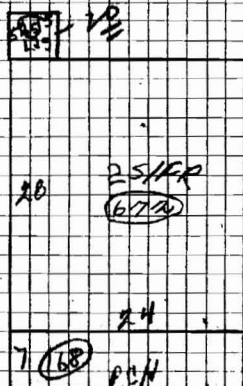
FOUNDAT ON	FLOOR CONST.	PLUMBING
CONCRETE	WOOD JOIST	BATHROOM
CONCRETE BLOCK ✓	STEEL JOIST	TOILET ROOM
BRICK OR STONE	MILL TYPE	WATER CLOSET
PIERS	REIN. CONCRETE	LAVATORY
CELLAR AREA FULL ✓	FLOOR FINISH	KITCHEN SINK ✓
¼ ½ ¾	B 1 2 3	STD. WAT. HEAT
NO. CELLAR	CEMENT ✓	AUTO. WAT. HEAT ✓
EXTERIOR WALLS	EARTH	ELECT. WAT. BYST.
CLAPBOARDS ✓	PINE	LAUNDRY TUBS
WIDE SIDING ✓	HARDWOOD ✓	NO PLUMBING
DROP SIDING	TERRAZZO	
NO SHEATHING	TILE	TILING
WOOD SHINGLES ✓		BATH FL. & WCOT.
ASBES. SHINGLES		TOILET FL. & WCOT.
STUCCO ON FRAME	ATTIC FLR. & STAIRS	LIGHTING
STUCCO ON TILE	INTERIOR FINISH	ELECTRIC ✓
BRICK VENEER	B 1 2 3	NO LIGHTING
BRICK ON TILE	PINE	NO. OF ROOMS
SOLID BRICK	HARDWOOD ✓	BSMT. 2ND 3
STONE VENEER	PLASTER ✓	1ST 4 3RD
CONC. OR CIND. BL.	UNFINISHED ✓	OCCUPANCY
	METAL CLG.	SINGLE FAMILY ✓
		TWO FAMILY
TERRA COTTA		APARTMENT
VITROLITE	RECREAT. ROOM	STORE
PLATE GLASS	FINISHED ATTIC	THEATRE
INSULATION	FIREPLACE	HOTEL
WEATHERSTRIP	HEATING	OFFICES
ROOFING	PIPELESS FURNACE	WAREHOUSE
ASPH. SHINGLES ✓	HOT AIR FURNACE ✓	COMM. GARAGE
WOOD SHINGLES	FORCED AIR FURN.	GAS STATION
ASBES. SHINGLES	STEAM	ECONOMIC CLASS
SLATE TILE	HOT WAT. OR VAPOR	OVER BUILT
METAL	NO HEATING	UNDER BUILT
COMPOSITION		DT. 8/15/60
ROLL ROOFING	GAS BURNER	AR. CS
	OIL BURNER	L.D. 5 PD. BL
INSULATION	STOKER	MS. CK. 1°

## COMPUTATIONS

UNIT	1951		
672 S. F.	4170		
S. F.			
ADDITIONS	+280		
21 <sup>st</sup> Bay	+150		
BASEMENT			
WALLS HTS	+50		
ROOF			
FLOORS			
ATTIC			
FINISH			
FIREPLACE			
HEATING	-200		
PLUMBING	+50		
TILING			
TOTAL	4500		
FACT.	-		
REP. VAL.	450.0		

## SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
Dwg	2 S/FR	C	36+		F	4500	40%	2700	A		
	B								B		
	C								C		
	D								D		
	E								E		
	F								F		
	G								G		
YEAR	1951										
TAX VAL.											
OLD VAL.											
CHANGE											
1951 TOTAL BLDGS.										2700	
TAX VALS.	19									19	
	19									19	
	19									19	





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 428 L011001  
 Location 38 SAVOY ST  
 Land Use SINGLE FAMILY 10'3" x 12'3"  
 Owner Address KING ROBERT C & JESSICA M WALLACE JTS  
 38 SAVOY ST  
 PORTLAND ME 04103

Book/Page 23436/311  
 Legal 428-L-11  
 SAVOY ST 36-38  
 6150 SF

*Shed*  
*R-S Zone*

**Current Assessed Valuation**

Land	Building	Total
\$64,800	\$110,500	\$175,300

*deck - can't  
 bring in 3' because  
 of window  
 not from edge  
 of house*

**Property Information**

Year Built 1920	Style Old Style	Story Height 2	Sq. Ft. 1392	Total Acres 0.141
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 6	Attic None
				Basement Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1986	8X12	C	F

**Sales Information**

Date	Type	Price	Book/Page
11/29/2005	LAND + BLDING	\$193,000	23436-311
02/18/2000	LAND + BLDING	\$114,000	15328-023
05/29/1997	LAND + BLDING		13103-070

**Picture and Sketch**

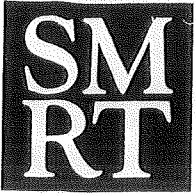
Picture                      Sketch                      Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

*484 S.*



FN

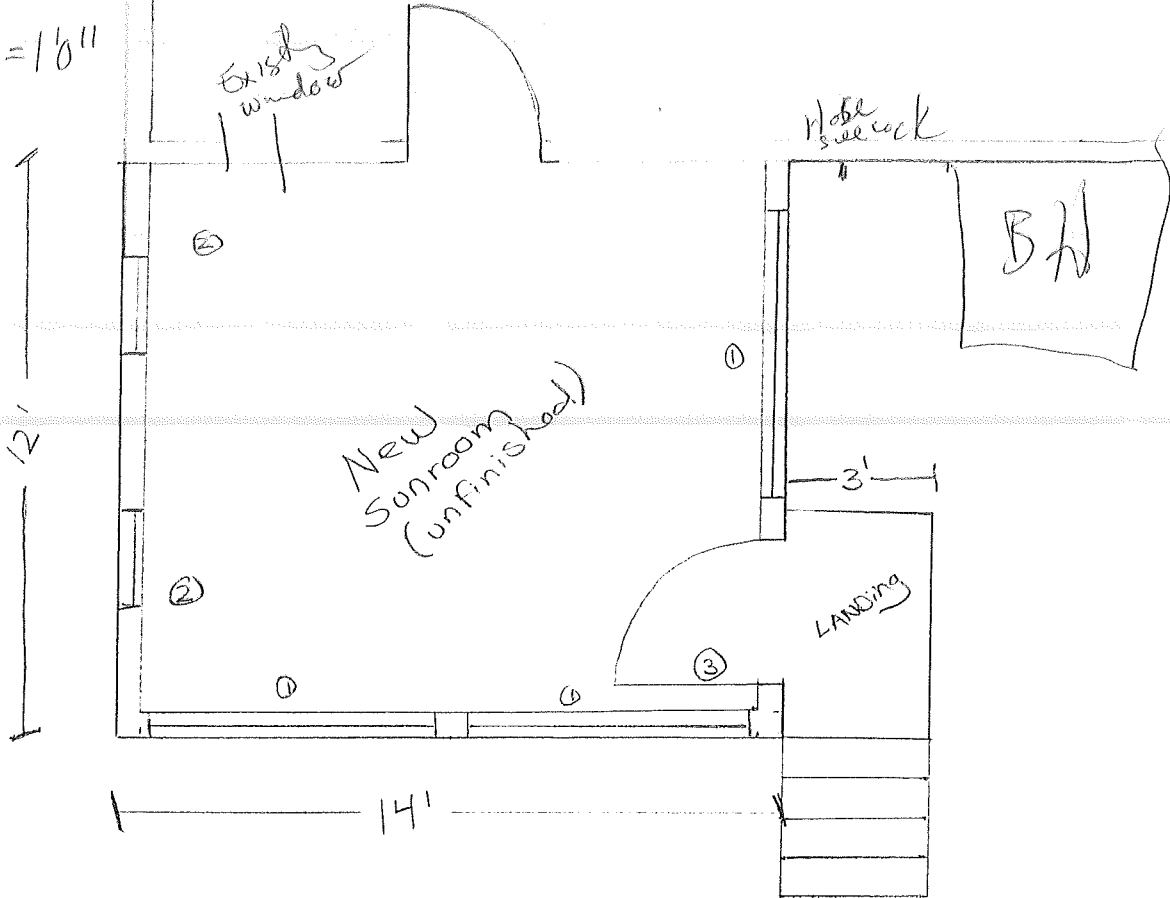
ARCHITECTURE  
ENGINEERING  
PLANNING

$\frac{1}{4}'' = 1'0''$

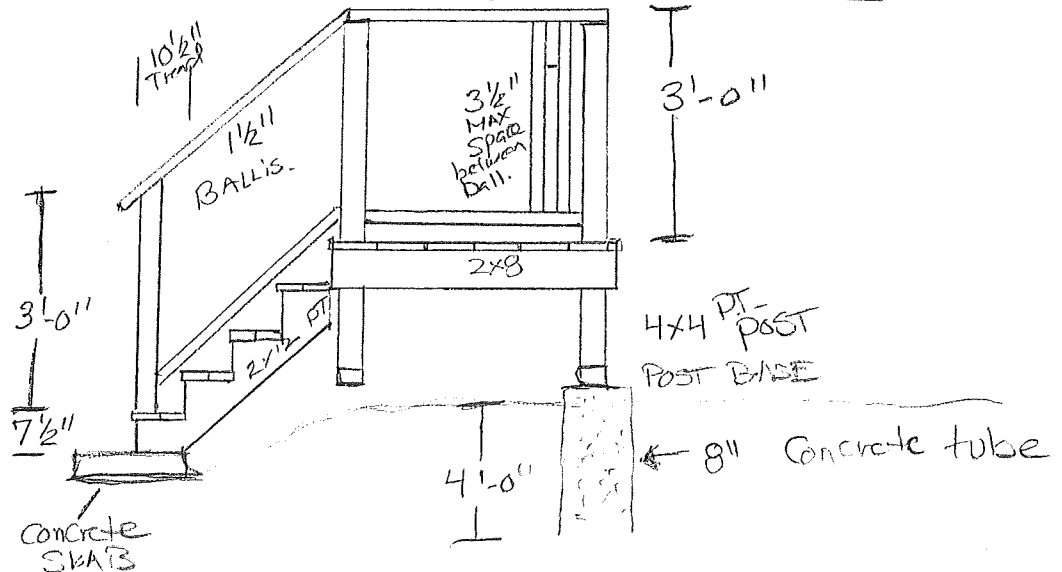
Existing

Window Schedule

	Size	
1	6'0" x 5'0"	Casement
2	2'0" x 2'0"	Awning
DOOR		
3	2'8" x 6'8"	

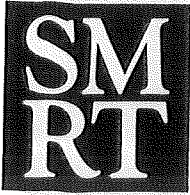


STAIR DETAIL



44 Fore Street  
PO Box 618  
Portland, Maine 04104  
P 207 772-3846  
F 207 772-1070

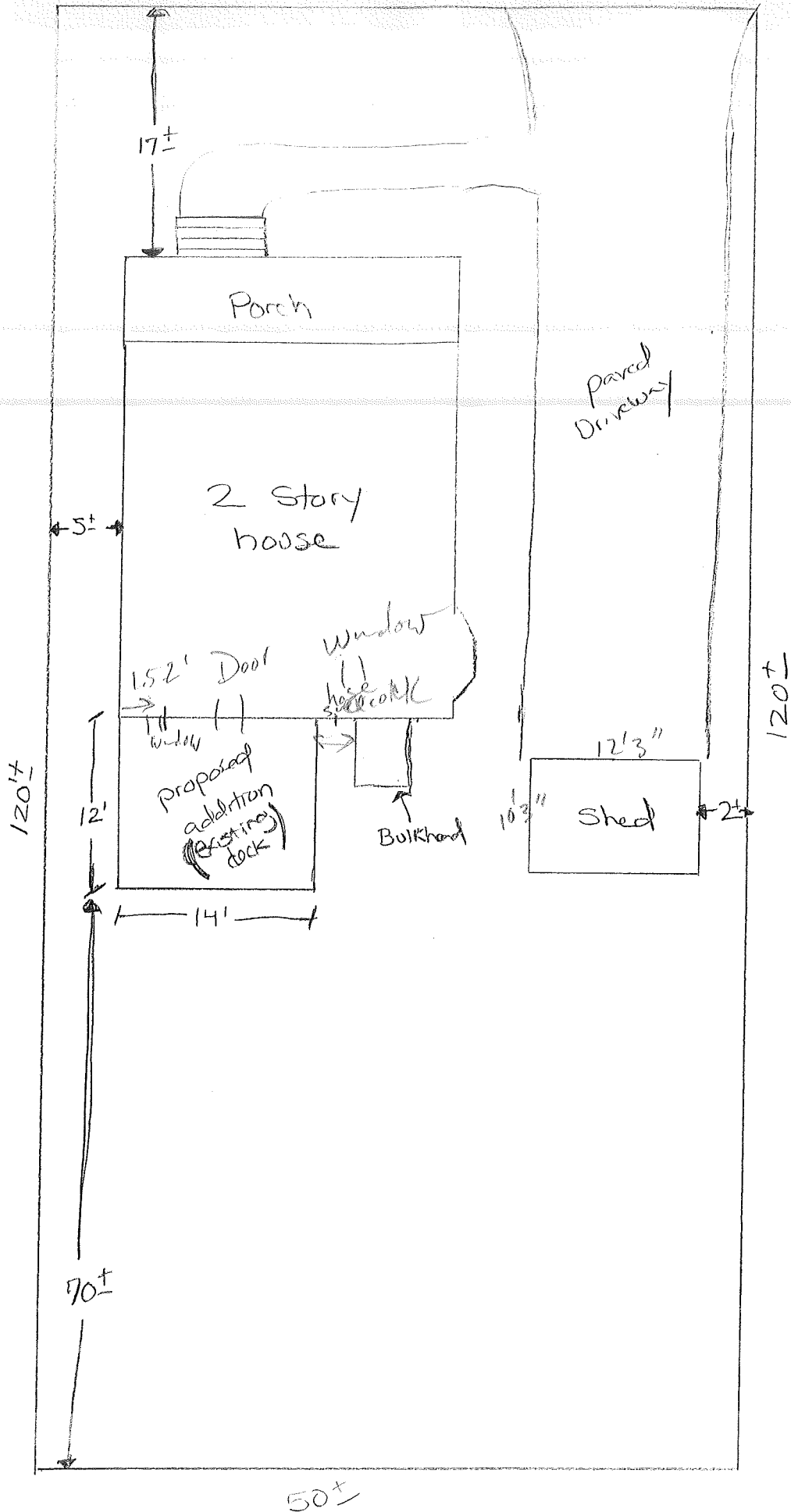
www.smrtinc.com



ARCHITECTURE  
ENGINEERING  
PLANNING

JANUARY 2017

50' ±

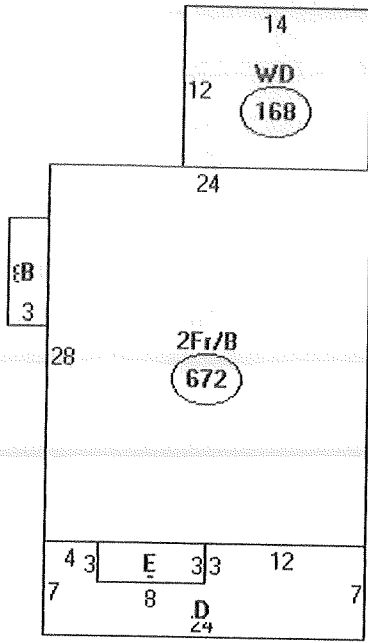


144 Fore Street  
PO Box 618  
Portland, Maine 04104  
207 772-3846  
207 772-1070

www.smrinc.com

C002168

New Deck permit



Descriptor/Area

- A: 2Fr/B  
672 sqft
- B: FBAY/B  
24 sqft
- C: WD  
168 sqft
- D: OFF  
144 sqft
- E: FBAY/B  
24 sqft

672

~~24~~

168

144

24

144 = 18x8

18 = 4.5x4

16 = 4x4 stairs

Shed

125.56 = 10.25x12.25

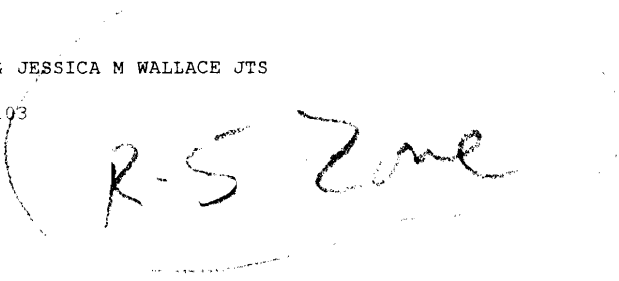
1335.56 sqft

6150 sqft x 40% = 2460 sqft  
max OK  
lot cov.

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**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	428 L011001
<b>Location</b>	38 SAVOY ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	KING ROBERT C & JESSICA M WALLACE JTS 38 SAVOY ST PORTLAND ME 04103
<b>Book/Page</b>	23436/311
<b>Legal</b>	428-L-11 SAVOY ST 36-38  6150 SF



**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$64,800	\$110,500	\$175,300

**Property Information**

<b>Year Built</b> 1920	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1392	<b>Total Acres</b> 0.141
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 6	<b>Attic</b> None
				<b>Basement</b> Full

**Outbuildings**

<b>Type</b> SHED-FRAME	<b>Quantity</b> 1	<b>Year Built</b> 1986	<b>Size</b> 8X12	<b>Grade</b> C	<b>Condition</b> F
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**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
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**Picture and Sketch**

Picture                      Sketch                      Tax Map

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**New Search!**



