

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

**BUILDING INSPECTION**

**PERMIT**

Permit Number: 061575

**PERMIT ISSUED**

MAR 14 2007

**CITY OF PORTLAND**

This is to certify that PORTLAND HOUSING DEVELOPMENT CORP /Portland Housing

has permission to Change of use from SFH to office associated with Washington Gardens &

AT 577 WASHINGTON AVE 428 B018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Debbie Bourke* 3/14/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

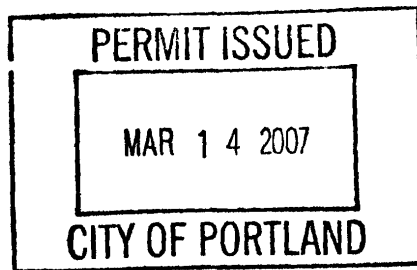
Permit No: 06-1575	Issue Date:	CBL: 428 B018001
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Location of Construction: 577 WASHINGTON AVE	Owner Name: PORTLAND HOUSING DEVELO	Owner Address: 14 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Portland Housing Development/ Ma	Contractor Address: 117 Anderson Street Portland	Phone: 2072218985
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: R5

Past Use: Commercial/ Portland Housing Office <i>- never been changed from single family</i>	Proposed Use: Portland Housing Office- Change of use from SFH to office associated w/ Washington Gardens & Office renovations to provide handicap accessibility to first floor	Permit Fee: \$470.00	Cost of Work: \$45,000.00	CEO District: 4
Proposed Project Description: <i>necessary</i> Change of use from SFH to office associated w/ Washington Gardens & Office renovations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>B</i> Type: <i>SB</i> <i>IBC-2003</i> Signature: <i>AMB 3/14/07</i>	
		Signature: <i>Greg Cross</i> PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 10/27/2006	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0211 amend plan</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: 2/23/07 <i>AM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AM</i> Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1575	Date Applied For: 10/27/2006	CBL: 428 B018001
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Location of Construction: 577 WASHINGTON AVE	Owner Name: PORTLAND HOUSING DEVELO	Owner Address: 14 BAXTER BLVD	Phone:
Business Name:	Contractor Name: Portland Housing Development/ Ma	Contractor Address: 117 Anderson Street Portland	Phone (207) 221-8985
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	

Proposed Use: Portland Housing Office- Change of use from SFH to accessory office associated w/ Washington Gardens & Office renovations to provide handicap accessibility to first floor	Proposed Project Description: Change of use from SFH to accessory office associated w/ Washington Gardens & Office renovations to provide handicap accessibility
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 02/23/2007

**Note:** Marge signed off on side setback on a side street setback encroachment on 10/10/06 under section 14-433.      **Ok to Issue:**

- 1) The offices proposed for 577 Washington Avenue are considered an accessory use to the principal housing project. The house at 577 Washington Avenue will revert back to a single family dwelling or other R-5 permitted use at such time that the Portland Housing Authority or the the Portland Housing Development Corporation or other affiliate of the Portland Housing Authority sell or lease the property to another entity.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 03/14/2007

**Note:**      **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

**Dept:** Fire      **Status:** Approved      **Reviewer:** Cptn Greg Cass      **Approval Date:** 03/01/2007

**Note:**      **Ok to Issue:**

<p><b>Comments:</b></p> <p>11/2/2006-amachado: Left message for Mark Dromgoole at Portland Housing Development. The last legal use we have for this property is a single family home. It is located in the R5 district. If the building is being used as offices for Washington Garden Apartments, then this is not a legal use and it is not allowed in the R5 zone.</p> <p>11/3/2006-amachado: Spoke to Mark Dromgoole. Told him that he needs to do a site plan amendment to Washington Gardens to add the two properties. Then the building used as offices could be considered an accessory use. He also needs to file a change of use application.</p> <p>2/23/2007-amachado: Site plan amendment to Washington Gardens has been tentatively approved (2/22/07). This permit was changed to include the change of use application.</p> <p>2/23/2007-amachado: Applicant owes for certificate of occupancy.</p>
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# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

M. B. [Signature] \_\_\_\_\_ Date \_\_\_\_\_  
Signature of Applicant/Designee  
Donna Martin Admin \_\_\_\_\_ Date 3-15-07  
Signature of Inspections Official

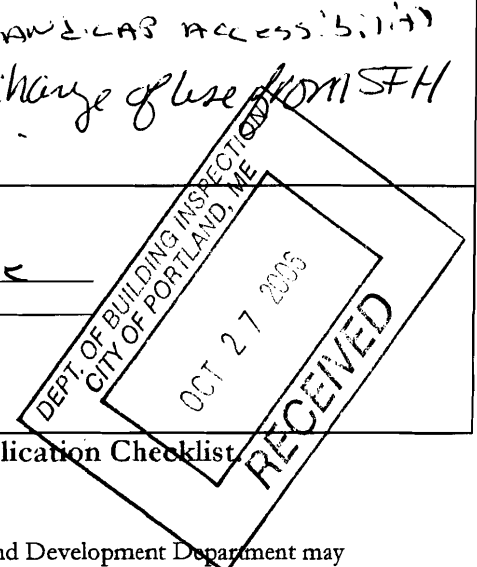
CBL: 428 B 018 Building Permit #: 06-1575



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>577 WASHINGTON AVE</u>		
Total Square Footage of Proposed Structure <u>999</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>428</u> <u>B</u> <u>18</u>	Owner: <u>PORTLAND HOUSING DEVELOPMENT CORP.</u>	Telephone: <u>773-4753</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>PORTLAND HOUSING DEVELOPMENT</u> <u>14 BAXTER BLVD</u> <u>PORTLAND ME 04101</u>	Cost Of Work: \$ <u>45,000</u> Fee: \$ <u>470<sup>00</sup></u> C of O Fee: \$ _____
Current Specific use: <u>office</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>OFFICE SPACE</u>		
Project description: <u>OFFICE RENOVATION, TO PROVIDE HANDICAP ACCESSIBILITY TO THE FIRST FLOOR, ALSO HANDICAP BATHROOM &amp; CHANGE OF USE FROM SFH TO OFFICE ADJAC. TO WASHINGTON GARDENS.</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>MARK DRAMGOLK</u> Mailing address: <u>PORTLAND HOUSING</u> Phone: <u>221-8985</u> <u>117 ANDERSON ST</u> <u>PORTLAND ME 04101</u>		



Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Mark Dramgolk Date: 10/26/06

This is not a permit; you may not commence ANY work until the permit is issued.

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**MEMORANDUM**

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**To:** FILE

**From:** Marge Schmuckal

**Dept:** Zoning

**Subject:** Application ID: 2007-0016

**Date:** 2/20/2007

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The offices proposed for 577 Washington Avenue are considered an accessory use to the principal housing project. The house at 577 Washington Avenue will revert back to a single family dwelling or other R-5 permitted use at such time that the Portland Housing Authority or the the Portland Housing Development Corporation or other affiliate of the Portland Housing Authority sell or lease the property to another entity.

Separate permits for the change of use through Inspection Services shall be required after site plan approval.

Marge Schmuckal

gta<sup>2</sup> architects

44 oak street  
portland, me 04101  
207.771.5461



October 13, 2006

Captain Greg Cass  
Portland Fire Department  
Portland, Maine

re: 577 Washington Avenue Change of Use for Portland Housing Development Corporation

Captain Cass:

My name is Stephen M. Thomas, I'm an architect located in Portland. I spoke with you 10.12.06 concerning the Change of Use Application for a single family dwelling to be converted into offices for residential services for Washington Gardens Apartments. This letter is intended to supplement the LIFE SAFETY PLAN, LS.1.

**Project Architect:**

Stephen M. Thomas  
Gta2 architects  
44 Oak Street  
Portland, Maine 04101  
207.771.5461

**Proposed use of Structure:**  
Business

**Square Footage:**

999 square feet (gross interior) —

**Existing and Proposed Fire Protection of Structure:**

Existing-5a unprotected; proposed 5a unprotected

Plan indicating smoke detectors is attached as **LS.1**

**A separate Life Safety Plan, plan, LS.1 is attached**

Item **a.** The project consists of an existing structure, utilizing the original floor plan configuration. It appears the walls are in most cases 2X4 studs with lath and plaster, with some walls having been given an additional layer of gypsum board.

Items **b,c,d,e** are shown on drawing **LS.1**

It is my understanding that item 'e' is for larger, more complex projects than this, and is not included on **LS.1**

If you need any additional information, please do not hesitate to call.

Sincerely,

Stephen M. Thomas



# Commercial Interior & Change of Use Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

## One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review *None*
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2003 *None*
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

**For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:**

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage

*This has been approved*

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)



### **Fire Department requirements.**

The following shall be submitted on a separate sheet:

- Name, address and phone number of the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (NFPA and IBC classification)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

## Current Owner Information

**Card Number** 1 of 1  
**Parcel ID** 428 B018001  
**Location** 577 WASHINGTON AVE  
**Land Use** GOVERNMENTAL

**Owner Address** PORTLAND HOUSING DEVELOPMENT CORP  
 14 BAXTER BLVD  
 PORTLAND ME 04101

**Book/Page** 20474/21  
**Legal** 428-B-18  
 WASHINGTON AVE 575-577  
 CHURCHILL 2-8  
 4700 SF

lot 9599

## Current Assessed Valuation

Land	Building	Total
\$65,300	\$72,400	\$137,700

## Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1930	Bungalow	1	984	0.108	3	1		6	Unfin	Full

## Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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## Sales Information

Date	Type	Price	Book/Page
10/01/2003	LAND + BLDING	\$125,000	20474-021

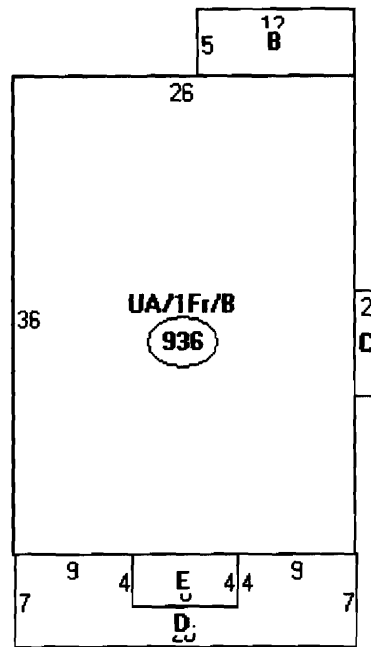
## Picture and Sketch

Picture      Sketch      Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



Descriptor/Area

A: UA/1Fr/B  
936 sqft

B: EP  
60 sqft

C: FBAY/B  
16 sqft

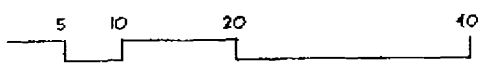
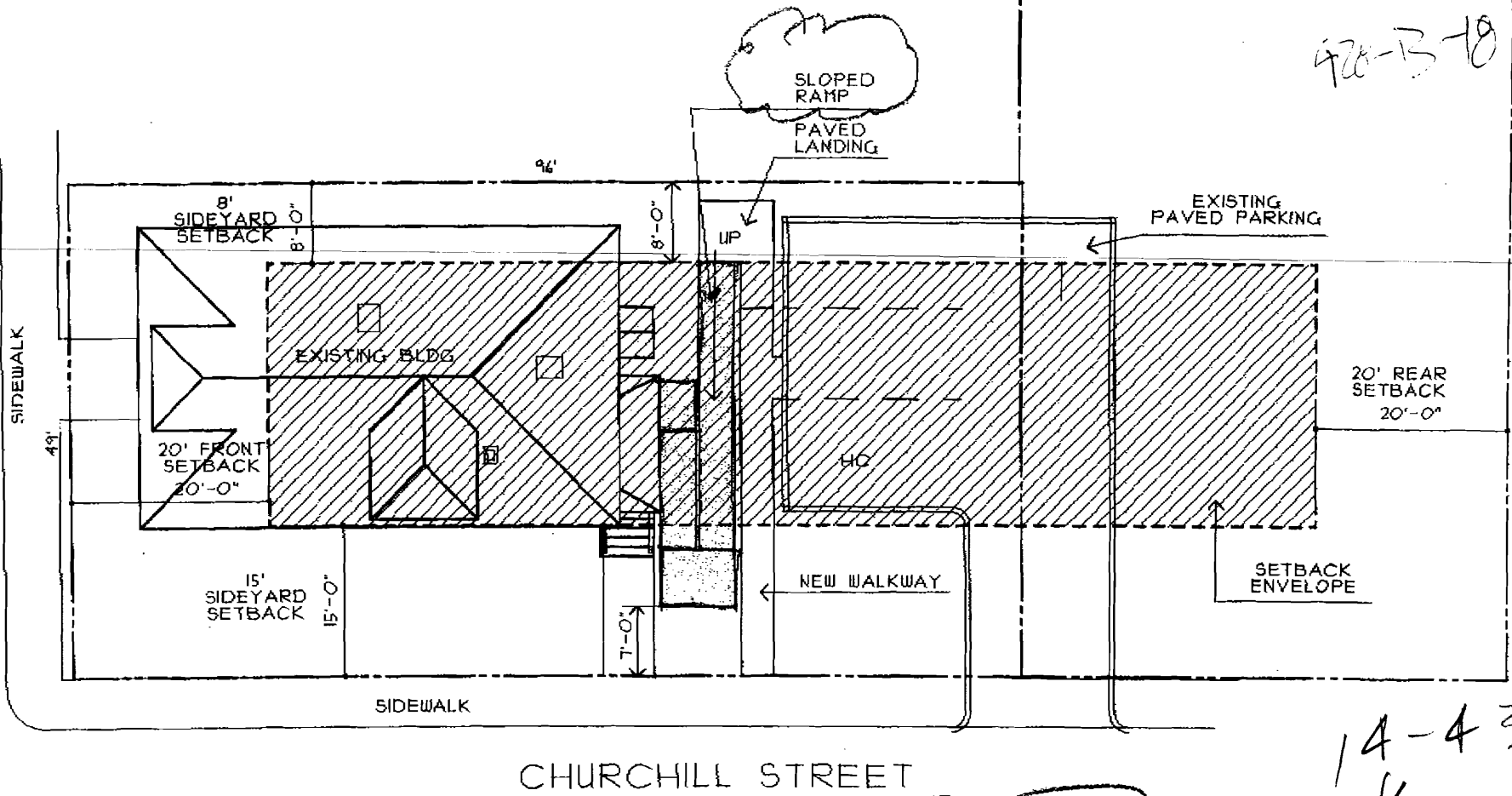
D: OFP  
150 sqft

E: FBAY/B  
32 sqft

WASHINGTON AVENUE

577 Washington Ave

R-5  
420-13-18



577 WASHINGTON AVENUE  
PHA PROJECT OFFICES

RAMP A  
49.75 LF  
TRAVEL DIS

14-433  
ok  
Steve Thomas  
10/10/06

WASHINGTON AVENUE

ATTEN:

MARGE

RE: 577 WASHINGTON AVE  
SETBACK OPTIONS

(3) SHEETS INC. THIS

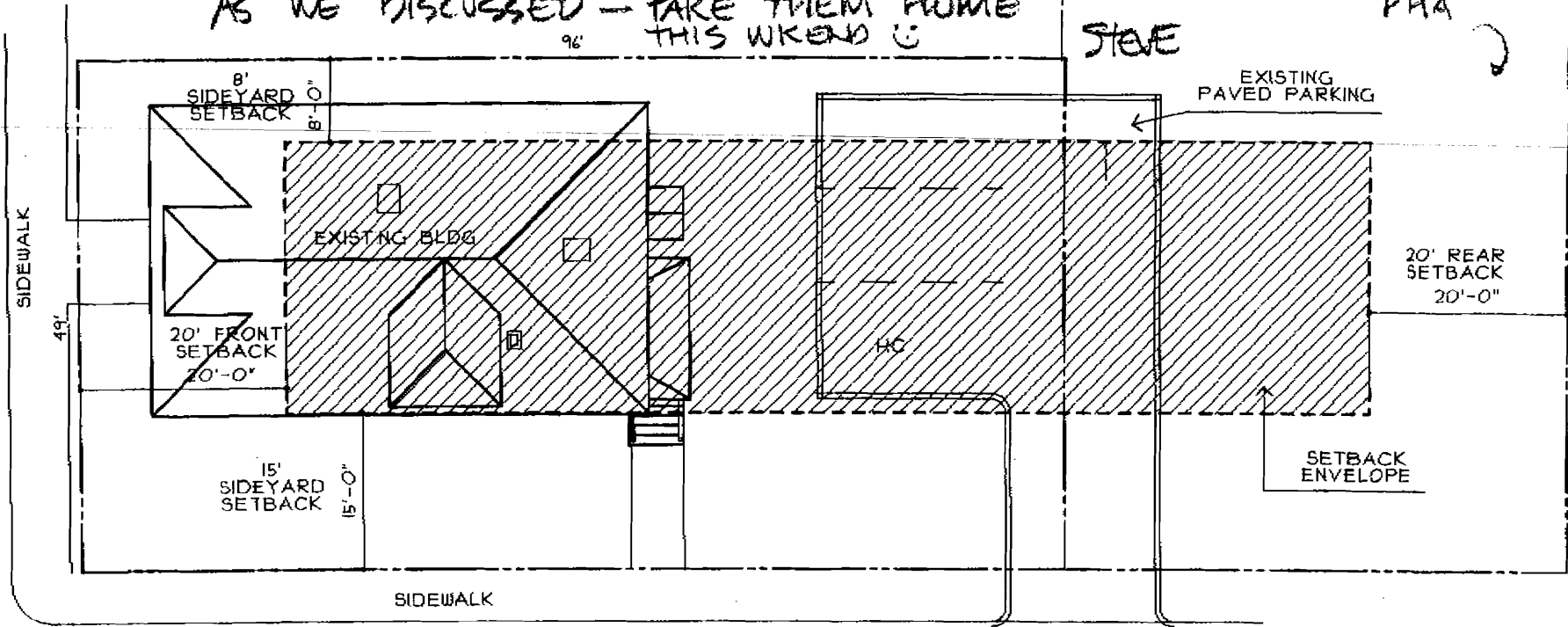
HI, MARGE, THESE ARE THE (2) OPTIONS  
I HAVE - A REQUIRES A SETBACK REDUCTION  
AS WE DISCUSSED - TAKE THEM HOME  
% THIS WEEKEND :)

FROM:

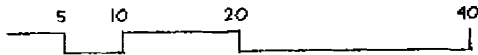
STEPHEN THOMAS  
771.5461  
GTA2 ARCH.

I THINK THIS  
BELONGS TO THE  
PHA

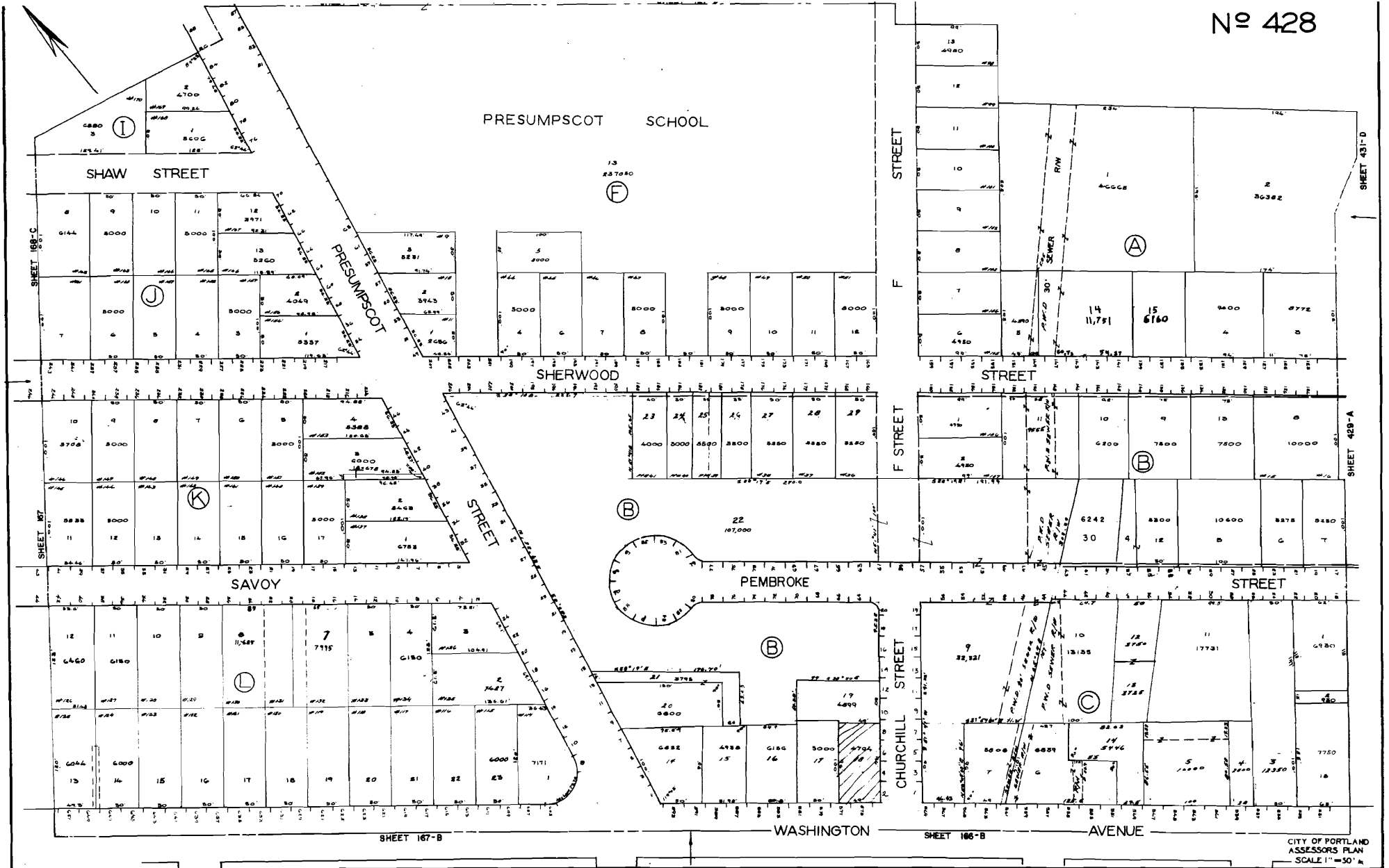
STEVE



CHURCHILL STREET



577 WASHINGTON AVENUE  
PHA PROJECT OFFICES  
EXISTING CONDITIONS





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	428 B018001
<b>Location</b>	577 WASHINGTON AVE
<b>Land Use</b>	GOVERNMENTAL
<b>Owner Address</b>	PORTLAND HOUSING DEVELOPMENT CORP 14 BAXTER BLVD PORTLAND ME 04101
<b>Book/Page</b>	20474/21
<b>Legal</b>	428-B-18 WASHINGTON AVE 575-577 CHURCHILL 2-8 4700 SF

### Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$65,300	\$72,400	\$137,700

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1930	Bungalow	1	984	0.108	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
3	1		6	Unfin	Full

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
10/01/2003	LAND + BLDING	\$125,000	20474-021

### Picture and Sketch

<b>Picture</b>	<b>Sketch</b>	<b>Tax Map</b>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



**From:** Barbara Barhydt  
**To:** Ann Machado; Marge Schmuckal  
**Date:** 11/6/2006 11:03:47 AM  
**Subject:** Re: Washington Ave Office

Hi Mark:

Please give me a call and we can set up a time to meet. It appears your best bet is to amend the subdivision/ site plan to include this property. I believe Marge considers the office becomes an accessory use. Talk with you soon.

Barbara

Barbara Barhydt  
Acting Development Review Manager  
Planning Division  
389 Congress Street 4th Floor  
Portland, ME 04101

(207) 874-8699  
Fax: 756-8256  
bab@portlandmaine.gov

>>> Marge Schmuckal 11/6/2006 9:14:28 AM >>>  
I wouldn't consider it a government office.  
Marge

>>> Barbara Barhydt 11/3/2006 3:26:38 PM >>>  
Hi:

Mark just called and we talked about the amended subdivision/site plan for Washington Heights that would include the lot with the office. He asked if their office could be considered a municipal use , since they are quasi governmental and the City Council appoints their board of directors.

Let us know what you think.

Thanks.

Barbara

**CC:** Mark Adelson

**From:** Barbara Barhydt  
**To:** Mark Adelson  
**Date:** 2/22/2007 10:09:29 AM  
**Subject:** Washington Gardens

Hi Mark:

I drafted an approval letter for Alex's signature for the Washington Gardens amended plan (he is back on Tuesday). I am attaching a draft of the letter, which includes conditions from Marge and Jeff Tarling recommends two street trees. I have also signed off in Urban Insight, so I believe you are all set to move forward on your building permit.

Thanks and sorry for the delay.

Barbara

**CC:** Bourke, Jeanie; Dorr, Jennifer; Machado, Ann; Schmuckal, Marge

February 22, 2007

Mark Adelson, Deputy Director  
Portland Housing Authority  
14 Baxter Boulevard  
Portland, Maine, 04101

Steve Thomas  
GTA2 Architects  
44 Oak Street  
Portland, Maine 04101

RE: Washington Gardens - Accessory Office Use  
CBL: 482-B022 and 428-C009

Dear Mark and Steve:

On February 22, 2007, the Portland Planning Authority approved the amended site plan to include the building at 577 Washington Avenue, which will be used as an accessory office for Washington Gardens as shown on the approved plan with the following conditions:

1. Plant two street trees with a minimum caliper of two inches between the existing building and the entrance drive;
2. The offices proposed for 577 Washington Avenue are considered an accessory use to the principal housing project. The house at 577 Washington Avenue will revert back to a single family dwelling or other R-5 permitted use at such time that the Portland Housing Authority, the Portland Housing Development Corporation or other affiliate of the Portland Housing Authority sells or leases the property to another entity; and
3. Separate permits for the change of use through the Inspection Services Division shall be required after site plan approval.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Barbara Barhydt, Development Review Services Manager at 874- 8699.

Sincerely,

Alexander Jaegerman  
Planning Division Director

cc: Lee D. Urban, Planning and Development Department Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Michael Bobinsky, Public Works Director  
Kathi Earley, Public Works  
Bill Clark, Public works  
Jim Carmody, Transportation Manager  
Michael Farmer, Public Works  
Jessica Hanscom, Public Works  
Jeff Tarling, City Arborist  
Penny Littell, Associate Corporation Counsel  
Captain Greg Cass, Fire Prevention  
Assessor's Office  
Approval Letter File



2006-0208

**APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW**

PORTLAND PLANNING DIVISION

Applicant

10/12/06

Application Date

1977 WASHINGTON AVE

Applicant's Mailing Address

ADDENDUM TO  
REVISIONS TO CBL 430 P-01

Project Name/Description

SILVERMATHSON  
P&A ARCHITECTS 207 411 0041

Consultant/Agent/Phone Number

1977 WASHINGTON AVE

Address of Proposed Site

CBL: 430 P-01

Description of Proposed Development:

CORRECTION OF EXTERIOR ADA COMPLIANT RAMP FROM

GRADE TO BUILDING ENTRANCE

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment  
(Yes, No, N/A)Planning Office  
Use Only

		✓
11/1/06 10/12/06		✓
2/5		✓
NO		✓
YES		✓
NO		✓
NO		✓
NO		✓
NO		✓
NO		✓

Planning Division Use Only

gta'2 architects



October 13, 2006

To whom it may concern:

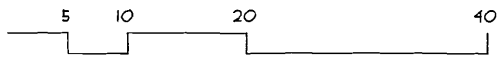
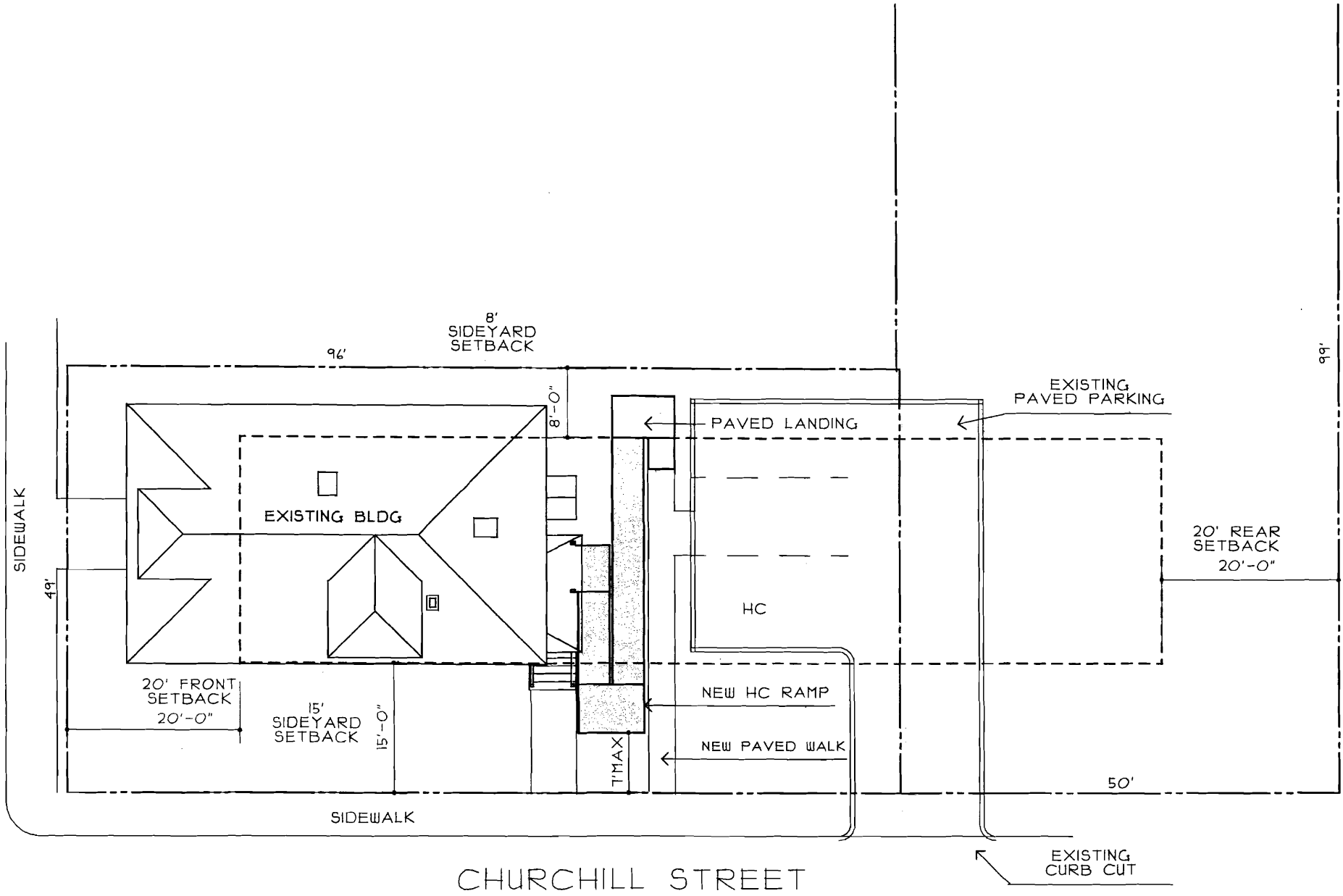
On behalf of the Portland Housing Development Corporation, I am requesting an exemption from site plan review for the construction of an accessible ramp at 577 Washington Avenue.

Our request is based on the belief that the proposed construction meets all of the provisions in standards a-h of sec. 14-523.

Sincerely,

Stephen M. Thomas  
gta2 architects  
44 Oak Street  
Portland, Maine 04101  
207.771.5461

WASHINGTON AVENUE



577 WASHINGTON AVENUE  
PHDC RESIDENTIAL SERVICES  
ACCESSIBILITY MODIFICATIONS

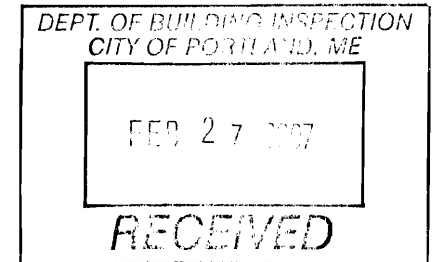
TOTAL LOT SIZE  
9,671 SF  
EXISTING BUILDING SQUARE FOOTAGE  
1,341 SF LCR 13.9%  
NEW RAMP FOOTPRINT  
201 SF LCR 16%



*Strengthening a Remarkable City. Building a Community for Life* [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning and Development Department**  
Lee D. Urban, Director

**Planning Division**  
Alexander Jaegerman, Director



February 22, 2007

Mark Adelson, Deputy Director  
Portland Housing Authority  
14 Baxter Boulevard  
Portland, Maine, 04101

Steve Thomas  
GTA2 Architects  
44 Oak Street  
Portland, Maine 04101

RE: Washington Gardens - Accessory Office Use

CBL: ~~482-B022 and 428-C009~~

428-13-018

Dear Mark and Steve:

On February 22, 2007, the Portland Planning Authority approved the amended site plan to include the building at 577 Washington Avenue, which will be used as an accessory office for Washington Gardens as shown on the approved plan with the following conditions:

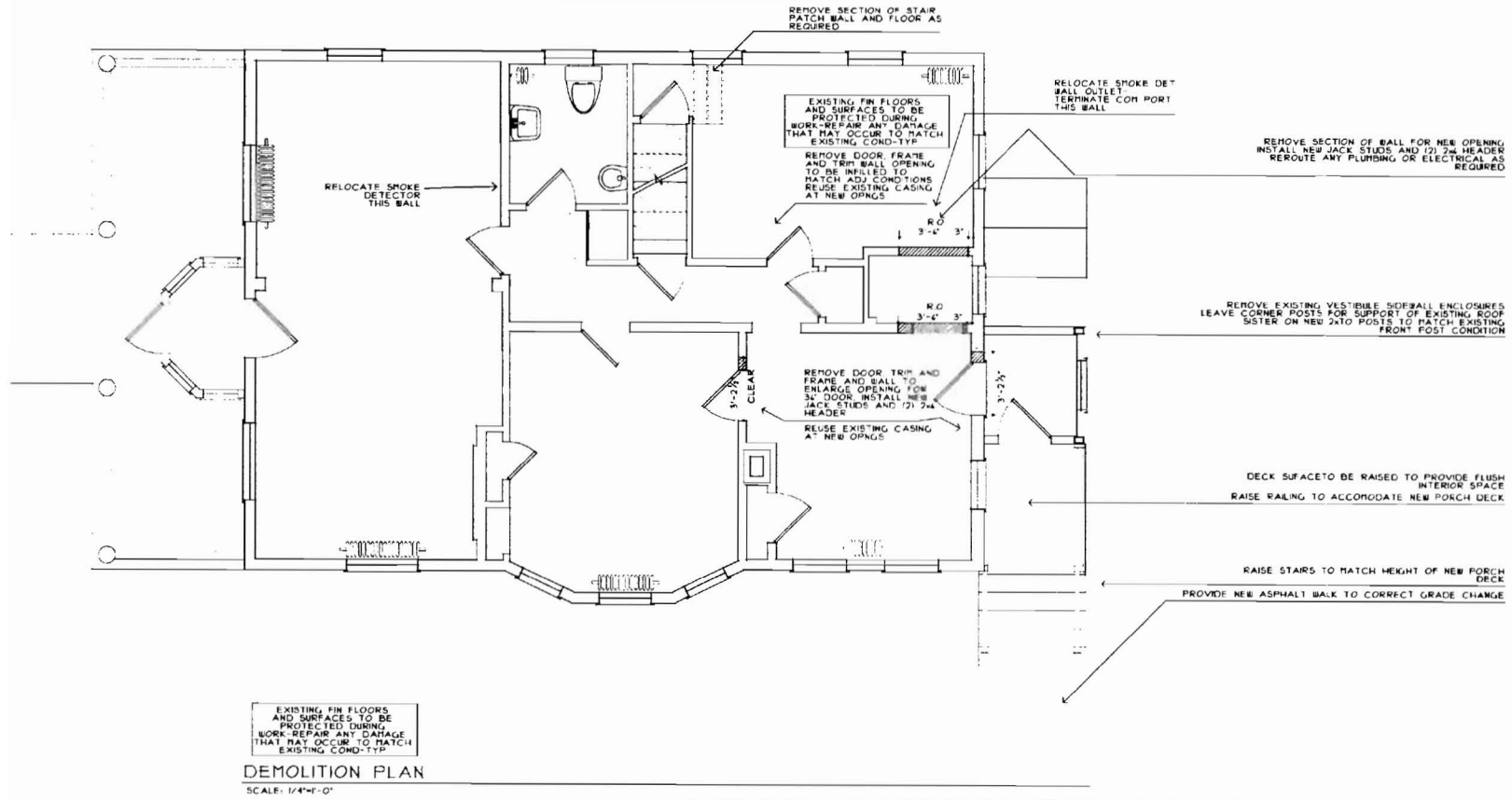
1. Plant two street trees with a minimum caliper of two inches between the existing building and the entrance drive;
2. The offices proposed for 577 Washington Avenue are considered an accessory use to the principal housing project. The house at 577 Washington Avenue will revert back to a single family dwelling or other R-5 permitted use at such time that the Portland Housing Authority, the Portland Housing Development Corporation or other affiliate of the Portland Housing Authority sells or leases the property to another entity; and
3. Separate permits for the change of use through the Inspection Services Division shall be required after site plan approval.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

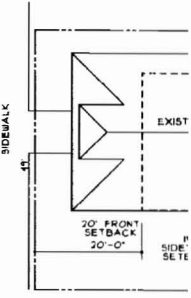
Please note the following provisions and requirements for all site plan approvals:

1. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.



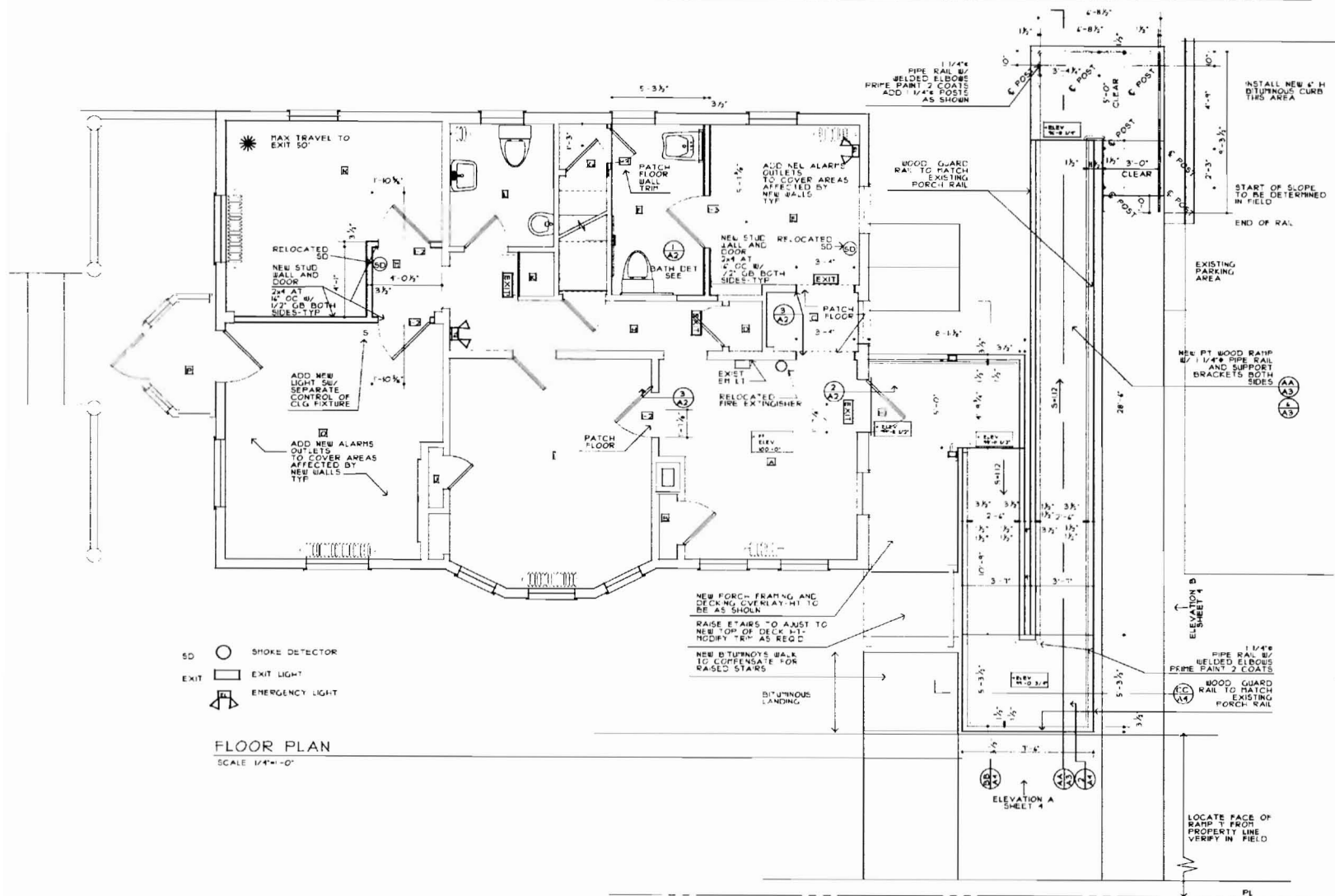


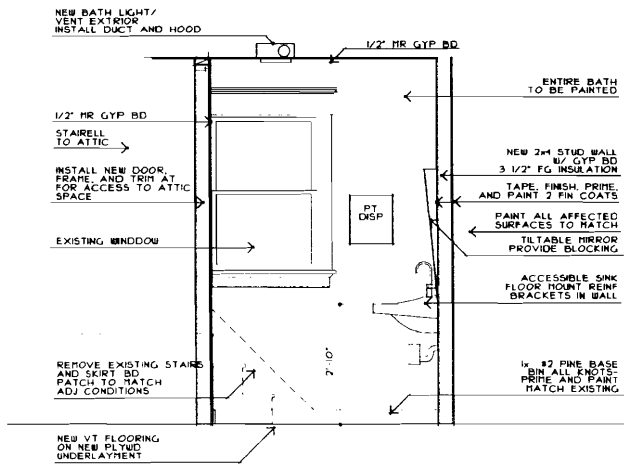
WASHINGTON AVENUE



1 10 20

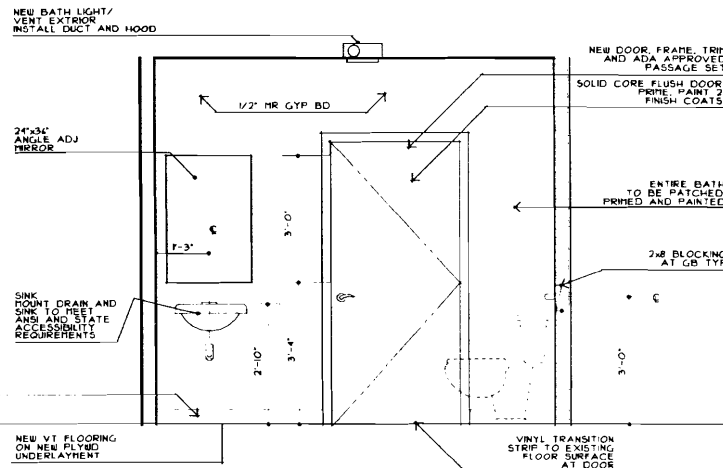
577 WASHING  
PHDC RESID  
ACCESSIBILITY I





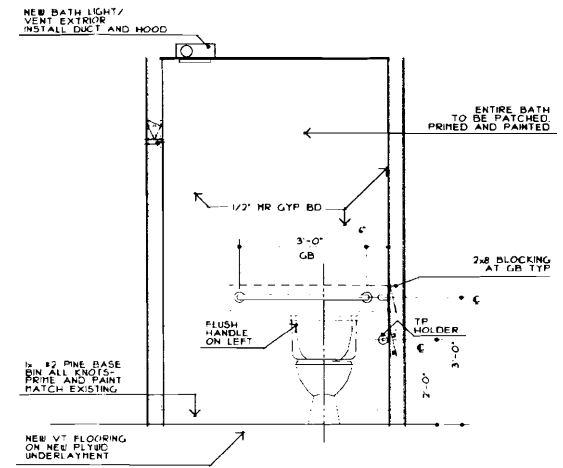
ELEVATION A

SCALE: 1/2"=1'-0"



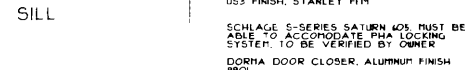
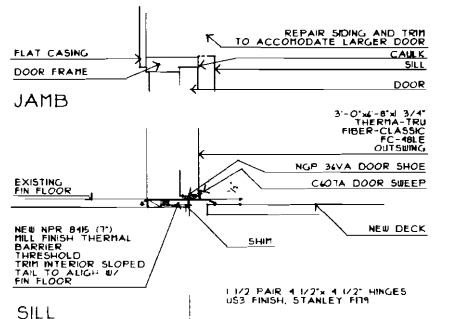
ELEVATION B

SCALE: 1/2"=1'-0"



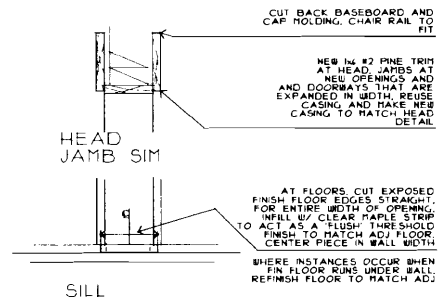
ELEVATION C

SCALE: 1/2"=1'-0"



2 ENTRY DOOR SILL

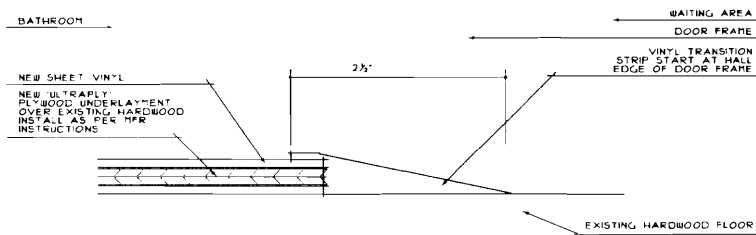
SCALE: 1/2"=1'-0"



SILL

3 DETAIL AT NEW WALL OPENINGS

SCALE: 1/2"=1'-0"



4 FLOOR TRANSITION DETAIL

FULL SIZE

DOOR SCHEDULE

MARK	LOCATION	SIZE	THICKNESS	MATERIAL	MANUFACTURER	HARDWARE	FINISH	MANUFACTURER	MODEL NO	NOTES
I-1	ENTRY	3'-0" x 4'-8"	1 3/4"	FIBERGLASS	THERMA-TRU FC-88E	LOCKSET 1S PR 45x45 HINGES	US3	SCHLAGE STANLEY	S-SERIES SATURN 60S	OUTSWING DOOR W/CLOSER DOOR SWEEP AND WEATHERSTRIP-CLD GLASS NFR 845S 1B ALUM THRESHOLD DORNA DOOR CLOSER 890I ALUM IVES DOOR STOP#F5436-US3 FIN
I-2	OFFICE	3'-0" x 4'-8"	1 3/8"	SOLID CORE BIRCH VENEER	JELD WEN	LOCKSET 1S PR 45x45 HINGES	US3	SCHLAGE STANLEY	S-SERIES SATURN 60S	IVES DOOR STOP#F5436-US3 FIN
I-3	BATHROOM	3'-0" x 4'-8"	1 3/8"	SOLID CORE BIRCH VENEER	JELD WEN	LOCKSET 1S PR 45x45 HINGES	US3	SCHLAGE STANLEY	S-SERIES SATURN 60S	IVES DOOR STOP#F5436-US3 FIN
I-4	ATTIC ACCESS	2'-0" x 8'-0"	1 3/8"	SOLID CORE BIRCH VENEER	JELD WEN	LOCKSET 1S PR 45x45 HINGES	US3	SCHLAGE STANLEY	S-SERIES SATURN 60S	ACCESS DOOR TO BE CUT TO FIT IN FIELD. INSTALL WOOD FRAME AND CASING.

SPECIAL NOTES:

- CONTRACTOR MUST FIELD MEASURE FOR ALL DOORS
- DOOR HAND TO BE AS SHOWN ON DWGS
- CONTRACTOR TO VERIFY W/ PHA THE COMPATIBILITY OF OWNERS' MASTER KEYING SYSTEM WITH SPECIFIED PRODUCT
- ALL INTERIOR DOORS TO BE 1 3/8" THICK, SOLID CORE, PAINT GRADE BIRCH VENEER W/ FLAT CASING AND TRIM. PAINT ALL DOORS FRAME AND TRIM. EXCEPT WHERE EXISTING CASING IS TO BE REUSED
- UNDERCUT BATH DOORS F

PAINT SCHEDULE

LOCATION	ITEM	PRODUCT	MANUFACTURER
EXTERIOR RAMP DECK	METAL RAIL	1ST COAT ALL SURFACE ENAMEL PRIMER AND 2ND 3RD ALL SURFACE ENAMEL AP SERIES	SHERWIN WILLIAMS
EXTERIOR DECK AND RAMP SURFACE	DECK SURFACE	1ST ARMOR SEAL TREAD PLEX PRIMER 2ND 3RD ARMORSEAL TREAD PLEX ACRYLIC FLOOR FINISH (100% SOLID) SLIP RESISTANT DECK PAINT	SHERWIN WILLIAMS
EXTERIOR TRIM	EXTERIOR WOOD TRIM	1ST DURAKON 833 SERIES SATIN COATING 2ND DURAKON 833 SERIES SATIN COATING	SHERWIN WILLIAMS
EXTERIOR DOOR	FG EXTERIOR DOOR	1ST D17 ACRYLIC PRIMER/FINISH BUNA 2ND 3RD D17 ACRYLIC SEPR GLOSS COATING BU-700 SERIES	SHERWIN WILLIAMS
HALLS, CEILINGS	ALL SURFACES	1ST PREPRITE CLASSIC PRIMER B2880 2ND 3RD PRO-TAK-200 LATEX EGGSHELL B20W00 SERIES	SHERWIN WILLIAMS
INTERIOR DOORS	ALL SURFACES	1ST PREPRITE CLASSIC PRIMER B2880 2ND 3RD PRO-TAK-200 LATEX EGGSHELL B20W00 SERIES	SHERWIN WILLIAMS
HALLS, TRIM, ALL WOODWORK	ALL SURFACES	1ST PREPRITE CLASSIC PRIMER B2880 2ND 3RD PRO-TAK-200 LATEX EGGSHELL B20W00 SERIES	SHERWIN WILLIAMS

FLOORING FINISH SCHEDULE

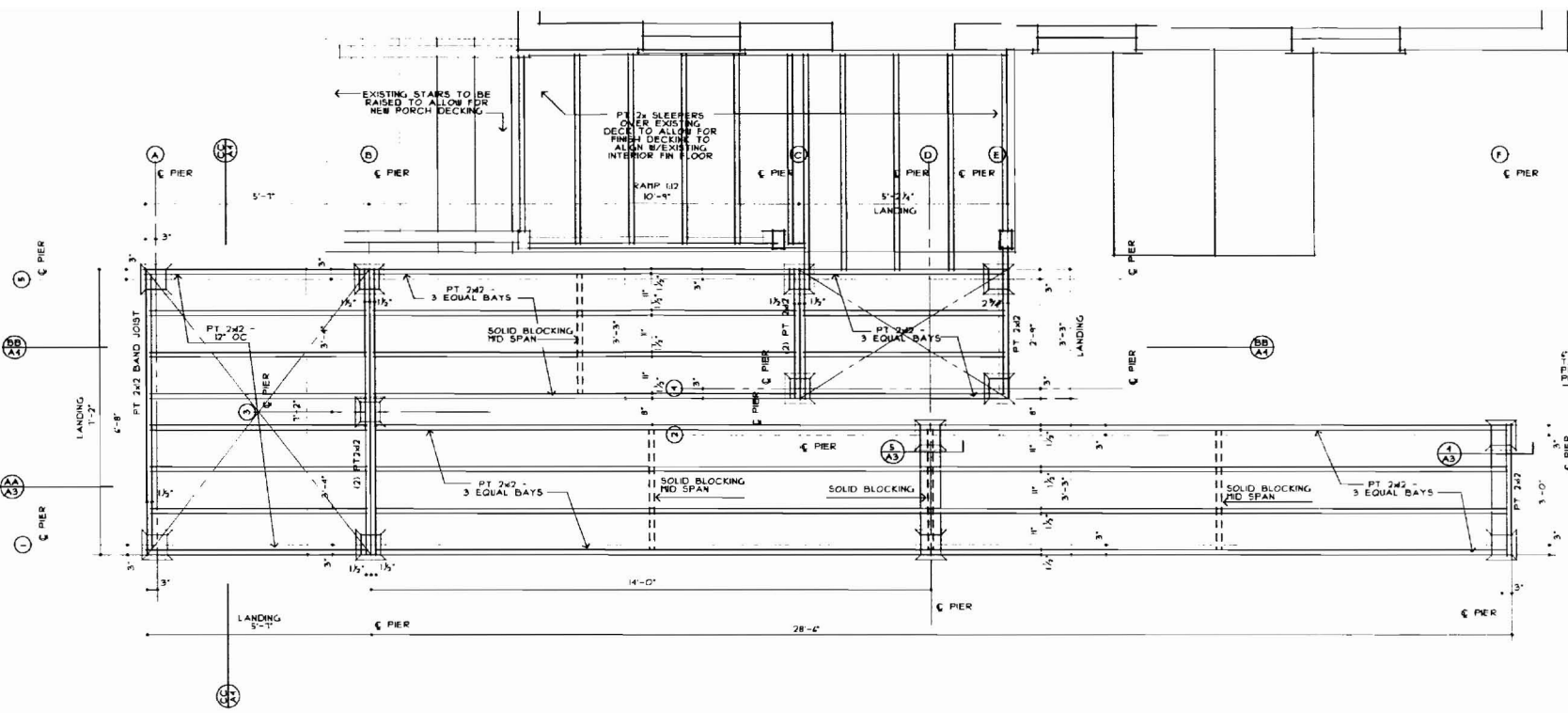
LOCATION	TYPE	MANUFACTURER
BATHROOM	3/8" UNDERLAY PLYWD	GP
BATHROOM	SHEETGOODS	HANNINGTON FINE FIELDS TOM

ELECTRICAL FIXTURE SCHEDULE

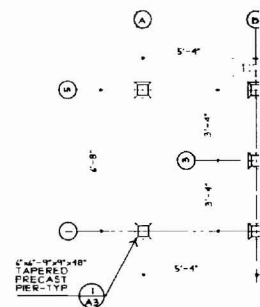
LOCATION	AREA	MANUFACTURER	PART NO	LAMPS/LAMPS	ITEM
BATHROOM	CEILING	NUTONE LIGHT PAN	864	1-35W	PAN/LIGHT
COMMON AREAS	CEILING	PROGRESS	P40768B	2-20W 4-1/2" x 2 1/2" (4-1/2) DC	SURFACE MOUNT EXIT LIGHT
COMMON AREAS	WALL	FIRE-X	O4G MODE. G-4	HARDWIRED INTEL CONNECTED SLD	SPOKE DETECTOR
COMMON AREAS	WALL	PROGRESS	PG348B	2 HEAD	EMERGENCY LIGHT

CONTRACTOR TO SUPPLY AND INSTALL ALL LAMPS EXHAUST HOOD W/ DAPPER AT EXTERIOR SIDE CALL BY NUTONE 865AL

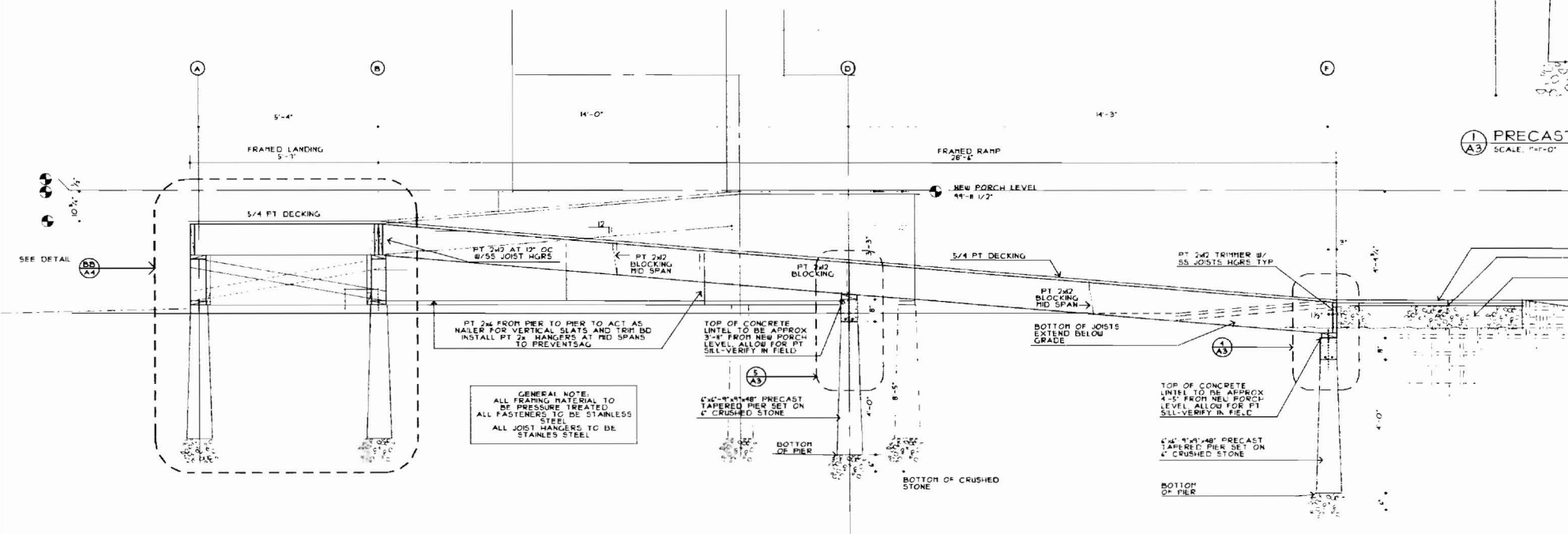
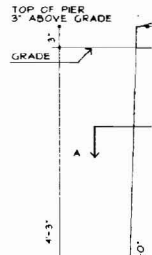
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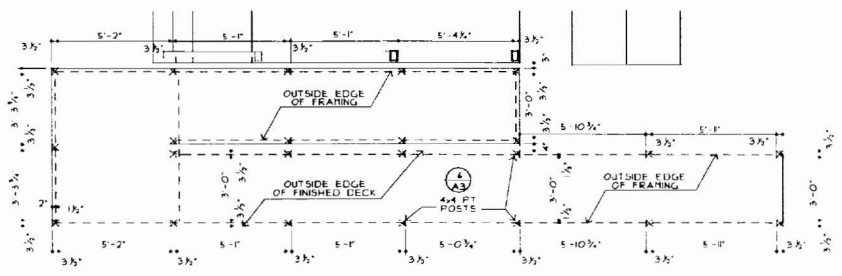
4 FRAMING PLAN  
SCALE 1/2" = 1'-0"



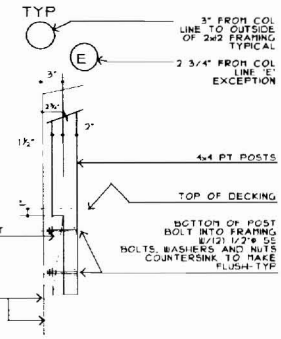
FOUNDATION PLAN  
SCALE 1/4" = 1'-0"



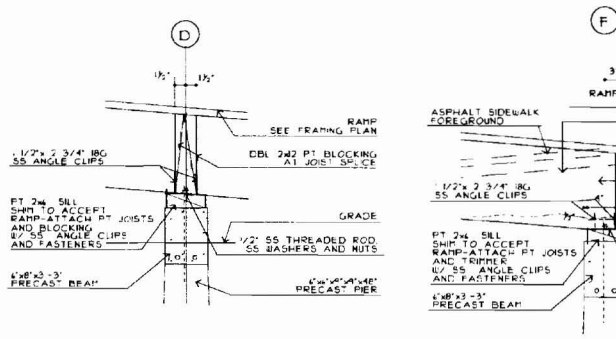
AA SECTION A-A THRU RAMP  
SCALE 1/2" = 1'-0"



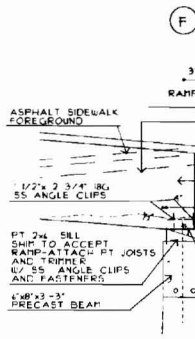
POST LAYOUT PLAN  
SCALE 1/4" = 1'-0"



6 POST FRAMING AT RAMP  
SCALE 1" = 1'-0"

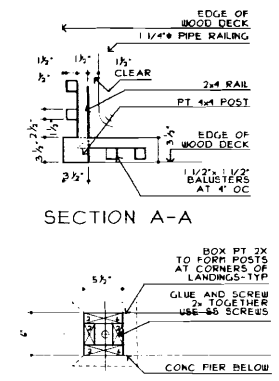
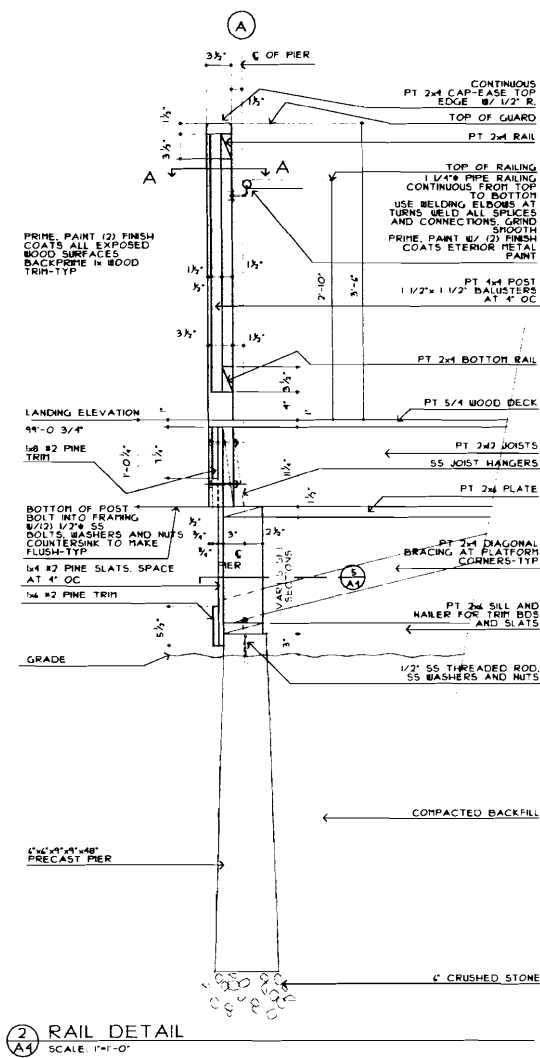
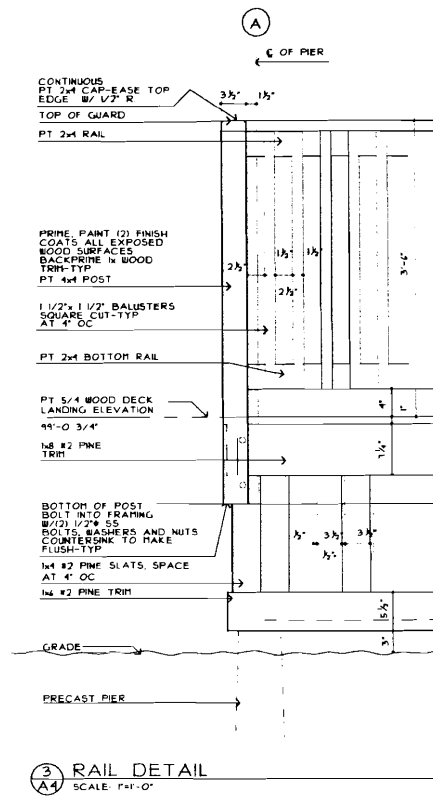


5 RAMP FRAMING DETAIL AT BEAM  
SCALE 1" = 1'-0"

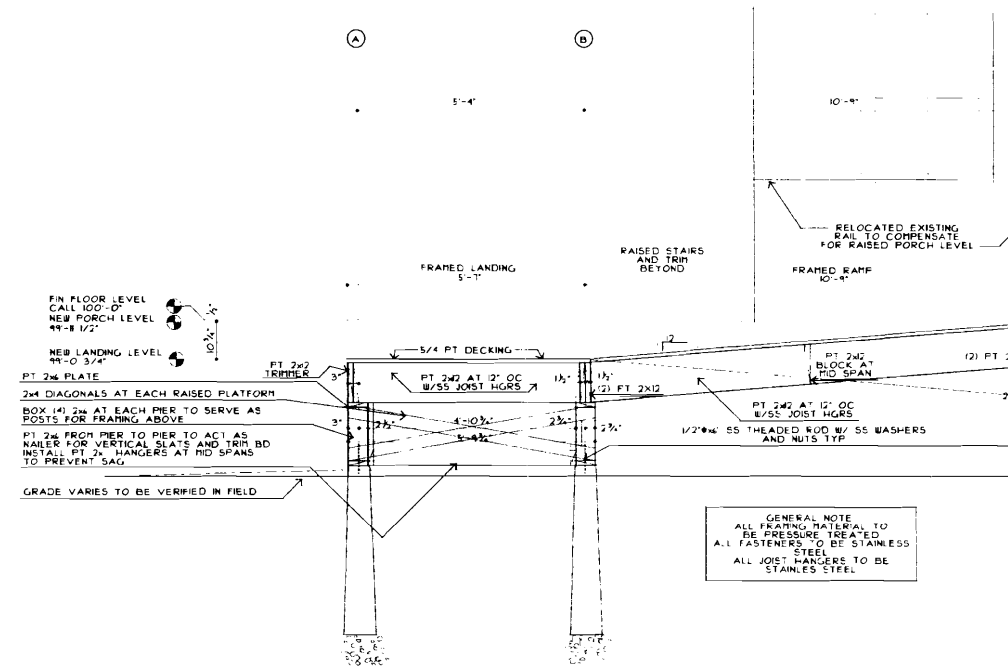
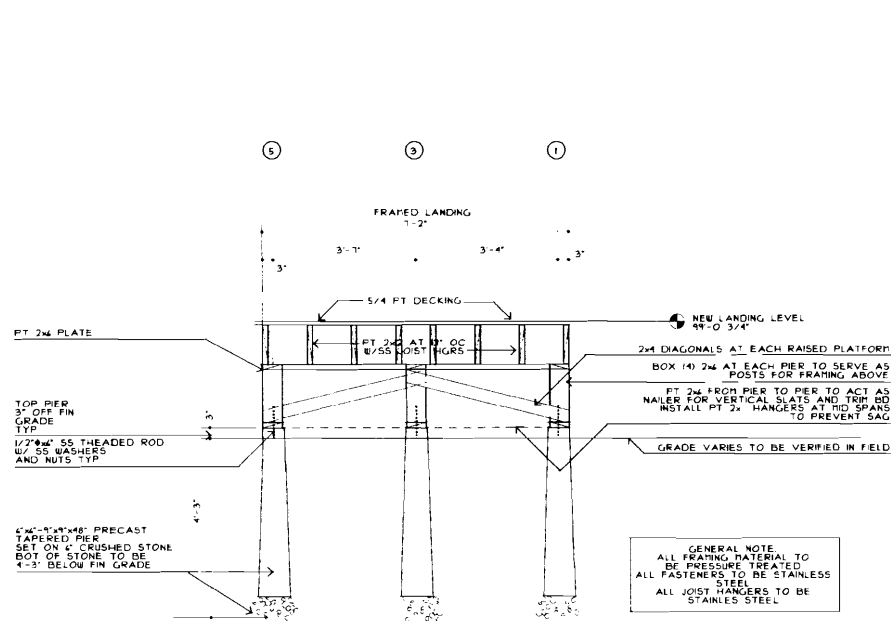
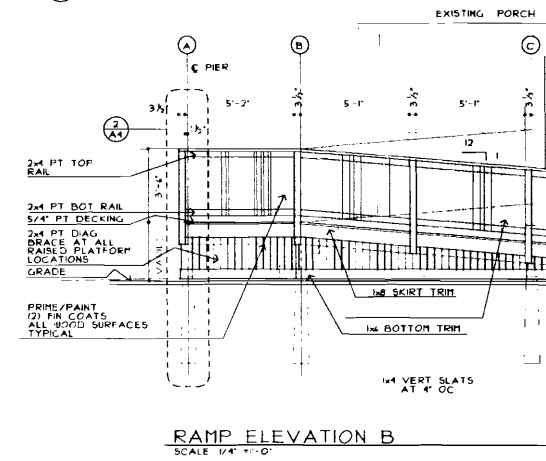


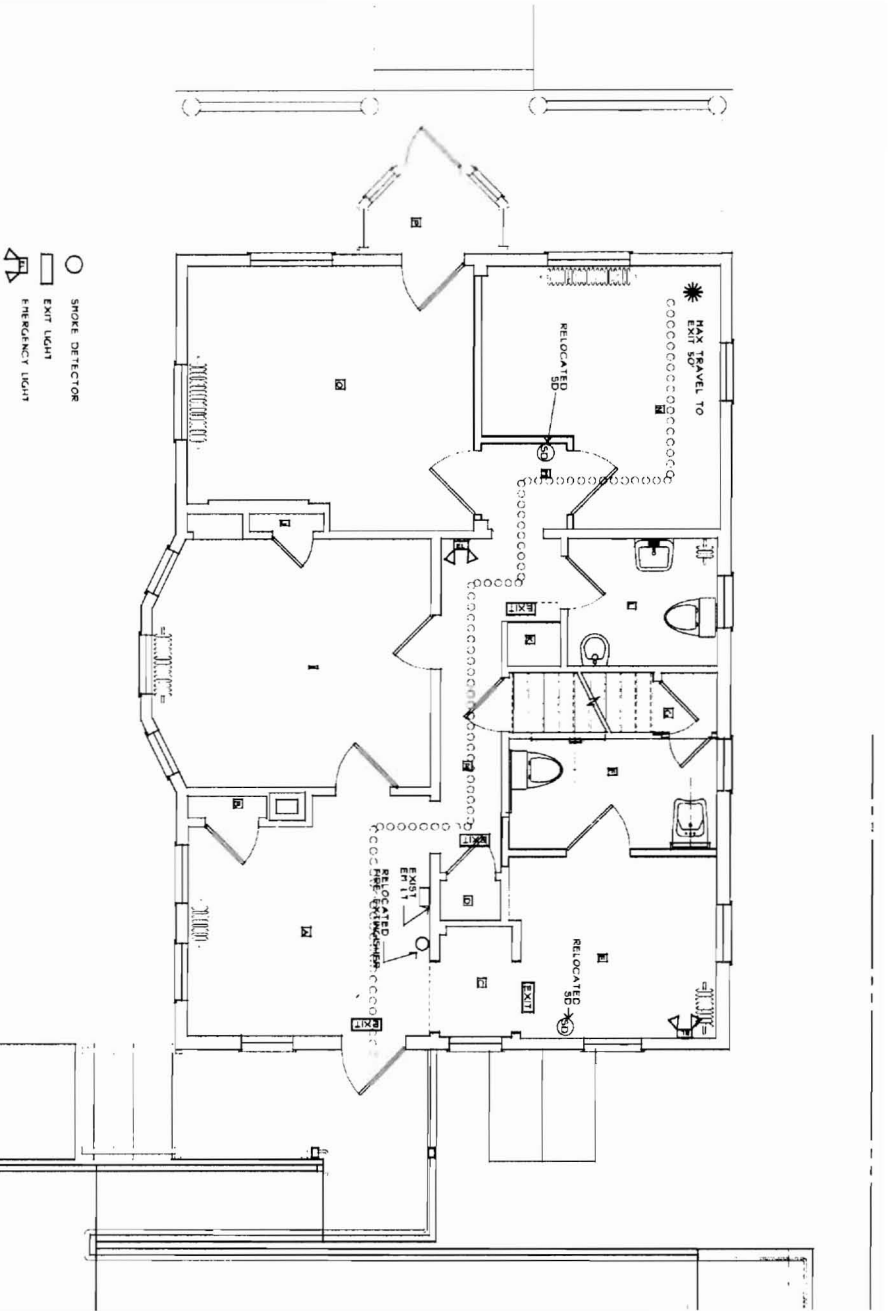
4 RAMP FRAM AT BEAM  
SCALE 1" = 1'-0"

1 PRECAST  
SCALE 1/4" = 1'-0"



① POST DETAIL  
SCALE 1" = 1'-0"





LIFE SAFETY PLAN

SCALE 1/4"=1'-0"