

FRONT ELEVATION

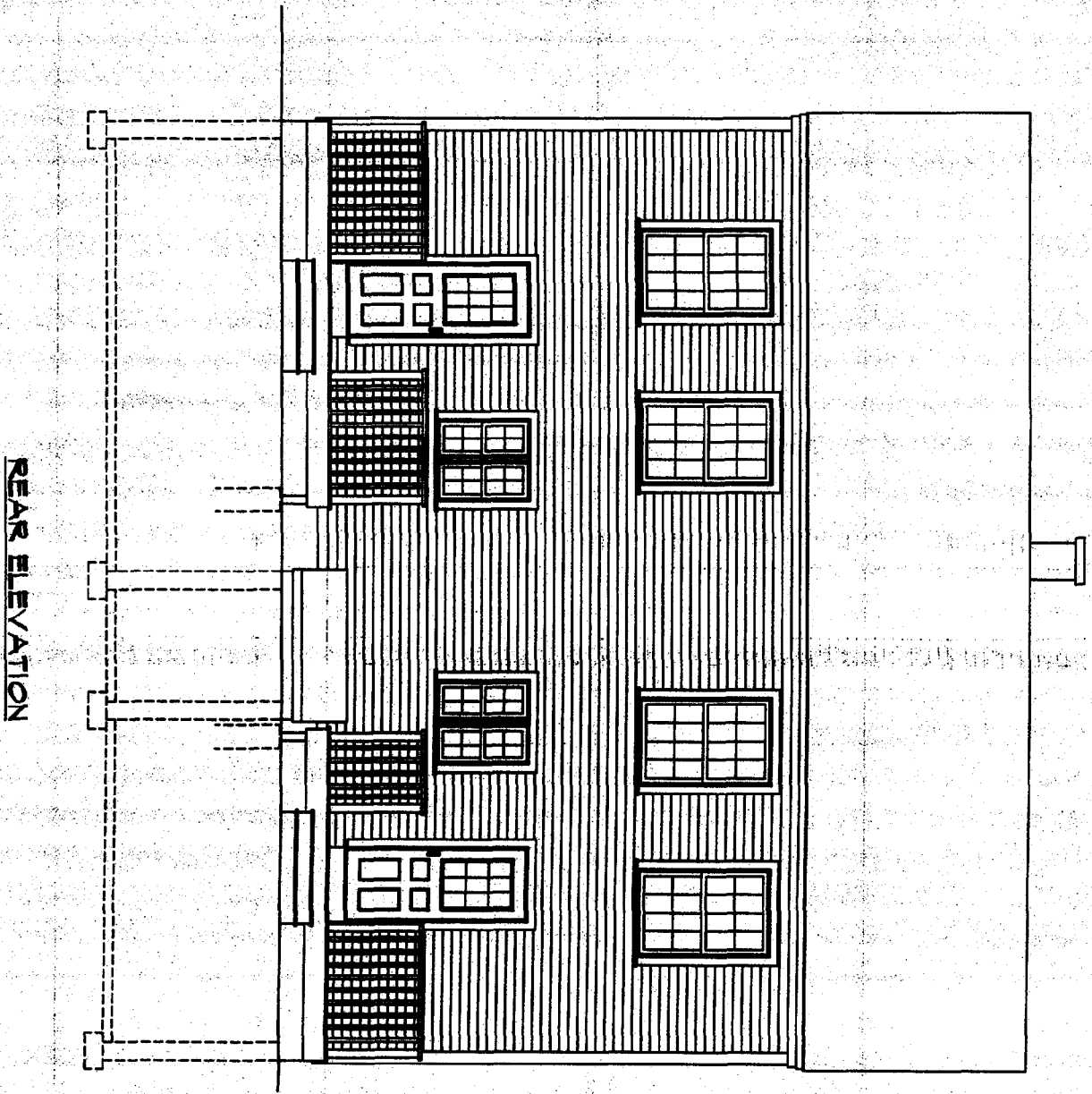
Place Building Plans

JAN 14 2004

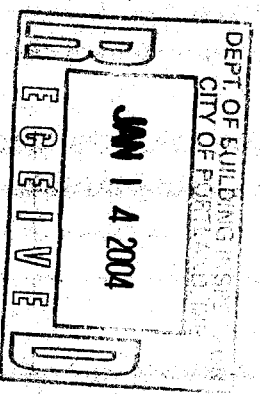
REGGIE VEJ

REVISED 01-14-04

| | |
|-------------------------------------|---|
| BOWEN DUPLEX PORTLAND, MAINE | |
| MORIN DRAFTING GORHAM, ME. 895-2463 | |
| ELEVATION | |
| DRAWN: J. MORIN | A |
| SCALE: 1/4"=1'-0" | |
| DATE: 07-11-03 | |



REAR ELEVATION



REVISED 01-14-04

BOWEN DUPLEX
PORTLAND, MAINE

MORIN DRAFTING GORHAM, ME 898-2463

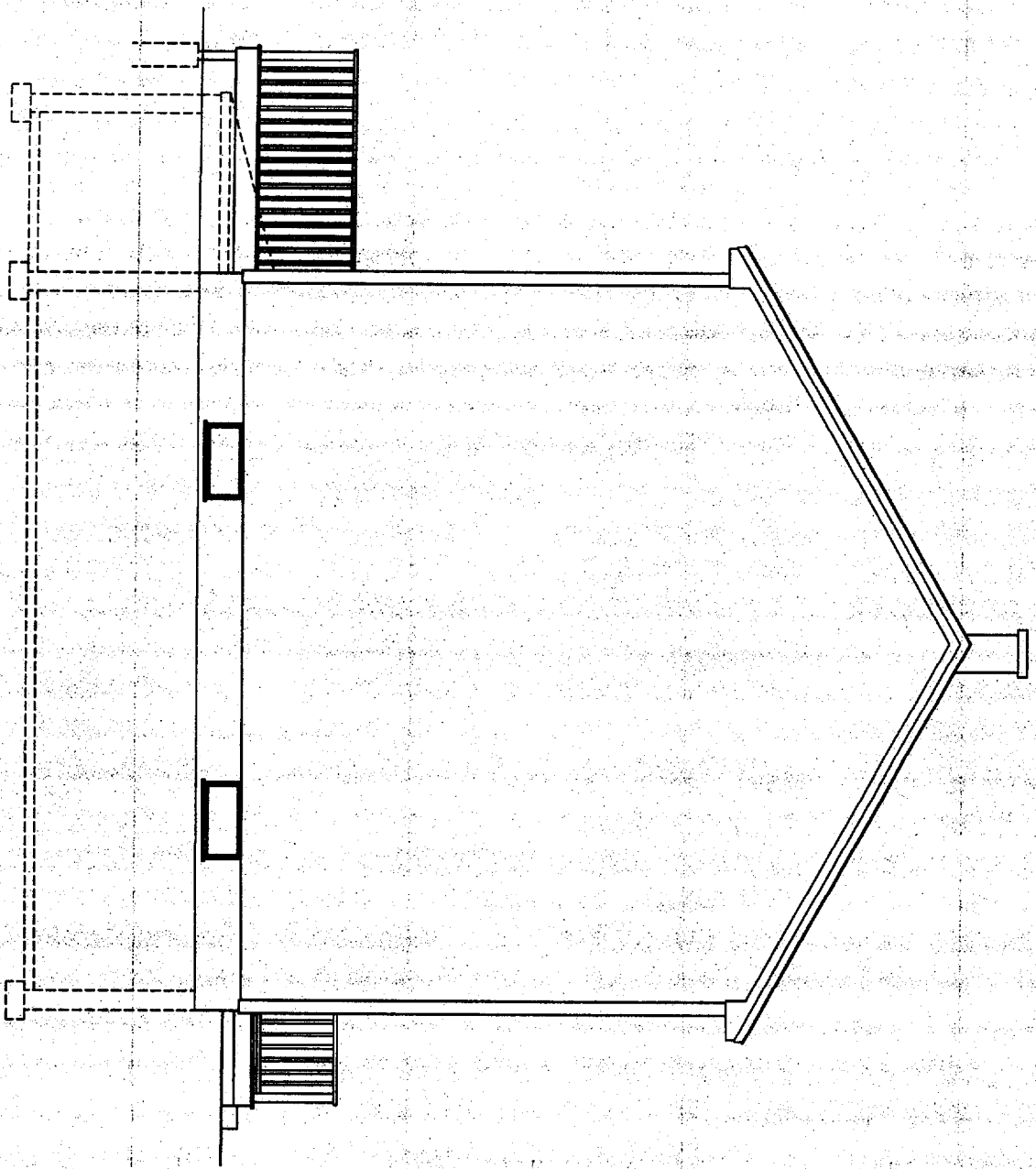
ELEVATION

DRAWN: J. MORIN

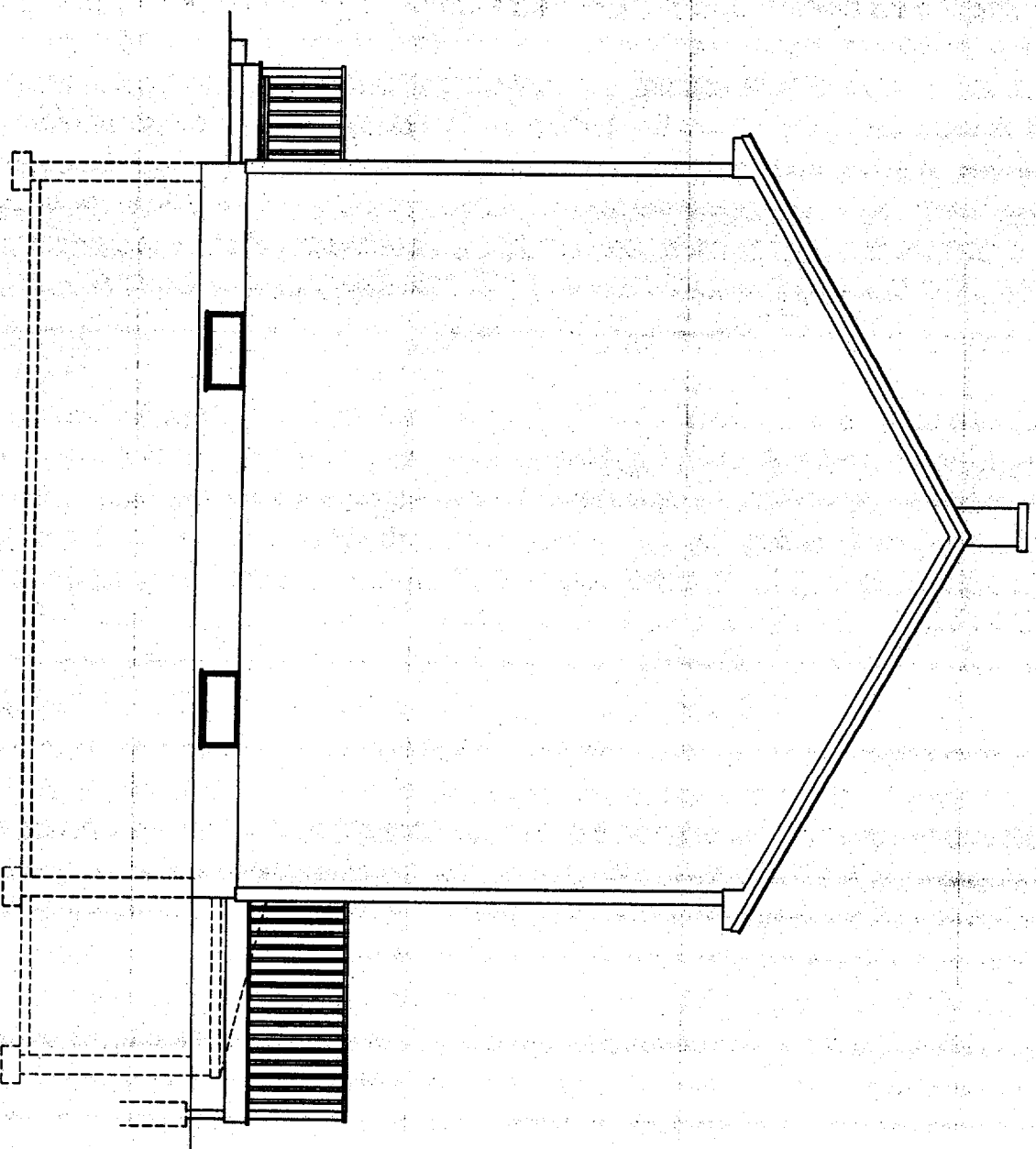
SCALE: 1/4"=1'-0"

DATE: 07-11-03

A2



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
JAN 14 2004
RECEIVED

REVISED 01-14-04

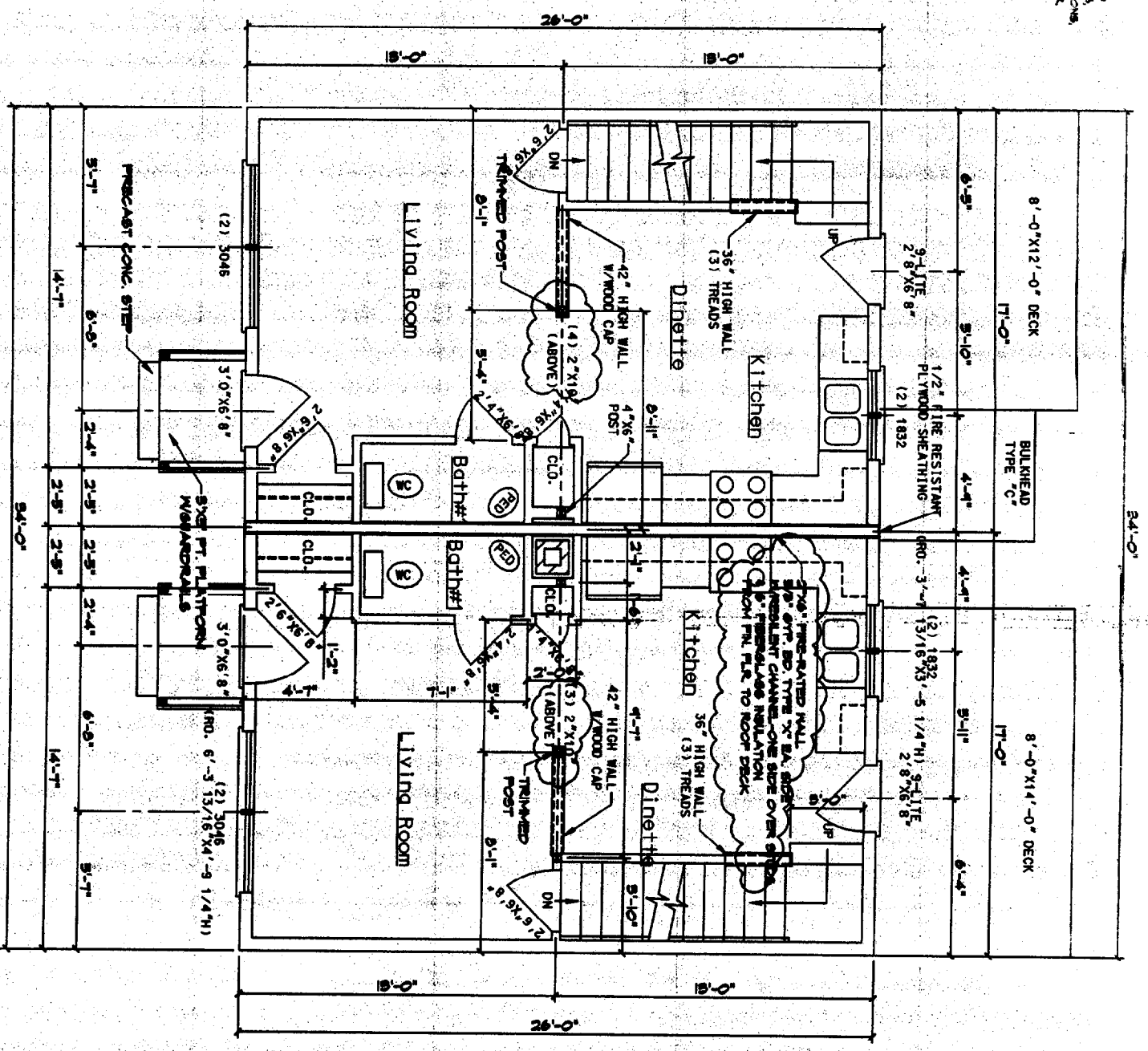
BOWEN DUPLEX
PORTLAND, MAINE
MORIN DRAFTING GORHAM, ME. 895-2463

ELEVATION

DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 07-11-03

A3

THESE DRAWINGS ARE THE PROPERTY OF MORIN DRAFTING AND ARCHITECTS. NO PART OF THESE DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MORIN DRAFTING AND ARCHITECTS. THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. STRUCTURAL ENGINEERS OR LAND SURVEYORS ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. IF NOT SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND DETAILS SHALL BE REVIEWED BY CLIENT/CONTRACTOR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING SHALL BE HELD HARMLESS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR. PRE-CAST WALL SHALL APPROVED BY REGISTERED ARCHITECT BEFORE CONSTRUCTION BEGINS.



FLOOR PLAN-FIRST FLOOR

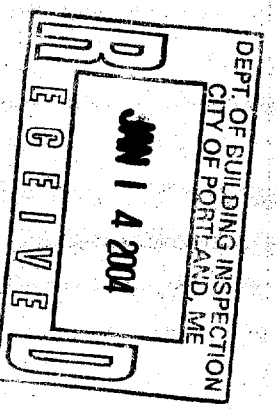
GENERAL CONSTRUCTION NOTES:

THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY THEY SHOULD NOT BE INTERPRETED AS CODE OR THE COMPLETE BOCA CODE. THE BOCA CODE SHALL BE REVIEWED & COMPLIED WITH BEFORE CONSTRUCTION BEGINS.

1. ALL PARTNER CONNECTIONS SHALL COMPLY WITH THE BOCA 1994 PARTNER SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH BOCA CODE. STAIRS SHALL BE 60" ABOVE FLOOR OR GRADE. STAIRS SHALL HAVE SQUARE NOT LESS THAN 8". ABOVE FLOOR OR GRADE. OPENINGS BETWEEN BALUSTERS SHALL BE LESS THAN 4".
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS, AND INCLUDE FIRE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
4. THIS RESIDENCE SHALL BE HEATED WITH AN OIL FIRED FORCED HOT WATER SYSTEM.
5. ONE SHOCK DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND WARED W/ WITH A BATTERY BACK-UP.
6. PORCHES, BALCONIES, RAISED FLOOR SURFACES MORE THAN 60" ABOVE FLOOR OR GRADE SHALL HAVE SQUARES NOT LESS THAN 8" IN HEIGHT.
7. CRACKS BETWEEN BALUSTERS SHALL BE LESS THAN 1/4".
8. TERRAZZO GRANITE SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS: GRANITE IN BATHROOMS SHALL BE LOWER THAN 60" FROM ANY SURFACE. GRANITE IN OTHER AREAS SHALL BE LOWER THAN 60" FROM ANY SURFACE. VERTICAL EDGE IS WITHIN A 24" HORIZ. OF THE DOOR IN CLOSED POSITION. GRANITE BOTTOM LESS THAN 18" ABOVE THE FLOOR.

| HEADER GRAN | FIRST FLOOR (BOCA PLAN) | SECOND FLOOR (BOCA PLAN) |
|----------------|-------------------------|--------------------------|
| 0'-0" - 4'-0" | (B) 2'X10" | (B) 2'X6" |
| 4'-1" - 7'-0" | (B) 2'X10" | (B) 2'X6" |
| 7'-1" - 10'-0" | (B) 1 5/4"X 1/2" LVL'S | (B) 1 5/4"X 1/2" LVL'S |

* - INCLUDES DOUBLE 2'-0" HEADERS
 ** - INCLUDES TRIPLE 2'-0" HEADERS



REVISED 01-14-04

BOWEN DUPLEX
 FORTLAND, MAINE
 MORIN DRAFTING CORP., ME. 895-9463

FLOOR PLAN-1ST FLOOR

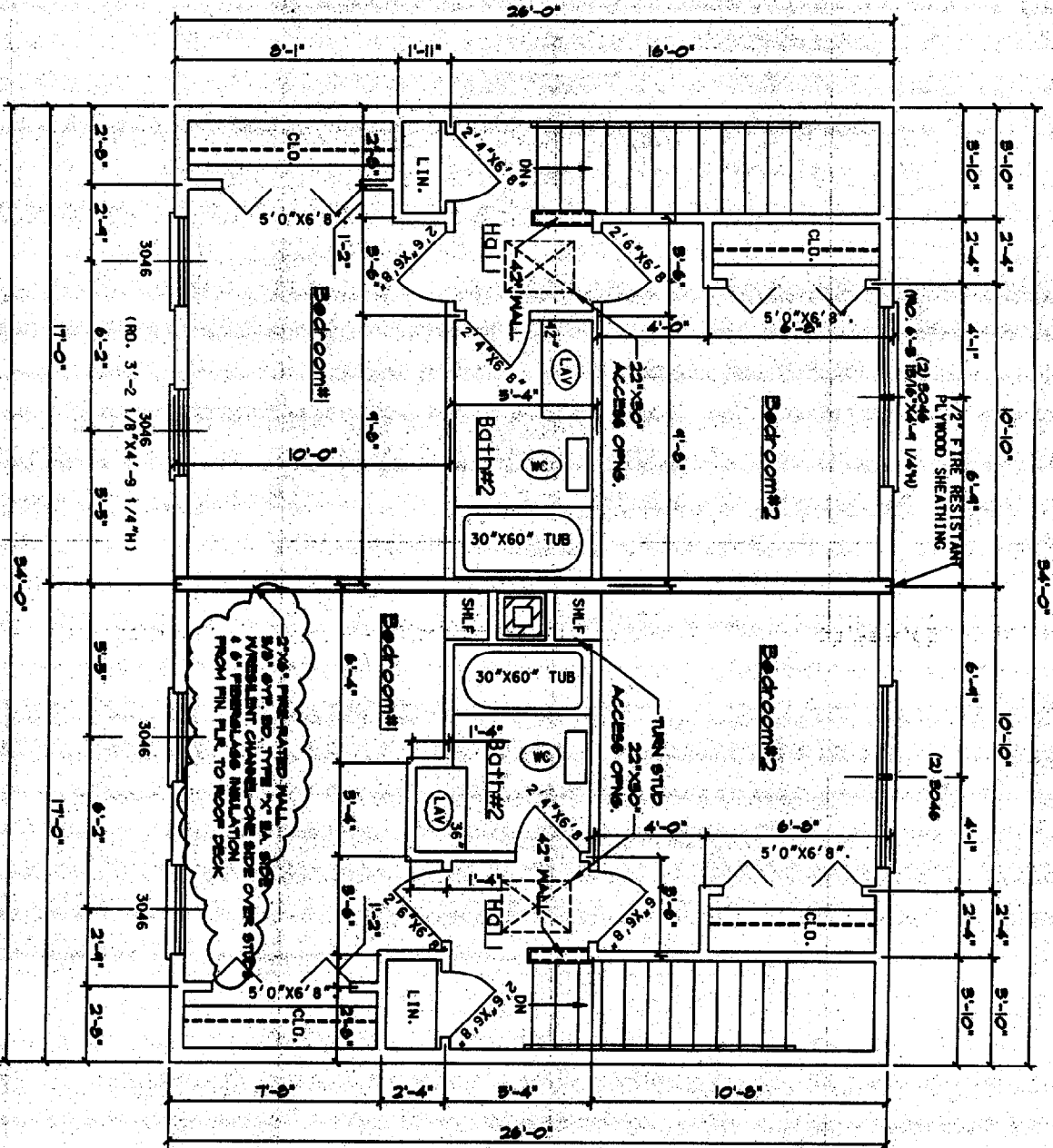
DRAWN: J. MORIN
 SCALE: 1/4"=1'-0"
 DATE: 07-11-03

ENGINEERING DESIGN PROFESSIONALS
 20 CARRVILLE ROAD
 FREETOWN, MAINE 04932

STATE OF MAINE
 REGISTERED PROFESSIONAL ENGINEER
 LARRY W. MORIN
 NO. 9907

44

ALL DRAWINGS, PLANS, SPECIFICATIONS ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. THE CLIENT'S RESPONSIBILITY IS TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT'S RESPONSIBILITY IS TO DESIGN AND CONSTRUCT THE BUILDING IN ACCORDANCE WITH THE SPECIFICATIONS AND CODES. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT ARE NOT IDENTIFIED BY THE ARCHITECT BEFORE CONSTRUCTION BEGINS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT ARE NOT IDENTIFIED BY THE ARCHITECT BEFORE CONSTRUCTION BEGINS.



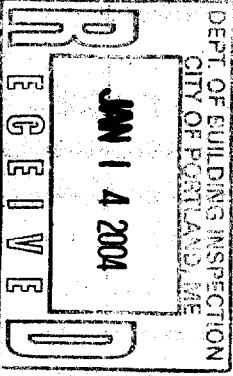
FLOOR PLAN-SECOND FLOOR

GENERAL CONSTRUCTION NOTES:
 (THE FOLLOWING NOTES ARE FOR INFORMATIONAL USE ONLY THEY SHOULD NOT BE INTERPRETED AS CODE OR THE COMPLETE BOCA CODE. THE BOCA CODE SHOULD BE REFERRED & COMPLIED WITH BEFORE CONSTRUCTION BEGINS)

1. ALL PARTITION CONSTRUCTION SHALL COMPLY WITH THE BOCA 1994 PARTITION SCHEDULE.
2. ALL STAIRS SHALL COMPLY WITH BOCA 1994 STAIR CODE. OPEN SIDES OF STAIRS WITH TOTAL RISE OF MORE THAN 60\"
3. ALL ENTRANCE DOORS FROM GARAGE TO HOUSE SHALL BE (1) FIRE-RATED DOORS, AND INCLUDE THE STOPS AT EACH FLOOR OR CEILING PER BOCA REQUIREMENTS.
4. THE REARDOOR SHALL BE HEATED WITH AN OIL FIRED, FORCED HOT WATER SYSTEM.
5. ONE SHOCK DETECTOR SHALL BE INSTALLED IN ALL COMMON AREAS & ONE IN EACH BEDROOM, INTER-CONNECTED AND WAVED WIRE WITH A BATTERY BACK-UP.
6. PORCHES, BALCONIES RAISED FLOOR SURFACES MORE THAN 60\"
7. TEMPERED GLASS SHALL BE INSTALLED IN THE FOLLOWING CONDITIONS: GLASS IN BATHROOMS WHERE IT IS LOWER THAN 60\"
8. GLASS LESS THAN 60\" ABOVE ANY SURFACE, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24\"
9. GLASS BOTTOM LESS THAN 18\" ABOVE THE FLOOR.

| HEADER SCHEDULE | |
|-----------------|-----------------------------|
| HEADER SPAN | FIRST FLOOR (1000 PLF) |
| 0'-0" - 4'-0" | (B) 2"x10" |
| 4'-1" - 7'-0" | (B) 2"x12" |
| 7'-1" - 10'-0" | (B) 1 5/4"x8 1/2" LVL'S ** |
| | (B) 1 5/4"x11 1/2" LVL'S ** |

** - INCLUDES DOUBLE 2"x6" WINDORS
 ** - INCLUDES TRIPLE 2"x6" WINDORS



REVISED 01-14-04

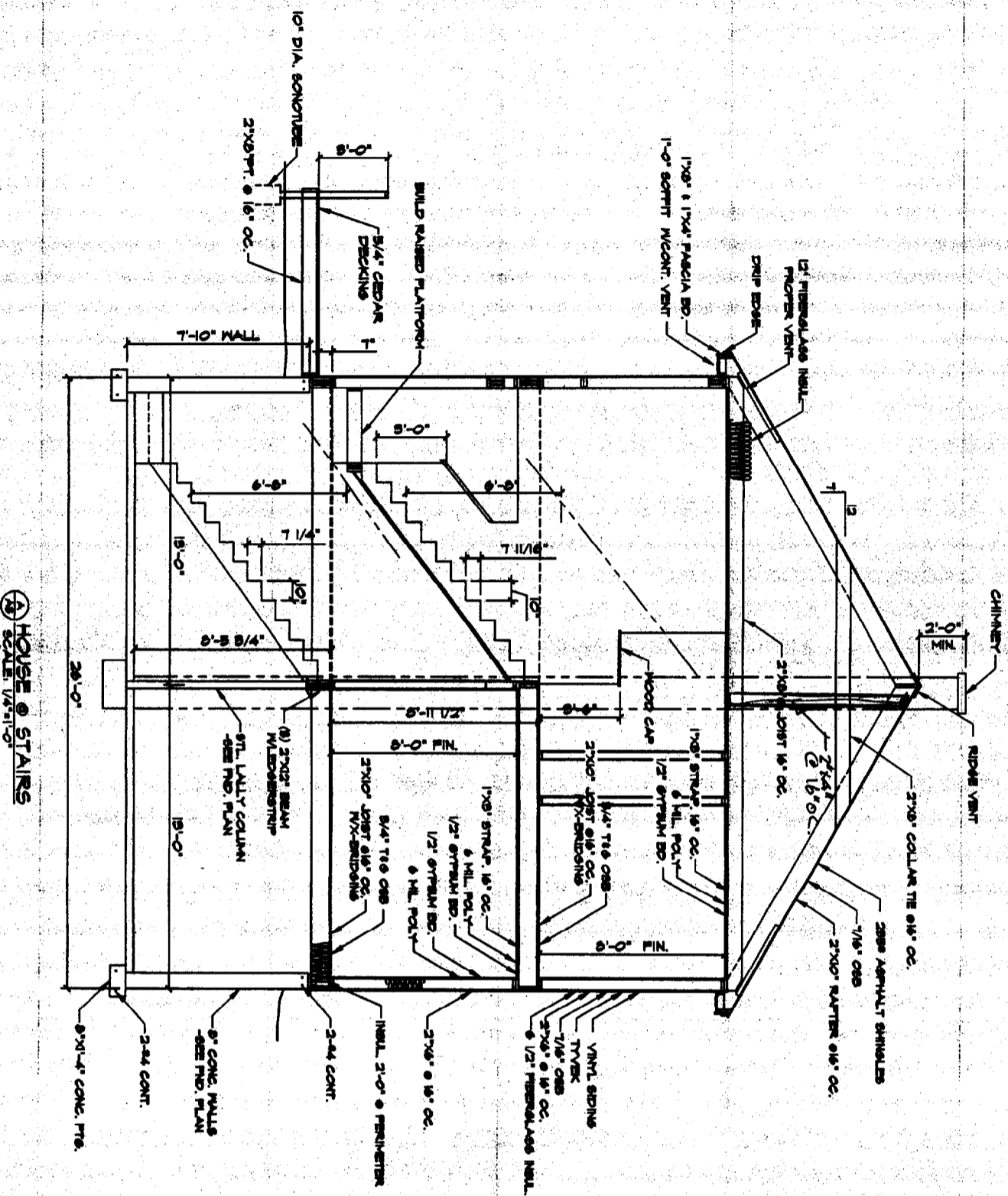
BOWEN DUPLEX
 PORTLAND, MAINE
 MORIN DRAFTING GORHAM, ME 895-2463

FLOOR PLAN-2ND FLOOR

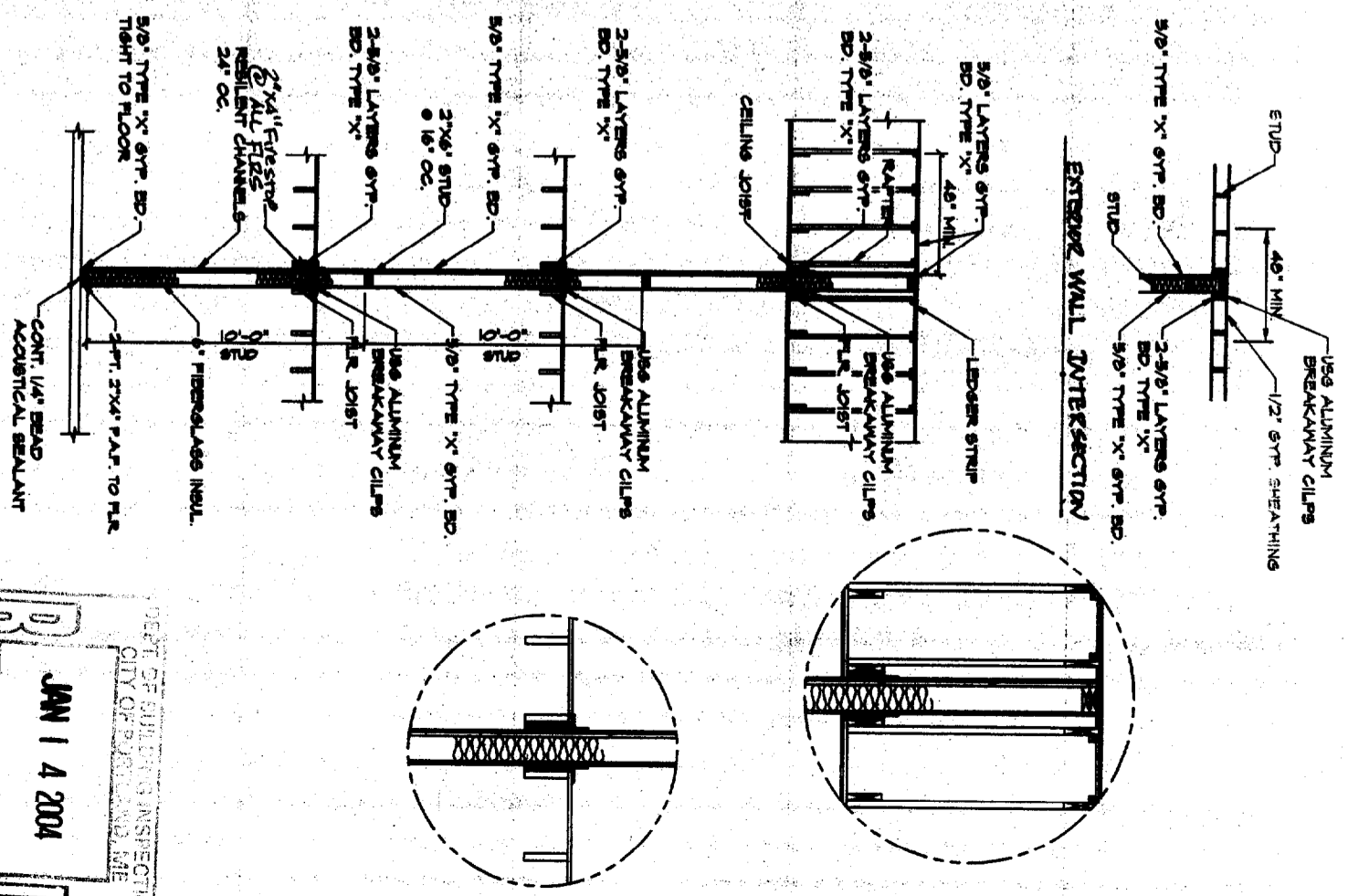
DRAWN: J. MORIN
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 DATE: 07-11-05

AS

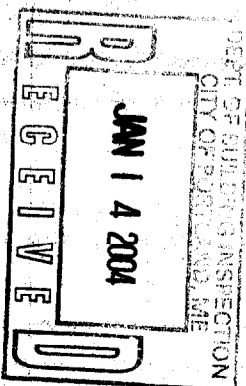
NOTE: ALL PLANS, SPECIFICATIONS ARE PROVIDED TO OUR CLIENTS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. NONE OF THE ENGINEERS OR ARCHITECTS ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOCAL BUILDING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION METHODS AND DETAILS SHALL BE REVIEWED BY CLIENT/CONTRACTOR. IF THESE ARE NOT VIEWED BY CLIENT/ARCHITECT/CONTRACTOR BEFORE CONSTRUCTION BEGINS, MORIN DRAFTING SHALL BE HELD HARMLESS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR DAMAGES AND/OR REVISIONS TO PLANS BY CLIENT/ARCHITECT/CONTRACTOR. PRE-CAST WALL SHALL APPROVED BY REGISTERED ARCHITECT BEFORE BEGINS CONSTRUCTION BEGINS.



HOUSE OF STAIRS
SCALE: 1/4"=1'-0"



REVISED 01-14-04



BOWEN RESIDENCE
PORTLAND, MAINE
MORIN DRAFTING CORP., INC. 895-3463

SECTION

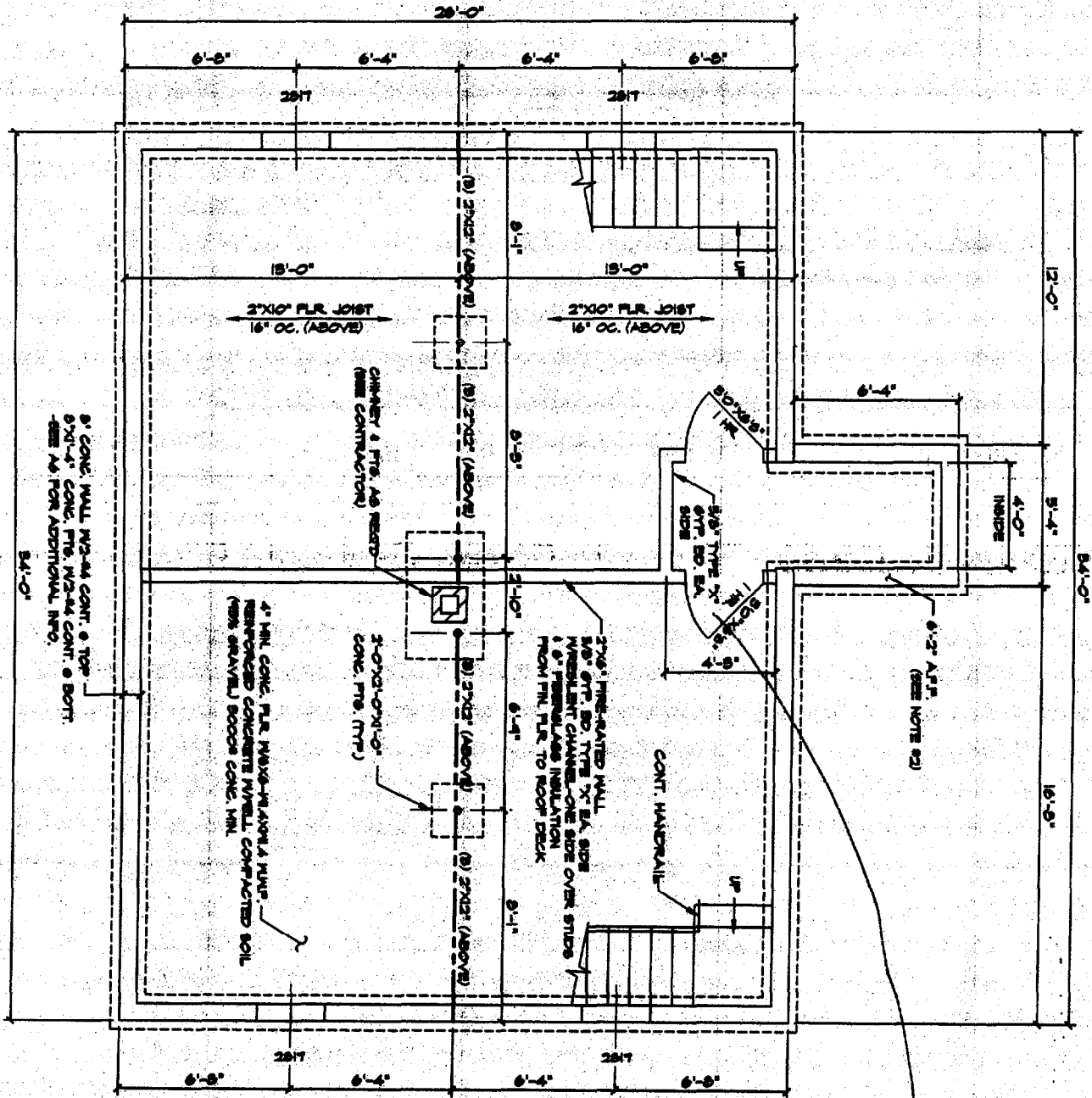
DRAWN: J. MORIN
SCALE: 1/4"=1'-0"
DATE: 01-06-05

MANAGEMENT REVIEW OF STRUCTURAL DRAWINGS BY ARCHITECT ONLY.

ENGINEERING DESIGN PROFESSIONALS
25 CAROLINE ROAD
PORTSMOUTH, MAINE 04082

AG

ALL DIMENSIONS UNLESS SPECIFIED SHALL BE PERMITTED TO VARY ±0.5% UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS UNLESS SPECIFIED SHALL BE PERMITTED TO VARY ±0.5% UNLESS OTHERWISE NOTED.
 NONE OF THE EMPLOYEES OF MORIN DRAFTING AND REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS, ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SPECIFICATIONS, FINISHES AND MATERIALS AND CONDITIONS SHALL BE REVIEWED BY CLIENT/OWNER. THESE ARE NOT VERIFIED BY CLIENT/OWNER CONTRACTOR BEFORE CONSTRUCTION BEGINS. MORIN DRAFTING AND REGISTERED ARCHITECTS SHALL BE HELD HARMLESS FROM LIABILITY FOR ANY ERRORS OR OMISSIONS AND/OR REVISIONS TO PLANS BY CLIENT/OWNER CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SPECIFICATIONS, FINISHES AND MATERIALS AND CONDITIONS SHALL BE REVIEWED BY CLIENT/OWNER BEFORE CONSTRUCTION BEGINS.



FOUNDATION PLAN

- FOUNDATION NOTES:**
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
 2. BASEMENT WOOD FLOORING & AND ROOFING SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SPECIFICATIONS, FINISHES AND MATERIALS AND CONDITIONS SHALL BE REVIEWED BY CLIENT/OWNER.
 3. ALL DIMENSIONS UNLESS SPECIFIED SHALL BE PERMITTED TO VARY ±0.5% UNLESS OTHERWISE NOTED.
 4. ALL FINISH WALLS, FOOTINGS, WALLS & SLABS SHALL BE CHECKED & VERIFIED BY CONTRACTOR BEFORE POURING HAVE BEEN SET.
 5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
 6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (IE BILBOARD ETC.) DIMENSIONS & SPECS. BEFORE POURING ARE SET.
 8. CONTRACTOR SHALL ADJUST WALL AND FOOTING SIZES TO GOAL BEARING CAPACITY AS NEEDED.
 9. DO NOT BACKFILL MORE THAN 8\" BEFORE 1ST FILL PLACING.
 10. ALL FINISH WALLS SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION.
 11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

ENGINEERING REVIEW OF
 STRUCTURAL DRAWINGS
 STRUCTURAL ONLY.

ENGINEERING DESIGN PROFESSIONALS
 25 CANTON ROAD
 PORTSMOUTH, MAINE 04052

STATE OF MAINE
 LARRY A. WICKROST
 No. 5597
 REGISTERED PROFESSIONAL ENGINEER

Self closing

REVISED 01-10-04

BOWEN DUPLEX
 PORTLAND, MAINE

NORIN DRAFTING GORHAM, ME. 896-2463

FOUNDATION PLAN

DRAWN: J. MORIN
 SCALE: 1/4\"=1'-0\"
 DATE: 01-10-05

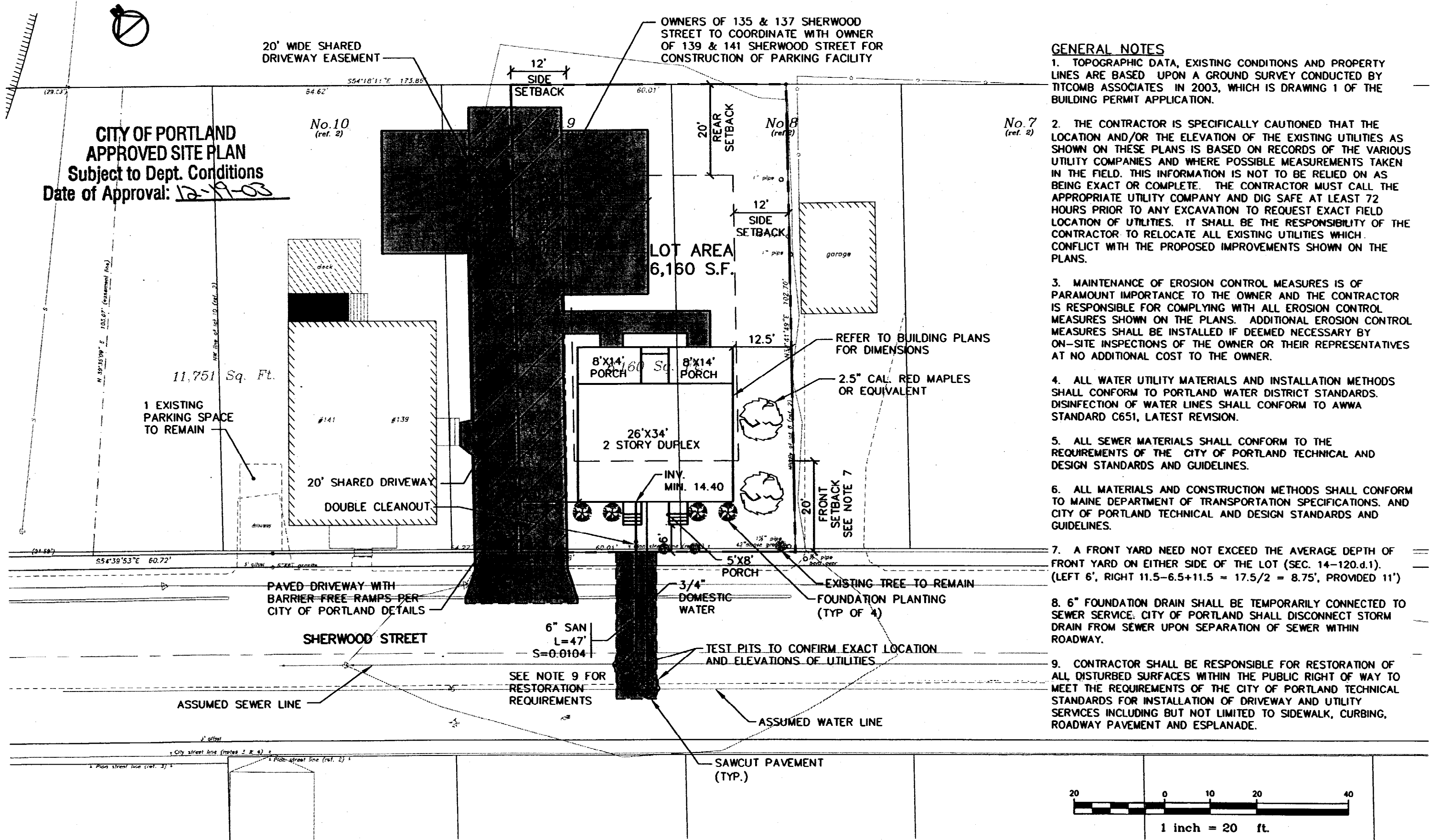
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DEPT. OF EQUIPMENT
 CITY OF PORTLAND

RECEIVED

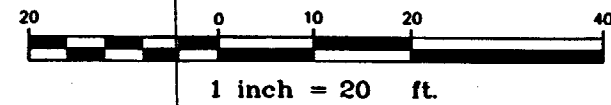
JAN 14 2004

CITY OF PORTLAND
 APPROVED SITE PLAN
 Subject to Dept. Conditions
 Date of Approval: 12-19-03



GENERAL NOTES

1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARD ON EITHER SIDE OF THE LOT (SEC. 14-120.d.1). (LEFT 6', RIGHT 11.5-6.5+11.5 = 17.5/2 = 8.75', PROVIDED 11')
8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.



| Rev. | Date | Revision |
|------|----------|-------------------------|
| 1 | 12/09/03 | ADDED DRIVEWAY EASEMENT |

| | |
|---------------------------------|---------------|
| Design: DER | Date: 9/03 |
| Draft: GJL | Job No.: 853 |
| Checked: AMP | Scale: 1"=20' |
| File Name: 853-PBASE_120203.dwg | |

GP Gorrill-Palmer Consulting Engineers, Inc.
 Traffic and Civil Engineering Services

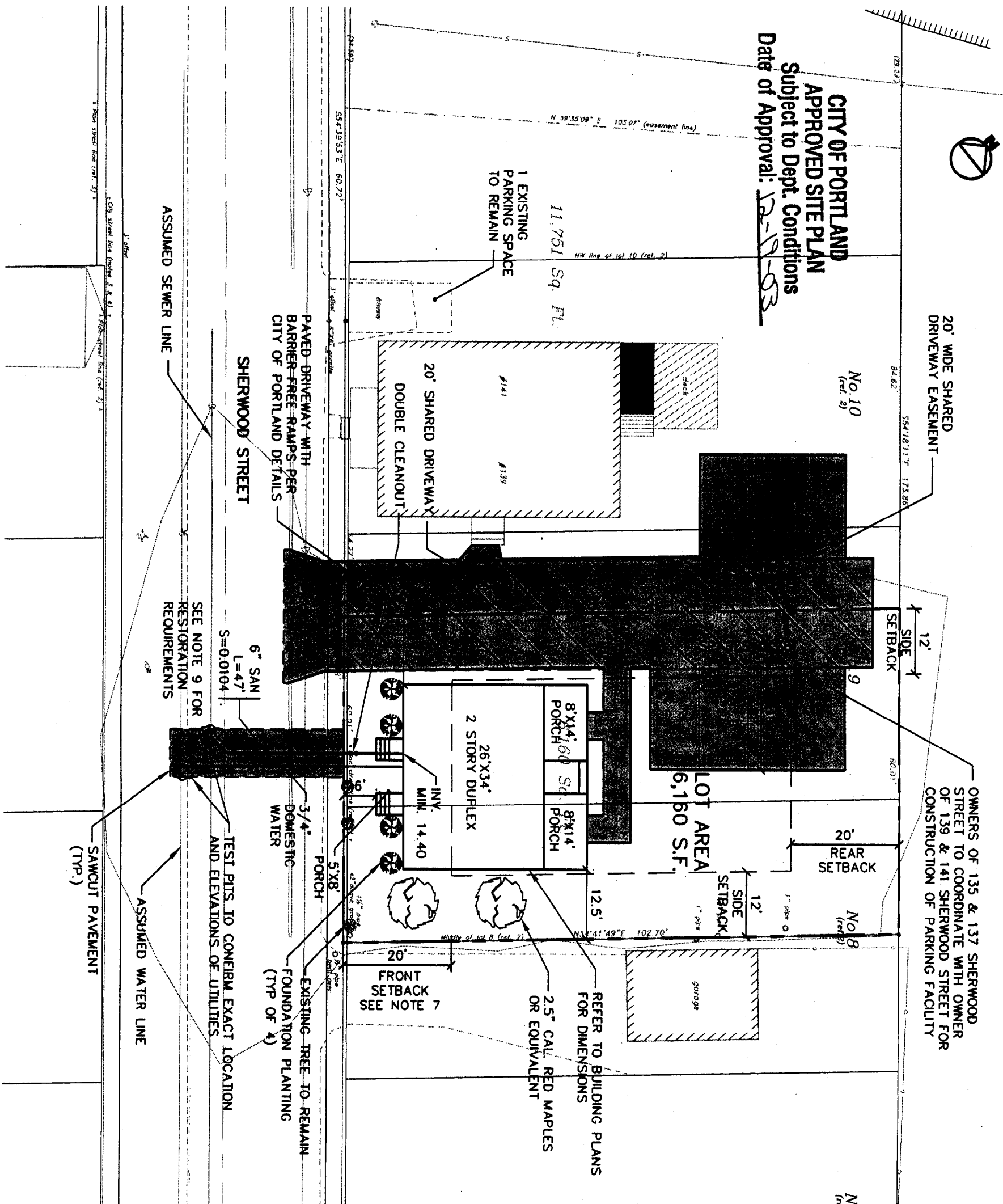
PO Box 1237
 15 Shaker Road
 Groy, ME 04039
 207-657-6910
 FAX: 207-657-6912
 E-Mail: mailbox@gorrillpalmer.com

| | |
|---------------|--|
| Drawing Name: | Site Layout Plan |
| Project: | 135 & 137 SHERWOOD STREET PORTLAND, MAINE |

Figure No.
 2



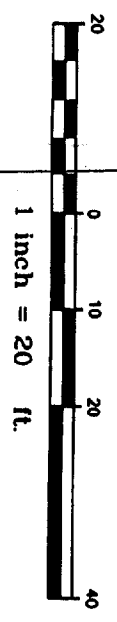
**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: 12-19-03



OWNERS OF 135 & 137 SHERWOOD STREET TO COORDINATE WITH OWNER OF 139 & 141 SHERWOOD STREET FOR CONSTRUCTION OF PARKING FACILITY

GENERAL NOTES

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2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL WATER UTILITY MATERIALS AND INSTALLATION METHODS SHALL CONFORM TO PORTLAND WATER DISTRICT STANDARDS. DISINFECTION OF WATER LINES SHALL CONFORM TO AWWA STANDARD C651, LATEST REVISION.
5. ALL SEWER MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
6. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, AND CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
7. A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARD ON EITHER SIDE OF THE LOT (SEC. 14-120(d.1)) (LEFT 6', RIGHT 11.5'-6.5'+11.5' = 17.5'/2 = 8.75', PROVIDED 11')
8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.

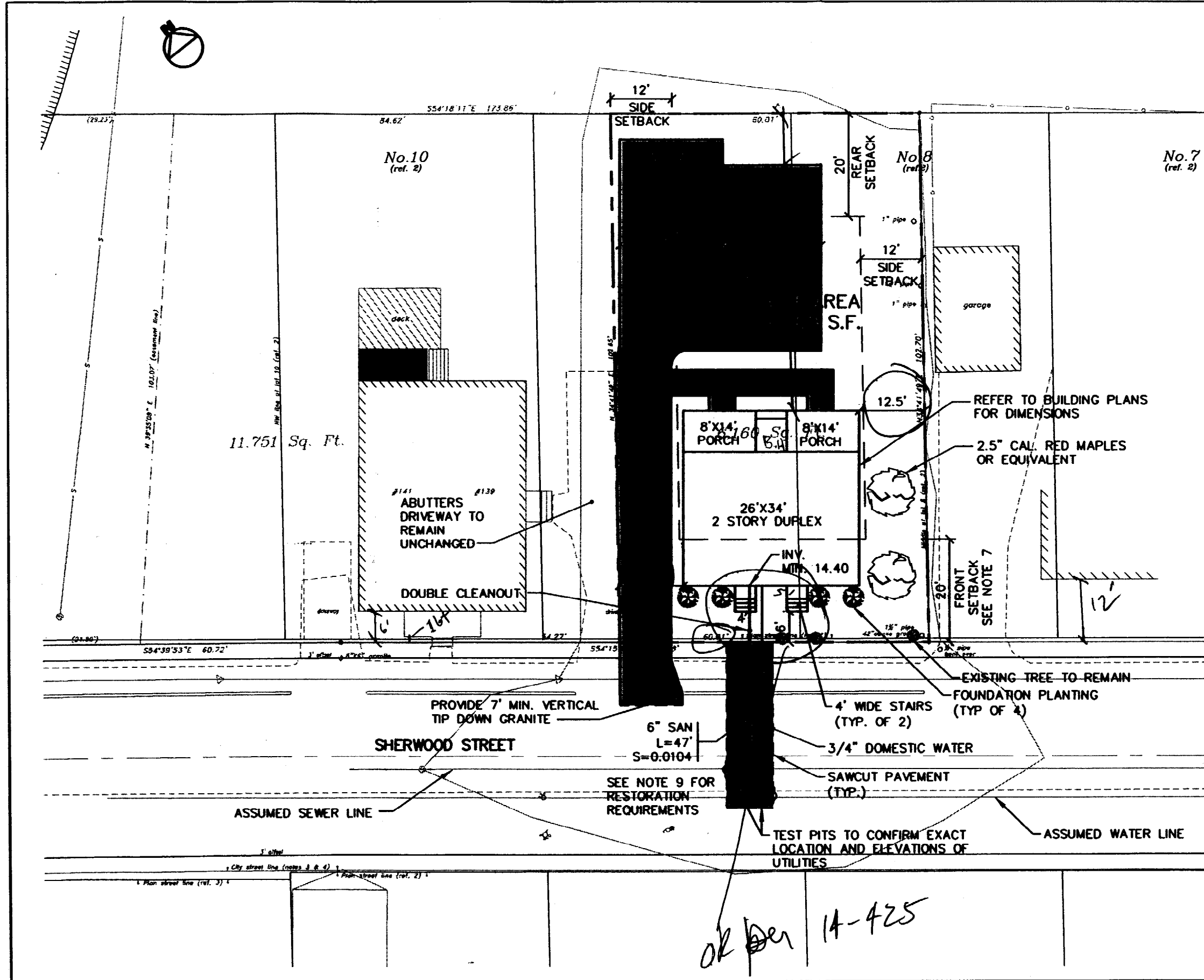


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| Design: DER | Date: 9/03 |
| Draft: C.L. | Job No.: 853 |
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| File Name: 853-PRASE_120203.dwg | |

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services
PO Box 12317
15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: **Site Layout Plan**
Project: **135 & 137 SHERWOOD STREET PORTLAND, MAINE**

Figure No. **2**



GENERAL NOTES

1. TOPOGRAPHIC DATA, EXISTING CONDITIONS AND PROPERTY LINES ARE BASED UPON A GROUND SURVEY CONDUCTED BY TITCOMB ASSOCIATES IN 2003, WHICH IS DRAWING 1 OF THE BUILDING PERMIT APPLICATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
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8. 6" FOUNDATION DRAIN SHALL BE TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORATION OF ALL DISTURBED SURFACES WITHIN THE PUBLIC RIGHT OF WAY TO MEET THE REQUIREMENTS OF THE CITY OF PORTLAND TECHNICAL STANDARDS FOR INSTALLATION OF DRIVEWAY AND UTILITY SERVICES INCLUDING BUT NOT LIMITED TO SIDEWALK, CURBING, ROADWAY PAVEMENT AND ESPLANADE.

OK per 14-425

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

DEC - 3 2003

1 inch = 20 ft.

RECEIVED

| Rev. | Date | Revision |
|------|---------|---------------------|
| 1 | 12/2/03 | SEPARATED DRIVEWAYS |

| | |
|--------------------------|---------------|
| Design: DER | Date: 9/03 |
| Draft: G.J.L. | Job No.: 853 |
| Checked: AMP | Scale: 1"=20' |
| File Name: 853-PBASE.dwg | |

GP Gorrill-Palmer Consulting Engineers, Inc.
Traffic and Civil Engineering Services

PO Box 1237
15 Shaker Road
Gray, ME 04039

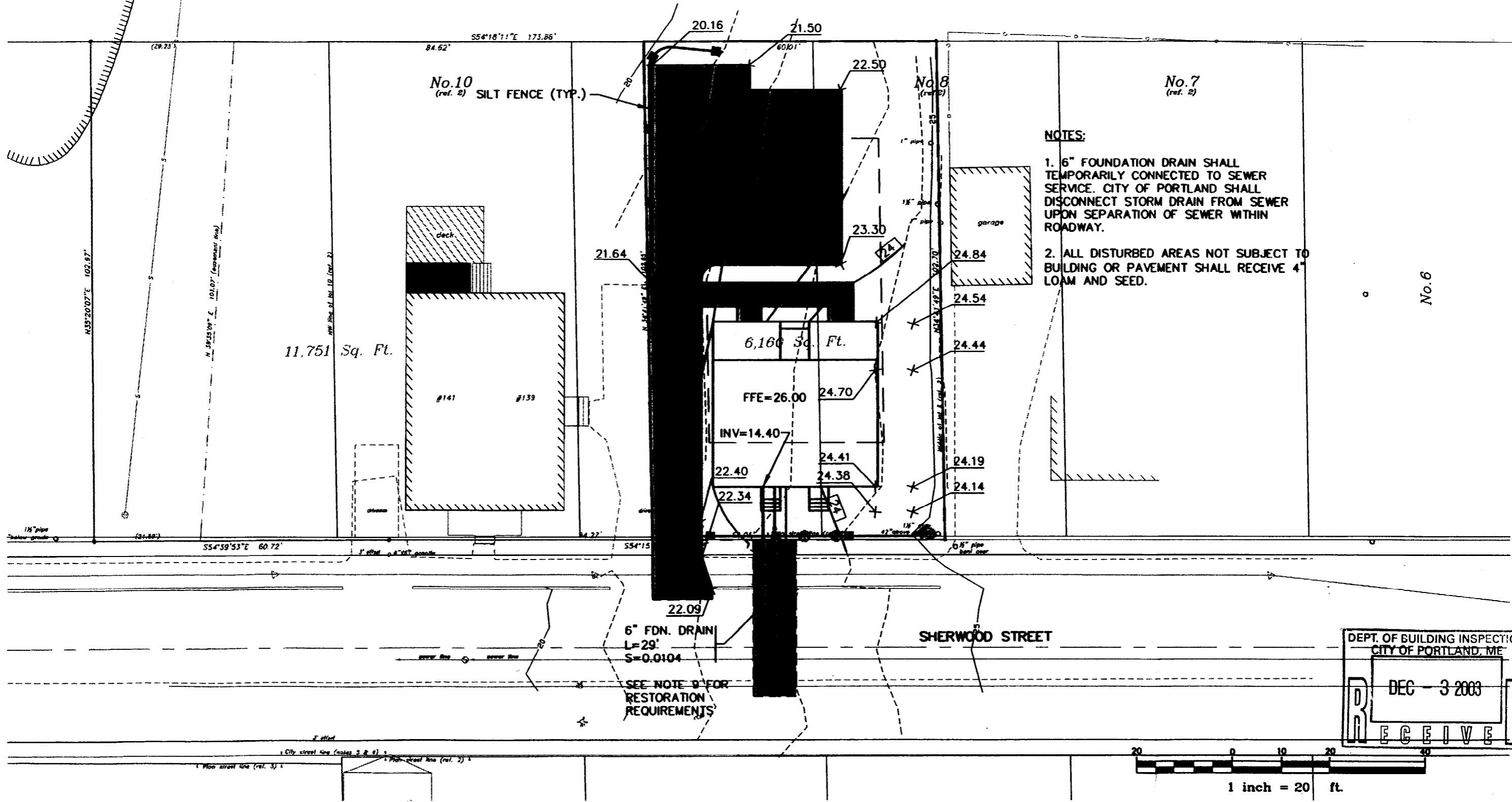
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrillpalmer.com

Drawing Name: Site Layout Plan

Project: 135 & 137 SHERWOOD STREET
PORTLAND, MAINE

Figure No.
2

OWNERS OF 135 & 137 SHERWOOD STREET TO COORDINATE WITH OWNER OF 139 & 141 SHERWOOD STREET FOR CONSTRUCTION OF PARKING FACILITY



- NOTES:**
1. 6" FOUNDATION DRAIN SHALL TEMPORARILY CONNECTED TO SEWER SERVICE. CITY OF PORTLAND SHALL DISCONNECT STORM DRAIN FROM SEWER UPON SEPARATION OF SEWER WITHIN ROADWAY.
 2. ALL DISTURBED AREAS NOT SUBJECT TO BUILDING OR PAVEMENT SHALL RECEIVE 4" LOAM AND SEED.

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15 Shaker Road
Gray, ME 04039
207-657-6910
FAX: 207-657-6912
E-Mail: mailbox@gorrilpalmer.com

| | |
|---------------|--|
| Drawing Name: | Grading Plan |
| Project: | 135 & 137 SHERWOOD STREET LOT PORTLAND, MAINE |

Figure No.
3