

Plot Plan

**"THIS IS NOT A BOUNDARY SURVEY"**

I HEREBY CERTIFY TO THE LENDING INSTITUTION AND/OR TITLE INSURANCE COMPANY DESIGNATED BELOW EXCLUSIVELY THAT THIS PLAN, AS NOTED, DEPICTS THE RESULTS OF A CURRENT EXAMINATION OF THE PREMISES DESCRIBED IN EXHIBIT "A" (ATTACHED) TO BE RECORDED AT THE APPLICABLE COUNTY REGISTRY OF DEEDS AND THAT ALL VISIBLE EASEMENTS, ENCROACHMENTS AND BUILDINGS, IF ANY, ARE LOCATED ON THE GROUND AS SHOWN HEREON SUBJECT TO THE QUALIFICATIONS SET FORTH IN THE "NOTES" BELOW.

**NOTES**

- 1) THIS PLAN HAS BEEN PREPARED FROM AN INSPECTION OF THE SITE ON 08/27/08 FOR THE SOLE BENEFIT OF THE LENDING INSTITUTION AND/OR TITLE INSURANCE COMPANY DESIGNATED BELOW EXCLUSIVELY. AND THE INSURABILITY THEREOF. DOES NOT AND SHALL NOT BE A GUARANTEE OF ACCURACY, BUT SET STATERMENTS OF OPINION MADE TO THE BEST OF THIS SURVEYOR'S KNOWLEDGE, INFORMATION & BELIEF. SURVEYWORKS, INC. IS NOT LIABLE FOR ANY OTHER USE BY ANY OTHER PERSON OR ENTITY.
- 2) THIS PLAN IS AN APPROXIMATE REPRESENTATION OF THE PREMISES (OR PORTION OF THE PREMISES NOTED ABOVE) AND IS FOR THE PURPOSE OF SHOWING, IN MAP FORM, THE SUBJECT REAL PROPERTY AND THE OBVIOUS IMPROVEMENTS THAT LIE WITHIN THE APPARENT BOUNDARY LINES OF SAID REAL PROPERTY, IN ORDER THAT THE MORTGAGEE AND/OR TITLE INSURER MAY USE SAID PLAN FOR DETERMINING THE INSURABILITY OF SAID PROPERTY AND THE IMPROVEMENTS THEREON. NO REPRESENTATION IS MADE, OR TO BE MADE, THAT THE APPARENT BOUNDARY LINES SHOWN HEREON ARE THE TRUE BOUNDARIES OF THE PREMISES. THIS PLAN DOES NOT CONSTITUTE A LEGAL DESCRIPTION. DO NOT USE THIS PLAN OFFENSE FOR ESTABLISHING LOT LINES OR FOR THE ERECTION OF ANY IMPROVEMENTS, FENCES, WALLS, HEDGES, ETC.
- 3) THE BUILDINGS DEPICTED DO CONFORM WITH MUNICIPAL SETBACK REQUIREMENTS OF LOCAL ZONING AT TIME OF CONSTRUCTION.
- 4) THE PREMISES DEPICTED ARE NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON F.E.M.A. FLOOD INSURANCE RATE MAP.
- 5) DUE TO SIGNIFICANT SNOW COVER, EDGES OF PAVED OR GRAVEL DRIVES, WALKWAYS, ROADS AND OTHER GROUND LEVEL IMPROVEMENTS ARE APPROXIMATE AND MAY OR MAY NOT BE SHOWN.

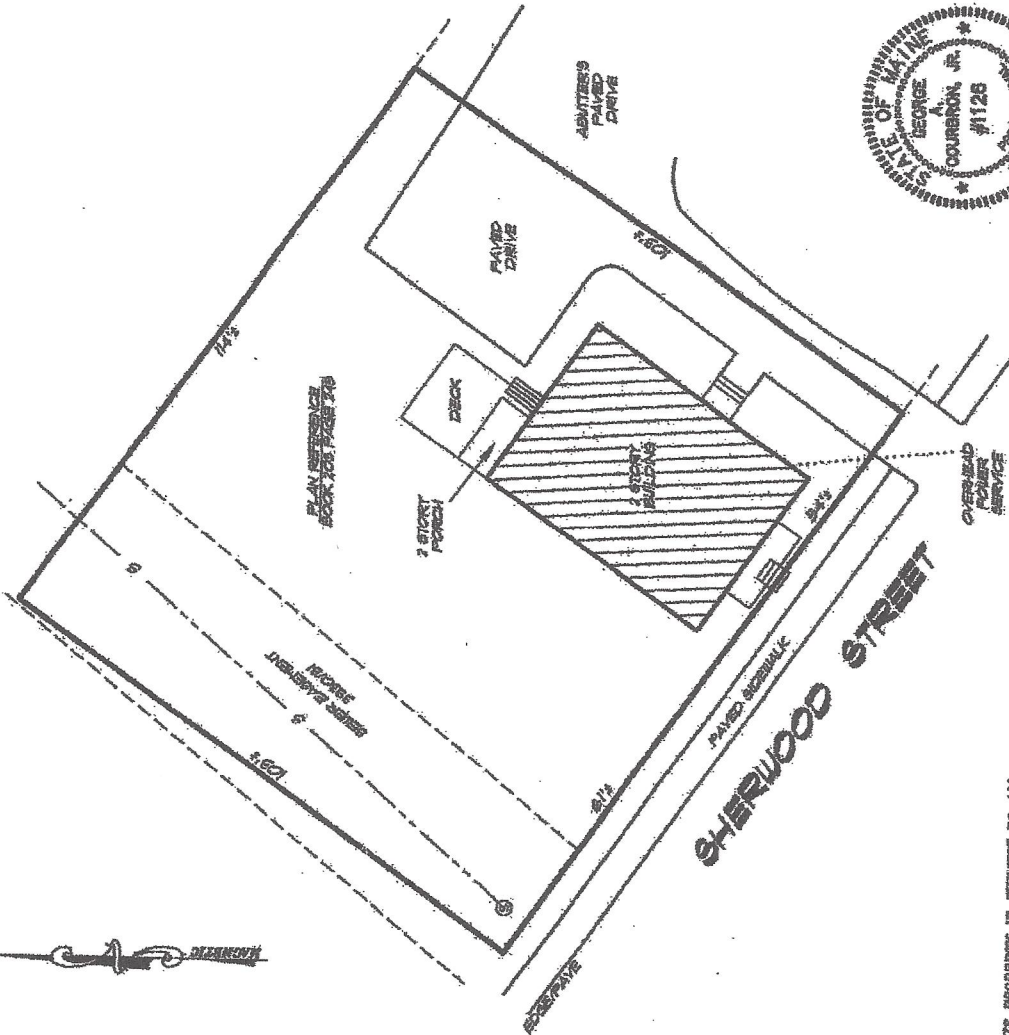
**MORTGAGE LOAN INSPECTION**

PREPARED FOR:

BUYER: JOHN ANTHONY EDWARDE  
 SELLER: PHH MORTGAGE CORPORATION  
 LOCATION: 141 SHERWOOD STREET PORTLAND, MAINE  
 TAX MAP REFERENCE: MAP 428 BLOCK A LOT 14

SCALE: 1" = 20'  
 REQUESTED BY: PHH COMPANY  
 DRAWN BY: GSEL  
 DATE: 1/11/08

SurveyWorks, Inc.  
 Land Use Consultants  
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NOTES: PROPERTY IS SUBJECT TO ALL  
 RIGHTS AND EASEMENTS OF RECORD. THESE  
 RIGHTS AND EASEMENTS ARE SHOWN IN THIS PLAN  
 TO THE EXTENT THEY AFFECT THE PROPERTY  
 DESCRIBED HEREIN.

GEL ML