

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that LEYME, THEODORE W VN VET

Located At 57 WORDSWORTH ST

Job ID: 2012-11-5343-ALTR

CBL: 426- B-026-001

has permission to Building second story onto existing ranch provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-11-5343-ALTR

Located At: 57 WORDSWORTH ST CBL: 426- B-026-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. This structure falls totally within the 75' setback from the upland edge of the coastal wetlands. The addition may not exceed a 30% increase in either volume or floor area. With the addition the increase in volume is 28.9% and the increase in floor area is 26.3%.
4. The addition is being approved under section 14-436(b) which allows an increase in floor area of 80% of the first floor footprint. The first floor footprint is 836 sf. The addition is adding 660 sf of floor area which is a 78.9% increase in floor area.

Fire

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Capt. Pirone did make it clear to the GC, Deane MacBeth, that anytime upon inspection if renovation of the existing structure plus addition does exceed 50% a sprinkler system will be required.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.

Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.

Renovations of residential dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-11-5343-ALTR	Date Applied: 11/6/2012	CBL: 426- B-026-001	
Location of Construction: 57 WORDSWORTH ST	Owner Name: THEODORE W LEYME	Owner Address: 57 WHITTIER ST PORTLAND, 04103 MAINE - ME	Phone: 207-772-8489
Business Name:	Contractor Name: Deane MacBeth	Contractor Address: 72 Thyngo Mills Rd., Shapleigh, ME 04076	Phone: 207-576-0467
Lessee/Buyer's Name:	Phone:	Permit Type: Building	Zone: R-5
Past Use: Single family	Proposed Use: Same - Single family - build a second floor (22'x30') over part of existing ranch	Cost of Work: 46,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R-3 Type: SB
		Signature: <i>Capt. Perrone 11-8-12</i>	Signature: <i>[Signature]</i>
Proposed Project Description: Build second story over part of existing ranch		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>with 75' meeting 30%</i></p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone <i>Panel 7-2014</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan <i>using Section 142-43(6)</i></p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>11/7/12 ABU</i></p> <p><i>OK w/conditions</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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2012 - 11 - 5343



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Woodsworth St

Location/Address of Construction: <u>57 Whittier Road Portland ME</u>		
Total Square Footage of Proposed Structure/Area <u>660</u>	Square Footage of Lot <u>5760</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>426</u> Block# <u>3026</u> Lot#	Applicant: (must be owner, lessee or buyer) Name <u>Ted Leyme</u> Address <u>57 Whittier Street</u> City, State & Zip <u>Portland ME</u>	Telephone: <u>772-8489</u>
Lessee/DBA RECEIVED NOV 06 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name <u>Ted Leyme</u> Address <u>57 Whittier Rd</u> City, State & Zip <u>Portland ME</u>	Cost of Work: \$ <u>46000.00</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Living Space</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Building Second Story onto existing Ranch Home</u> <u>Space will be used for living</u>		
Contractor's name: <u>Deane Macbeth</u> Email: <u>dnh@secure-speed.us</u>		
Address: <u>72 Thynso Mills Road Shapleigh ME 04876</u>		
City, State & Zip: _____ Telephone: _____		
Who should we contact when the permit is ready: <u>Deane Macbeth</u> Telephone: <u>207-576-0467</u>		
Mailing address: <u>72 Thynso Mills Rd Shapleigh ME 04876</u>		

Call 576-0467

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Deane Macbeth Date: 11-1-12

This is not a permit; you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , BusinessName: D & H Contractors, Check Number: 1122\$480.00

Tender Amount: 480.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 11/6/2012

Receipt Number: 49982

Receipt Details:

Referance ID:	8653	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	480.00	Charge Amount:	480.00
Job ID: Job ID: 2012-11-5343-ALTR - Building second story onto existing ranch			
Additional Comments: D H General Contractors/ 57 Whittier			

Thank You for your Payment!

777 911 7-4

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE

JAN INSPECTION PLAN

ST WHITTIER STREET
PORTLAND ME.

No. 695-31

TO THE LENDERS, MORTGAGEE, AND ITS TITLE INSURER
Location of the building shown
conform with the local zoning
code of the city. The property
is not in a flood zone.

BOOK _____ COUNTY _____ STATE _____ OWNER: THEODORE W. & LINDA K. LYRKE

PLAN BOOK _____ PAGE _____ LOT _____

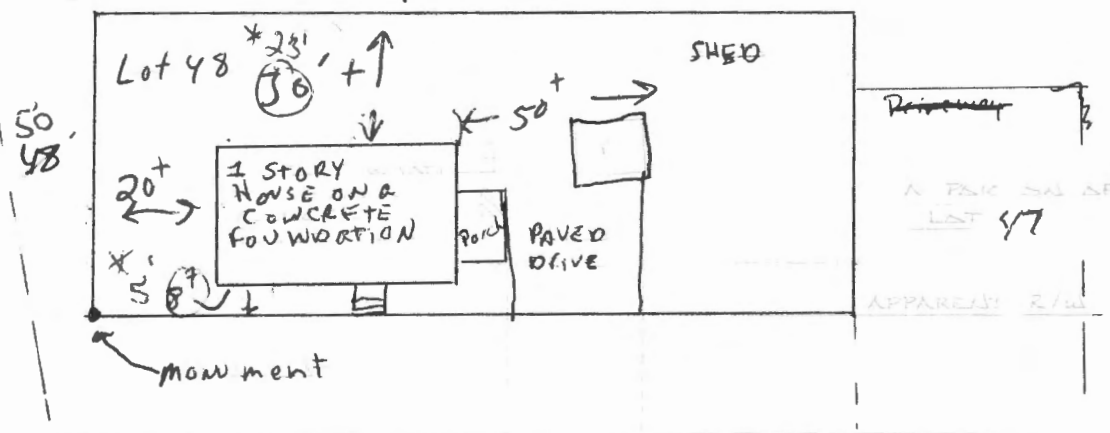
* NOTE: SEE ATTACHED VARIANCE
DWELLING CODE BOOKS
WITH VARIANCE
REQUIREMENTS

* See numbers submitted on
plot plan received 11/7/10.
ABM

Lot Size
50' x 120'

120'

Whittier Street



WHITTIER STREET (Continued)

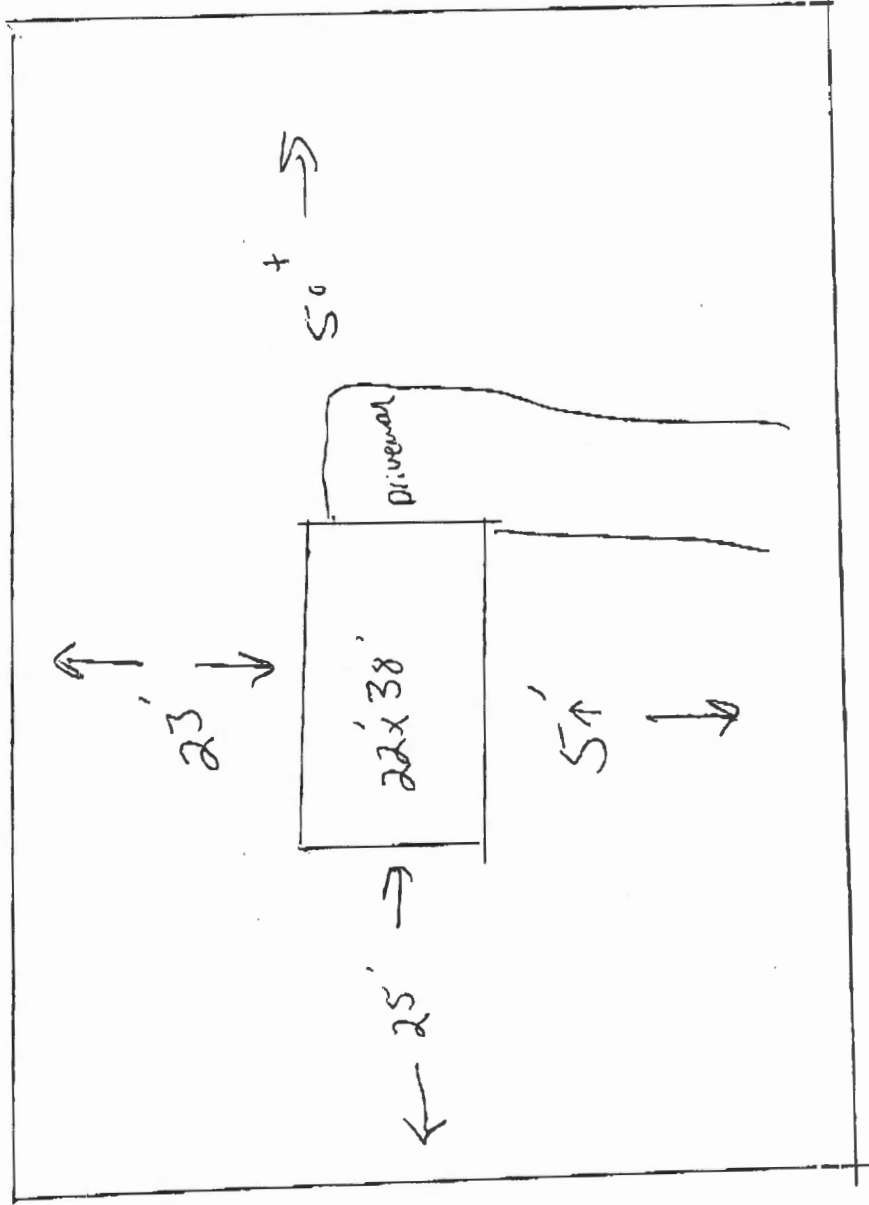
THIS PLAN IS NOT A BOUNDARY SURVEY
AND DOES NOT SHOW THE EXACT
LOCATION OF THE BUILDING SHOWN
HEREIN. THE LOCATION OF THE
BUILDING SHOWN HEREIN IS BASED
ON THE INFORMATION PROVIDED BY
THE OWNER AND THE LENDERS.

EVERY TWO MONTHS AND
SHALL BE SUBJECT TO THE
REVISIONS BY THE STATE
AND LOCAL ZONING
CODES. THE LENDERS AND
TITLE INSURER SHALL
NOT BE RESPONSIBLE FOR
ANY VIOLATIONS OF
THE ZONING CODES.

Date: 2-25-12 Scale: 1" = 30'

Ted Lyme street
57 Whittier street
Portland Me
Plot Plan

ATT, ANN Machado



Wadsworth Street

Whittier Street

RECEIVED

NOV - 7 2012

Dept. of Building Inspections
City of Portland Maine



57 Wordworth St.



Applicant: Theodore Layne

Date: 11/6/12

Address: 57 Wordsworth St. / 57 Whittier St

C-B-L: 426-B-26

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1982

Zone Location - R-5.

Interior or corner lot -

Proposed Use/Work - add 2nd floor over part of existing 1st floor - 3022' x 30'

Sevage Disposal -

Lot Street Frontage - 50' - 50 on Wordsworth; 120 on Whittier

Front Yard - 20' or average - 5' (approved by appeal 1982)

Shoreland 30% increase

Rear Yard - 20' - 23' 5' min (OK)

existing volume = 17,156 cu. feet

proposed increase = 4950 cu. feet
= 28.9% increase (OK)

Side Yard - 15' on s. side street
8' for onestory

Projections - 12' for two story

existing floor area = 2508 sq ft

proposed increase = 660 sq ft
= 26.3% increase (OK)

Width of Lot -

Height - 35 max - ^{22.5'} 31' to e. edge (OK)

Lot Area - 6000 sq ft - 6000 sq ft

Section 14-436

1st floor footprint 836 sq ft

increase is 660 sq ft

78.9% increase

just under 80% allowed

Lot Coverage/Impervious Surface - N/A existing no expansion of footprint

Area per Family - 3,000 sq ft (OK)

Off-street Parking - (OK)

Loading Bays - N/A

Site Plan - N/A

Shoreland Zoning/Stream Protection - building within 75' of upland edge of coastal wetland

Flood Plains - panel 7-zonex.

*using 30% increase in volume! floor area *using section 14-436(b)

Red Lyme
57 Whittier Street
Portland Maine
House = 22' x 38'

Volume -

Basement -

$$8.5' \times 22' \times 38' = 7106$$

First floor -

$$9' \times 22' \times 38' = 7524$$

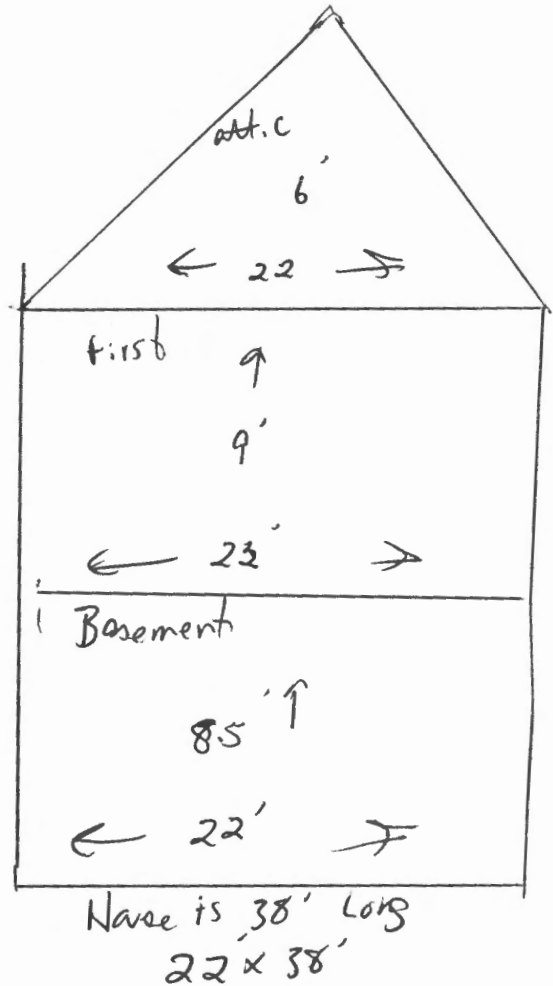
att.c -

$$6' \times 11' \times 38' = 2508$$

$$\text{total} = \frac{17138}{\times .3} = 17156 \text{ cu. feet.}$$

$$\underline{5141.4} = 5146.8 \text{ cu. feet.}$$

Existing Volume



Ted Lyme
57 Whittier Street
Portland ME
House - 22' x 38'

Existing Floor area.

Floor -

Basement -

$$22' \times 38' = 836$$

First Floor -

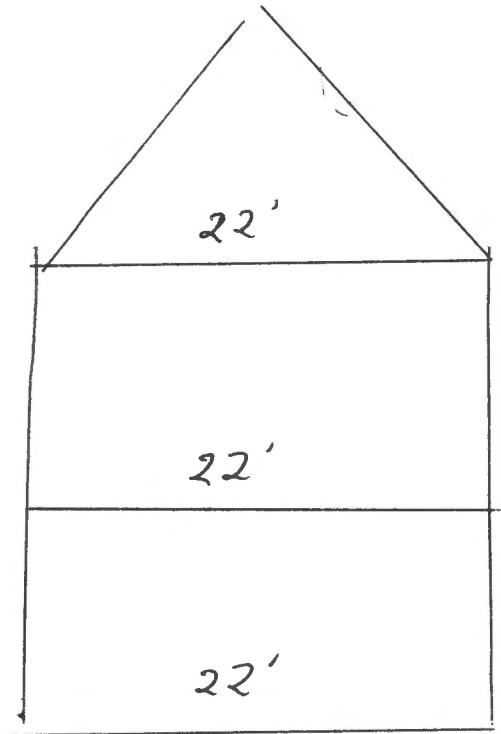
$$22 \times 38 = 836$$

Attic -

$$22 \times 38 = 836$$

Total

$$\begin{array}{r} 2508 \\ \times .3 \\ \hline 752.4 \end{array}$$

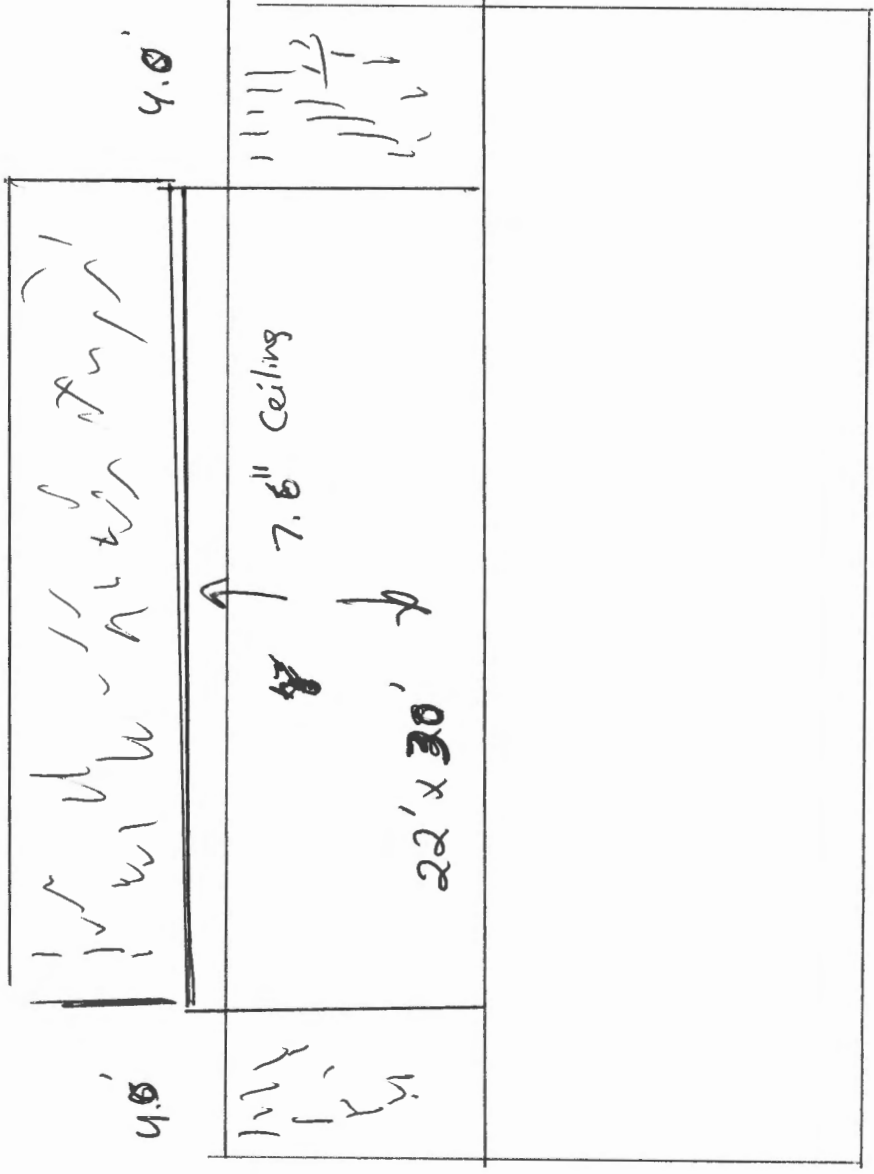


House is 38' long
22' x 38'

Ted Lyme Street
 57 Whittier Street
 Portland ME
 House = 22' x 38'

50% 1st floor footprint = $(.5)(836) = 418$
 floor area increase = 660
 $\frac{660}{836} = 78.9\%$ increase
 80% allowed

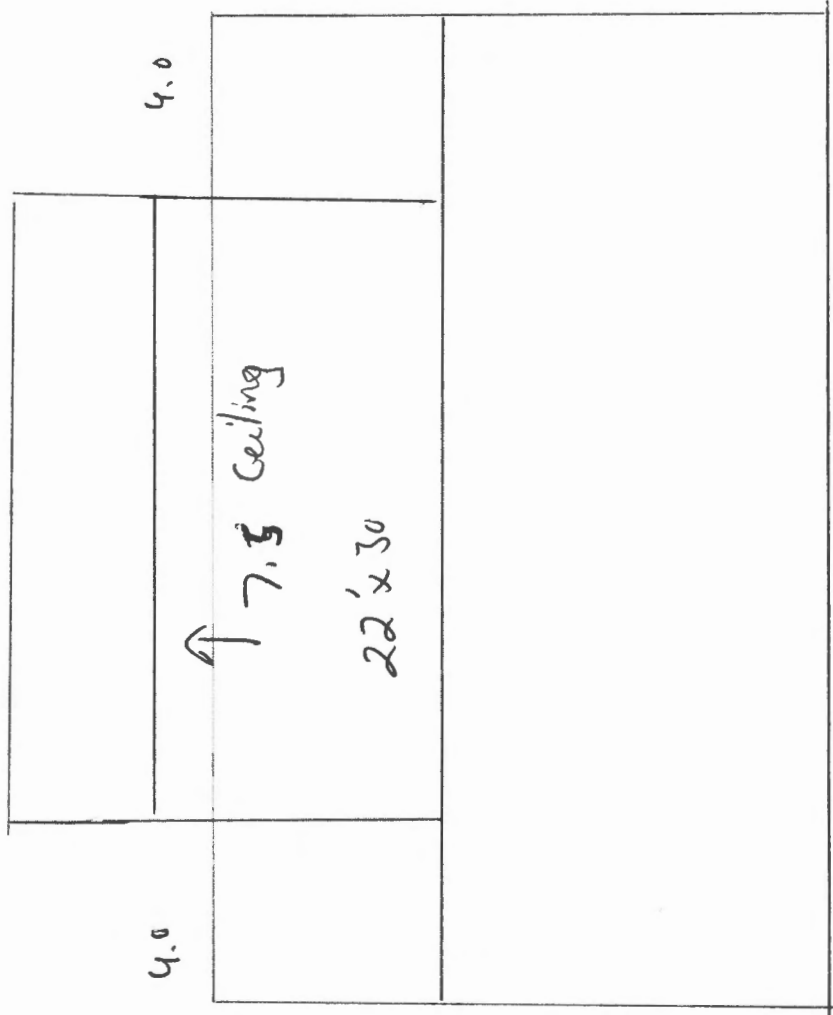
Proposed



Volume -
~~7.5'~~ 7.5' x 22' x 30' = 5016
 4950 w. flat.
 allowed volume
~~8747~~ 45146.8 cu ft.
 floor space -
 22' x 30' = 660
 allowed = 752.9

Right Elevation
 Existing - 22' x 38'

Ted Lyme Street
57 Whitier Street
Portland ME

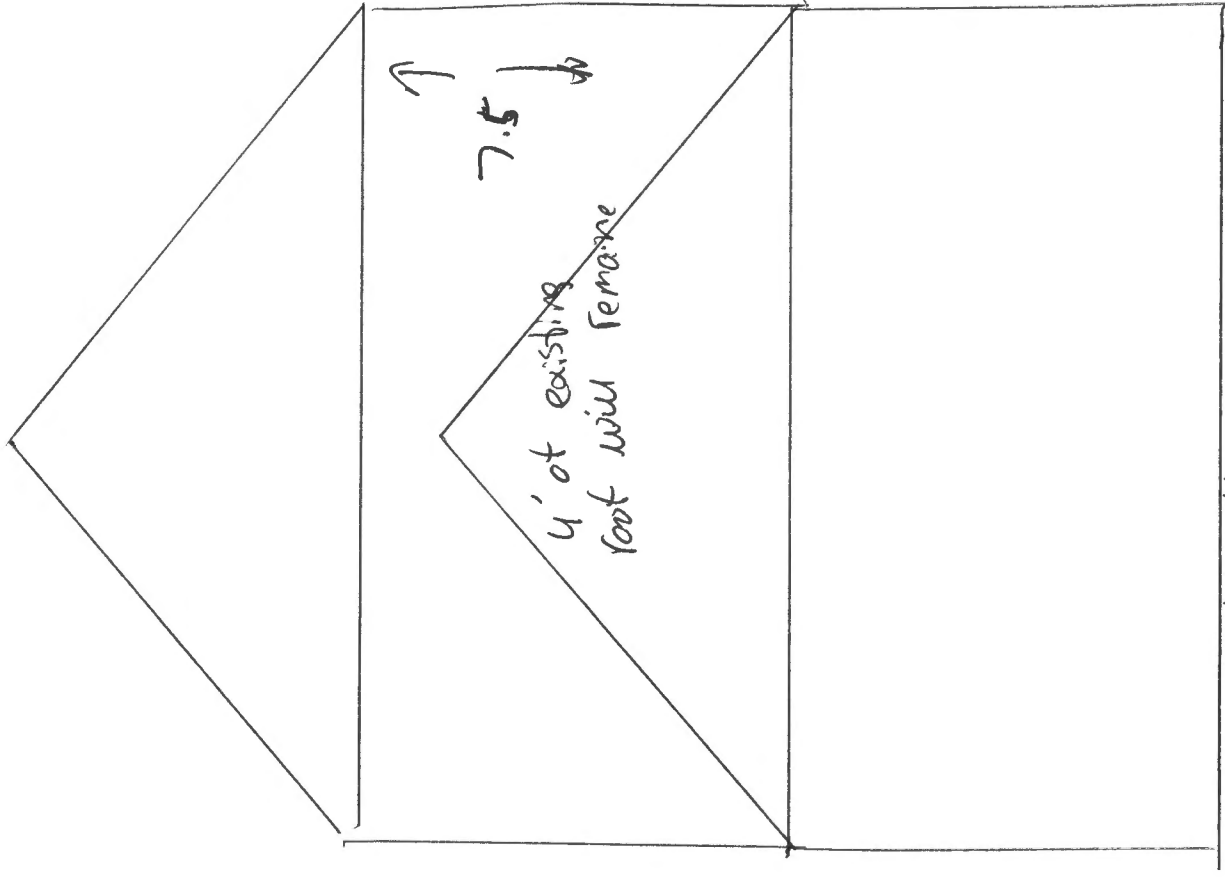


Left Elevation
22 x 38'

Volume, 30'
7.5' x 22' x 30'
5076 4950
allowed volume
~~5441.8~~ 5141.8

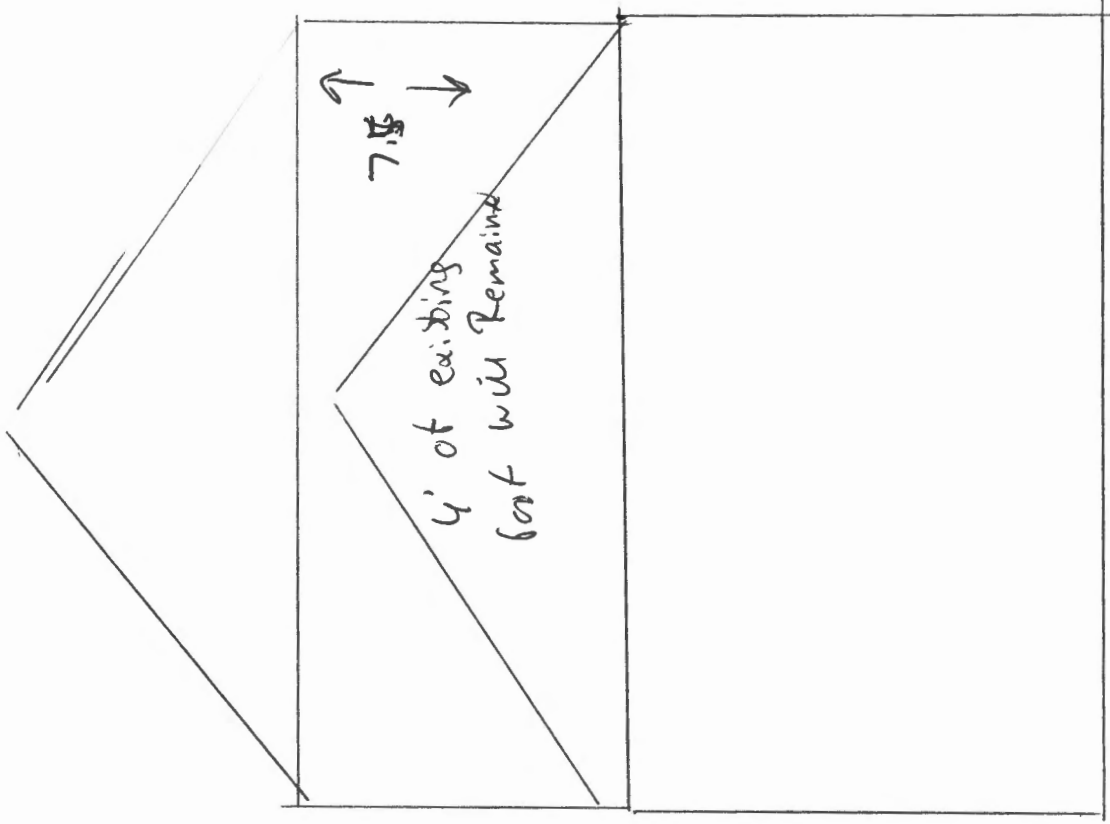
Floor -
22 x 30 = 660
allowed floor = 752.4

Ted Lyme
57 Whitteiv Street
Barbland ME



Left Gable
22 x 38'

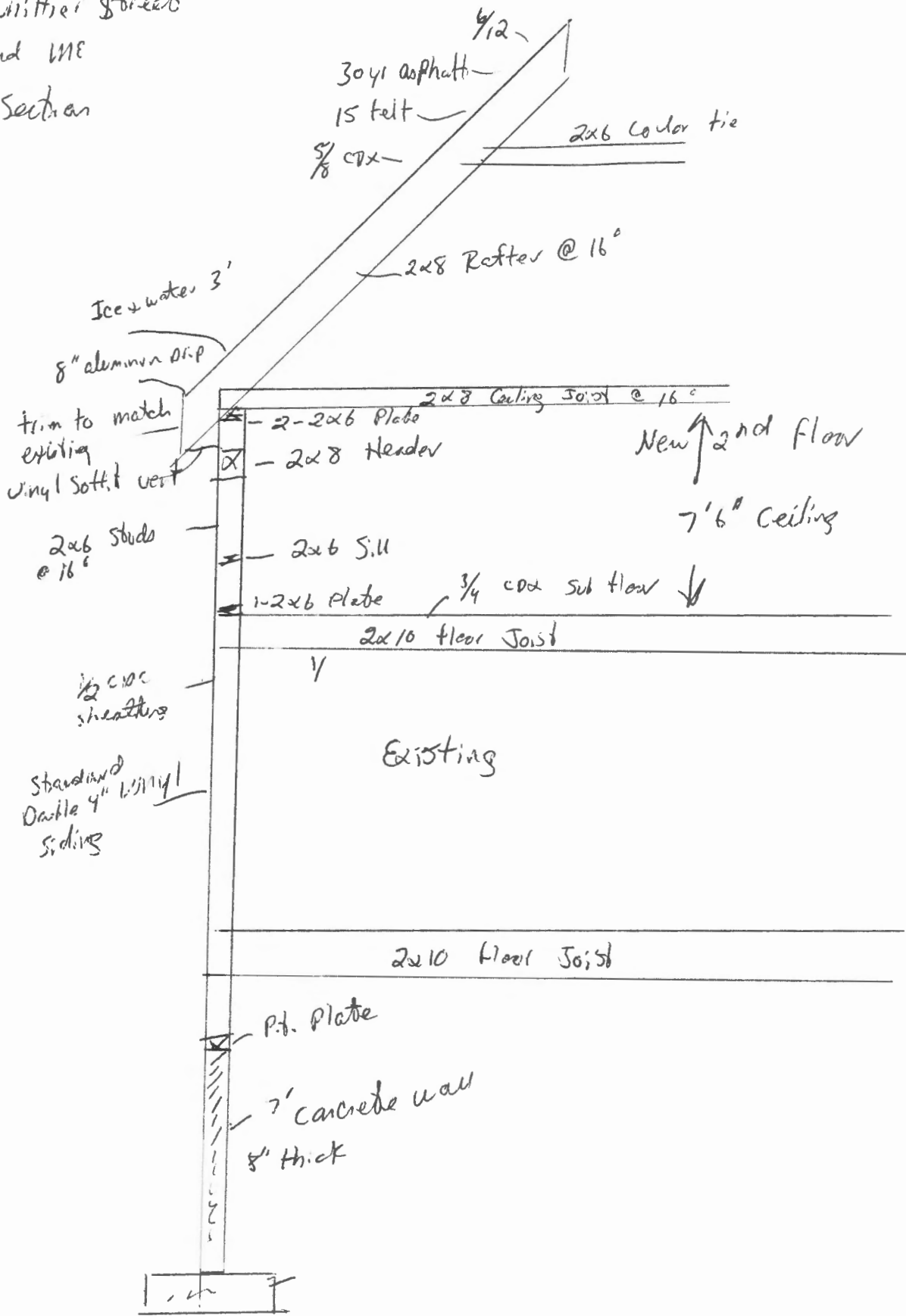
Ted Lyme
57 Whittier Street
Portland ME



Right Gable
22' x 38'

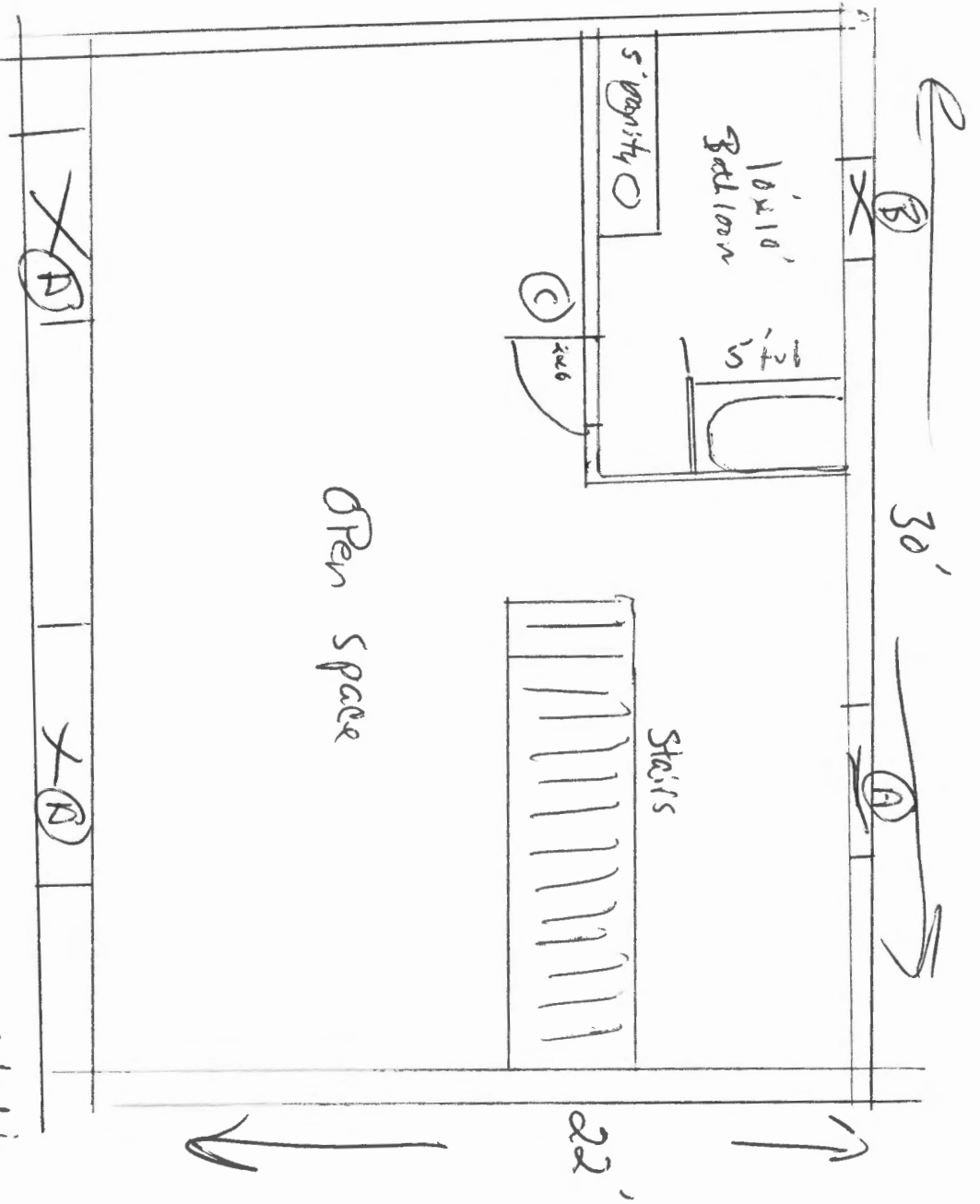
Ted Lyme
57 Whittier Street
Portland ME

Cross Section



Ted Leyme
575 Whittier Street
Portland ME
Roat Framing

	2x8 Rafter
	2x10 Tr. dk. Pole



Open Space

Stairs

Bath

5' vanity

5' tub

30'

22'

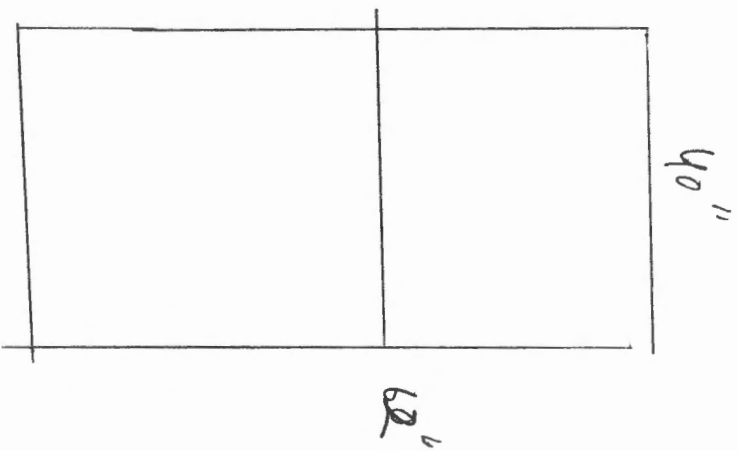
Schedule

	Door	Window
C	Heller 2'6" x 8'0"	A Anderson DN 4'0" x 6'2"
B		B Anderson DN 3'0" x 5'0"

Ted Lyme
577 Whittier Street
Patterson ME

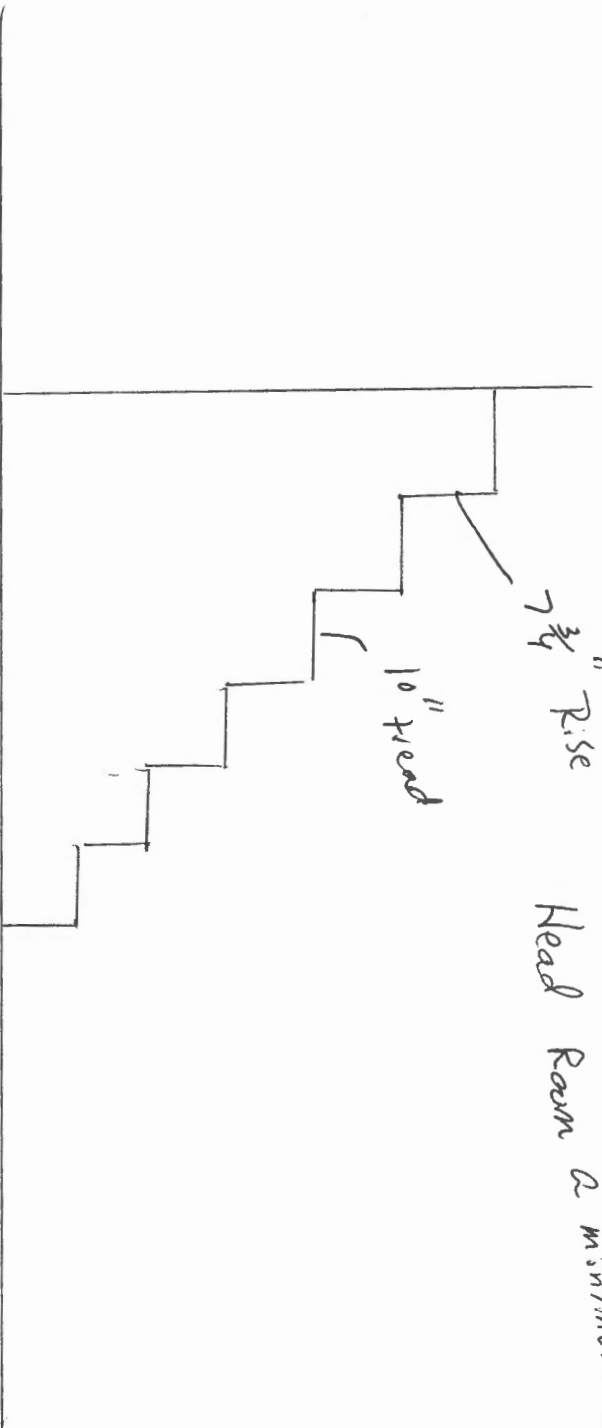
Window Schedule

Windows will be
40" x 60"
U factor 0.30



Total net clear opening is a
minimum of 5.7 square feet
(821) square inches

Ted Lyne
573 Whittier Street
Portlad ME
stair detail



Handrail
34"-38"
no more than 4" space between balusters
Head Room a minimum of 6'8"



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP R-4

B.O.C.A. TYPE OF CONSTRUCTION 4.B

001293

ZONING LOCATION Portland

PORTLAND, MAINE

Dec. 2, 1981

PERMIT ISSUED

DEC 4 1981

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 57 Whittier St., Portland Fire District #1 #2

1. Owner's name and address Linda Daicy & Theodore Leyme - 198 Forest St., West., Me Telephone 856-6034 04092

2. Lessee's name and address _____ Telephone _____

3. Contractor's name and address Ridge Homes - 120 Allen Ave., Port. Telephone 797-7871
(Albert Paul Asali, Sr.)

4. Architect _____ Specifications _____ Plans _____ No. of sheets _____

Proposed use of building Single family - no garage No. families _____

Last use vacant lot No. families _____

Material _____ No. stories _____ Heat _____ Style of roof _____ Roofing _____

Other buildings on same lot _____

Estimated contractual cost \$ 29,000 Fee \$ 155.00

FIELD INSPECTOR—Mr. W. J. G.

GENERAL DESCRIPTION

This application is for: (a 775-5451 To construct a single family ranch style
 Dwelling Ext. 234 house, 22'x38', as per plan. No garage

Garage _____

Masonry Bldg. _____

Metal Bldg. _____

Alterations _____

Demolitions _____

Change of Use _____

Other _____

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other: _____

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes

Is connection to be made to public sewer? yes If not, what is proposed for sewage? _____

Has septic tank notice been sent? _____ Form notice sent? _____

Height average grade to top of plate 8' Height average grade to highest point of roof 13'

Size, front 38' depth 22' No. stories 1 solid or filled land? solid earth or rock? earth

Material of foundation concrete Thickness, top 10" bottom _____ cellar yes

Kind of roof Pitch Rise per foot 5/12 Roof covering asphalt shingle

No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat elec. fuel _____

Framing Lumber—Kind fir, pine Dressed or full size? dressed Corner posts _____ Sills _____

Size Girder: _____ Columns under girders _____ Size _____ Max. on centers _____

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2x8 2nd _____ 3rd _____ roof 2x8

On centers: 1st floor 16" 2nd _____ 3rd _____ roof 16"

Maximum span: 1st floor 11' 2nd _____ 3rd _____ roof 11'

If one story building with masonry walls, thickness of walls? _____ height? _____

IF A GARAGE

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER _____

ZONING: W. J. G.

BUILDING CODE: _____

Fire Dept.: _____

Will work require disturbing of any tree on a public street? no

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. # 1
Portland, Maine, April 27, 1982

PERMIT ISSUED
JAN 28 1983
DEPT. OF BLDG. INSP
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 81/1295 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 57 Whittier Street Within Fire Limits? Dist. No.
Owner's name and address Linda Daicy & Theodore Leyme-198 Forest St. Telephone 856-6034
Leasee's name and address Westbrook Telephone
Contractor's name and address Ridge Home Homes -120 Allen Ave. Port Telephone 797-7871
Architect Plans filed No. of sheets
Proposed use of building single family No. families
Last use No. families
Increased cost of work Additional fee 25.00
appeal fee

Description of Proposed Work

5' front yard set back rather than 20'

appeal sustained 5-13-82

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing member—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joints and rafters: 1st floor, 2nd, 3rd, roof
On centers: 1st floor, 2nd, 3rd, roof
Maximum span: 1st floor, 2nd, 3rd, roof

Approved:

Signature of Owner Linda Daicy
Approved Inspector of Buildings

198 FOREST ST.
WESTBROOK

Applicant: LINN THICY & THEODORE LEYME
Address: 50 WILTIAR ST.
Assessors No.: 426-13-26
Date: 4/24/5...

CHECK LIST AGAINST ZONING ORDINANCE

✓ Date - NR 611

✓ Zone Location - R-5

Interior or corner lot -

~~40 ft. setback area (Section 21) -~~

Use -

Sewage Disposal PUBLIC

Rear Yards -

Side Yards -

602.6 B.V. Front Yards - 5' - 20' MIN.

Projections -

Height -

Lot Area - 6000⁺

Building Area -

Area per Family -

Width of Lot -

Lot Frontage

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning -

Flood Plains -



STATE OF MAINE

Department of Environmental Protection

MAIN OFFICE: RAY BUILDING, HOSPITAL STREET, AUGUSTA
MAIL ADDRESS: State House Station 17, Augusta, 04333

17 Commercial Street, Portland, Maine 04101 (773-0196)

JOSEPH E. BREDYMAN
GOVERNOR

HENRY E. WARREN
COMMISSIONER

November 16, 1981

Linda Daicy
198 Forest Street
Westbrook, Maine 04092

Dear Ms. Daicy:

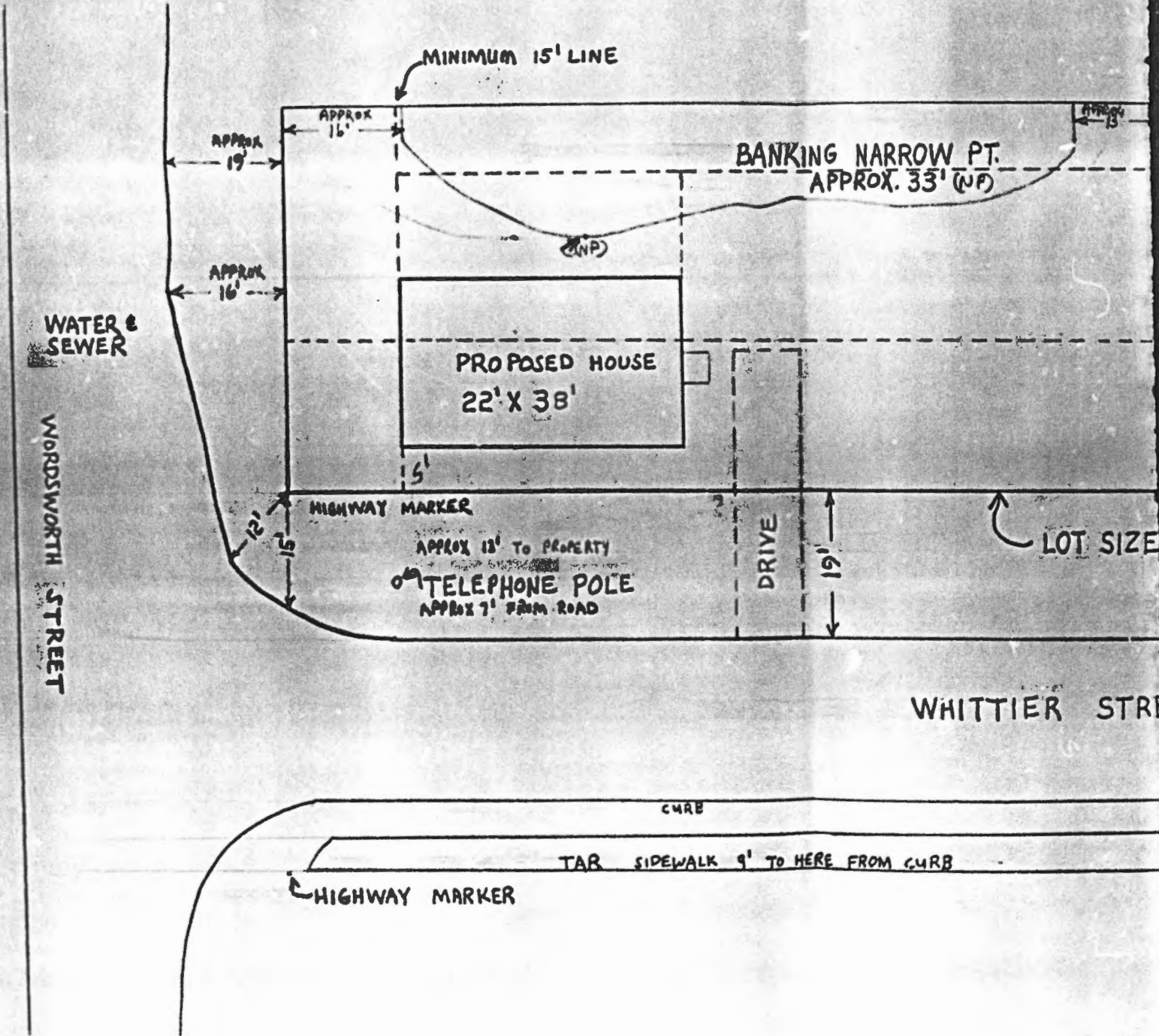
I looked at the lot you asked me to check on the corner of Wordsworth and Whittier Streets in Portland. As long as you build only on top of the bank and do not place any fill over the bank, you do not need an Alteration of Coastal Wetlands permit from the D.E.P. You will need a permit from the City to build.

Construction on top of the bank may eventually cause the bank to erode. If this happens and you want to build a retaining wall to hold the bank, you should apply for an Alteration of Coastal Wetlands permit from the D.E.P. before you build the wall. Since you are not planning to build a retaining wall at this time, you don't need a wetlands permit now. Just make sure that no fill or construction debris goes over the edge of the bank.

Sincerely,

Sarah C. Vetault
Division of Enforcement & Field Services
BUREAU OF LAND QUALITY CONTROL
Portland Regional Office

SV:mgb



5' LINE

(NP)

SED HOU

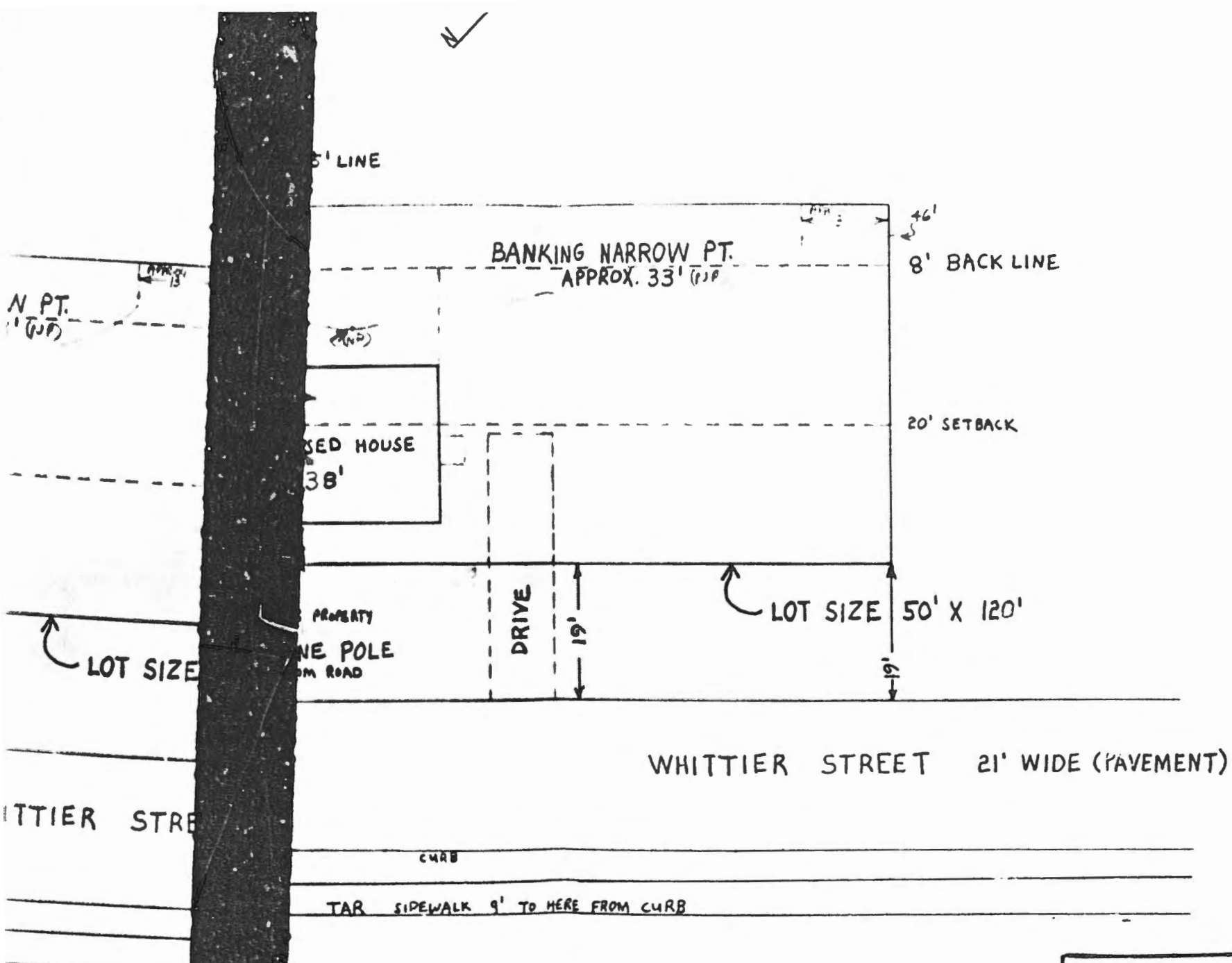
38'

PROPERTY

NE POL

OM ROAD

TAR



SCALE 1/16" = 1'
DAICY + LEYME

RECEIVED
 APR 27 1982
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

930684

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$65 Zone _____ Map # _____ Lot# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Theodore W. Leyme Phone # 772-8489
 Address: 57 Whittier St- Ptd, ME 04103
 LOCATION OF CONSTRUCTION 57 Whittier St.
 Contractor: Steve Richards Sub: _____
 Address: _____ Phone # _____
 Est. Construction Cost: 9300 Proposed Use: 1-fam w pool

 # of Existing Res. Units _____ # of New Res. Units _____
 Building Dimensions L _____ W _____ Total Sq. Ft. _____
 # Stories _____ # Bathrooms _____ Lot Size _____
 Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
 Explain Conversion inst 1/g pool --- 14'x24'

PERMIT ISSUED
 For Official Use Only
 Date: 8/2/93
 Inside Fire Limits _____
 Hdg Code _____
 Time Limit _____
 Estimate Cost: 9300
 Subdivision: _____
 Name: AUG 9 1993
 Ownership: Public
 CITY OF PORTLAND
 Zoning: R5
 Street Frontage Provided: _____
 Provided Setbacks: Front _____ Back _____ Side _____
 Review Required:
 Zoning Board Approval: Yes _____ No _____ Date: _____
 Planning Board Approval: Yes _____ No _____ Date: _____
 Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____
 Shoreland Zoning Yes _____ No _____ Floodplain Yes _____ No _____
 Special Exception _____
 Other (Explain): WDH 8-5-93

Foundations:
 1. Type of Soil: _____
 2. Set Backs - Front _____ Rear _____ Side(s) _____
 3. Footings Size: _____
 4. Foundation Size: _____
 5. Other: _____

Floors:
 1. Sills Size: _____ Sills must be anchored.
 2. Girder Size: _____
 3. Lally Column Spacing: _____ Size: _____
 4. Joists Size: _____ Spacing 16" O.C.
 5. Bridging Type: _____ Size: _____
 6. Floor Sheathing Type: _____ Size: _____
 7. Other Material: _____

Exterior Walls:
 1. Studding Size: _____ Spacing _____
 2. No. windows: _____
 3. No. Doors: _____
 4. Header Size: _____ Span(s) _____
 5. Bracing: Yes _____ No _____
 6. Corner Posts Size: _____
 7. Insulation Type: _____ Size: _____
 8. Sheathing Type: _____ Size: _____
 9. Siding Type: _____ Weather Exposure _____
 10. Masonry Materials: _____
 11. Metal Materials: _____

Interior Walls:
 1. Studding Size: _____ Spacing _____
 2. Header Size: _____ Span(s) _____
 3. Wall Covering Type: _____
 4. Fire Wall if required: _____
 5. Other Materials: _____

Ceiling:
 1. Ceiling Joists Size: _____
 2. Ceiling Strapping Size: _____ Spacing _____
 3. Type Ceiling: _____
 4. Insulation Type: _____ Size: _____
 5. Ceiling Height: _____

Roof:
 1. Truss or Rafter Size: _____ Span _____
 2. Sheathing Type: _____ Size: _____
 3. Roof Covering Type: _____

Chimneys:
 Type: _____ Number of Fire Places: _____

Heating:
 Type of Heat: _____

Electrical:
 Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:
 1. Approval of soil test if required Yes _____ No _____
 2. No. of Tubs or Showers: _____
 3. No. of Flushes: _____
 4. No. of Lavatories: _____
 5. No. of Other Fixtures: _____

Swimming Pools:
 1. Type: _____
 2. Pool Size: _____ Square Footage _____
 3. Must conform to National Pool Code and State Law.

Permit Received By Louise E. Chas. Date 8-2-93

Signature of Applicant Theodore W. Leyme Date 8-2-93

Signature of CEO Theodore W. Leyme Date _____

Inspection Dates [G] M. Rowe

HISTORIC PRESERVATION

PERMIT ISSUED WITH REQUIREMENTS

PERMIT ISSUED WITH REQUIREMENTS

Location of Construction: 57 Whittier Street		Owner: Ted, Linda Leyme		Phone: 772-8489		Permit No: 980661	
Owner Address: Same		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: American Concrete		Address: 1022 Minot Ave. Auburn		Phone: (207) 784-1388		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: JUN 22 1998 CITY OF PORTLAND </div>	
Past Use:		Proposed Use: Replace existing steps		COST OF WORK: \$ 3,000			
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: 4 Use Group: R3 Type: 50 150 1 11	
Proposed Project Description:		Signature:		Signature: H. J.		Zone: CBL: 426-B-026 Zoning Approval: OK with conditions shall not increase Special Zone or Reviews: <input type="checkbox"/> Shoreland Beyond the existing <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> 6/17/98	
		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:		Date:	
Permit Taken By:		Date Applied For:				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

- This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

American Concrete Industries
 1022 Minot Ave.
 Auburn, ME 04210

Via Mail - 17 June 1998

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

CEO DISTRICT