

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 177 Commercial Street		Owner: Maine Tank Co. Inc.		Phone: 774-9531		Permit No: 981177	
Owner Address:		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Avery Services, Inc.		Address: 7 Thomas Drive, Westbrook, ME 04092		Phone:		Permit Issued: OCT 14 1998	
Past Use:		Proposed Use:		COST OF WORK: \$ 2,111.00		PERMIT FEE: \$ 30.00	
				FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:	
				Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>	
Proposed Project Description: Installation of an Heat Recovery/Ventilator system for office.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied			
				Signature: _____ Date: _____			
Permit Taken By:		Date Applied For: 10-13-98					

**PERMIT ISSUED**  
OCT 14 1998  
**CITY OF PORTLAND**

Zone: *[Zone]* CBL: *[CBL]*  
Zoning Approval:  
**Special Zone or Reviews:**  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**  
 Approved  
 Approved with Conditions  
 Denied  
Date: \_\_\_\_\_

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT		ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE				PHONE:

**CEO DISTRICT** *[Signature]*

COMMENTS

10/15/98- ADVISED TO CALL  
TOM REIMS BOROUGHT PRIOR  
TO CLOSE IN. SHOULD BE  
NEXT WEEK - NON STRUCTURAL  
EXCEPT THE HOLE IN EXTERIOR WALL

New permits issued 2002 for office space

Type	Inspection Record	Date
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED



**Building or Use Permit Pre-Application  
Additions/Alterations/Accessory Structures  
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 179 Presumpscott St - Portland, ME

Tax Assessor's Chart, Block & Lot Number Chart# <u>426</u> Block# <u>A</u> Lot# <u>4</u>	Owner: <u>MAINE TANK CO. INC.</u>	Telephone#: <u>774-9531</u>
Owner's Address: <u>179 Presumpscott St - Portland, ME</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$2,111.00</u> Fee: <u>\$30</u>
Proposed Project Description: (Please be as specific as possible) <u>INSTALLATION OF AN HEAT RECOVERY/VENTILATOR SYSTEM FOR OFFICE</u>		
Contractor's Name, Address & Telephone <u>AVERY SERVICES, INC. - 7 THOMAS DRIVE WESTBROOK, ME (04092)</u> Rec'd By: <u>WJ</u>		

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
  - All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
  - All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

**4) Building Plans (Sample Attached)**

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment. HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Douglas C. Avery Date: 9/30/98

Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

## Submission Requirements Residential Construction

When a property owner is proposing either a new structure or an addition, this office requires:

- A plot or site plan, showing the shape and dimensions of the entire lot, all existing and proposed structures on the lot and the distance that the structures are from all lot lines. For a new dwelling the plan must be prepared by a registered design professional. For dwelling additions, the plan can be prepared by the owner or agent. (See Figure 1)

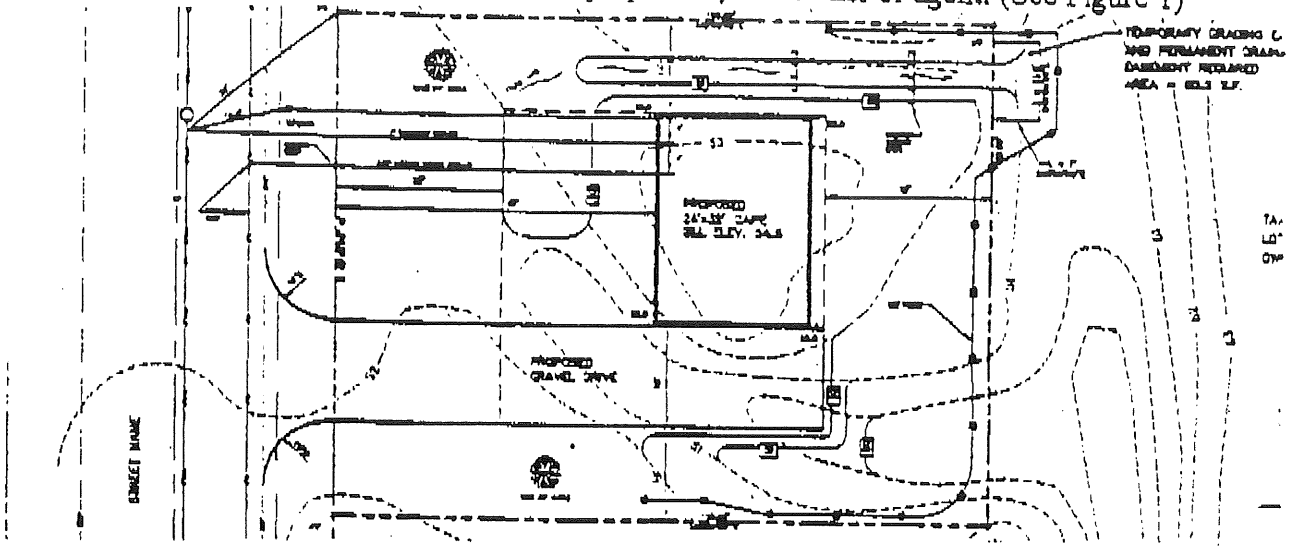


Figure 1. Typical Plot Plan

As can be seen, it is easy to establish the extent of compliance with the required setbacks and lot coverage.

- For new construction, structural alterations, or additions, plans showing structural details must be provided. Minimally they should include foundation plans, including drainage and support column spacing framing details, floor plans and a cross section. (See Figures 2, 3 & 4)

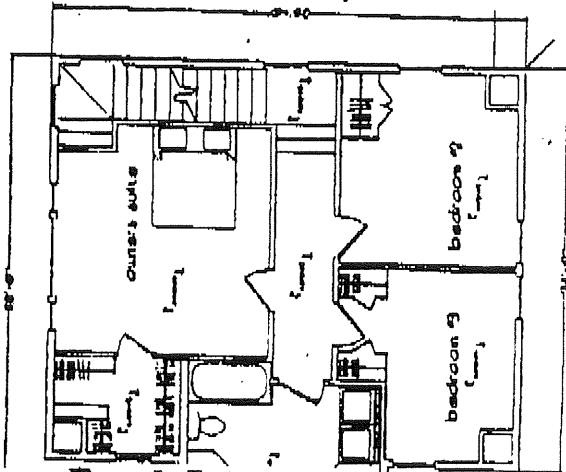


Figure 3. Typical Floor Plan

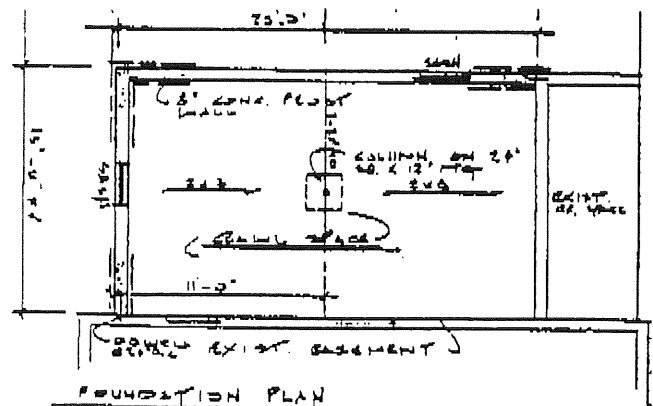
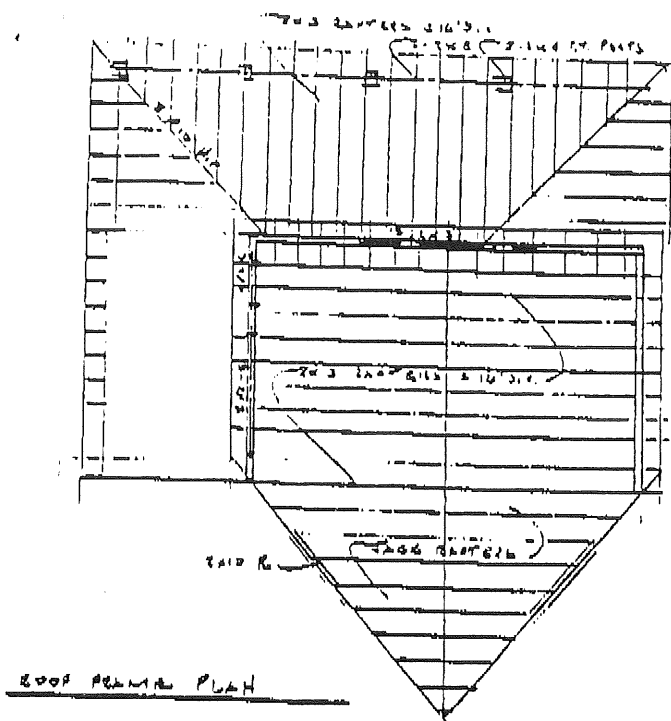
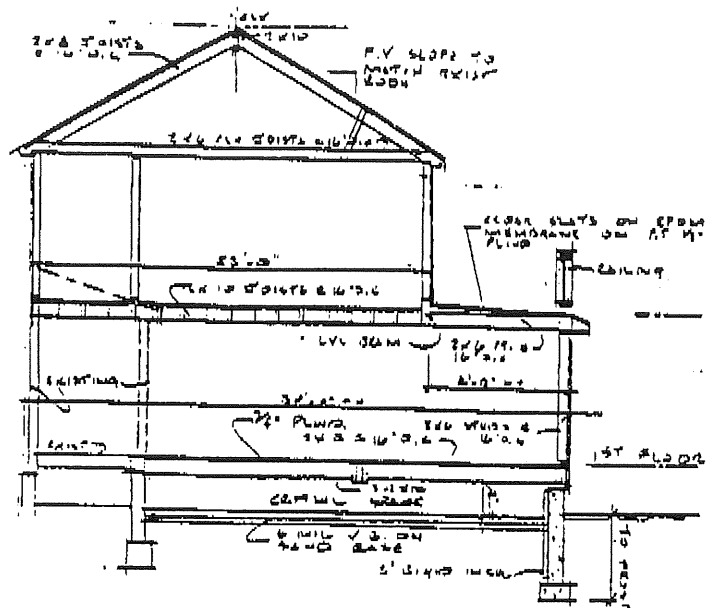


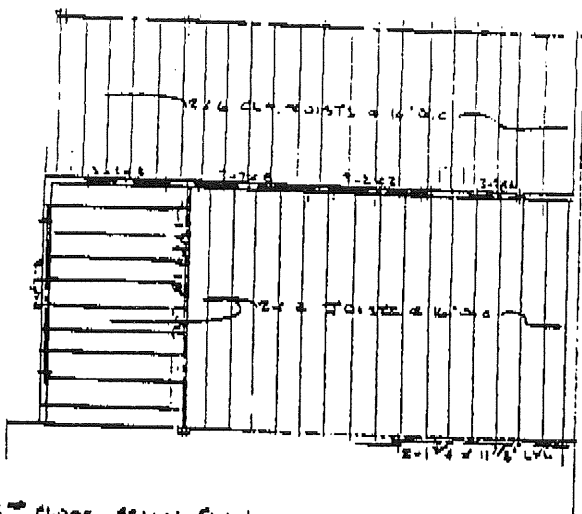
Figure 2. Typical Foundation Plan



ROOF FRAME PLAN



'A' SECTION



2<sup>ND</sup> FLOOR FRAME PLAN

**Figure 4. Typical Framing and Cross Section**

These plans are all done by professionals, you can do your own plans for the purposes of residential construction, the plan does not have to be of this quality, but the level of detail and accuracy is important. When proposing an addition, similar plans are required, the same goes for a detached garage or an attached deck.

## BUILDING PERMIT REPORT

DATE: 10/14/98 ADDRESS: 179 Presumpscot St CBL 426-A-004  
REASON FOR PERMIT: Install Heat Recovery  
BUILDING OWNER: Main Tank  
CONTRACTOR: Avry Services  
PERMIT APPLICANT: \_\_\_\_\_  
USE GROUP R2 BOCA 1996 CONSTRUCTION TYPE RC


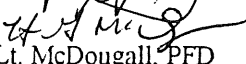
### CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*6, \*27, \*31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 2.6 Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. ( Section 2305.17 )
3. Precaution must be taken to protect concrete from freezing. Section 1908.0
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
9. Headroom in habitable space is a minimum of 7'6". ( Section 1204.0 )
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.( Section 1014.0 )
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8") 1014.4

12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. ( Section 1018.6 )
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. Section 1010.1
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) Section 710.0
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment. Table 302.1.1
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
 In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. Section 921.0
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). ( Chapter M-16 )
28. Please read and implement the attached Land Use-Zoning report requirements.
29. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.3. of the City's building code.
30. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- \* 31. *A structural analysis should be completed for the floor system to verify the existing joists can carry the now dead load being placed on them.*
- 33.

  
 P. Samuel Hoffses, Building Inspector  
  
 cc: Lt. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator

Proposal  
901744

**AVERY SERVICES, INC.**

7 Thomas Drive  
WESTBROOK, MAINE 04092  
(207) 772-8887  
FAX (207) 874-0933

Page No 1 of 1

# 865369

PROPOSAL SUBMITTED TO Maine Tank Co., Inc./Mark Plummer		PHONE 774-4531	DATE 9/15/98
STREET 179 Presumpscott St.		JOB NAME Office ventilation system	
CITY, STATE AND ZIP CODE Portland, ME 04103		JOB LOCATION 2nd Floor Office	
ARCHITECT	DATE OF PLANS	AVERY	JOB PHONE

We hereby submit specifications and estimates for:

Avery Services, Inc. is pleased to quote as requested on the installation of a Heat Recovery Ventilator unit for your 2nd floor office. Scope of work to include:

- Installation of a Carrier HRV unit outside the office.
- Install ductwork & vents for outside air and indoor return & supply grilles.
- Install low voltage control & wiring.
- Run condensate line (up to 20 ft.) to indirect waste (by others).
- Start-up and check operation.
- Customer orientation.

EXCLUSIONS: Power wiring, adequacy of existing systems.

We propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of

Two Thousand One Hundred Eleven \*\*\*\*\*

dollars (\$ 2111.00)

Payment to be made as follows:

25% Upon acceptance - Progress billing/net 10 days - Balance on completion.

If payment is not made as outlined above, a service charge of 2% per month on the overdue balance plus all reasonable costs of collection, including attorney's fees will be paid.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be generated only upon written orders and will become an extra charge over and above the estimate. All my business dealings, such as strikes, accidents or delays beyond our control. Owner to carry his own and other necessary insurance. Our workers are fully covered by Workers Compensation Insurance.

Authorized Signature

*Douglas C. Avery*

Note: This proposal may be withdrawn by us if not accepted within

thirty

Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature

*Mark Plummer*

Date of Acceptance

9/21/98

Signature



**Proposal**  
**931744**  
**AVERY SERVICES, INC.**  
 7 Thomas Drive  
 WESTBROOK, MAINE 04092  
 (207) 772-8687  
 FAX (207) 874-0933

Page No 1 of 1

# 865369

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STREET 179 Presumpscott St.		JOB NAME Office ventilation system	
CITY STATE AND ZIP CODE Portland, ME 04103		JOB LOCATION 2nd Floor Office	
ARCHITECT	DATE OF PLANS	DOUG AUSTIN	JOB PHONE

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All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra cost will be executed only upon written order and will become an extra charge over and above the estimate. All my business dealings with others are done on a cash basis beyond our control. Owner to carry fire, wind and other necessary insurance. Our workers are fully covered by Workmen's Compensation insurance.

Authorized Signature

*Douglas C. Avery*

Note: This proposal may be withdrawn by us if not accepted within \_\_\_\_\_ days.

Thirty

Signature

*Mark Plummer*

Signature

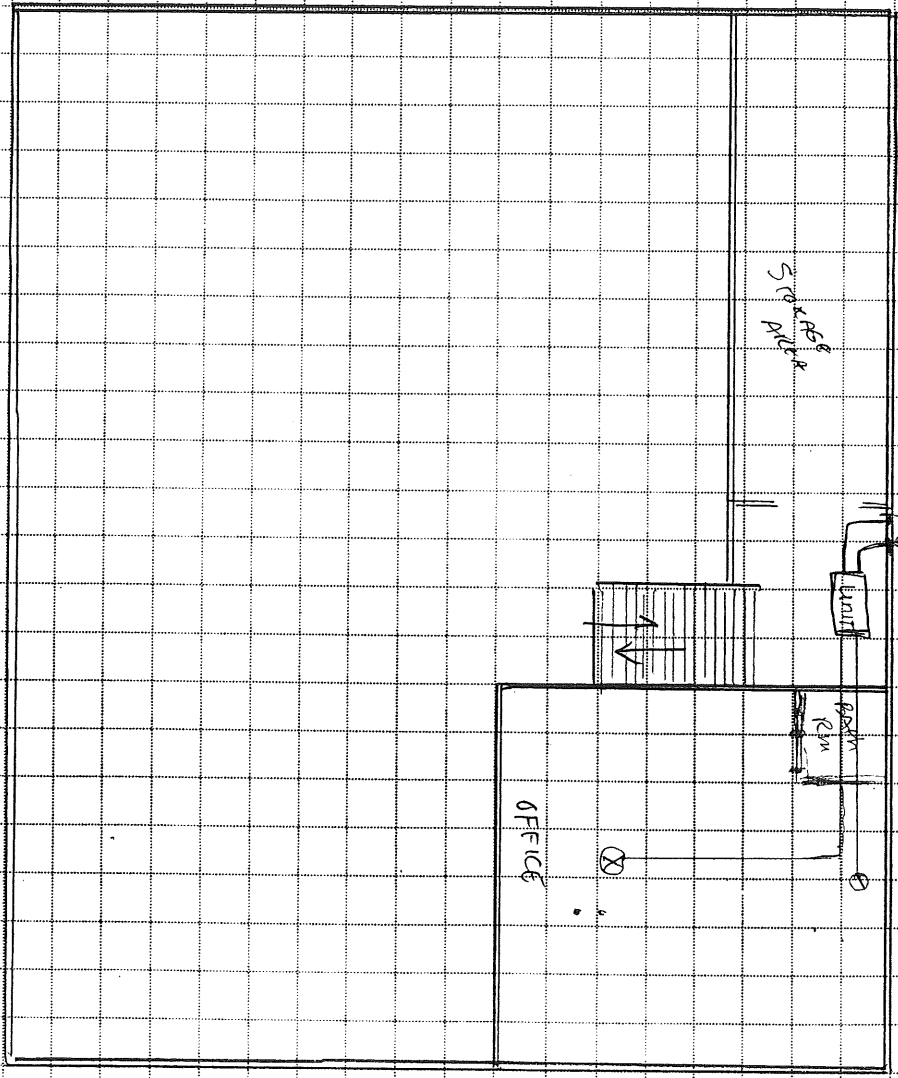
Acceptance of Proposal — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to begin the work as specified. Payment will be made as outlined above.

Date of Acceptance

9/21/98

**AVERY SERVICES, INC.**  
7 Thomas Drive  
WESTBROOK, MAINE 04092  
(207) 772-8687  
FAX (207) 874-0933

JOB 865369 MAINETANK CO.  
SHEET NO. 1 OF 1  
CALCULATED BY AIR EXCHANGER DATE \_\_\_\_\_  
CHECKED BY DCA DATE 9/15/98  
SCALE NONE



**AVERY SERVICES, INC.**  
7 Thomas Drive  
WESTBROOK, MAINE 04092  
(207) 772-8687  
FAX (207) 874-0933

JOB 865369 MAINETANK CO.  
SHEET NO. 1 OF 1  
CALCULATED BY AIR EXCHANGE II DATE \_\_\_\_\_  
CHECKED BY DCA DATE 9/15/98  
SCALE NONE

