



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 179 Presumpscot St

CBL 426 A004001

Issued to Maine Tank Co Inc/Waltz, Richard

Date of Issue 08/19/2002

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0081, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Commercial-Change Of Use

APPROVED OCCUPANCY

Use Group S2/B Type 3b
(Boca 1999)

Limiting Conditions:

Building to be used as office and storage facility

This certificate supersedes certificate issued

Approved:

8/19/02
(Date)

[Signature]
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

[Handwritten notes]

2/19/02 Close in insp Framing (plumbing not ready)
Main stairway in & ok 7" x 11" - stairway to exterior
not built yet. ok to close except plumbing areas. JE
Some joist hangers need more nailing.

7/17/02 Met on site w/ Richard Wultz. Need handrail going
from 1st to 2nd floor. Also need inspections by M. Collins
& Lt. IMAC. before issuance of c/c

8/19/02 - Rec'd Jeff Reynolds memo. OK. to issue
temporary c/c.

TO: Inspections

FROM: Jay Reynolds, Development Review Coordinator

DATE: August 16, 2002

RE: C. of O. for 179 Presumpscot St. / Waltz Plumbing and Heating
(426-A-004) (2002-0111)

After visiting 179 Presumpscot Street, I have the following comments:

1. Final Paving incomplete.

I would estimate that this item can be completed by **October 15, 2002**. Once this item is completed and re-inspected, then a permanent Certificate of Occupancy can be issued.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.
Thank You.

Cc: Sarah Hopkins, Development Review Services Manager
Michael Nugent, Inspection Services Manager

File: O:\drc\waltz1.doc

GWE *Gustin Williams Engineering Associates*

79 Main Street • Richmond, Maine 04357-1125 • Phone/FAX 207-737-4104

Kathy Gustin Williams, P.E.
Civil/Structural Engineer

VIA Fax 773-3114
January 28, 2002
J.O. No. 10108

Mr. John Blunt
Blunt Construction, Inc.
21 Edgewater Lane
Saco, ME 04072

Dear Mr. Blunt,

RE: Renovations to RP Waltz Warehouse Presumpscot Street, Portland, Maine

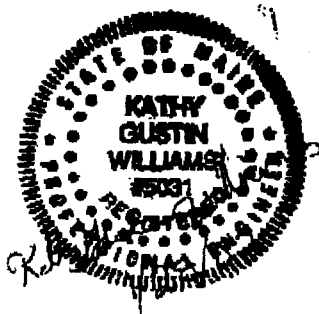
You requested that Gustin Williams Engineering Associates perform a review for structural adequacy of the Engineered Lumber installed during the renovation of the Warehouse on Presumpscot Street in Portland for Richard P Waltz Plumbing and Heating Co. Inc. The area of the structure in question is being renovated to provide office space on the second floor of an existing Metal building.

I reviewed the plan and elevation you provided by Fax. The members reviewed included the 2" X 12" @ 16" on center floor joists, the Laminated Veneer Lumber Beams made up of 3- 1 3/4" X 11 7/8" members, the 7" X 7" LVL Post, and the 36" X 36" X 8" Concrete Footing. The second floor total load used in the analysis was 80 psf based on requirements you provided.

Results

All the members reviewed are structurally adequate for the applied loads. A structurally adequate load path exists to carry the loads to the foundation.

It was a pleasure to be of assistance to you. Please do not hesitate to call, if there are any questions, or if we can be of further assistance.



Sincerely,

Handwritten signature of Kathy Gustin Williams in cursive.

Kathy Gustin Williams, P.E.
Civil/Structural Engineer

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED	Permit No. 02-0081	CBL: 426 A004001
JAN 31 2002		

Location of Construction: 179 Presumpscot St	Owner Name: Maine Tank Co Inc	Owner Address: P O Box 1119	Phone: 207-772-2801
Business Name: n/a	Contractor Name: Waltz, Richard	Contractor Address: 536 Washington Ave Portland	Phone: 2077722801
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: IM

Past Use: Commercial / Tank Fabrication & Storage Factory	Proposed Use: Commercial / Change of Use from factory to Storage Heating and Plumbing Company.	Permit Fee: \$247.00	Cost of Work: \$32,000.00	CEO District: 2
Proposed Project Description: Change of Use to Storage & Heating Plumbing Company.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: SUB Type: 3B BOCHA 99	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: gg	Date Applied For: 01/29/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>ok with conditions</i> → 1/30/02	Date:	Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Application ID Number: 2-0081

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 179 Presumpscot St

Approval Date: 01/30/2002

Given On Date: 01/30/2002

OK to Issue Permit Name: Marge Schmuckal Date: 01/30/2002 Date 2:

Conditions Section:

Separate permits shall be required for any new signage.

Create Date: 01/29/2002 By: gg Update Date: 01/30/2002 By: mes

GWE**Gustin Williams Engineering Associates**

79 Main Street • Richmond, Maine 04357-1125 • Phone/FAX 207-737-4104

Kathy Gustin Williams, P.E.
Civil/Structural EngineerVIA Fax 773-3114
January 28, 2002
J.O. No. 10108Mr. John Blunt
Blunt Construction, Inc.
21 Edgewater Lane
Saco, ME 04072

Dear Mr. Blunt,

RE: Renovations to RP Waltz Warehouse Presumpscot Street, Portland, Maine

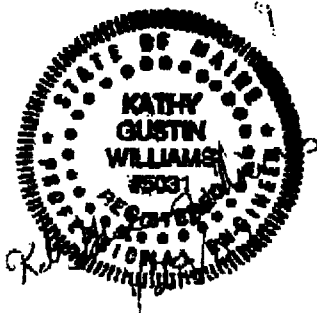
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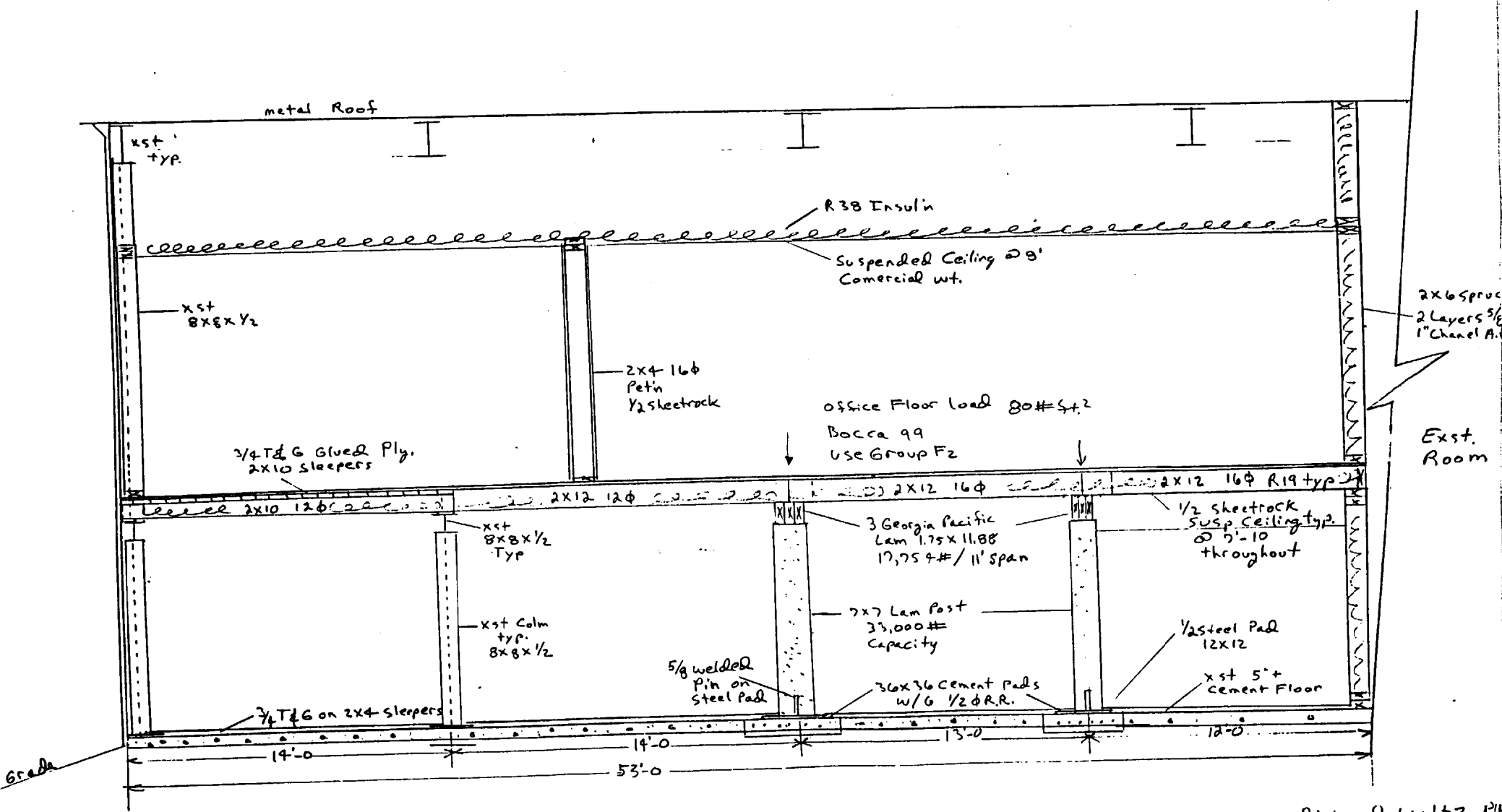
It was a pleasure to be of assistance to you. Please do not hesitate to call, if there are any questions, or if we can be of further assistance.



Sincerely,

Kathy Gustin Williams, P.E.
Civil/ Structural Engineer

Richard Waltz Co



Bocca 99 Use Group F2 2nd Floor Load 80#

Cross Section Thru CL

Richard Waltz Pk
179 Presumpscot St
Port, Me.

02 007

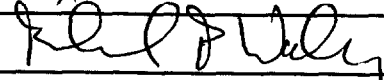
All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

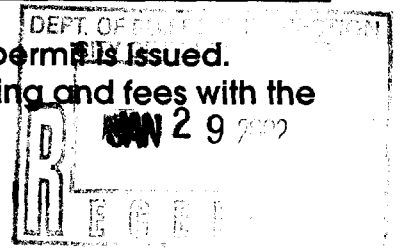
Location/Address of Construction: 179 Presumpscot St		
Total Square Footage of Proposed Structure Existing	Square Footage of Lot 1.3 acres	
Tax Assessor's Chart, Block & Lot Chart# 426 Block# A Lot# 4	Owner: Richard Waltz Jr	Telephone: 7722 801
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Richard Waltz Jr 536 Washington Ave Portland 7722 801	Cost Of Work: \$ 32,000 ⁰⁰ Fee: \$ 247
Current use: Storage and office for plumbing Co. Tank Fabrication & Storage factory		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: Has Not Been		
Proposed use: offices and storage plumbing + Heat Co Contractor Project description: CU		
Contractor's name, address & telephone: Richard Waltz 536 Washington Ave 7722801		
Who should we contact when the permit is ready: Richard Waltz Jr		
Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 7722 801		

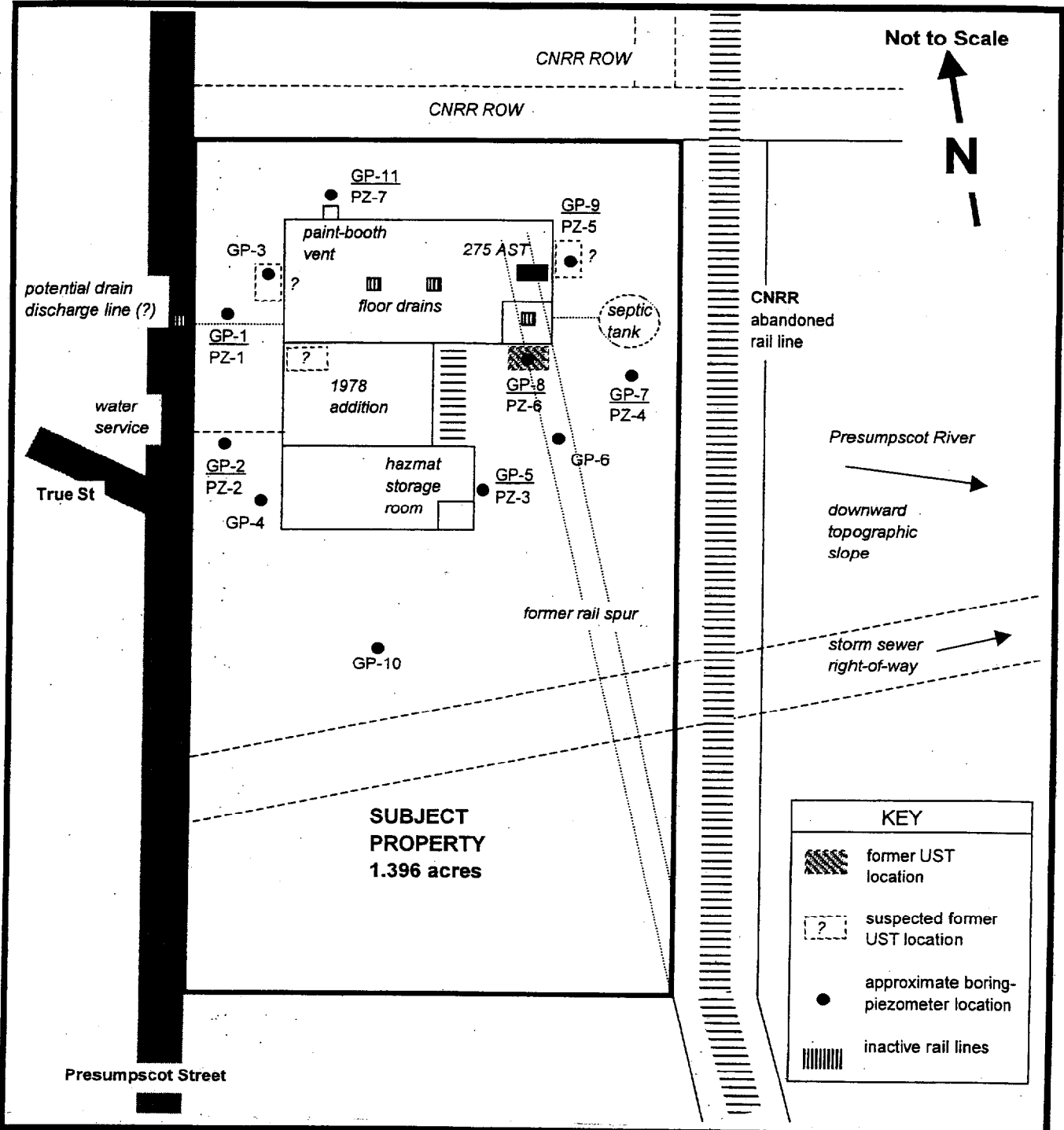
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.





I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: Jan 24, 2002
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall





KEY	
	former UST location
	suspected former UST location
	approximate boring-piezometer location
	inactive rail lines

Attachment A-Site Location Map

MAINE TANK CO. PROPERTY
 179 Presumpscot Street
 Portland, Maine

SHEVENELL-GALLEN and Associates, Inc.
 200 High Street
 Portland, Maine

QUITCLAIM DEED
(With Covenant)

KNOW ALL PERSONS BY THESE PRESENTS, that MAINE TANK CO., INC., a Maine corporation organized and existing under the laws of the State of Maine, and located at Portland, in the County of Cumberland, State of Maine, in consideration of One Dollar and other valuable consideration paid by RICHARD P. WALTZ, JR., of Portland, County of Cumberland, State of Maine, whose mailing address is 536 Washington Avenue, Portland, ME 04103, the receipt whereof is hereby acknowledged, it does hereby acknowledge, does hereby REMISE, RELEASE, BARGAIN, SELL AND CONVEY, and forever QUITCLAIM unto the said RICHARD P. WALTZ, JR., his heirs and assigns forever, the following described real estate:

See Exhibit A, attached hereto and incorporated herein.

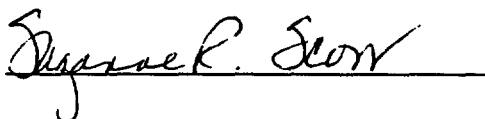
TO HAVE AND TO HOLD, the same, together with all the privileges and appurtenances thereunto belonging, to the said RICHARD P. WALTZ, JR., his heirs and assigns forever, to their use and behoof forever.


AND it does COVENANT with the said Grantee, his heirs and assigns forever, that it will WARRANT AND FOREVER DEFEND the premises to the said Grantee, his heirs and assigns forever, against the lawful claims and demands of all persons claiming by, through or under this deed (except as aforesaid).

IN WITNESS WHEREOF, the said MAINE TANK CO., INC. has caused this instrument to be signed and sealed in its corporate name by Mark C. Plummer, its President, thereunto duly authorized, this 21st day of December 2001.

WITNESS

MAINE TANK CO., INC.




By: 
Mark C. Plummer, President

STATE OF MAINE
COUNTY OF CUMBERLAND, ss.

December 21, 2001

Then personally appeared the above-named Mark C. Plummer, the President of said Corporation, as aforesaid, and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said Corporation.

Before me,



Notary Public/Attorney-at-Law
Print Name: Suzanne R. Scott

EXHIBIT A

Parcel One

A piece or parcel of land of trapezoidal form, situated in East Deering, County of Cumberland, State of Maine, United States of America, and more fully described as follows:

Commencing at a point in the Easterly limit of Presumpscot Road, said point being distant one thousand, four hundred and seventy-five and twenty-two hundredths (1,475.22') feet from the intersection of said Easterly limit with the Northeasterly limit of Sherwood Street; thence Northerly following said Easterly limit of Presumpscot Road, a distance of two hundred and twenty-one (221') feet to a point; thence Easterly and at right angles with said Easterly limit of Presumpscot Road, a distance of one hundred and seventy-nine (179') feet to a point; thence Southerly and at right angles with the preceding course, a distance of one hundred and seventy-six and seventy hundredths (176.70') feet to a point; thence Westerly and making an interior angle of 103° -54' -00" with the preceding course, a distance of one hundred and eighty-four and forty hundredths (184.40') feet to the point of commencement;

Said parcel of land is bounded by a sewer right-of-way, to the East and by other parts of said property of the Canadian National Railway Company, and to the West by part of Presumpscot Road; and contains an area of thirty-five thousand, five hundred and ninety-four (35,594) square feet, more or less, and is shown outlined green on Plan No. 62-226, prepared by Y. Cote, Quebec Land Surveyor, and J.R. Brayne, Civil Engineer for Canadian National Railway Company, and dated at Montreal, December 17th, 1962, and revised January 21st, 1963.

All dimensions, measurements and area being English Measure and all segments being reckoned consecutively and clockwise.

The above described premises are conveyed subject to any and all easements or agreements presently existing and entered into between the Grantor, or its predecessors in title, and any third party affecting in any way the use or enjoyment of the property.

In no way limiting the intent and purpose of the preceding paragraph, the above described premises are conveyed subject to the sewer easement extending easterly across other lands of the Grantor, the boundary of said sewer right-of-way forming the boundary of the property herein conveyed.

Being the same premises conveyed in a deed from Canadian National Railway Company to Maine Tank Company, Inc., dated March 25, 1963 and recorded in the Cumberland County Registry of Deeds in Book 2738, Page 268.

Parcel Two

A certain lot or parcel of land with the buildings thereon situated in the City of Portland, County of Cumberland and State of Maine, being bounded and described as follows:

Beginning at an iron pin set (5/8" rebar) on the easterly sideline of Presumpscot Street said pin being at the southwesterly corner of land now or formerly of Maine Tank Company, Inc. as recorded in the Cumberland County Registry of Deeds in Book 2738, Page 268. Thence by the following courses and distances:

Along land of Maine Tank Company, Inc. S 79° 18' 56" E a distance of One Hundred Eighty Four and Four Hundredths (184.04) feet to an iron pin;

Thence S 24° 02' 04" W a distance of One Hundred Thirty-Two and Sixty-Five Hundredths (132.65) feet to an iron pin set and the northeasterly corner of land now or formerly of Wyatt Garfield, Jr. and Rachel B. Garfield;

Thence along said land of Garfield N 73° 21' 31" W a distance of One Hundred Eighty and Two Hundredths (180.02) feet to an iron pin set;

Thence along said Presumpscot Street N 24° 35' 06" E a distance of One Hundred Thirteen and Five Hundredths (113.05) feet to the point of beginning.

Reference is made to an unrecorded plan prepared for Wyatt Garfield, Jr. by Cullenberg Land Surveying dated January 25, 1999, and this conveyance is made subject to all easements and restrictions of record.

Being the same premises conveyed by Warranty Deed from Wyatt Garfield, Jr. and Rachel B. Garfield to Maine Tank Company, Inc., dated March 5, 1999 and recorded in the Cumberland County Registry of Deeds in Book 14592, Page 3.



YOUR SIGN OF QUALITY →



RICHARD P. WALTZ PLUMBING & HEATING CO., INC.

RESIDENTIAL *Bathroom and Kitchen Remodeling* COMMERCIAL

536 Washington Avenue, Portland, Maine 04103

Telephone: (207) 772-2801 Fax: (207) 773-3114

www.richardpwaltz.com

Established 1936

January 23, 2002

Tim Zeme

To Whom It May Concern:

The property that was acquired by Richard P. Waltz Jr. at 179 Presumpscot Street, Portland, was the sight of the old Maine Tank Company. This company stored fabricated trash containers and oil tanks and was heavily involved in the construction and fabrication of these tanks up until the last few years. At that time they stopped fabricating oil tanks and became a storage facility for tanks produced in Canada. There were offices in the building and rest room facilities for the company personnel.

I have purchased this building with the intention of building four more offices and remodeling the existing offices. I am also using the rest of the facility as storage for my plumbing and heating materials and equipment.

Last year, I met with Mayor Leeman to discuss the growth that my company has experienced and the impact on the neighborhood from this growth with the existing building that we have occupied for 50 years.

I agreed with Mayor Leeman at that time, that I needed to be responsible in my community and find a different location for the operation of my business. I did not have to do this, but felt that it was best for the growth of the company and the neighbors, as well as the concern of the City of Portland.

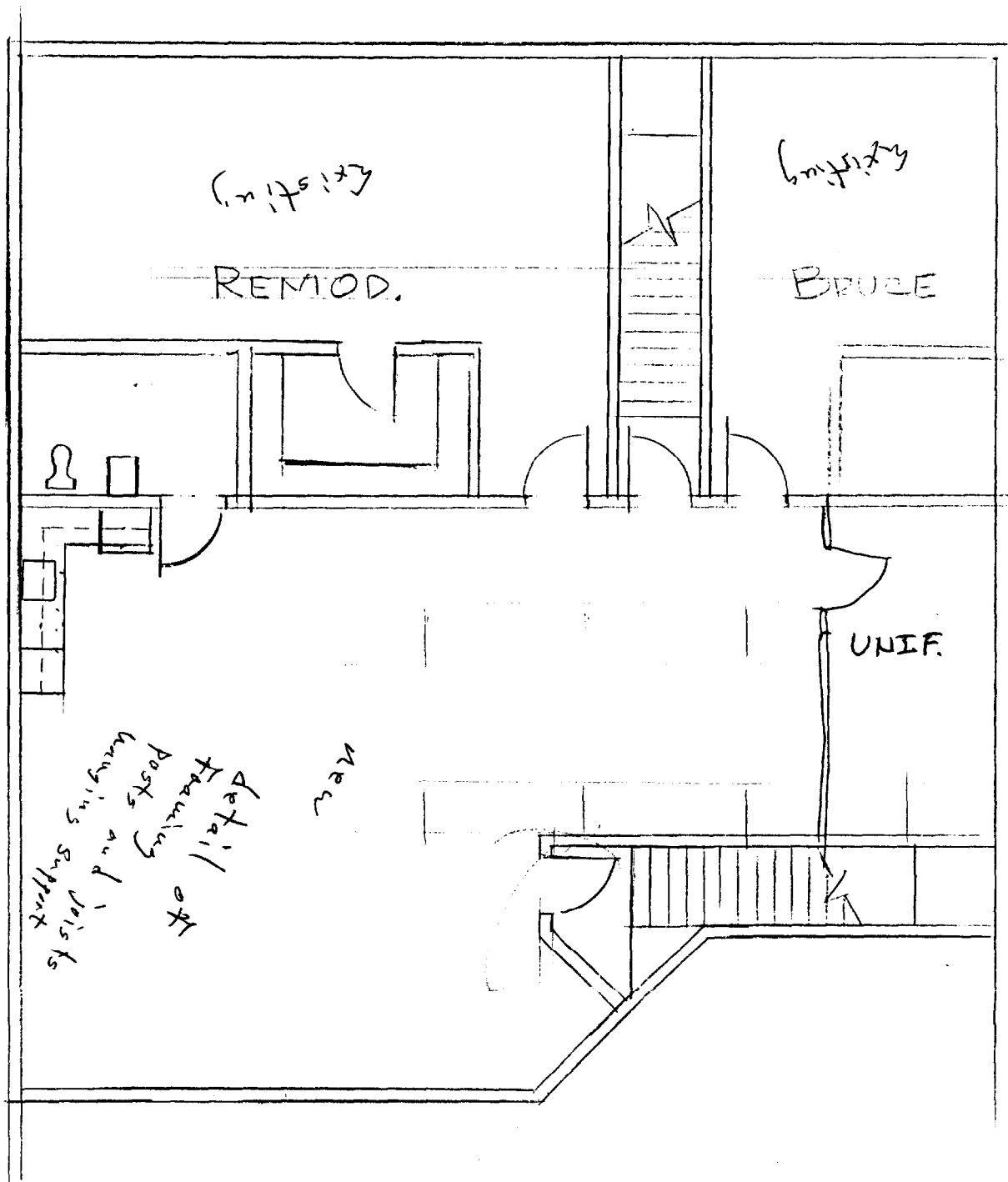
I met with Lee Urban from the Economic Development Corporation and outlined a plan for vacating my existing premises and procuring a building that would fit my needs. I aggressively searched for a proper location for my company. I was fortunate in putting the Maine Tank property at 179 Presumpscot Street under contract.

As with all purchased, I had to do a Phase I, and a Phase II environmental survey at the cost of approximately \$28,000.00. My plan is to transition my offices into the existing spaces as well as the four new offices and to make storage of the remainder of the building like it was being used before.

If you need any further information regarding this matter, please let me know.

Sincerely,

Richard P. Waltz Jr.
Chief Executive Officer and President



SECOND FLOOR

$\frac{1}{8}'' = 1'$

① Any Paper from Structure

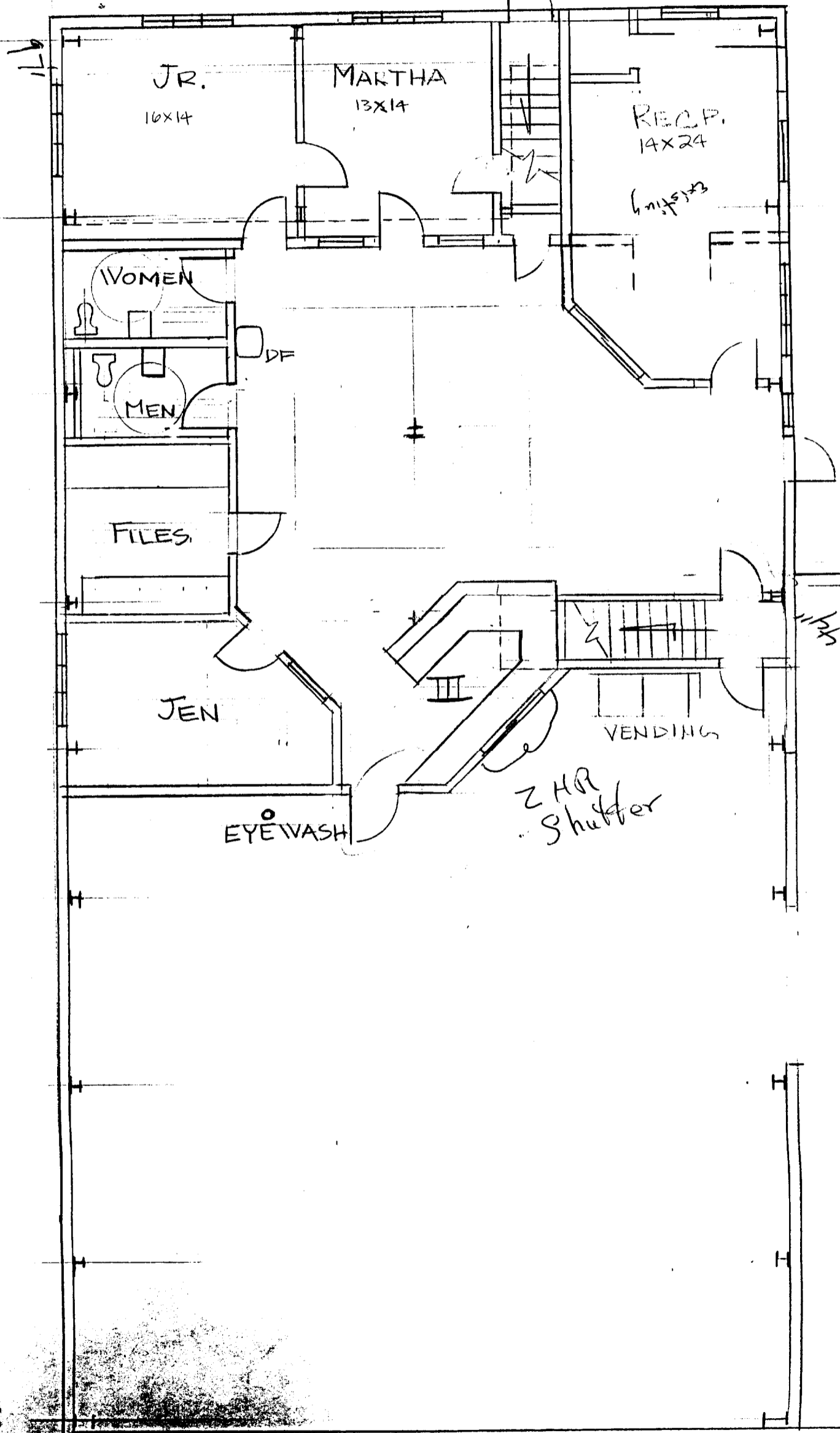
② Framing Details

Treads 11"
Rise 7"

Handrails ~~height~~ low height 34-38"
continuous w/ returns

Studs + Framing 2x4 or 2x6

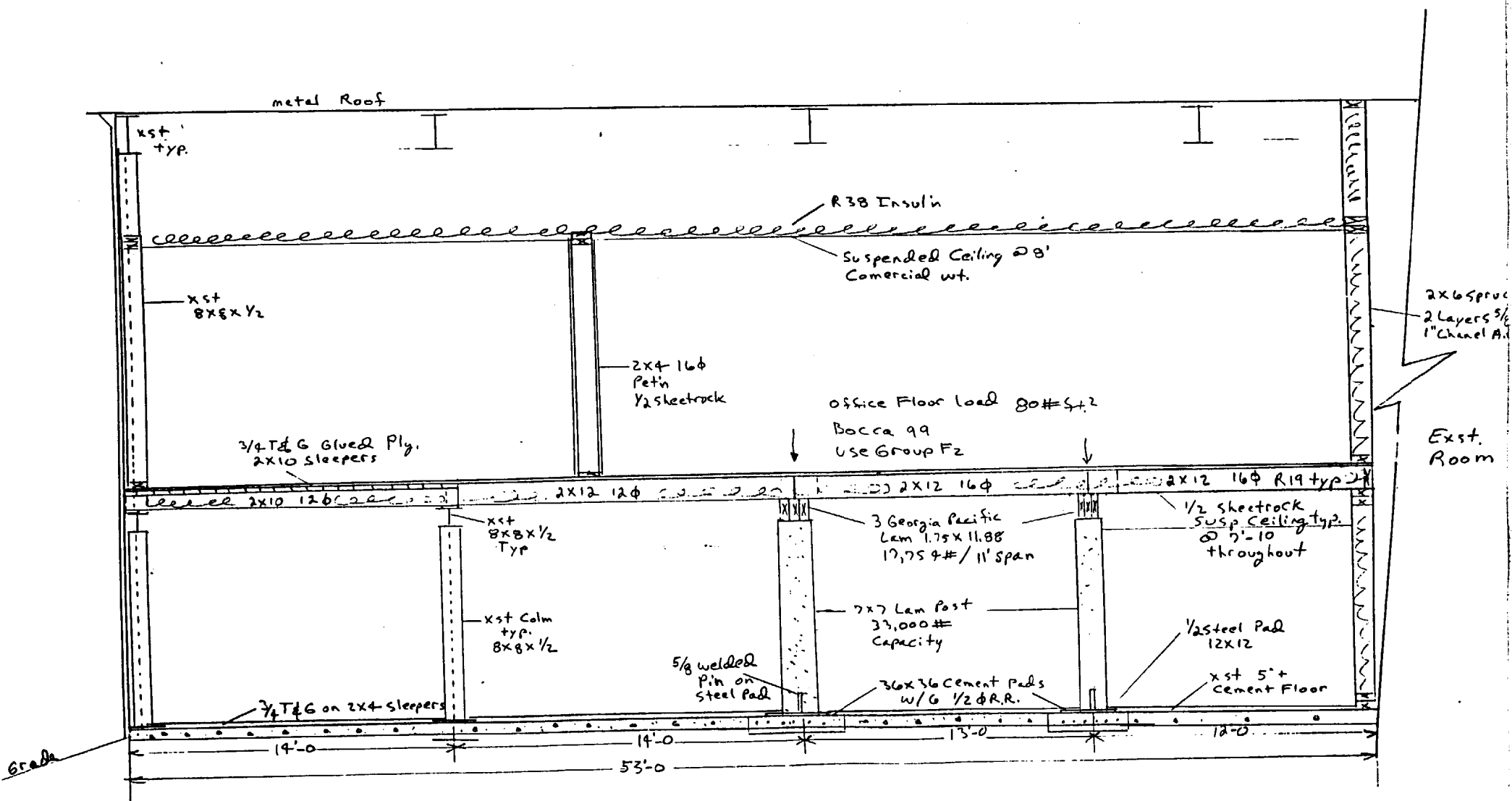
Leaving space



50 ft. 97" = 4950"

" = 1"

50



Bocca 99 Use Group F2 2nd Floor Load 80#

Cross Section Thru CL

Richard Waltz Inc
179 Presumpscot St
Port, ME.