

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 050506

Denial

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Lowery Jeffrey J /Star Homes

has permission to Build a 2288 sq ft duplex

AT 123 E Kidder St

CBL 425 I028001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0506	Issue Date:	CBL: 425 I028001
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Location of Construction: 123 E Kidder St	Owner Name: Lowery Jeffrey J	Owner Address: 123 E Kidder St	Phone:
Business Name:	Contractor Name: Star Homes	Contractor Address: P.O. Box 2351 South Portland	Phone: 2074096755
Lessee/Buyer's Name	Phone:	Permit Type: Duplex	Zone: <i>R5</i>

Past Use: Vacant Land	Proposed Use: Duplex/ build a 2288 sq ft duplex	Permit Fee: \$1,266.00	Cost of Work: \$130,000.00	CEO District: 4
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:
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Proposed Project Description:
Build a 2288 sq ft duplex

DENIED

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 05/02/2005
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Zoning Approval

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 7 zone X</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2005-0093</i> Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Date:	Date:	Date: <i>9</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

From: Jay Reynolds
To: port-web:loweryportland@[hotmail.com]
Date: Wed, Jun 1, 2005 8:27 AM
Subject: East Kidder Application

Hello Mr. and Mrs. Lowery,
After speaking with my superiors and reviewing your submittal, we determined that your application can proceed. I will be sending you formal comments by the day's end. Thank you for your patience. The discussion was that your proposal meets the zoning and site plan standards, however, this scheme of development is not encouraged. Thus, the City will be amending its' ordinance to address future proposals of this nature.

Jay Reynolds
Development Review Coordinator
City of Portland
Planning and Development
(207) 874-8632
jayjr@portlandmaine.gov

>>> "Jeffrey and Ellen Lowery" <loweryportland@hotmail.com> 05/29/2005 1:49:03 PM >>>
(hard copy to follow)

May 28, 2005

Mr. Jay Reynolds
Development Review Coordinator
City of Portland Planning Division
389 Congress Street
Portland, Maine 04101

Re:
Application No. 050-506
Request for Building Permit on Property located between 119 and 123 E.
Kidder Street, Portland, submitted on May 2, 2005 by Star Homes, Inc.

Dear Jay:

Thanks again for hearing me out in person and thank you also for getting back to me so quickly last week. I am writing to outline a summary of my position on this matter: the development of a buildable parcel with frontage on East Kidder Street.

Because I have invested a lot of time and money to ensure that the parcel has the required setbacks and frontage as defined in the ordinance, and because our recent conversation left me with the understanding that your department might be inclined to reject the permit request, I wanted to put in writing the particular events and circumstances affecting this request, and ask that these circumstances be taken into account by the Planning Board in their revision of this matter.

My wife and I purchased our home at 123 East Kidder Street in the spring of 2003, and have lived in it since then. Our property is bordered by residential homes to the South, Kidder Street to the West, a wooded, grassy paper street (Grafton Street) to the North, and by a previously wooded R-5 lot to the East. Before purchasing our home we conferred with the Portland

Zoning Office to inquire about the potential uses of the wooded R-5 lot, and were assured that it was extremely unlikely that anything could be placed there other than homes. Unfortunately, we were not aware, and were not informed by the City upon inquiry, of a developer's plans, which were at that time under review by the City, to take advantage of a variance in the R-5 ordinance that permits use as a parking lot. The developer had requested permission to take down the woods and construct a parking lot adjacent to a proposed new warehouse on neighboring Presumpscot Street. The developer's request for a variance was granted by the City within weeks of us purchasing our home, and the developer carried out his plans, drastically changing the character of our yard and reducing the value of our home. It goes without saying that we were devastated. The woods had provided a much-needed buffer from Presumpscot Street for us, and for many other residents of East Kidder Street.

After construction of the maximum-sized warehouse and parking lot which functions as a turn-around for loading trucks was completed, we decided that the extra lot/yard no longer held value to us as part of our home. We conferred with our neighbors and learned that they would welcome the building of another home which would serve to block out the noise and lights of the Presumpscot Street industries. We began to pursue the possibility of dividing and selling our large yard to a home builder. We met several times with the Zoning Office and drew up, and frequently revised, the required plans, taking direction from the City and making all reasonable assurances that a building permit would be approved. We employed the services of a surveyor and an attorney to further ensure that we were acting within the law. On the issue of road frontage, Marge Schmuckal in the Zoning Office opined that, because the zoning ordinance does not specify or require a depth amount, the frontage we provided was within the ordinance. She suggested to our attorney that the setback on the frontage could technically be as small as one inch. With these reasonable assurances from the City Zoning Office as to the viability of our plan, we tore down our two car garage and greenhouse, constructed a fence delineating the new buildable lot, and put the property on the market. Star Homes, Inc. offered to purchase the lot to construct a two-family home. The buyer put the property under contract and submitted the permit request now before you at the beginning of May.

We felt very lucky that we were able to secure a buyer who would build a home on the parcel given the newly industrial appearance of the land. We, as well as our neighbors, anticipated the building of a new home as an attractive alternative to looking out upon the warehouse operation.

The cost of the development of the parcel, combined with a devaluation of our home resulting from the unsightly and often noisy warehouse operating next door, has left us anxious to sell the parcel. The sale of that land will buffer our home from the industrial zone and allow us to make improvements to the exterior of our home in an attempt to recoup its lost value and status. We would never have carried out the expensive and time consuming development of the parcel if we had had reason to believe that the Planning Board would take a more restrictive reading of the ordinance than the Zoning Department had taken.

Furthermore, we would never have altered our back yard to begin with if the Planning Board had not approved the development of the warehouse and parking lot (which entailed the destruction of a large wooded buffer) adjacent to

the homes of our neighborhood. The City granted the developer a variance to construct the warehouse and parking lot despite the foreseeable consequences, namely the drastic changing of the landscape in an industrial direction, and the reduction of the home values and the residential character of this section of East Deering. The developer took advantage of the fact that many of the residential neighbors to the project are renters (with absentee landlords) or are elderly, and were not sufficiently aware of, or invested in, the situation to take a stand against the development. I do not make these points to express anger at the City for approving the project, as it is in the past and was approved, I believe, in the name of positive growth and development for Portland. However, it must be recognized that a consequence of the decision to approve the variance is that the land abutting the industrial lot is no longer suitable as a family yard for raising kids. Today the highest and best use of the lot is as a two-family rental home.

As an alternative to providing frontage on East Kidder Street, you suggested developing the paper South Grafton Street to provide frontage and access to the home. South Grafton Street is currently a grassy lot, dotted with trees and shrubs. It provides the last remaining buffer between our street and the industrial development on Presumpscot Street. It is used by families in this neighborhood for dog-walking and playing ball. It would be extremely costly, both monetarily and in terms of preserving the residential nature of East Deering, to tear down and pave this lovely, natural buffer in order to provide access to one home when there is a viable alternative available within the ordinance.

Finally, as you know, Portland needs additional rental housing. The proposed project would bring in more tax revenue for our city and would provide much-needed housing for two families in a neighborhood that's convenient to downtown Portland.

For these reasons, I respectfully urge you to approve this lot as acceptable and buildable. I would be grateful for any help you can give me in this process and I truly appreciate your time and attention in considering this matter. Please do not hesitate to call if you have any questions or suggestions of how I can help. Thank you.

Best regards,

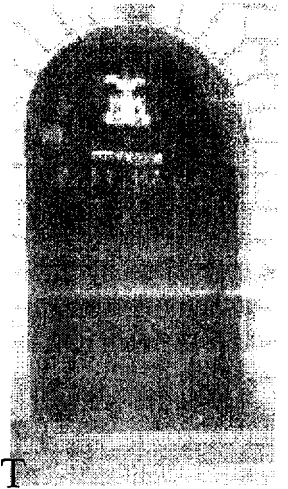
Jeffery J. Lowery

cc: Sarah Hopkins, Planning Department

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716

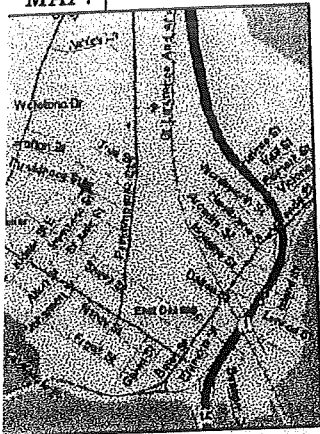


FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Joe Frustaci</u>	FROM: <u>Marge Schmetz</u>
FAX NUMBER: <u>267-2490</u>	NUMBER OF PAGES, WITH COVER: <u>3</u>
TELEPHONE: _____	RE: <u>119 E. Kidder St</u>
DATE: <u>6/6/05</u>	_____

Comments: I hope this helps you -
Marge

MAP:



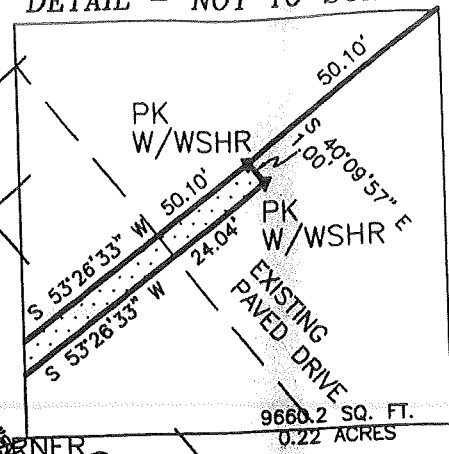
DETAIL - NOT TO SCALE

STORM WATER
RIM=97.32
INVERT OUT=87.32

SEWER
RIM=97.26
INVERT OUT=91.94

SD SMH

SPK



9660.2 SQ. FT.
0.22 ACRES

KIDDER STREET EAST
(PAVED PUBLIC WAY)

GRAFTON STREET
(UNIMPROVED UNACCEPTED PAPER STREET)

PROPOSED ACCESS EASEMENT
6\"/>

CRS (NOT SET) ASH AT CORNER

EXISTING BUILDING
EXISTING PAVED DRIVE

PROPOSED LOT 1
7174.76 SQ. FT.
0.16 ACRES

EX. CONC. WALL

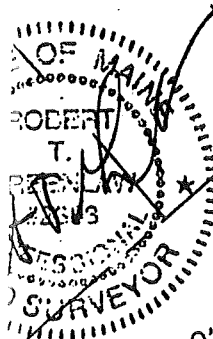
EX. CHAIN FENCE

N/F
PAUL K & MARY ANN FOLEY
6259/118

N/F
KATHY LEE HEBERT
12520/112

N/F
142 PRESUMPCOT LIMITED LIABILITY COMPANY
13525/161

CRF (BENT) (IGNORED)



Applicant: Jeff Lowery (owner) Date: 5/12/05
 Address: 11719 East Kidden St C-B-L: 425-I-28-31^{part of}32

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Splitting of a lot # 05-0506

Zone Location - R-5

Interior or corner lot -

26x44 2 small rear decks

Proposed Use/Work - construct a New 2 family on a lot split

Sevage Disposal - City

Lot Street Frontage - 50' min - HAS 50, 10' on E. Kidden & 69.49' on Grafton

Front Yard - 20' min - 22' scaled

Rear Yard - 20' min - 20' part of deck & stairs on rear → 20' under 14-425

Side Yard - 12' on side Adjoung a Neighbor - 32.5' scaled

2 story 15' on side Adjoung Grafton St - 23' scaled

not show's
 refer stairs
 on deck →

Projections - 2 rear decks & stairs - 2 front entrances - 3x4

Width of Lot - 60ft min - 100' shown

Height - 35' max - 29' scaled to ridge

Lot Area - 6,000^{sq} min - 9660.22^{sq} given

Lot Coverage Impervious Surface - 40% max

3864.1 MAX COV
 $26 \times 44 = 1144$
 $2(5 \times 10) = 100$
 $2(3 \times 4) = 24$

 1268

Area per Family - 3000^{sq} per du or 6,000^{sq}

not shown
 on plan →

Off-street Parking - 2 pkg spaces ea or 4 pkg spaces req

Loading Bays - N/A

Site Plan - minor # 2005-0093

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

5/12/05
 per zoning - yes this is a subdiv

→ refer stairs from deck shall be shown on site plan


All Purpose Building Permit Application

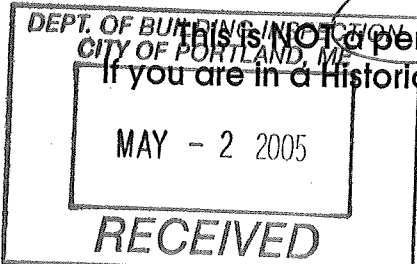
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 123 EAST K. OORR ST		
Total Square Footage of Proposed Structure 2288 sq ft	Square Footage of Lot 9660.22 sq ft	
Tax Assessor's Chart, Block & Lot Chart# 425 Block# J Lot# 28	Owner: 123 E. Kiddy JEFF LOWERY 0410381	Telephone: 409-6755
Lessee/Buyer's Name (If Applicable) DAVIN O'DONNELL	Applicant name, address & telephone: STAR HOMES PO BOX 2351 4096755 SO PONTE	Cost Of Work: \$ 130,000 Fee: \$
Current use: VACANT LAND		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Duplex		
Project description: _____		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: Star Homes 409 6755		
Mailing address: PO BOX 2351 SO PONTIAC ME 04112		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 409-6755		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 5-3-05
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

#1422

123 EAST KIDDER ST

JL
JAF

PURCHASE AND SALE AGREEMENT

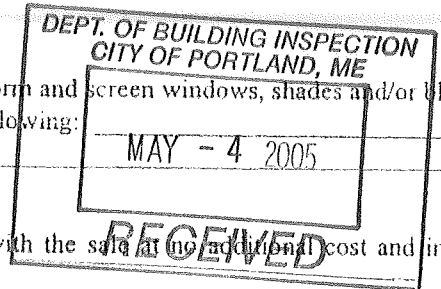
MARCH 5, 2005

Effective Date
The use of days in this agreement refers to calendar days from the effective date

RECEIVED OF: STAR HOMES INC (hereinafter called "Buyer") the sum of (\$ 1000) ONE THOUSAND dollars as earnest money and in part payment of the purchase price of the following described real estate, situated in municipality of PORTLAND County of CUMBERLAND State of Maine located at APPROXIMATE 119 EAST KIDDER ST Being (all part of) the property at the above address owned by JEFF LOWERY of 123 KIDDER ST (hereinafter called "Seller") and described at said County's Registry of Deeds Book _____, Page _____

FIXTURES: The parties agree that all fixtures, including but not limited to existing storm and screen windows, shades and/or blinds, shutters, curtain rods and electrical fixtures are included with the sale except for the following: N/A

PERSONAL PROPERTY: The following items of personal property are included with the sale at no additional cost and in as is conditions with no warranties: N/A



The TOTAL purchase price being (\$ 80,000) EIGHTY THOUSAND DOLLARS dollars to be paid as follows: ONE THOUSAND DEPOSIT AND THE REMAINDER AT CLOSING.

The purchase price balance shall be paid in cash, certified funds or bank check at closing.

This Purchase and Sale Agreement is subject to the following conditions:

1. EARNEST MONEY/ACCEPTANCE: JEFF LOWERY wed 3/9/05 shall hold said earnest money and act as escrow agent until closing; this offer shall be valid until MONDAY @ 5:00 PM (date) 3-2-05 AM/PM; and, in the event of Seller's non-acceptance, this earnest money shall be returned promptly to Buyer. See Above

2. TITLE & CLOSING: That a deed, conveying good and merchantable title in accordance with standards adopted by the Maine Bar Association shall be delivered to Buyer and this transaction shall be closed and Buyer shall pay the balance due and execute all necessary papers on MAY 6, 2005 (closing date) or before if agreed in writing by both parties. If Seller is unable to convey in accordance with the provisions of this paragraph, then Seller shall have a reasonable time period, not to exceed 30 days, from the time seller is notified of the defect, unless otherwise agreed to by both parties, to remedy the title, after which time, if such defect is not corrected so that there is a merchantable title, Buyer may, at Buyer's option, withdraw said earnest money and be relieved from all obligations. Seller hereby agrees to make a good-faith effort to cure any title defect during such period.

3. DEED: That the property shall be conveyed by a MARKETABLE + INSURABLE deed, and shall be free and clear of all encumbrances except covenants, conditions, easements and restrictions of record which do not adversely affect the continued current use of the property.

4. POSSESSION/OCCUPANCY: Possession/occupancy of premises shall be given to Buyer immediately at closing unless otherwise agreed in writing.

5. RISK OF LOSS: Until the closing, the risk of loss or damage to said premises by fire or otherwise, is assumed by Seller. Said premises shall then be broom clean and in substantially the same condition as at present, excepting reasonable use and wear. Buyer shall have the right to view the property within 24 hours prior to closing for the purpose of determining that the premises are in substantially the same condition as on the date of this contract.

6. PRORATIONS: The following items, where applicable shall be prorated as of the date of closing: fuel (cash price as of date of closing), rent, real estate taxes (based on municipality's fiscal year), association fees

Agent makes no warranties regarding the condition, permitted use or value of Sellers' real or personal property. This contract is subject to the following inspections, with results being satisfactory to Buyer.

TYPE OF INSPECTION	YES	NO	RESULTS REPORTED TO SELLER	TYPE OF INSPECTION	YES	NO	RESULTS REPORTED TO SELLER
a. General Building	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days	f. Asbestos Air Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days
b. Sewage Disposal	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days	g. Lead Paint	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days
c. Water Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days	h. Pests	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days
d. Water Quantity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days	i. Radon Air Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days
e. Radon Water Quality	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days	j. _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Within _____ days

All inspections will be done by inspectors chosen and paid for by Buyer. If the result of any inspection or other condition specified herein is unsatisfactory to Buyer, Buyer may declare the contract null and void by notifying Seller in writing within the specified number of days, and any earnest money shall be returned to Buyer. If Buyer does not notify Seller that an inspection is unsatisfactory within the time period set forth above, this contingency is waived by Buyer. In the absence of inspection(s) mentioned above, Buyer is relying completely upon Buyer's own opinion as to the condition of the property.

8. FINANCING: This contract is subject to Buyer obtaining an approved N/A mortgage of _____ % of the purchase price, at an interest rate not to exceed _____ % and amortized over a period of _____ years.

- a. This contract is subject to a written statement from the lender, within _____ (_____) days of the Effective Date, that Buyer has made application.
- b. This contract is subject to loan approval within _____ days of the Effective Date.
- c. If either of these conditions is not met within said time periods, Seller may declare this contract null and void, and the earnest money shall be returned to Buyer.
- d. Buyer is under a good-faith obligation to seek and accept financing on the above-described terms. Buyer acknowledges that a breach of this good-faith obligation will be a breach of this contract.
- e. Buyer agrees to pay no more than _____ points. Seller agrees to pay \$ _____ toward points and/or Buyer's closing costs.

9. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

The _____ of _____ represents _____
 Listing Agent Agency

The _____ of _____ represents _____
 Selling Agent Agency

When the transaction involves Disclosed Dual Agency, the parties acknowledge the limited fiduciary duties of the agents and hereby consent to this arrangement. In addition, the parties acknowledge prior receipt and signing of a Disclosed Dual Agency Consent Agreement.

10. MEDIATION: Any dispute or claim arising out of or relating to this contract or the property addressed in this contract shall be submitted to mediation in accordance with the Maine Residential Real Estate Mediation Rules of the American Arbitration Association. This clause shall survive the closing of the transaction.

11. DEFAULT: In the event of default by the Buyer, Seller may employ all legal and equitable remedies, including without limitation, termination of this contract and forfeiture by Buyer of the earnest money. In the event of a default by Seller, Buyer may employ all legal and equitable remedies, including without limitation, termination of this contract and return to Buyer of the earnest money. The escrow agent has the option to require written releases from both parties prior to disbursing the earnest money to either Buyer or Seller.

12. PRIOR STATEMENTS: Any representations, statements and agreements are not valid unless contained herein. This agreement completely expresses the obligations of the parties.

13. HEIRS/ASSIGNS: This agreement shall extend to and be obligatory upon heirs, personal representatives, successors, and assigns of the respective parties.

14. COUNTERPARTS: This agreement may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

16. EFFECTIVE DATE: This contract is a binding contract when signed by both Buyer and Seller and when that fact has been communicated to all parties or to their Agents.

17. AGENCY CONFIDENTIALITY: Buyer and Seller understand that the terms of this contract are confidential but authorize the agent(s) to disclose information to the parties' attorneys, lenders, appraisers, inspectors and others necessary for the purpose of closing this transaction. Parties authorize agents to receive copy of entire closing statements.

18. OTHER CONDITIONS: THIS SALE SUBJECT TO BUYER OBTAINING APPROVAL AND PERMITS TO BUILD A TWO FAMILY ON THIS PARCEL.

19. SUBJECT TO BUYER BEING ABLE TO CONNECT TO WATER AND SEWER IN SO GRAFTON PARCEL ST.

20. SUBJECT TO THIS PARCEL BEING SEPARATED FROM EXISTING LOT NOW BEING OWNED BY SELLER.

JL

See addendum to purchase sale agreement, incorporated herein by reference.

A copy of this contract is to be received by all parties and, by signature, receipt of a copy is hereby acknowledged. If not fully understood, contact an attorney. This is a Maine contract and shall be construed according to the laws of Maine.

Seller acknowledges that State of Maine law requires buyers of property owned by non-resident sellers to withhold a prepayment of capital gains tax unless a waiver has been obtained by Seller from the State of Maine Bureau of Taxation.

STAN-LINES INC. by [Signature]
BUYER

003-42-0724
SSH OR TAXPAYER ID#

BUYER

SSH OR TAXPAYER ID#

Buyer's Mailing address is _____

Seller accepts the offer and agrees to deliver the above-described property at the price and upon the terms and conditions set forth ~~and agrees to pay agency a commission for services as specified in the listing agreement. If the earnest money is forfeited by Buyer, shall be distributed as follows:~~ JL

Signed this [Signature] JL
SELLER

seventh day of March 2005

005-80-6822 JL
SSH OR TAXPAYER ID#

SELLER

SSH OR TAXPAYER ID#

Seller's Mailing address is _____

Offer reviewed and refused on _____

SELLER

SELLER

EXTENSION: The time for the performance of this contract is extended until June 9th 2005
DATE

[Signature] 4-29-05
BUYER DATE

SELLER DATE

BUYER DATE

SELLER DATE



ADDENDUM TO PURCHASE AND SALE AGREEMENT
BY AND BETWEEN
STAR HOMES, INC., BUYER
and
JEFFREY LOWERY, SELLER

This Addendum forms a part of and modifies the Purchase and Sale Agreement (hereinafter "Contract") between the parties relating to the purchase and sale of property at "approximately 119 East Kidder Street, Portland, Maine (hereinafter sometimes "the Property"), dated March 5, 2005. This Addendum controls in the event of any inconsistency between the Contract and the Addendum. All references to Paragraph # refer to that Paragraph in the Contract.

1. Paragraph 3 of the Contract is amended to delete ~~"marketable and insurable"~~ and to insert in its place ~~"quitclaim deed with covenant."~~ *JLD*

2. A new paragraph 21 is added as follows:

The Property to be conveyed hereunder is that property shown as "Proposed Lot 2" on "Proposed Lot Split at 123 East Kidder Street, Portland, Maine for Jeffrey J. Lowery" prepared by Back Bay Boundary, Inc., dated July 29, 2004, as revised through 11/30/04, a copy of which has been provided to Buyer. Seller will retain an easement for exclusive use and possession of the one foot wide strip of land which is a portion of said Property and which is between "Proposed Lot 1" and East Kidder Street. The easement language to be reserved will be substantially as attached hereto, subject to modification for a reservation in a deed rather than a partial release of mortgage. *JLD*

3. A new paragraph 22 is added as follows:

Buyer understands and accepts that the deed of conveyance will restrict the use of the Property to a one- or two-family dwelling unit, and will state that the driveway from East Kidder Street may only be used for purposes of ingress and egress to that one- or two-family dwelling unit, and not for purposes of access to any other property. *JLD*

Except as expressly modified herein, the Purchase and Sale Agreement between the parties shall remain in full force and effect.

Signed by each party as of the date indicated below:

[Signature] 3/9/05
Buyer Date

[Signature] 3/7/05
Seller Date

Lowery Easement: (use this in the actual conveyance)

The portion of the parcel which is hereby released from the mortgage is to be conveyed **subject to an easement** to be reserved by Jeffrey J. Lowery for the benefit the portion retained by him, reserving to the retained portion exclusive use and possession of the below-described easement area, with said easement to include, but not to be limited to the right to pass and repass by foot, vehicles, and utilities over the portion now crossed by an existing paved bituminous driveway servicing the residence occupying the remaining land of Jeffrey J. Lowery, known as 123 East Kidder Street, Portland, Maine, together with the right to occupy, plant, mow, erect fences upon, park vehicles upon, and otherwise utilize the easement area in an exclusive fashion:

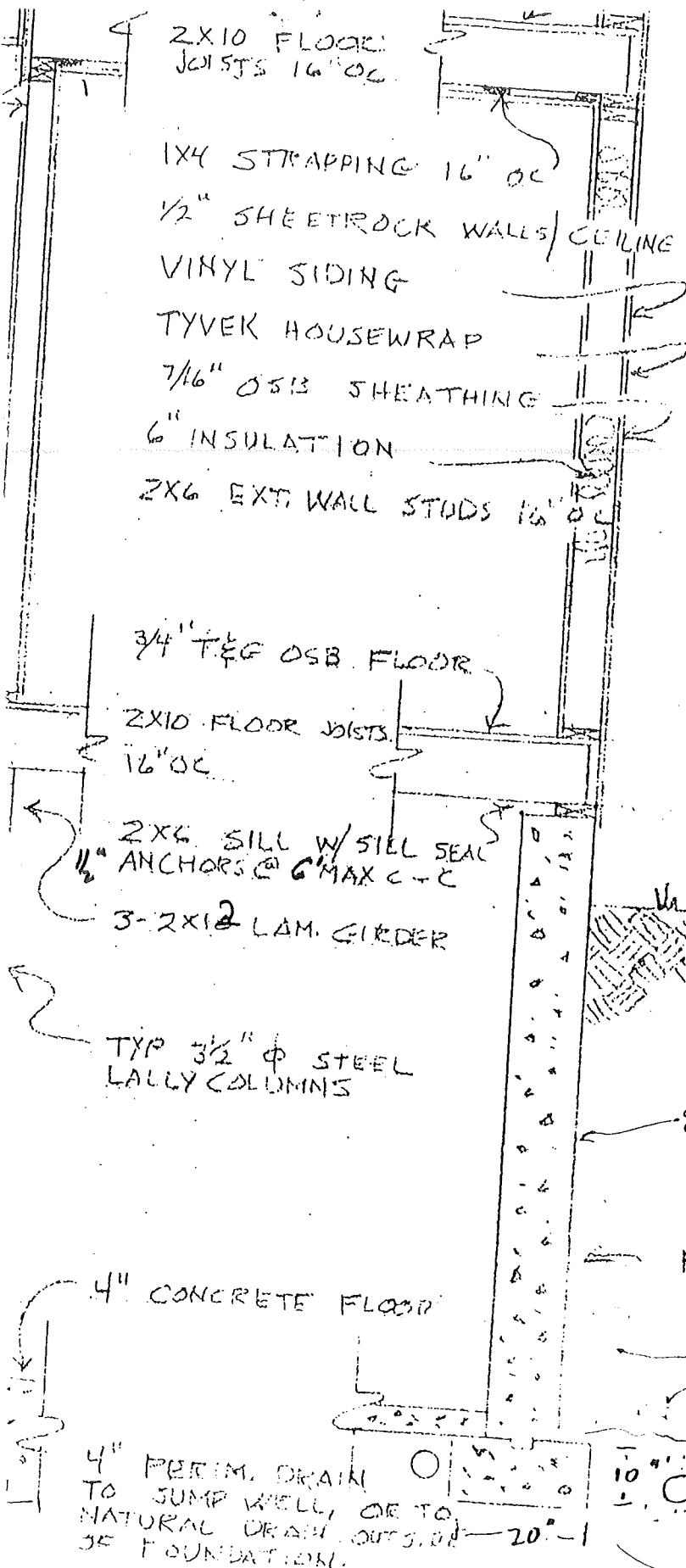
Beginning at a PK Nail with Washer #2303 which is set in the southerly sideline of East Kidder Street North $53^{\circ}-26'-33''$ East a distance of 50.10 feet from the 5/8-inch drill hole set in the top of a concrete wall on the aforementioned southerly sideline of East Kidder Street, which drill hole was the point of beginning for the above-described parcel which is being released from this mortgage;

Thence, South $39^{\circ}-35'-41''$ East, a distance of 1.00 feet to a point marked by a PK Nail with Washer #2303;

Thence, South $53^{\circ}-26'-33''$ West, a distance of 24.04 feet to a capped 5/8 rebar set with registration #2303;

Thence, North $40^{\circ}-09'-59''$ West, a distance of 1.00 foot to the southerly sideline of East Kidder Street;

Thence, by and along the aforementioned southerly sideline of East Kidder Street, North $53^{\circ}-26'-33''$ East, a distance of 24.04 feet, more or less, to the point of beginning of this easement area description.



2X10 FLOOR JOISTS 16" OC

1X4 STRAPPING 16" OC
 1/2" SHEETROCK WALLS/CEILING
 VINYL SIDING
 TYVEK HOUSEWRAP
 7/16" OSB SHEATHING
 6" INSULATION

2X6 EXT. WALL STUDS 16" OC

3/4" T&G OSB FLOOR

2X10 FLOOR JOISTS 16" OC

2X6 SILL W/ SILL SEAL
 1/2" ANCHORS @ 6" MAX C-C
 3-2X12 LAM. GIRDER

TYP 3 1/2" Φ STEEL LALLY COLUMNS

4" CONCRETE FLOOR

4" PERIM. DRAIN TO JUMP WELL OR TO NATURAL DRAIN OUTSIDE OF FOUNDATION.

IN ALL BEDROOMS + STAIRS PER CODE

8" WALL

SNAPTIES PLUG!

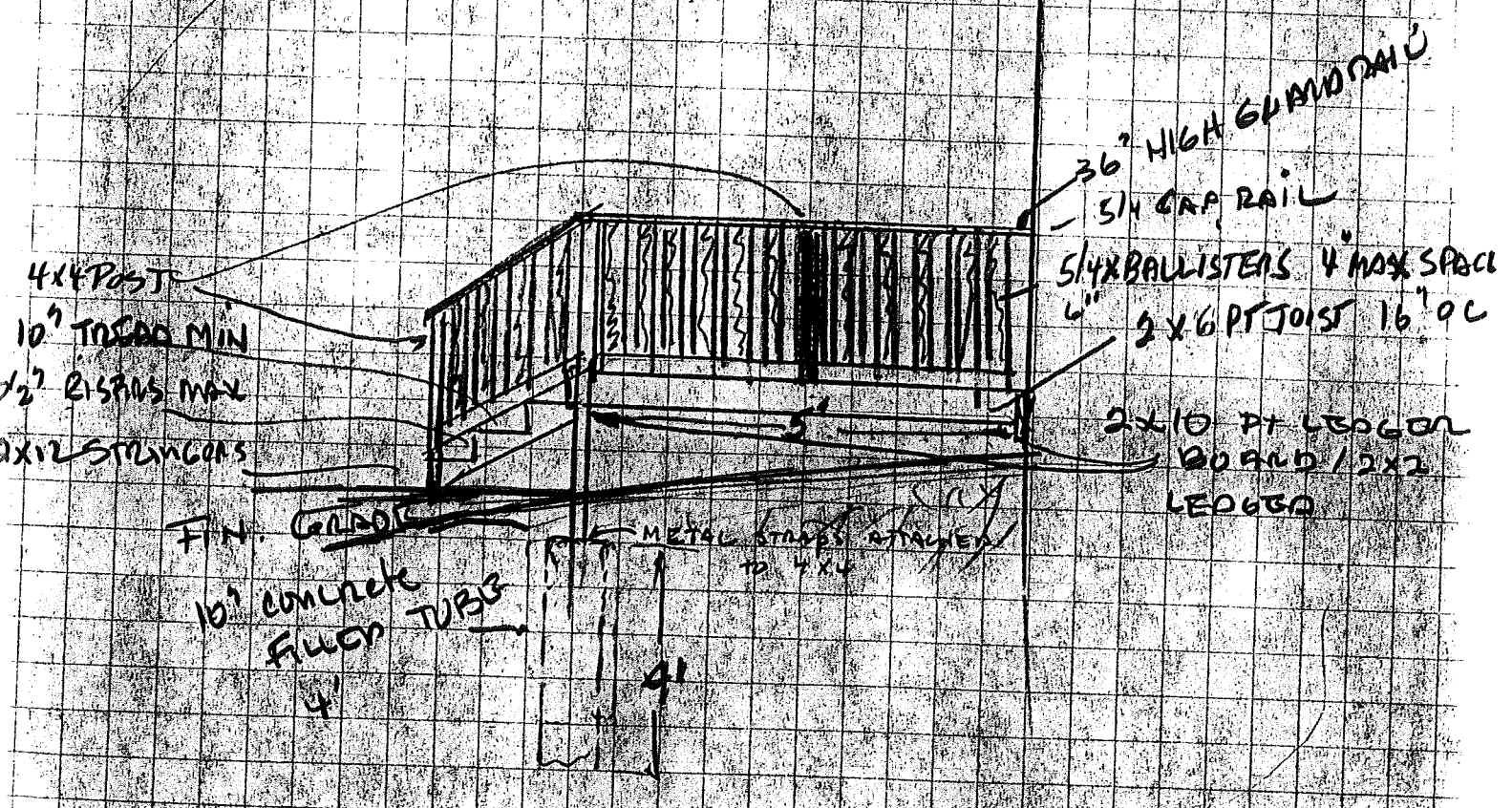
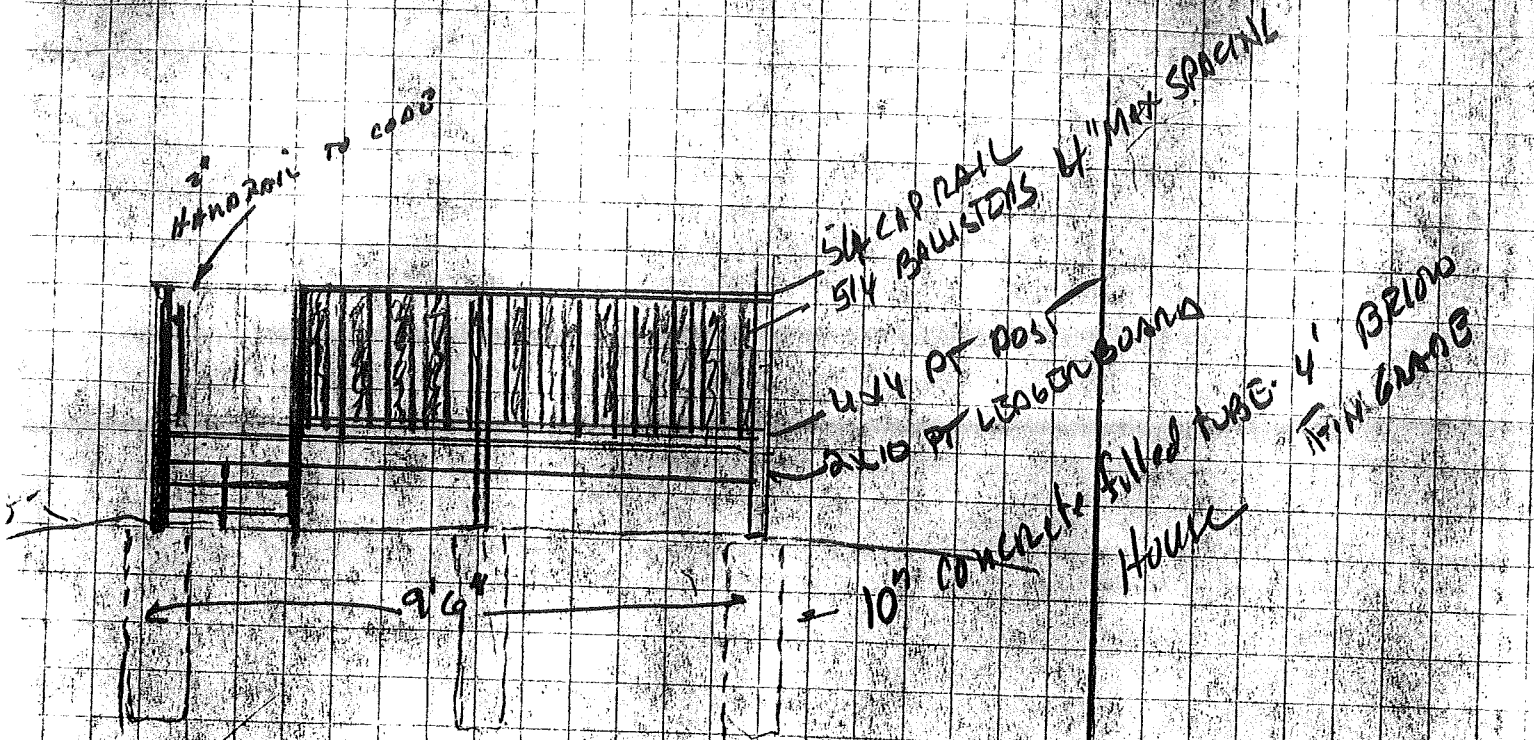
FOUNDATION COATING/WATERPROOF COATING

SAND COVER

FILTER FABRIC

CRUSHED ROCK

HOOKED TO STORM DRAIN AT STREET



123 EAST KIDDER ST

XXX

5/4 X CEDAR CASING

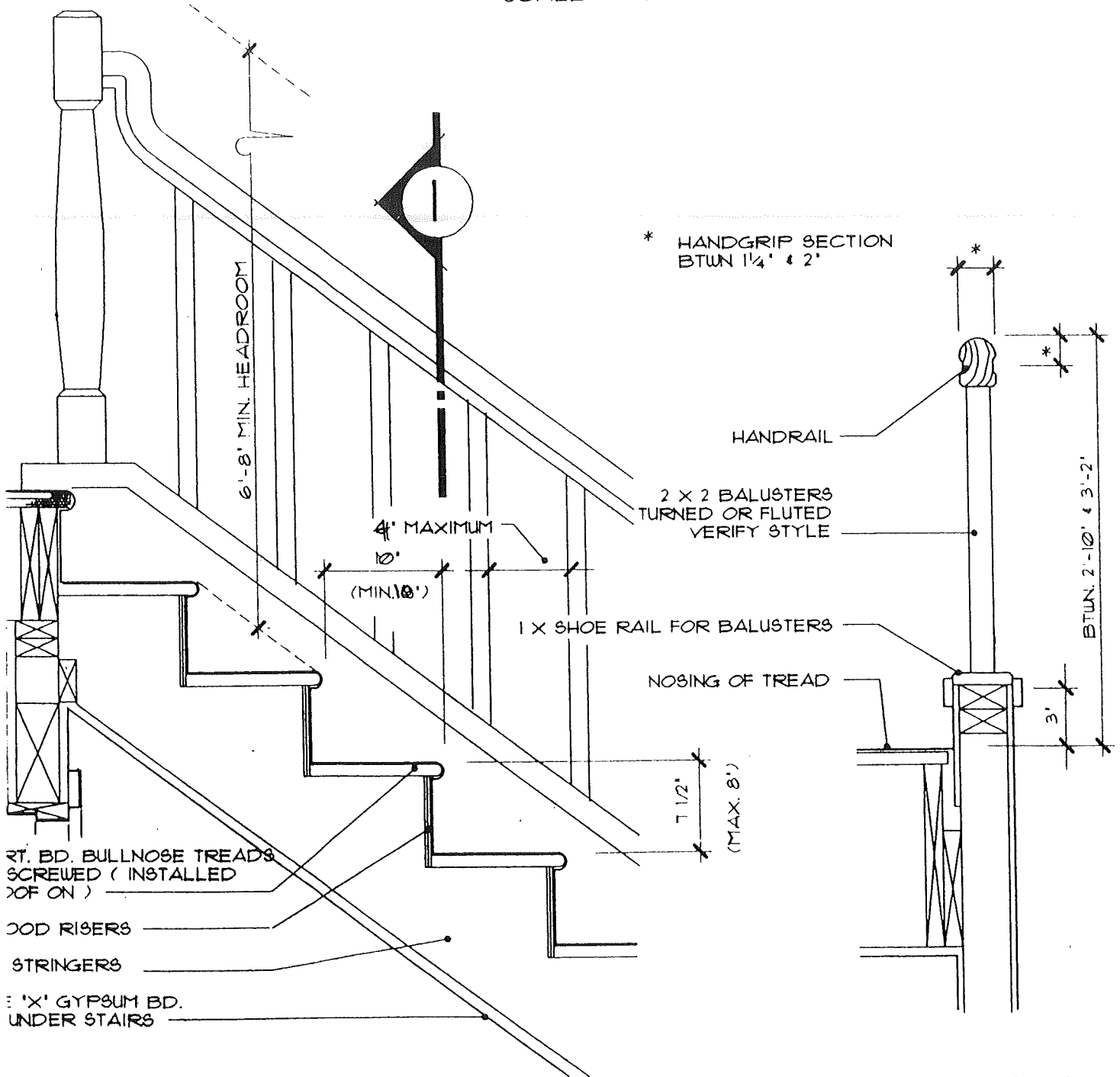
1 X 2 TRIM

GARAGE DR. JAMB

HALF WRAP CLOSET JAMB

SCALE : 1 1/2" = 1'-0"

(FOR BI-FOLD DOORS)



RT. BD. BULLNOSE TREADS
SCREWED (INSTALLED
DOF ON)

OOD RISERS

STRINGERS

1/2" X GYPSUM BD.
UNDER STAIRS

* HANDGRIP SECTION
BTWN 1 1/4" & 2"

HANDRAIL

2 X 2 BALUSTERS
TURNED OR FLUTED
VERIFY STYLE

1 X SHOE RAIL FOR BALUSTERS

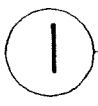
NOBING OF TREAD

BTWN 2'-10" & 3'-2"

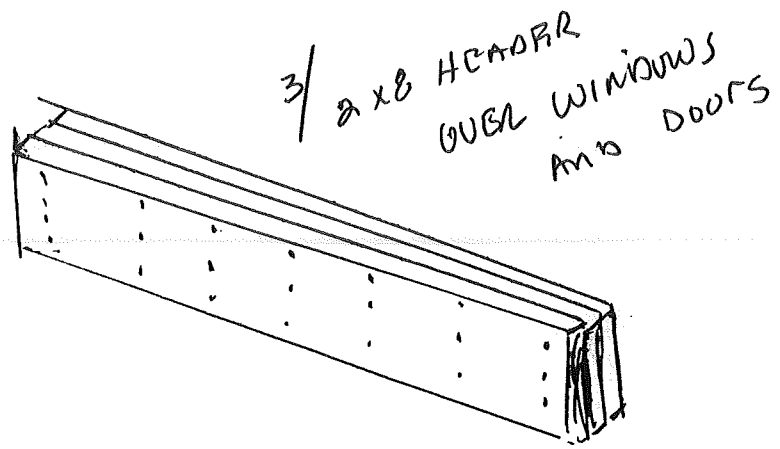
3"

AIR DETAIL

1 1/2" = 1'-0"

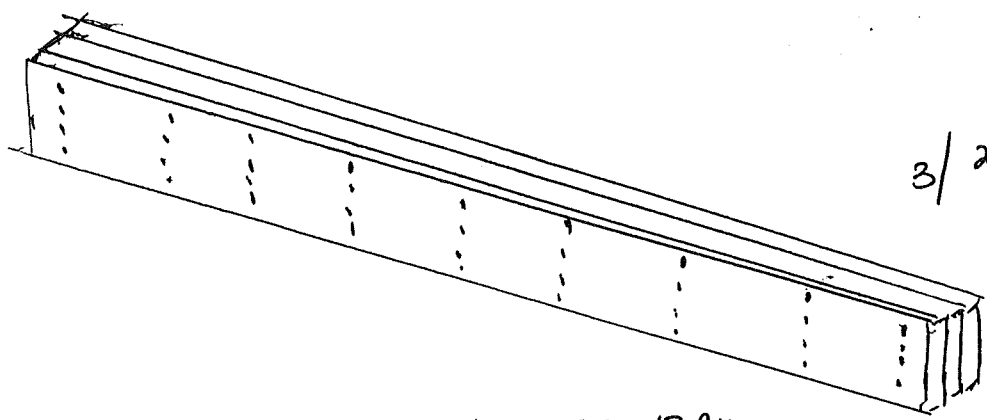


SECTION



3/2 x 8 HEADER
OVER WINDOWS
AND DOORS

NAILED EVERY 8/10" INCHES (3 NAILS)



3/2 x 10 HEADER
OVER SLIPPER

NAILED EVERY
8/10" INCHES (4 NAILS)

Job	Truss	Truss Type	Qty	Ply	WSI Stock Trusses 1/1/99	Sheet
ST67545	626	FINK	150	1	11/3/99	
WOOD STRUCTURES INC., BIDDEFORD, ME			4.0-32 s Sep 7 1999 Mittek Industries, Inc. Wed Nov 03 12:07:44 1999 Page			

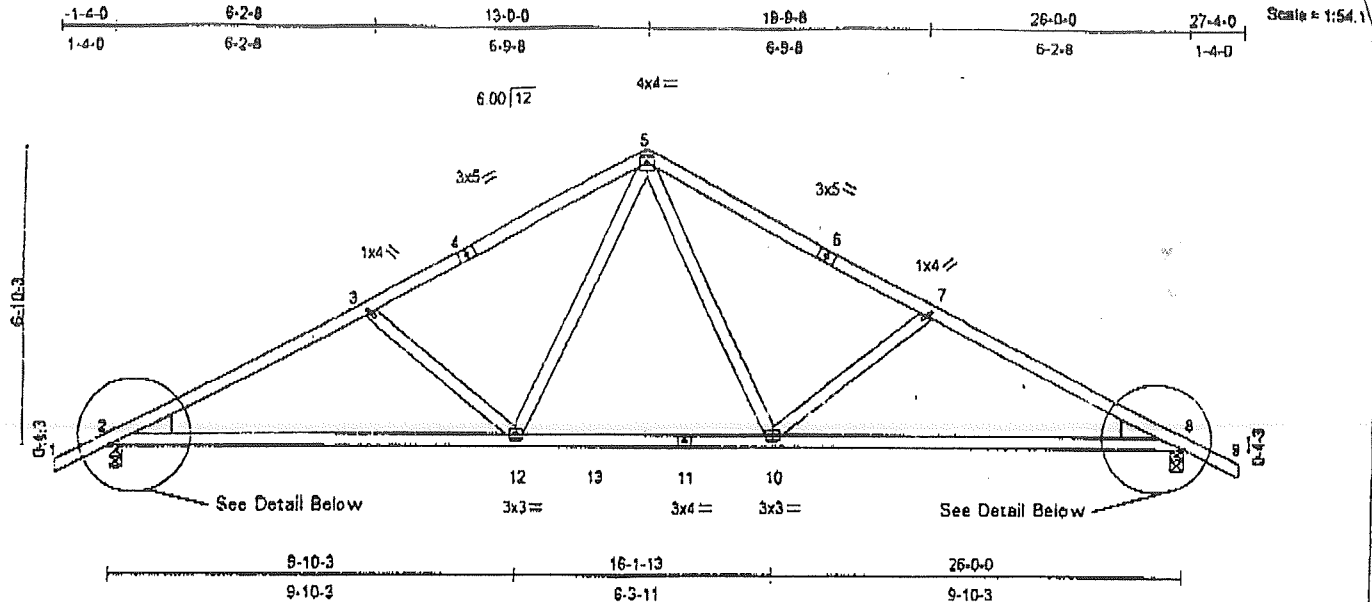


Plate Offsets (X, Y):	[2:1-0-5,0-0-0]	[2:0-8,0-0-0-6]	[4:0-8,0-0-0-6]	[8:1-0-5,0-0-0]
-----------------------	-----------------	-----------------	-----------------	-----------------

LOADING (psf)	SPACING	CSI	DEFL (in)	PLATES GRIP
TCLL 42.0	Plates Increase 2-0-0	TC 0.73	Vert(LL) -0.21 10-12 > 999	M20 169/123
TCDL 7.0	Lumber Increase 1.15	BC 0.85	Vert(TL) -0.39 8-10 > 798	
BCLL 0.0	Rep Stress Iner YES	WB 0.42	Horz(TL) 0.09 8 n/a	Weight: 93 lb
BCDL 10.0	Code BOCA/ANSI95	(Matrix)	1st LC LL Min l/defl = 240	

LUMBER	BRACING
TOP CHORD 2 X 4 SPF No.2	TOP CHORD Sheathed or 2-9-11 on center purlin spacing.
BOT CHORD 2 X 4 SPF No.2	BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.
WEBS 2 X 4 SPF-S Stud	
EDGE	
2: 2 X 6 SPF 1650F 1.5E, Right: 2 X 6 SPF 1650F 1.5E	

REACTIONS (lb/size) 8 = 1706/0-3-8, 2 = 1706/0-3-8

FORCES (lb) - First Load Case Only

TOP CHORD 1-2=57, 2-3=-2794, 3-4=-2279, 4-5=-2131, 5-6=-2129, 6-7=-2277, 7-8=-2792, 8-9=57

BOT CHORD 2-12=2381, 12-13=1812, 11-13=1812, 10-11=1612, 8-10=2379

WEBS 3-12=-614, 5-12=676, 5-10=672, 7-10=-614

- NOTES
- 1) This truss has been checked for unbalanced loading conditions.
 - 2) All plates are M20 plates unless otherwise indicated.
 - 3) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3-6-0 between the bottom chord and any other members.
 - 4) This truss has been designed with ANSI/TPI 1-1995 criteria

LOAD CASE(S) Standard

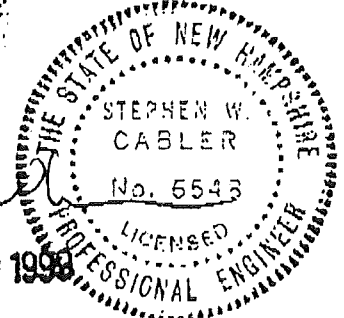
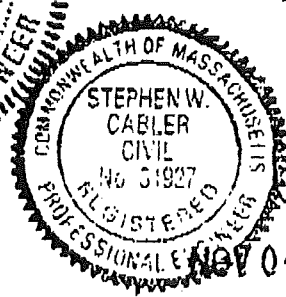
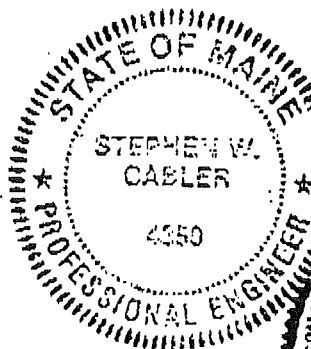
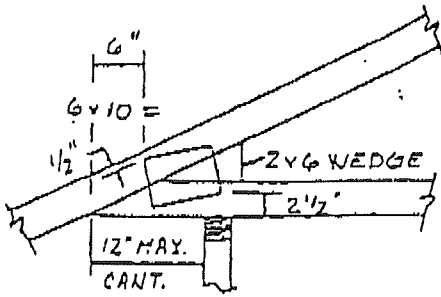
DESIGN LOADING:

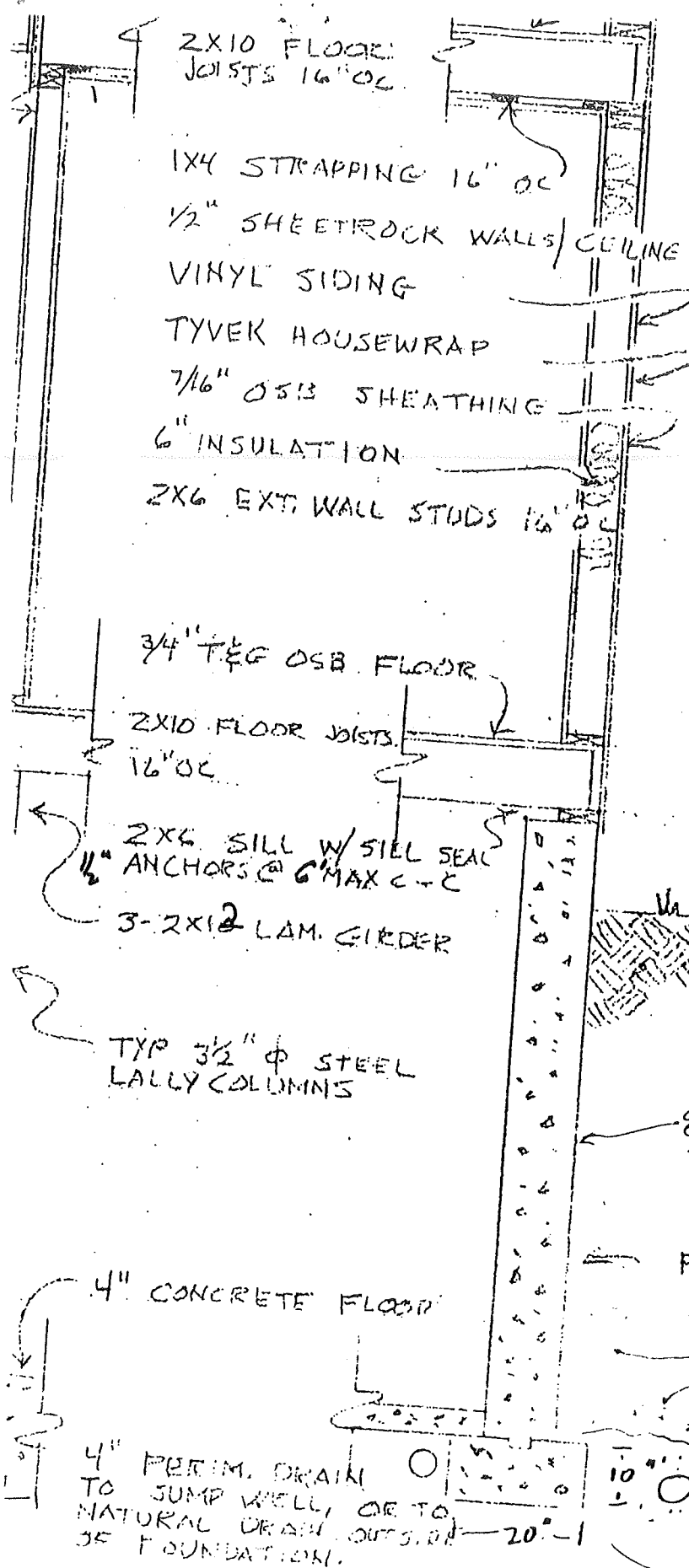
TCLL/TOTAL (PSF)

42/59 @ 24" oc.

63/74 @ 19.2" oc.

63/99 @ 16" oc.





IN ALL BEDROOMS
+ STAIRS PER CODE

2X10 FLOOR JOISTS 16" OC

1X4 STRAPPING 16" OC
1/2" SHEETROCK WALLS/CEILING
VINYL SIDING
TYVEK HOUSEWRAP
7/16" OSB SHEATHING
6" INSULATION
2X6 EXT. WALL STUDS 16" OC

3/4" T&G OSB FLOOR

2X10 FLOOR JOISTS 16" OC

2X6 SILL W/ STEEL SEAL
1/2" ANCHORS @ 6" MAX C-C

3-2X12 LAM. GIRDER

TYP 3 1/2" Ø STEEL LALLY COLUMNS

8 1/4" WYALL

SNAPTIES PLUG!

FOUNDATION COATING/WATERPROOF COATING

SAND COVER

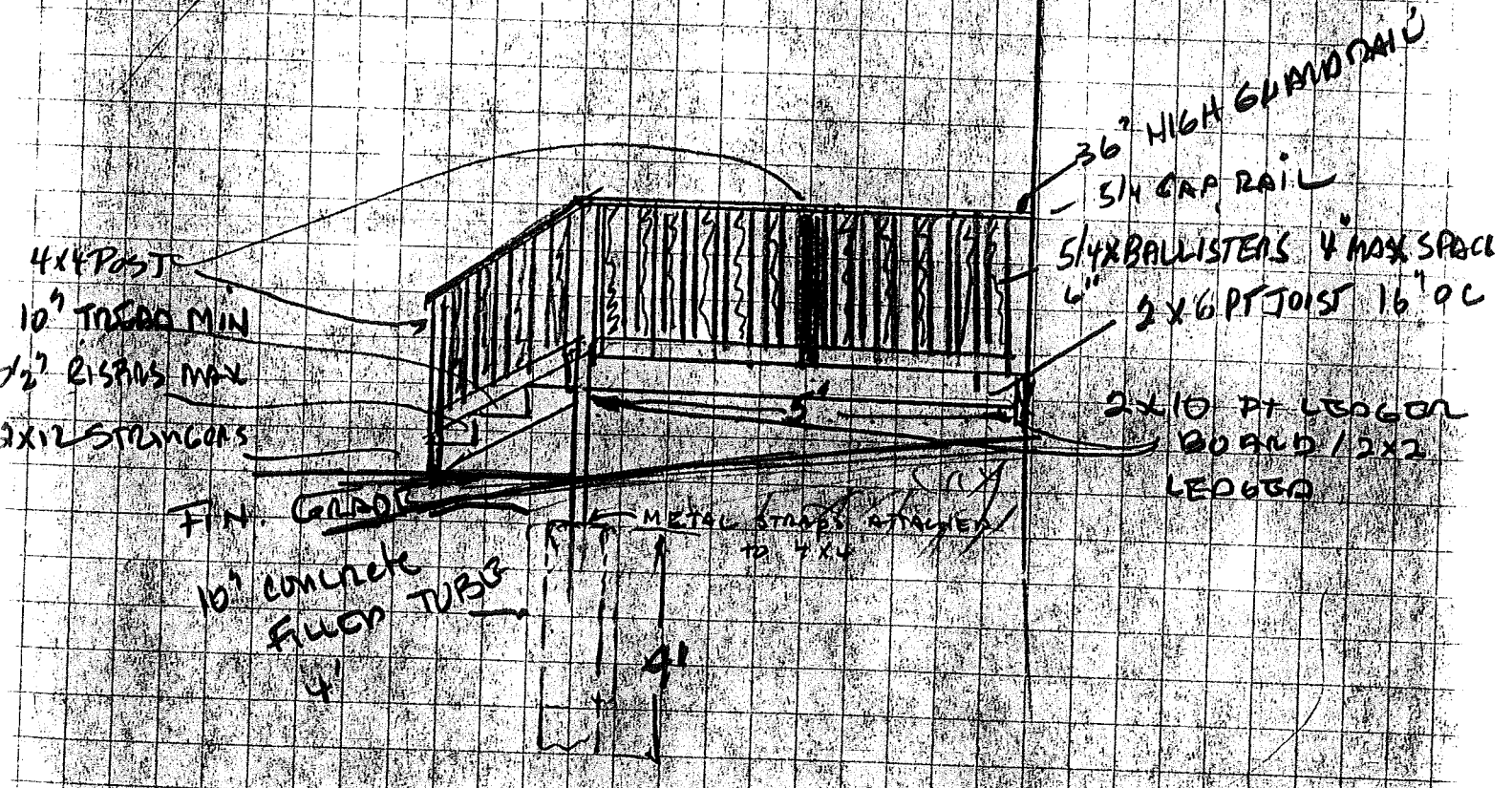
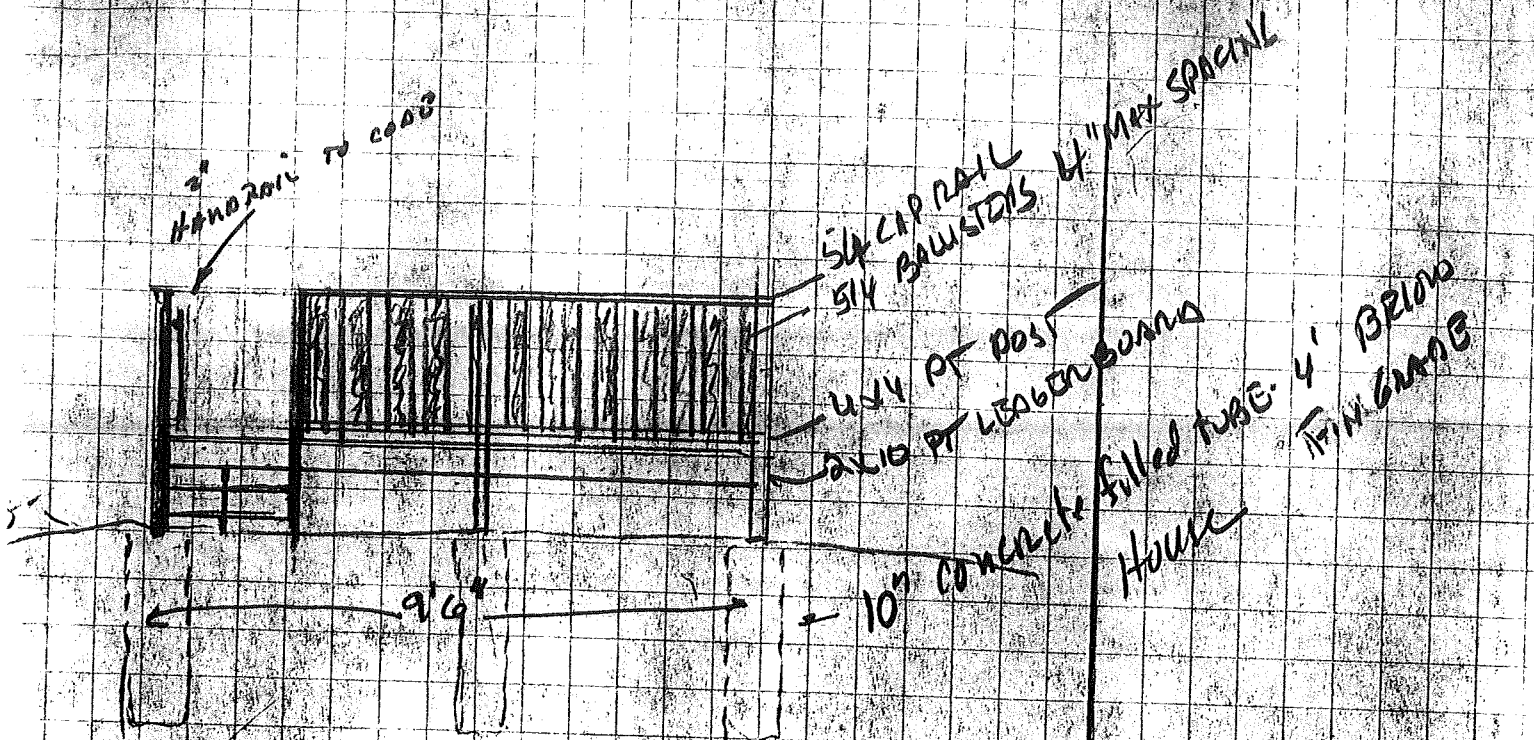
FILTER FABRIC

CRUSHED ROCK

4" CONCRETE FLOOR

4" PERIM. DRAIN TO JUMP WELL, OR TO NATURAL DRAIN OUTSIDE OF FOUNDATION.

HOOK'D TO STORM DRAIN AT STREET



9'6" x 5' REAR DECK
 123 EAST KIDDER ST

5/4 X CEDAR CASING

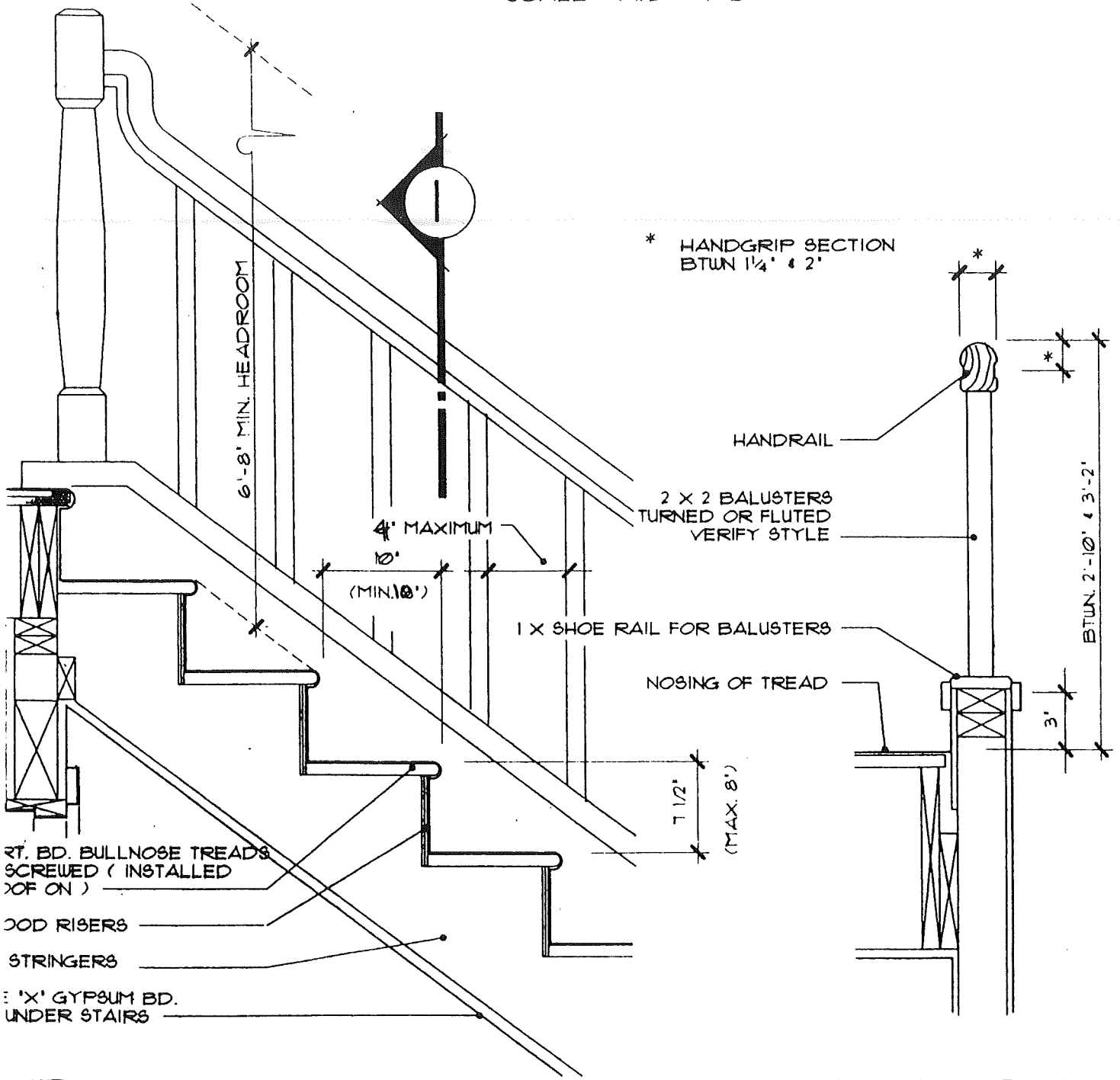
1 X 2 TRIM

GARAGE DR. JAMB

HALF WRAP CLOSET JAMB

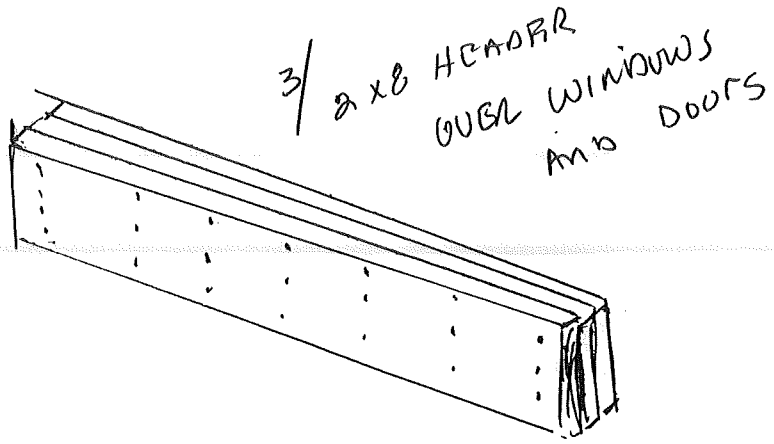
SCALE : 1 1/2" = 1'-0"

(FOR BI-FOLD DOOR)



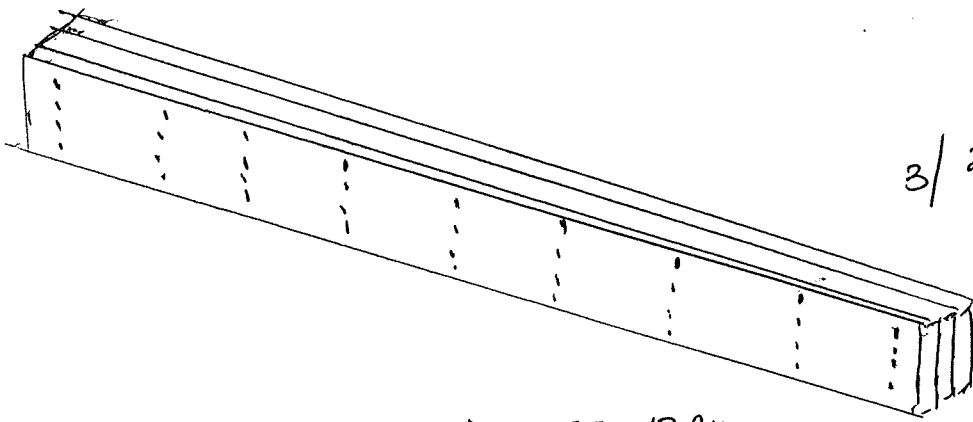
AIR DETAIL

SECTION



3/2 x 8 HEADER
OVER WINDOWS
AND DOORS

NAILED EVERY 8/10" INCHES (3 NAILS)



3/2 x 10 HEADER
OVER SLIPPER

NAILED EVERY
8/10" INCHES (4 NAILS)

Job	Truss	Truss Type	Qty	Ply	WSI Stock Trusses 1/1/99	Sheet
ST67545	626	FINK	150	1	11/3/99	

WOOD STRUCTURES INC., BIDDEFORD, ME

4.0-32 a Sep 7 1999 Milltek Industries, Inc. Wed Nov 03 12:07:44 1999 Page

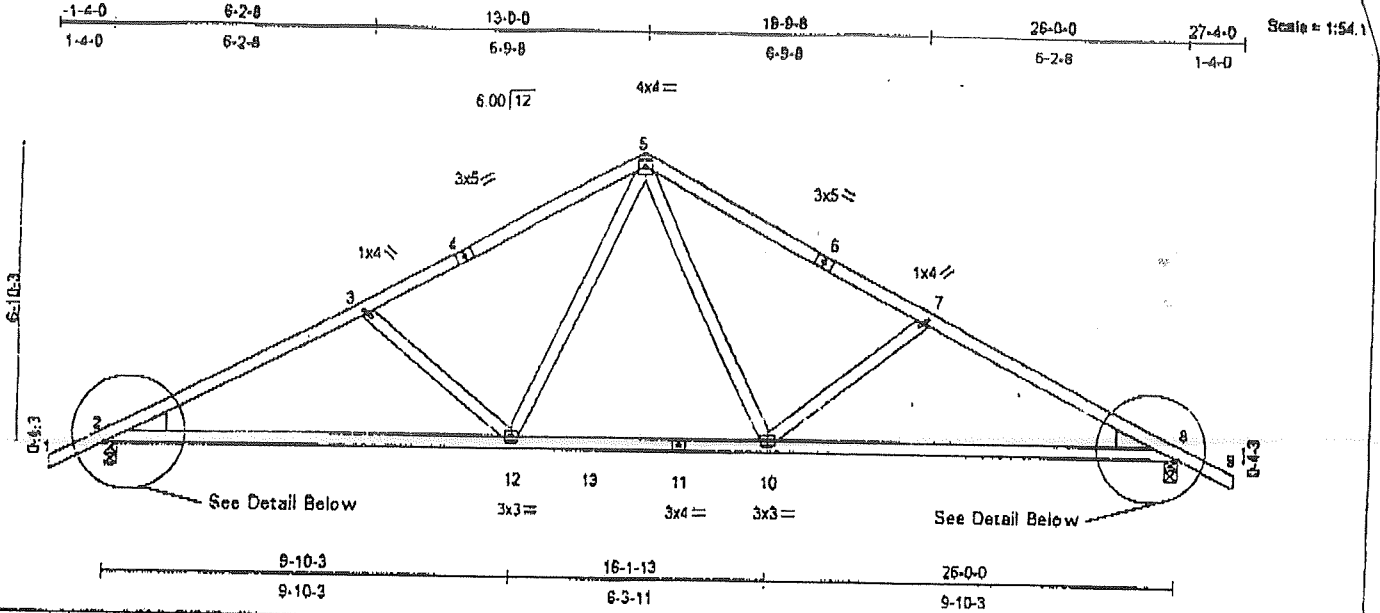


Plate Offsets (X, Y): [2:1-0-5,0-0-0], [2:0-8-0,0-0-6], [8:0-8-0,0-0-6], [8:1-0-5,0-0-0]

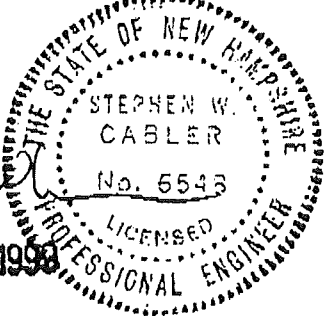
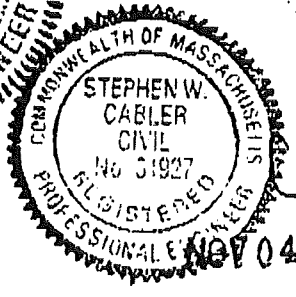
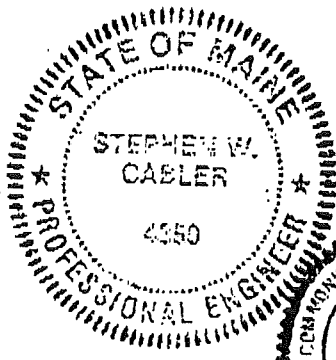
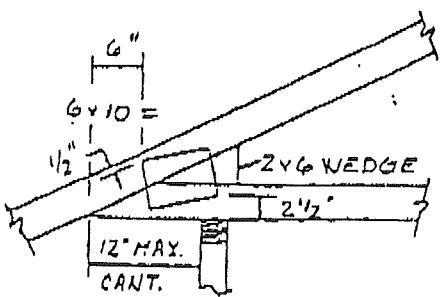
LOADING (psf)	SPACING	CSI	DEFL	PLATES GRIP
TCLL 42.0	2-0-0	TC 0.73	(in) (loc) l/defl	MZO 169/123
TCDL 7.0	Plates Increase 1.15	BC 0.85	Vert(LL) -0.21 10-12 > 999	Weight: 93 lb
BCLL 0.0	Lumber Increase 1.15	WB 0.42	Vert(TL) -0.39 8-10 > 798	
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.09 8 n/a	
	Code BOCA/ANSI95		1st LC LL Min l/defl = 240	

LUMBER
 TOP CHORD 2 X 4 SPF No. 2
 BOT CHORD 2 X 4 SPF No. 2
 WEBS 2 X 4 SPF-S Stud
 BRACING
 TOP CHORD Sheathed or 2-9-11 on center purlin spacing.
 BOT CHORD Rigid ceiling directly applied or 10-0-0 on center bracing.

REACTIONS (lb/size) 8 = 1706/0-3-8, 2 = 1706/0-3-8
 FORCES (lb) - First Load Case Only
 TOP CHORD 1-2 = 57, 2-3 = -2794, 3-4 = -2278, 4-5 = -2131, 5-6 = -2129, 6-7 = -2277, 7-8 = -2792, 8-9 = 57
 BOT CHORD 2-12 = 2381, 12-13 = 1612, 11-13 = 1612, 10-11 = 1612, 8-10 = 2379
 WEBS 3-12 = -614, 5-12 = 676, 5-10 = 672, 7-10 = -614

NOTES
 1) This truss has been checked for unbalanced loading conditions.
 2) All plates are MZO plates unless otherwise indicated.
 3) This truss has been designed for a live load of 20.0psf on the bottom chord in all areas with a clearance greater than 3-6-0 between the bottom chord and any other members.
 4) This truss has been designed with ANSI/TPI 1-1995 criteria

LOAD CASE(S) Standard
 DESIGN LOADING:
 TCLL/TOTAL (PSF)
 42/59 @ 24" oc.
 63/74 @ 19.2" oc.
 63/99 @ 16" oc.



WARNING: Verify design parameters and READ NOTES ON THIS AND REVERSE SIDE BEFORE USE.
 Design void for use only with Milltek connectors. This design is based only upon parameters shown, and is for an individual building component to be installed and loaded vertically. Applicability of design parameters and proper incorporation of component is responsibility of building designer. Not truss designer. Bracing shown is for lateral support of individual web members only. Additional temporary bracing to insure stability during construction is the responsibility of the erector. Additional permanent bracing of the overall structure is the responsibility of the building designer. For general guidance regarding fabrication, quality control, storage, delivery, erection and bracing consult QSI-08 Quality Standard, QSI-09 Erection Specification and HSI-10 Installation Manual.
 MAY-24-2002 08:09 WOOD STRUCTURES INC. 207 282 2423 P.02/02

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Zoning Copy

2005-0093

Application I. D. Number

5/2/2005

Application Date

Marge Schmuckal

Star Homes

Applicant

P.O. Box 2351, South Portland, ME 04116

Applicant's Mailing Address

Duplex

Project Name/Description

Consultant/Agent

123 - 123 E Kidder St, Portland, Maine

Applicant Ph: (207) 409-6755 Agent Fax:

Address of Proposed Site

Applicant or Agent Daytime Telephone, Fax

425 1028001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail

Manufacturing Warehouse/Distribution Parking Lot

Other (specify) _____

2288 sq ft

9660.22

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 5/2/2005

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance

signature

date

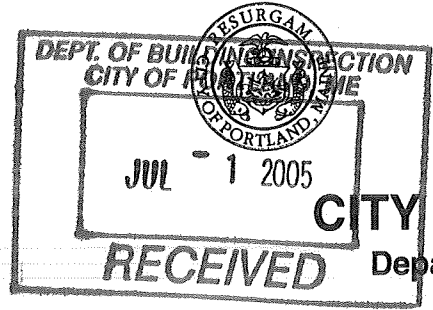
Performance Guarantee

- Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | _____ | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | _____ |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

DEED RTS



Donna
123 B. Kidder St

CITY OF PORTLAND, MAINE

Department of Building Inspections

May 2 2005

Received from Star Homes

Location of Work 123 East Kidder

Cost of Construction \$ 130,000 Cgw 1191

Permit Fee \$ 1566.00 Site plan 300.
Pg 0 75

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

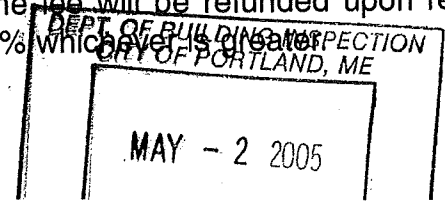
CBL: 425 I 028

Check #: 422 Total Collected \$ 1566.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

Donna
ITE - Applicant's Copy
OW - Office Copy

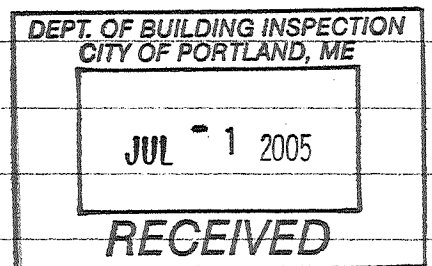


To whom it may concern.

At this time I request the withdrawal
of my Building Permit Application dated
May 2, 2005. because the site plan
was rejected and the Proposed
Building will not fit on the
Building lot.

Respectfully
Frustrated
Joseph Frustrated for
Star Homes, Inc.
P.O. Box 2351
Sopontians Me. 04116

Phone # 409-6755





PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.pmiandmdinc.gov

Lee Urban-Director of Planning and Development
Marge Schmućkal, Zoning Administrator

May 18,2005

Jeff Lowery
123 E. Kidder Street
Portland, ME 04103

RE: 119 E. Kidder Street – 425-I-part of 28, 31, & 32 – R-5 Zone – application #050-506

Dear Jeff,

I **am** in receipt of your application to split the current lots that you own into two separate lots and to then build a new two unit building on the newly created lot. Your permit has been denied because your submittals are incomplete at this time in order to determine compliance with the City's ordinances.

Your submittal **has** not shown the required four (4) parking spaces on your plans. You need to provide four 9'x19' parking spaces. These parking spaces shall not be places within your required front yard setback.

Your site plan does not entirely match your building plans. Your building plans show two 5' x 10' rear decks with stairs extending toward the rear setback line. Your site plan does not show those extended stairs. It is important to show the exact dimension of the stairs. Your allowance to project into a required yard is limited to no more than 50 square feet, with a projection **of** no more than six (6) feet (section 14-425). Your proposal may be violating that allowance.

It has also been determined that your development **falls** under a subdivision review before the Planning Board. You must submit a subdivision packet to the planning department and receive approvals prior to the issuance of your new building permit.

Very truly yours,

Marge Schmućkal
Zoning Administrator

Cc: Sarah Hopkins, Planning
Jay Reynolds, Planning
File



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life - www.portlandmaine.gov

Lee Urban-Director & Planning and Development
Marge Schmuckal, Zoning Administrator

May 18, 2005

Jeff Lowery
123 E. Kidder Street
Portland, ME 04103

RE: 119 E. Kidder Street – 425-I-part of 28, 31, & 32 – R-5 Zone – application #050-506

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Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: Sarah Hopkins, Planning
Jay Reynolds, Planning
File

↑
Per my letter in our
legal office is now signed
That this is Not
considered to be a
subdivision.



PORTLAND MAINE

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Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

Jeffery and Ellen Lowery
123 East Kidder Street
Portland, ME 04103

June 1, 2005

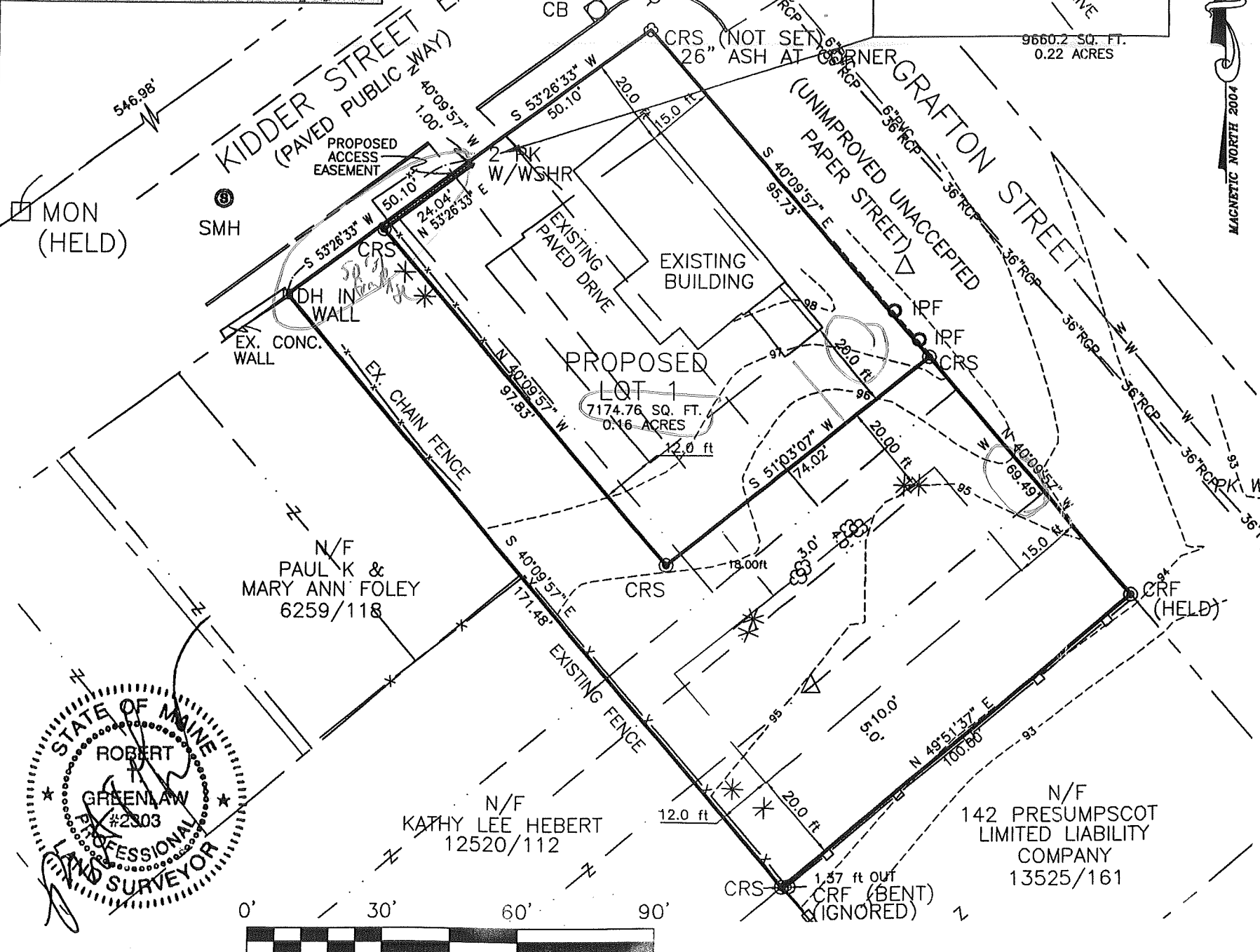
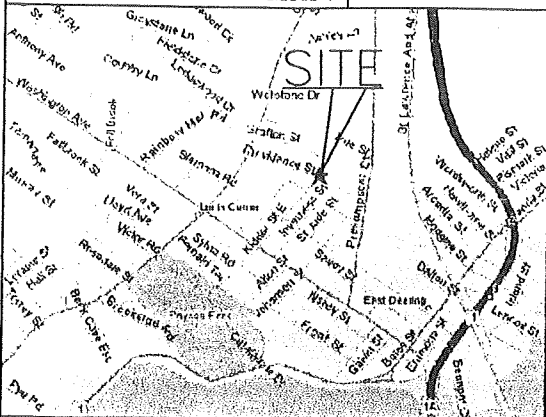
Dear Mr. and Mrs. Lowery:

RE: Application for Minor Site Plan, 117-119 East Kidder Street
(CBL #425I028) (ID#2005-0093)

Thank you for your application for the 117-119 East Kidder Street Duplex. Upon review, the City has the following comments:

1. The application was errantly accepted as a single-family development. The duplex proposal must be applied for as a 'minor site plan'. Please re-apply through the planning office. Enclosed is a packet, which specifies the submission requirements for minor site plan.
2. After further review, the proposal does not appear to be a subdivision.
3. Pertaining to the lot configuration, it appears that the 1-foot strip of land along East Kidder Street is not required for street frontage, as per section 14-403 of the land use code. Please remove this lot line.
**It is important to note that this application has prompted the City to amend the ordinance to address this design/lot configuration in the future.
4. Please provide a 20-scale site plan to provide better definition of the site.
5. Along with the parking requirements stated in Marge Schmuckal's letter, you will have to show the required parking for the existing 2 unit (4 spaces at 9'x19') on the site plan. Please shade in the parking/paved areas so that it is clear on the site plan.
6. Curbing and Sidewalk installation is a requirement for minor site plan. Please add to the plan, or if you wish to request a waiver of the standard, you must request a waiver and meet the criteria set forth in the enclosed standards.
7. Engineering review/Public Works comments will be forthcoming.
8. Two street trees per unit are required along your street frontage. Please revise. Also, the landscaping legend is unclear as to what designates a spruce and what designates ground cover (asterisk *). Please clarify.
9. A narrative addressing the following design standards will need to be submitted.
 - i. Orientation: The City's design standards require that new two-family buildings be oriented toward the street (Sec. 14-526, 15, a, 2).

SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JEFFREY J LOWERY, BOOK 19208 PAGE 95 AND PAGE 97, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
3. AREA OF SUBJECT PARCELS:
ORIGINAL LOTS: 16,834.98 SQ. FT., 0.38 ACRES
PROPOSED LOT 1: 7,174.76 SQ. FT., 0.16 ACRES
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4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) WASHINGTON AVENUE GARDENS ANNEX, OWNED BY EVERETT C. WELLS, PORTLAND, MAINE, BY ERNEST W. BRANCH, C.E., OCTOBER 1920, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 14 PAGE 49.
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c.) CITY OF PORTLAND ASSESSORS PLAN NO. 425
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY. NEW PROPOSED ACCESS EASEMENT INCLUDED ON THIS PLAN.
6. ZONING: R-5 RESIDENTIAL
SETBACKS: FRONT - 20 FT
REAR - 20 FT
SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT
ON SIDE STREET: 15 FT
MINIMUM LOT SIZE: 6,000 SQ FT
MINIMUM LOT FRONTAGE: 50 FT
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM LOT COVERAGE: 40% (CURRENT NEW LOT COVERAGE = 34.4%)

LEGEND

CRS ●	Capped 5/8" Rebar Set with registration No. 2303	—	Property Line
CRF ●	Capped 5/8" Rebar Found	- - -	Abutter Line
PK W/WSHR ▼	PK Nail with Washer #2303	- - - -	Street Line
IPF ●	Iron Pipe Found	- - - - -	Edge of traveled way
DH □	Drill Hole in Conc. Wall	- - - - -	Setback Line
(50.00')	Distance from reference plan or deed.	- - - - -	Old Lot Line
N/F	Now Or Formerly	MON □	Monument Found
Z	Indicates Ownership in Common	CB □	Catch Basin
1234/567	Book and Page of local Registry	SMH ●	Sewer Manhole
		⊕	Utility Pole
		△	Control Point

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION

DATE: NOVEMBER 30, 2004

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

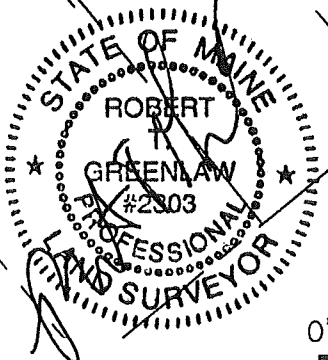
- REVISED: 11/30/2004 - CORRECTED BEARINGS IN DETAIL.
- REVISED: 10/28/2004 - REVISED BEARINGS TO REFLECT PINS SET.
- REVISED: 10/13/2004 - UPDATED PINS SET INFO
- REVISED: 09/23/2004 - UPDATED STATUS OF GRAFTON STREET
- REVISED: 09/15/2004 - MOVED DIVIDING P/L 1 FT SW TO CLEAR FENCE, UPDATED SQ FT

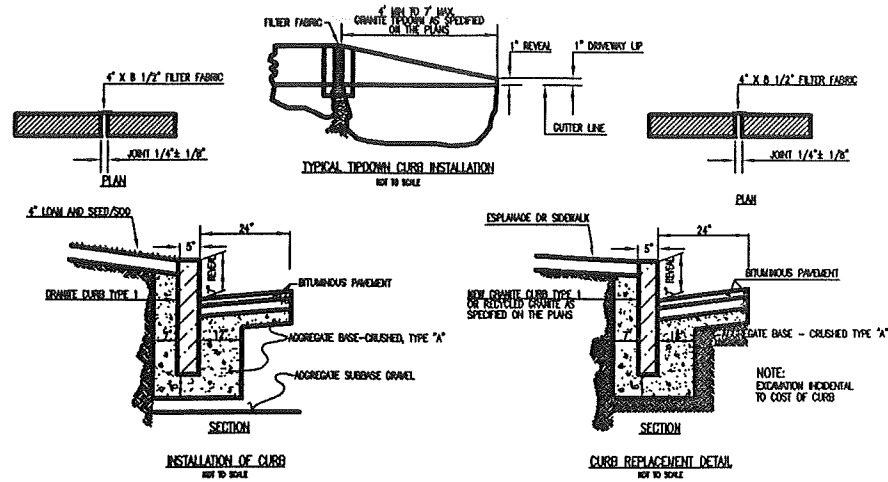
PROPOSED LOT SPLIT
AT: 123 EAST KIDDER STREET, PORTLAND, MAINE
FOR: JEFFREY J. LOWERY

DRAWN BY: RUM
CHECKED BY: KCC
SCALE: 1"=50'
DATE OF SURVEY: 07/29/2004
JOB NUMBER: 2004093
SHEET: 1 OF 1

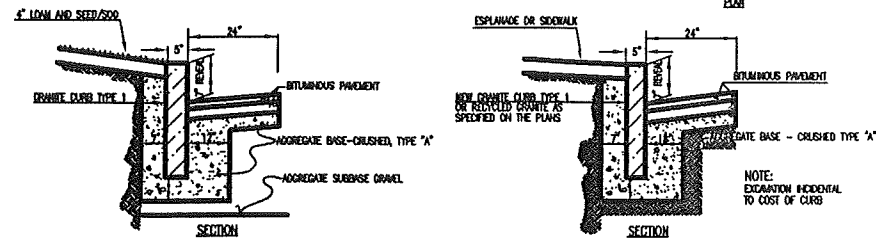
PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

DRAWER: 2004 NO: 093

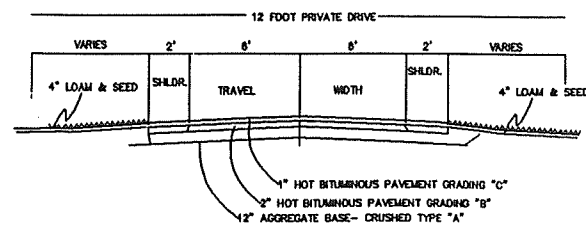




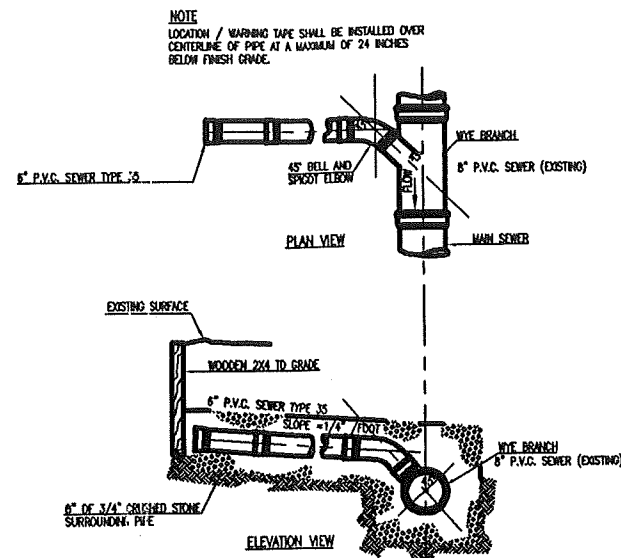
TYPICAL INSTALLATION OF CURB
NOT TO SCALE



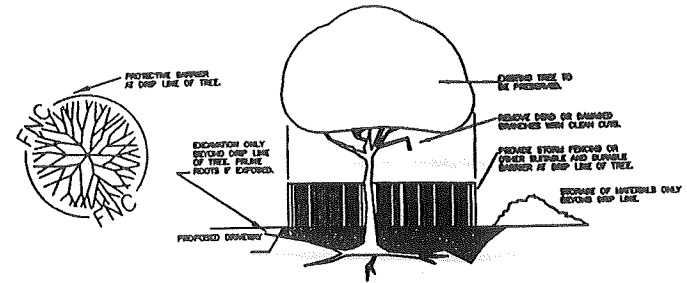
CURB REPLACEMENT DETAIL
NOT TO SCALE



TYPICAL DRIVEWAY DETAIL



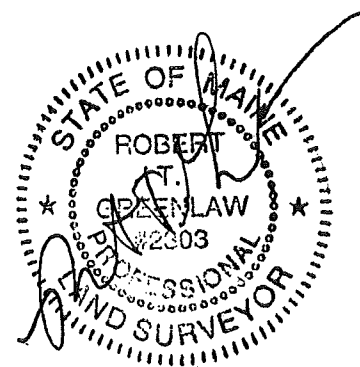
TYPICAL HOUSE LATERAL WYE CONNECTION DETAILS
NOT TO SCALE



- INSTALLATION
1. DIG A TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LEVING ON THE TRENCH BOTTOM. JOIN SECTIONS AS SHOWN ABOVE.
 4. LAY THE TIE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BRUSH THE TRENCH AND TRAMP THE SOIL. TIE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERLOCKED STITCH.
 5. BARRIER SHALL BE SHARP SILET FENCE OR EQUAL.

FILTER BARRIER
NOT TO SCALE
SILT FENCE DETAIL

- * EXISTING SPRUCE TO BE REPLANTED
- * AMERICAN LINDEN-TILIA AMERICANA
- * DWARF BUSH HONEYSUCKLE-DIERVILLA LONICERA
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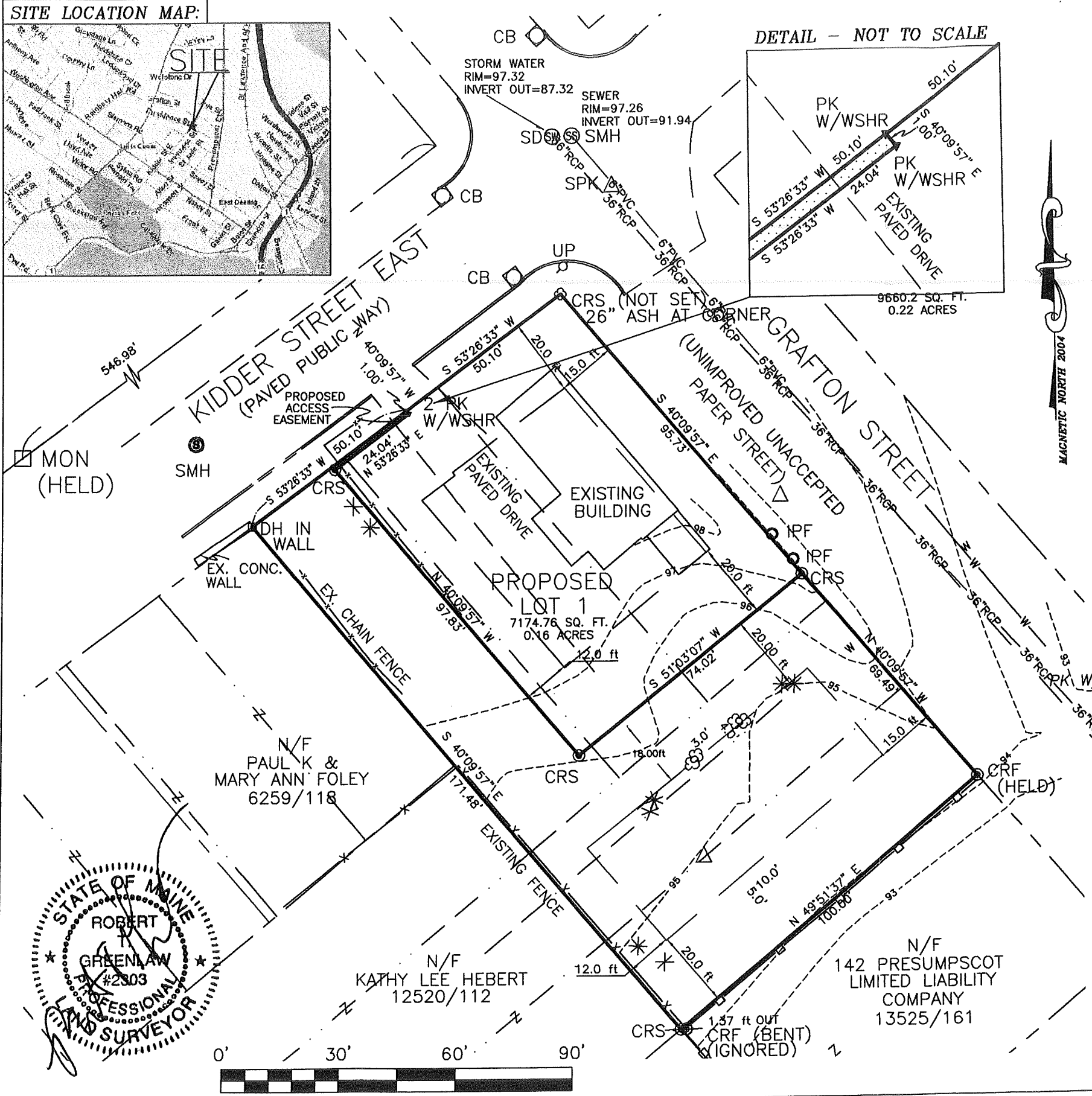
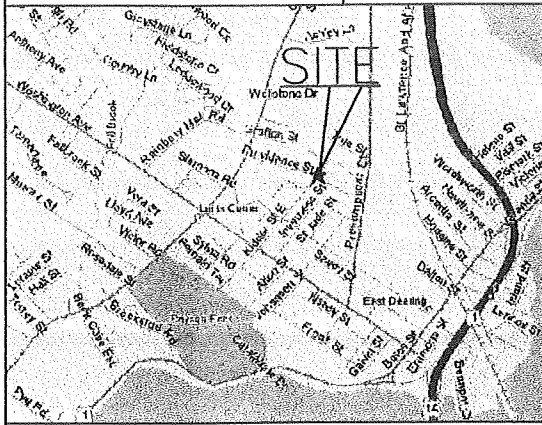
DETAIL SHEET
EAST KIDDER STREET PORTLAND, MAINE

FOR: JOSEPH FRUSTACI

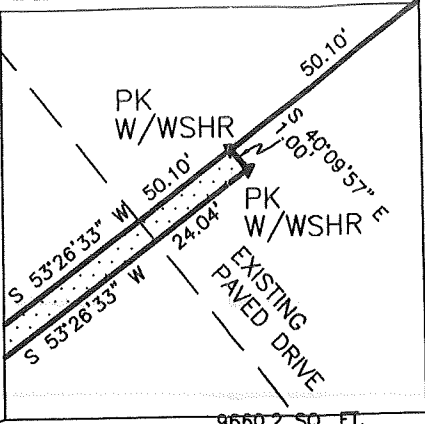
DRAWN BY: RTG	CHECKED BY: RTG
SCALE: NOT TO SCALE	DATE OF SURVEY: 07/29/2004
JOB NUMBER: 2005038	SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
LAND SURVEYING
643 FOREST AVE.
PORTLAND, MAINE
207-774-2855 FAX 207-347-4346

SITE LOCATION MAP:



DETAIL - NOT TO SCALE



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JEFFREY J LOWERY, BOOK 19208 PAGE 95 AND PAGE 97, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
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LEGEND

CRS ●	Capped 5/8" Rebar Set with registration No. 2303	—	Property Line
CRF ●	Capped 5/8" Rebar Found	- - -	Abutter Line
PK W/WSHR ▼	PK Nail with Washer #2303	- - - -	Street Line
IPF ●	Iron Pipe Found	- - - - -	Edge of traveled way
DH □	Drill Hole in Conc. Wall	- - - - -	Setback Line
(50.00')	Distance from reference plan or deed.	- - - - -	Old Lot Line
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1234/567	Book and Page of local Registry	SMH ●	Sewer Manhole
		○	Utility Pole
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SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

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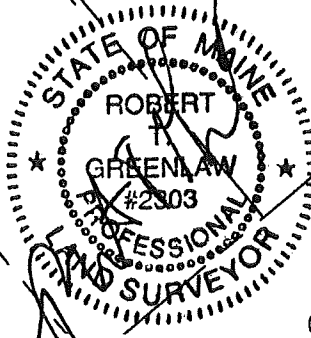
ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: 11/30/2004 - CORRECTED BEARINGS IN DETAIL.
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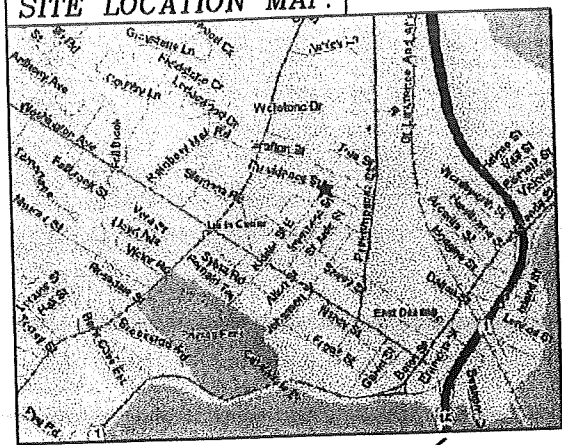
PROPOSED LOT SPLIT
 AT: 123 EAST KIDDER STREET, PORTLAND, MAINE
 FOR: JEFFREY J. LOWERY

DRAWN BY: PJM	CHECKED BY: KCC	SCALE: 1"=30'	DATE OF SURVEY: 07/29/2004
JOB NUMBER: 2004093	SHEET: 1 OF 1		

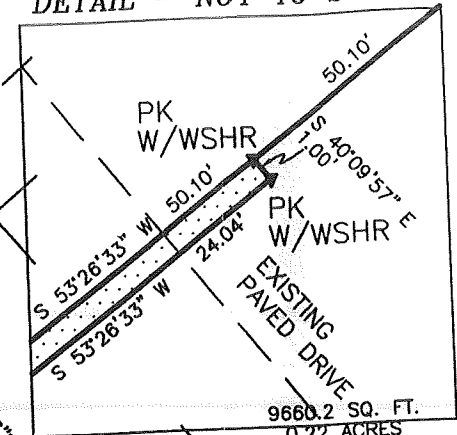
PREPARED BY:
BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010



SITE LOCATION MAP:



DETAIL - NOT TO SCALE



GENERAL NOTES:

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PROPOSED LOT 2: 9,660.22 SQ. FT., 0.22 ACRES *SUBJECT OF PLAN*
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MINIMUM LOT FRONTAGE: 50 FT
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM LOT COVERAGE: 40% (CURRENT NEW LOT COVERAGE = 34.4%)
CURRENT LOT AREA = 9660.22 SQUARE FEET
PROPOSED IMPERVIOUS AREA = 3584.4 SQUARE FEET
PROPOSED COVERAGE = 37%

PROPOSED TWO FAMILY DWELLING
123 EAST KIDDER STREET, PORTLAND, MAINE

JOSEPH FRUSTACI

AT: FOR:

DRAWN BY: RTG	CHECKED BY: RTG	SCALE: 1"=30'	DATE OF SURVEY: 07/29/2004
JOB NUMBER: 2005038		SHEET: 1 OF 2	

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

DRAWER: 2004 NO: 093

LEGEND

CRS ⊙	Capped 5/8" Rebar Set with registration No. 2303	Property Line	
CRF ⊙	Capped 5/8" Rebar Found	Abutter Line	
PK W/WSHR ▼	PK Nail with Washer #2303	Street Line	
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DH □	Drill Hole in Conc. Wall	Setback Line	
(50.00')	Distance from reference plan or deed.	Old Lot Line	
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1234/567	Book and Page of local Registry	SMH ⊙	Sewer Manhole
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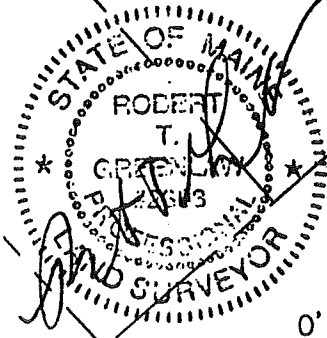
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- b) NO NEW DESCRIPTION

DATE: APRIL 13, 2005

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.



N/F
PAUL K &
MARY ANN FOLEY
6259/118

N/F
KATHY LEE HEBERT
12520/112

N/F
142 PRESUMPCOT
LIMITED LIABILITY
COMPANY
13525/161

MON
(HELD)

SMH

DH IN WALL
EX. CONC. WALL

PROPOSED LOT 1
7174.76 SQ. FT.
0.16 ACRES

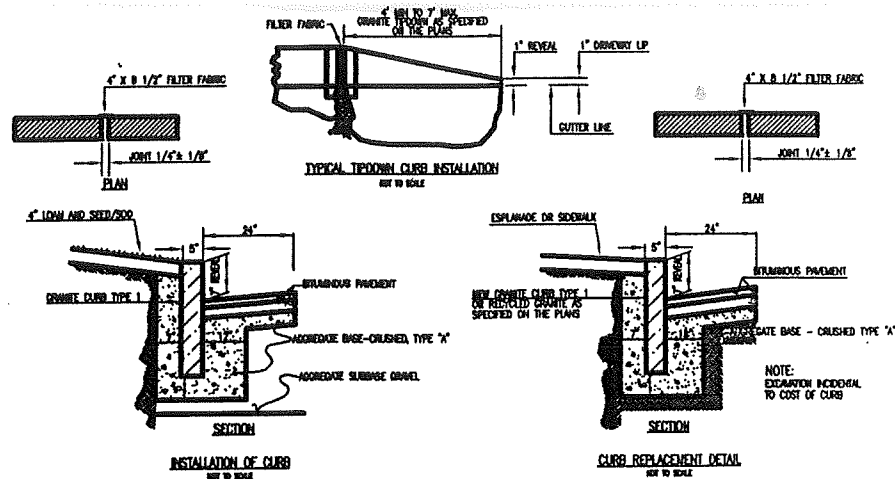
CRS

FFE=98.00
SEWER OUT=90.28 MIN

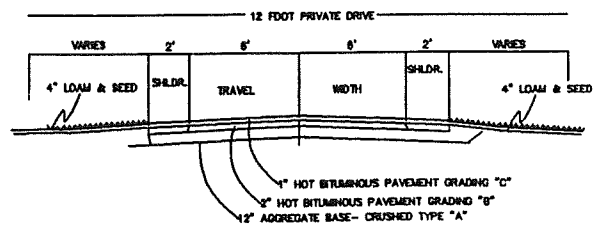
CRF (HELD)

CRS
1.37 ft OUT
CRF (BENT)
(IGNORED)

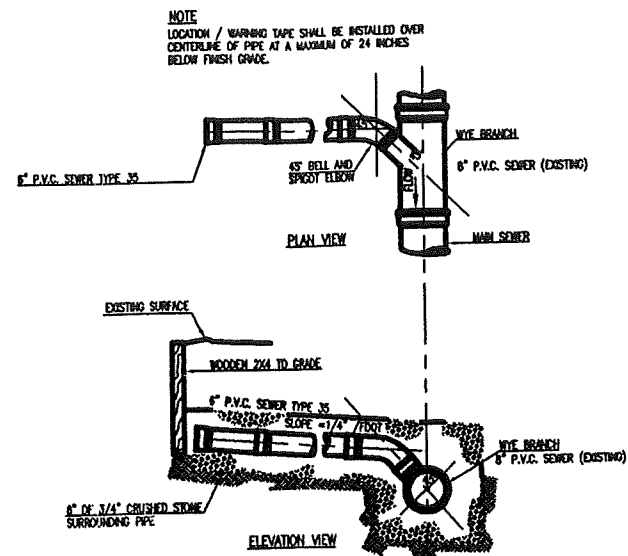
MAGNETIC NORTH 2004



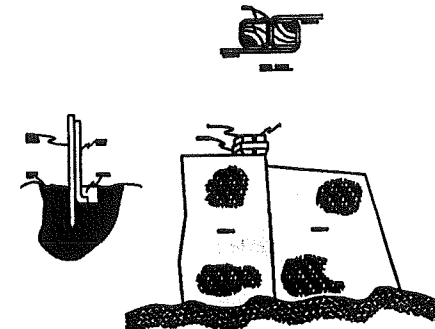
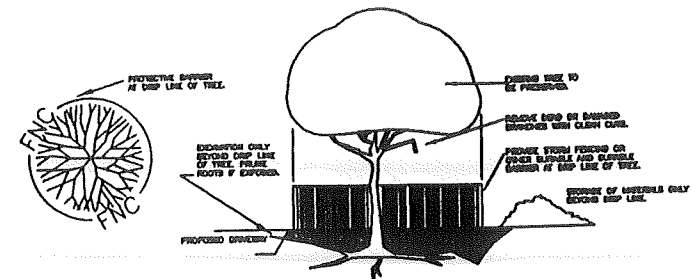
TYPICAL INSTALLATION OF CURB
NOT TO SCALE



TYPICAL DRIVEWAY DETAIL

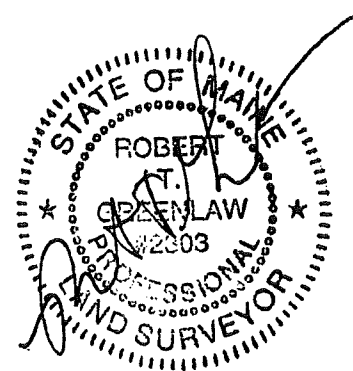


TYPICAL HOUSE LATERAL WYE CONNECTION DETAILS
NOT TO SCALE



- INSTALLATION
1. DETERMINE A 6" X 6" SPACING ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
 2. INSTALL A SECTION AT A TIME AND POSITION THE POSTS ABOUT THE BACK (DOWNHILL) SIDE OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND LATE, APPROXIMATELY 2" OF FABRIC IS LAPPED ON THE TRENCH BOTTOM. JOIN SECTIONS AS SHOWN ABOVE.
 4. LAY THE 100-# FLAP OF FABRIC OVER THE UNLAPPED BOTTOM OF THE TRENCH. MANIPULATE THE TRENCH AND TRAMP THE SOIL. 100-# CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNLAPPED BOTTOM AND FILL AND TAMPING FILL AT THE BACK, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION STYOL.
 5. BARRIER SHALL BE SHOWN SILET FENCE OR EQUAL.
- FILTER BARRIER**
NOT TO SCALE
- SILT FENCE DETAIL**

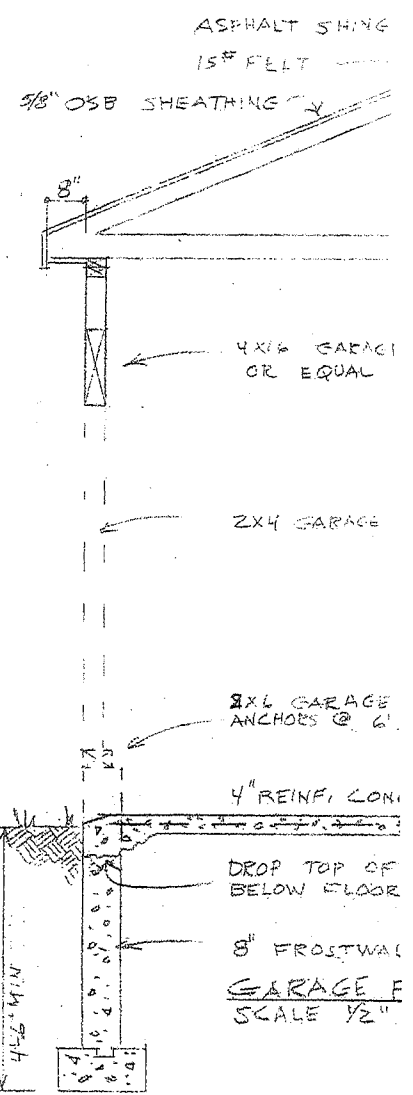
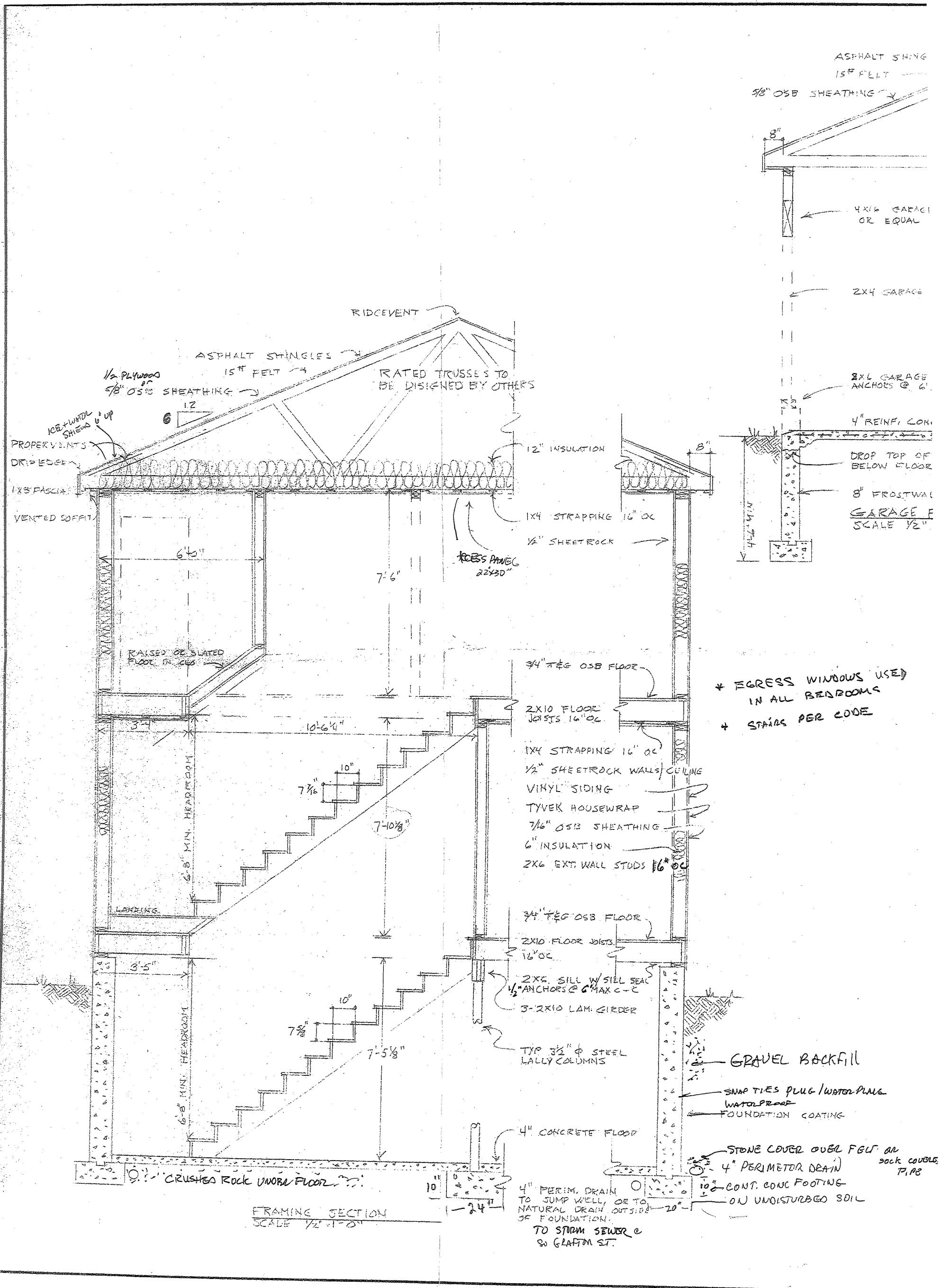
- * EXISTING SPRUCE TO BE REPLANTED
- AMERICAN LINDEN--TILIA AMERICANA
- DWARF BUSH HONEYSUCKLE--DIERVILLA LONICERA
- GROUND COVER: CREEPING JUNCUS--ANISPERUS HORIZONTALIS
PARTRIDGEBERRY--MITCHELLA REPENS



DETAIL SHEET
EAST KIDDER STREET PORTLAND, MAINE
JOSEPH FRUSTACI
 FOR:

DRAWN BY: RTG
 CHECKED BY: RTG
 SCALE: NOT TO SCALE
 DATE OF SURVEY: 07/29/2004
 JOB NUMBER:
 2005038
 SHEET: 2 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING
 643 FOREST AVE.
 PORTLAND, MAINE
 207-774-2855 FAX 207-347-4346



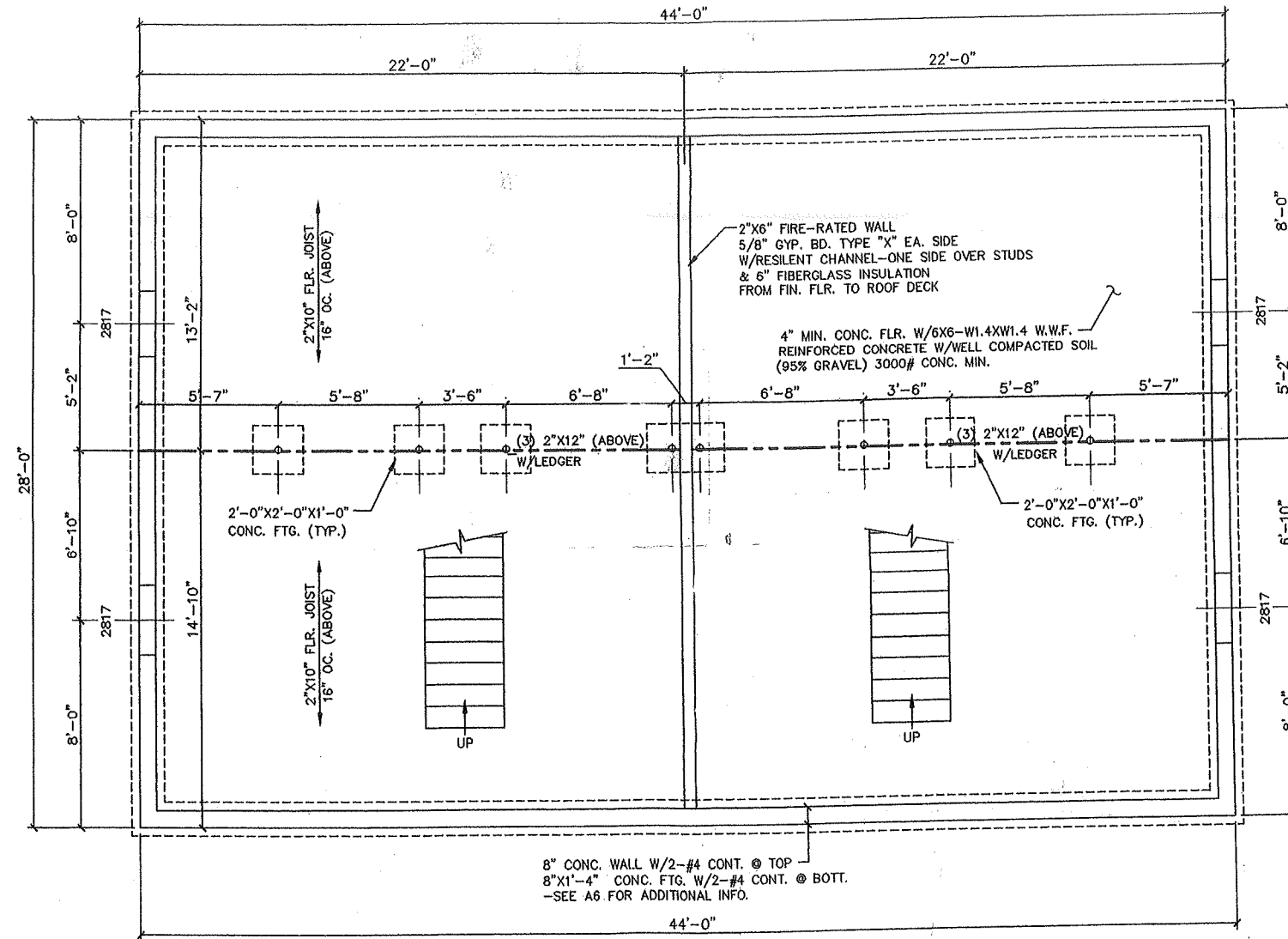
* EGRESS WINDOWS USED IN ALL BEDROOMS
 * STAIRS PER CODE

FRAMING SECTION
 SCALE 1/2" = 1'-0"

4" PERIM. DRAIN TO JUMP WELL, OR TO NATURAL DRAIN OUTSIDE OF FOUNDATION TO STORM SEWER @ 80 GRATTM ST.

STONE COVER OVER FELT on sock course T.P.B.
 4" PERIMETER DRAIN ON UNOBTURBED SOIL

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES.
 NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS, IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING SHALL BE HELD HARMLESS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.
 FIRE-RATED WALL SHALL APPROVED BY REGISTERED ARCHITECT BEFORE BEFORE CONSTRUCTION BEGINS.



FOUNDATION PLAN

FOUNDATION NOTES:

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPNGS. SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" X 1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN & VERIFY PRODUCT (IE. BULKHEAD ETC.) DIMENSIONS & SPECS. BEFORE FORMS ARE SET.
7. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
8. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING-JOIST & SUBFLOOR IS COMPLETE.
9. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
10. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

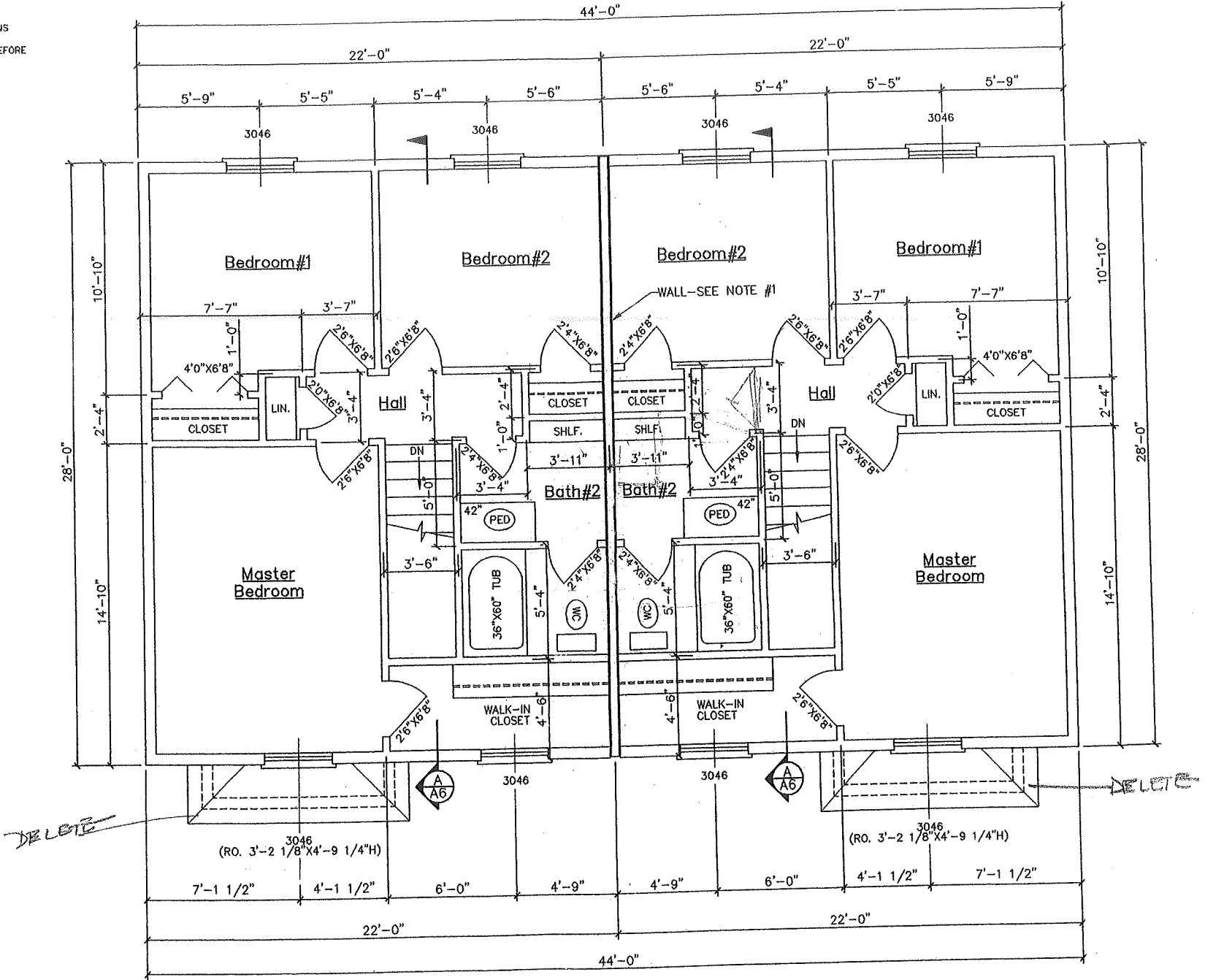
MORIN DRAFTING GORHAM, ME. 893-2462	
1/2" DUPLEX	
FOUNDATION PLAN	
DRAWN: J. MORIN	S1
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	

64'

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HEADER SCHEDULE		
HEADER SPAN	FIRST FLOOR (1,300 PLF.)	SECOND FLOOR (1,000 PLF.)
0'-0" - 4'-0"	(3) 2"x10"	(3) 2"x8"
4'-1" - 7'-0"	(3) 2"x12"	(3) 2"x12"
7'-1" - 10'-0"	(3) 1 3/4"x9 1/2" LVL'S*	(3) 1 3/4"x9 1/2" LVL'S**

* - INCLUDES DOUBLE 3'-0" WINDOWS
 ** - INCLUDES TRIPLE 3'-0" WINDOWS

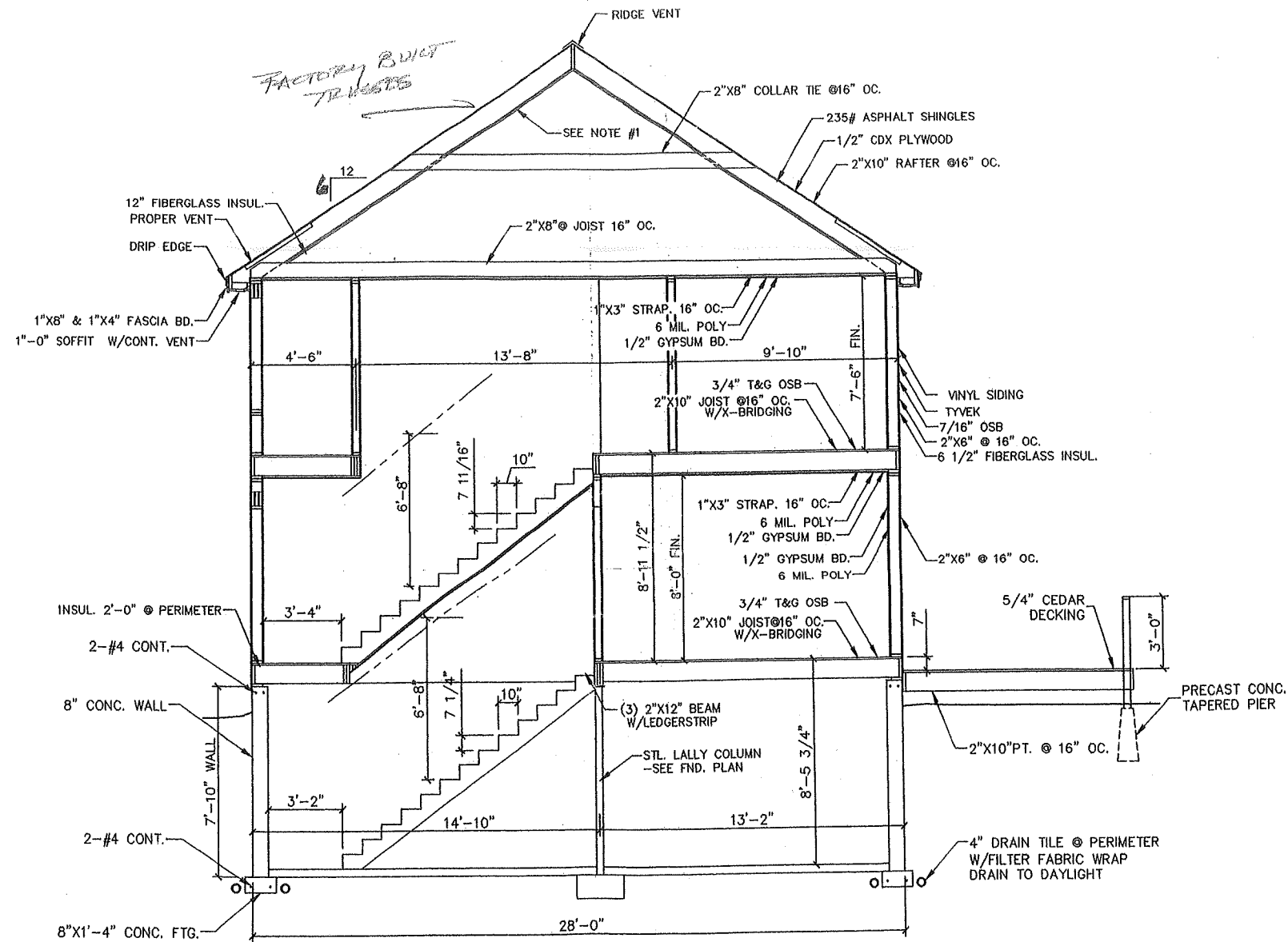


FLOOR PLAN-SECOND FLOOR

GENERAL NOTES:
 1. 2"x6" FIRE-RATED WALL
 5/8" GYP. BD. TYPE "X" EA. SIDE
 W/RESILIENT CHANNEL-ONE SIDE OVER STUDS
 & 6" FIBERGLASS INSULATION
 FROM FIN. FLR. TO ROOF DECK
 (OR REQUIRED CODE APPROVED CONSTRUCTION)

MORIN DRAFTING GORHAM, ME. 893-2462	
DUPLEX	
FLOOR PLAN-2ND FLOOR	
DRAWN: J. MORIN	A5
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	

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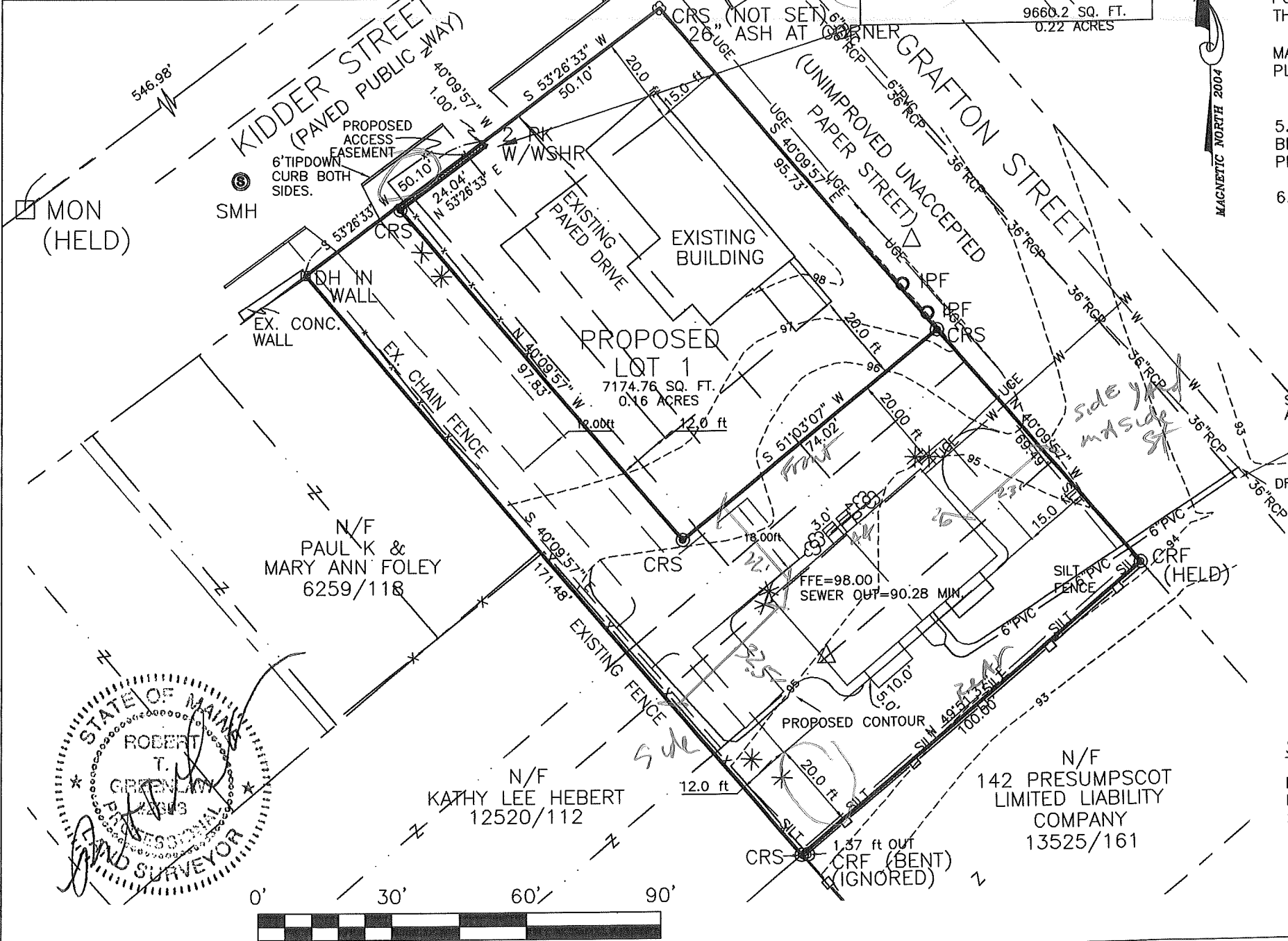
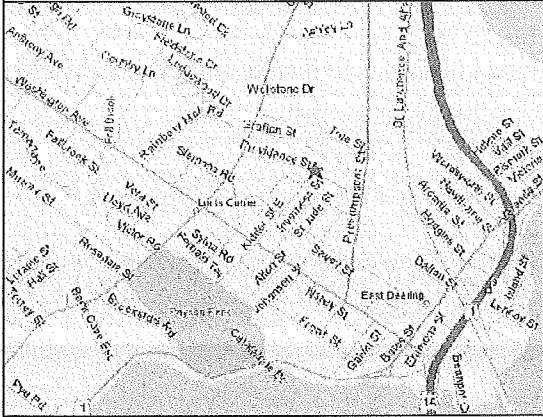
HOUSE @ STAIRS
SCALE: 1/4"=1'-0"

GENERAL NOTES:

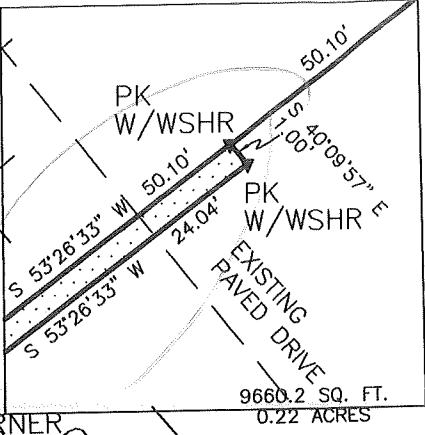
1. PROVIDE FIRE-RATED TYPE "X" GYP. BD. AT UNDERSIDE OF ROOF SHEATHING FOR AT DISTANCE OF 48" FROM SEPARATION WALL EA. SIDE. (OR REQUIRED CODE APPROVED CONSTRUCTION)

MORIN DRAFTING GORHAM, ME. 893-2462	
DUPLEX	
SECTION	
DRAWN: J. MORIN	A6
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	

SITE LOCATION MAP:



DETAIL - NOT TO SCALE



GENERAL NOTES:

- RECORD OWNER OF PARCEL: JEFFREY J LOWERY, BOOK 19208 PAGE 95 AND PAGE 97, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
- BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR.
- AREA OF SUBJECT PARCELS:
ORIGINAL LOTS: 16,834.98 SQ. FT., 0.38 ACRES
PROPOSED LOT 1: 7,174.76 SQ. FT., 0.16 ACRES
PROPOSED LOT 2: 9,660.22 SQ. FT., 0.22 ACRES *SUBJECT OF PLAN*
- REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) WASHINGTON AVENUE GARDENS ANNEX, OWNED BY EVERETT C. WELLS, PORTLAND, MAINE, BY ERNEST W. BRANCH, C.E., OCTOBER 1920, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 14 PAGE 49.
b.) WASHINGTON AVENUE GARDENS, OWNED BY EVERETT C. WELLS, PORTLAND, MAINE, BY ERNEST W. BRANCH, C.E., SEPTEMBER 1920, RECORDED IN THE CCRD PLAN BOOK 14 PAGE 46.
c.) CITY OF PORTLAND ASSESSORS PLAN NO. 425
- THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY. NEW PROPOSED ACCESS EASEMENT INCLUDED ON THIS PLAN.
- ZONING: R-5 RESIDENTIAL
SETBACKS: FRONT - 20 FT
REAR - 20 FT
SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT
ON SIDE STREET: 15 FT
MINIMUM LOT SIZE: 6,000 SQ FT
MINIMUM LOT FRONTAGE: 50 FT
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM LOT COVERAGE: 40% (CURRENT NEW LOT COVERAGE =34.4%)
CURRENT LOT AREA = 9660.22 SQUARE FEET
PROPOSED IMPERVIOUS AREA = 3584.4 SQUARE FEET
PROPOSED COVERAGE = 37%

MAGNETIC NORTH 2004

LEGEND

CRS ⊙	Capped 5/8" Rebar Set with registration No. 2303	—	Property Line
CRF ⊙	Capped 5/8" Rebar Found	- - -	Abutter Line
PK W/WSHR ▼	PK Nail with Washer #2303	---	Street Line
IPF ⊙	Iron Pipe Found	---	Edge of traveled way
DH □	Drill Hole in Conc. Wall	---	Setback Line
(50.00')	Distance from reference plan or deed.	---	Old Lot Line
N/F	Now Or Formerly	MON □	Monument Found
Z	Indicates Ownership in Common	CB □	Catch Basin
1234/567	Book and Page of local Registry	SMH ⊙	Sewer Manhole
— UGE —	Proposed Underground Electric	⊙	Utility Pole
		△	Control Point

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- NO WRITTEN REPORT
- NO NEW DESCRIPTION

DATE: APRIL 13, 2005

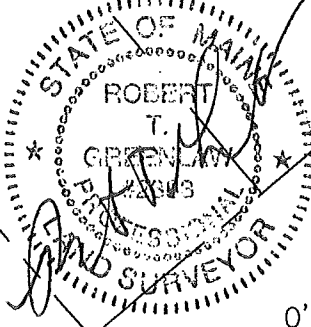
ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

PROPOSED TWO FAMILY DWELLING
 123 EAST KIDDER STREET, PORTLAND, MAINE
 FOR: **JOSEPH FRUSTACI**

DRAWN BY: RTG	CHECKED BY: RTG
SCALE: 1"=30'	DATE OF SURVEY: 07/29/2004
JOB NUMBER: 2005038	SHEET: 1 OF 2

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING
65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

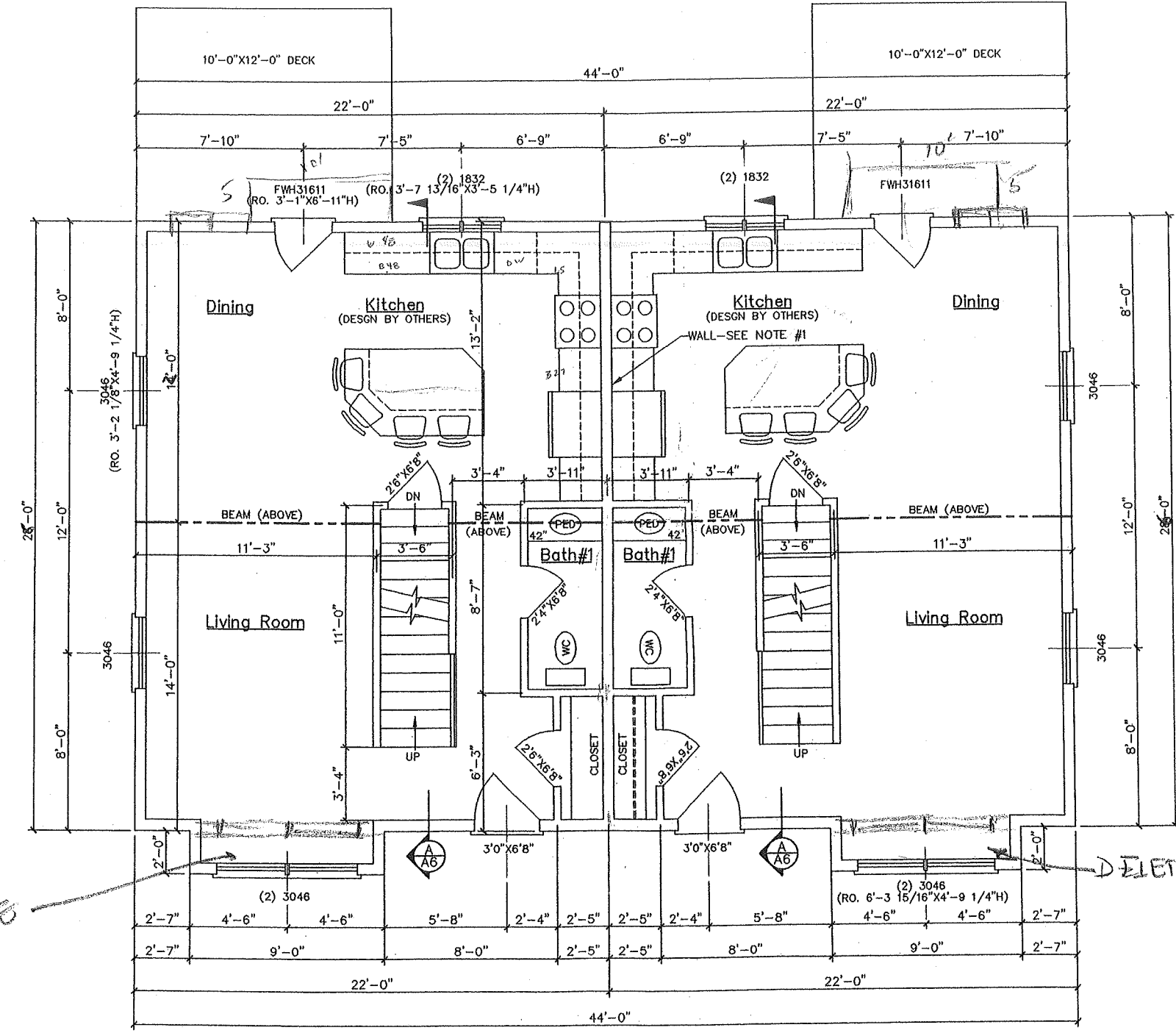
DRAWER: 2004 NO: 093



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4'-1" - 7'-0"	(3) 2"x12" *	(3) 2"x12" *
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* - INCLUDES DOUBLE 3'-0" WINDOWS
 ** - INCLUDES TRIPLE 3'-0" WINDOWS



DELETE

DELETE

FLOOR PLAN-FIRST FLOOR

GENERAL NOTES:

- 2"x6" FIRE-RATED WALL
 5/8" GYP. BD. TYPE "X" EA. SIDE
 W/RESILIENT CHANNEL-ONE SIDE OVER STUDS
 & 6" FIBERGLASS INSULATION
 FROM FIN. FLR. TO ROOF DECK
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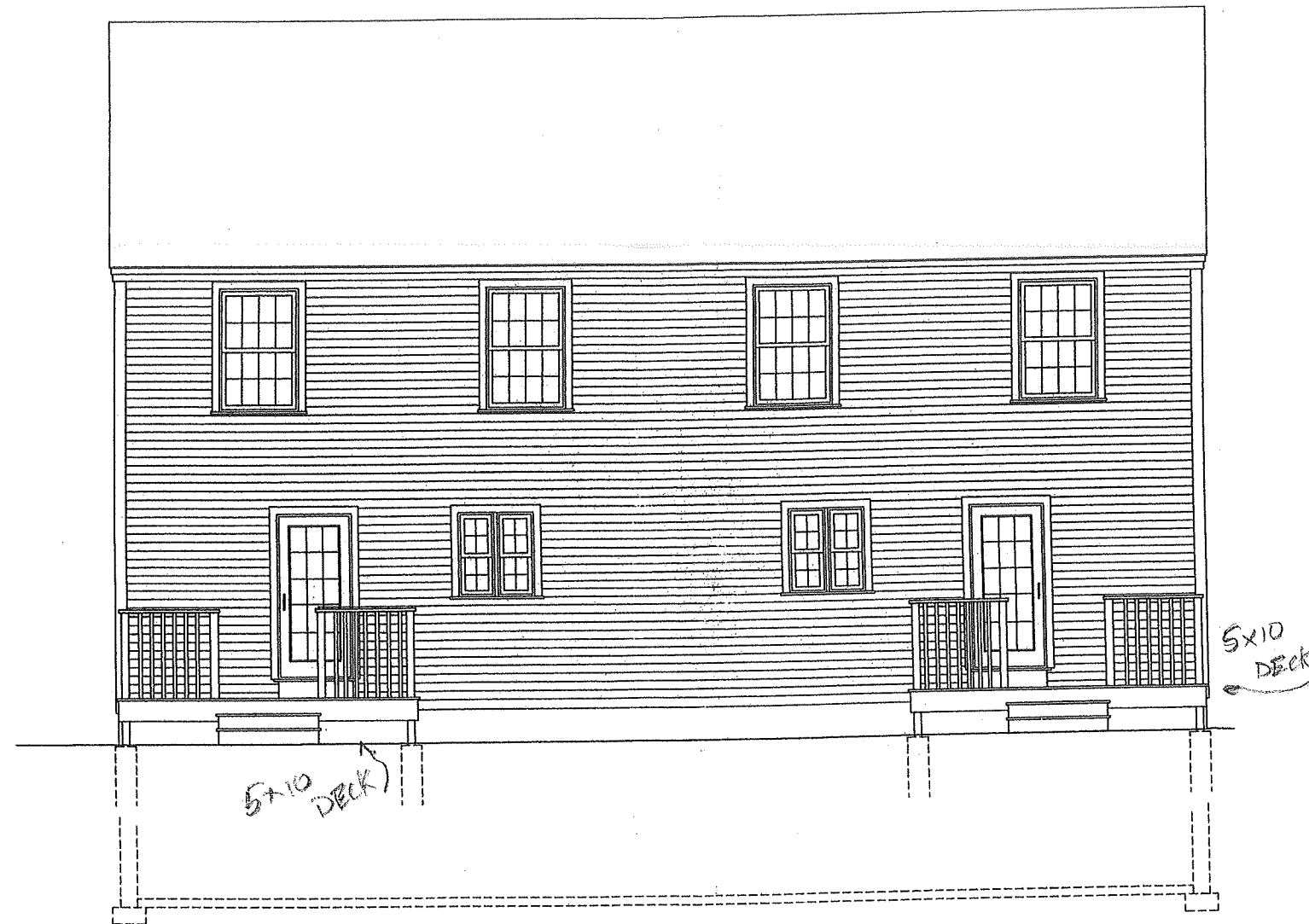
MORIN DRAFTING GORHAM, ME. 893-2462	
DUPLEX	
FLOOR PLAN-1ST FLOOR	
DRAWN: J. MORIN	A4
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	



LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

MORIN DRAFTING GORHAM, ME. 893-2462	
DUPLEX	
ELEVATION	
DRAWN: J. MORIN	A3
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	



REAR ELEVATION

MORIN DRAFTING GORHAM, ME. 893-2462	
DUPLEX	
ELEVATION	
DRAWN: J. MORIN	A2
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	



FRONT ELEVATION

STAR HUMPHES
409-6755

123 EAST KIDDER ST PORT	
MORIN DRAFTING GORHAM, ME. 893-2462	
O'DONNELL DUPLEX	
ELEVATION	
DRAWN: J. MORIN	A1
SCALE: 1/4"=1'-0"	
DATE: 04-04-04	