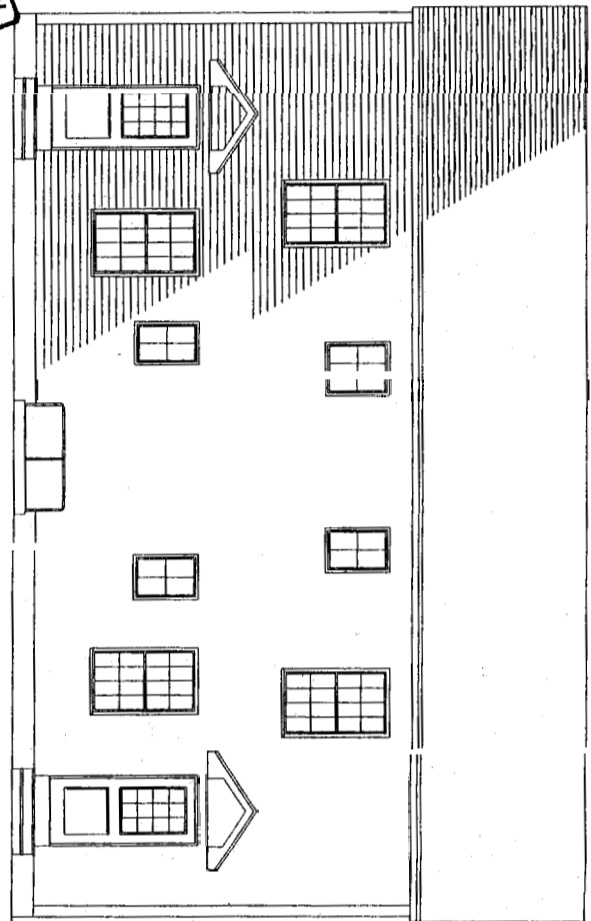


CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 APR 29 2006  
 SUPERCEDES ALL  
 PRIOR DATED PLANS

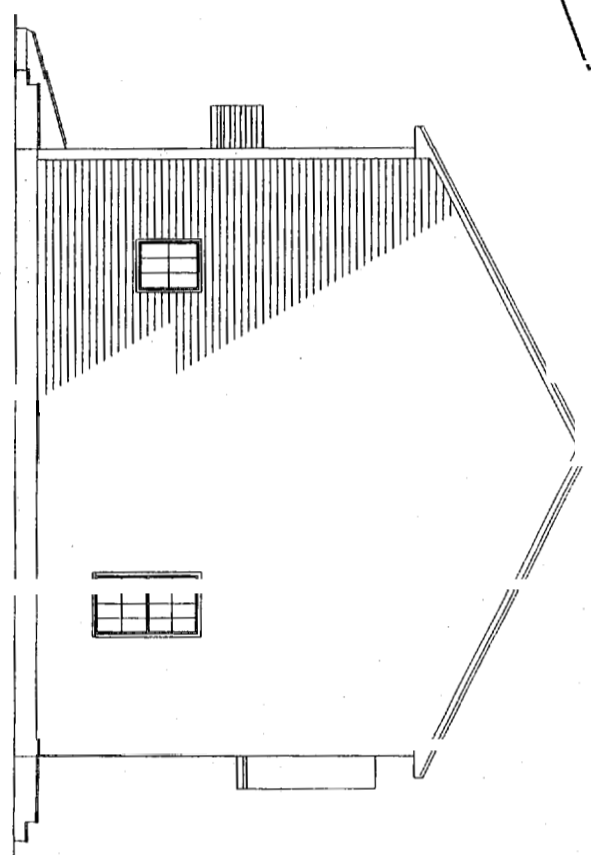
DEPT. OF BUILDING INSPECTION  
 CITY OF PORTLAND, ME  
 APR 29 2006  
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IF THIS STAMP IS NOT REED  
 THIS IS AN ILLEGAL SET OF PLANS  
 YOU MUST CONTACT THE ARCHITECT OR ENGINEER  
 WHO PREPARED THE PLANS AT THE ADDRESS LISTED BELOW  
 TO OBTAIN A LEGAL COPY OF THIS PLAN  
 HOUSE CALLS INC.  
 151 ROOSEVELT TRAIL WINDHAM, ME  
 03093-2610

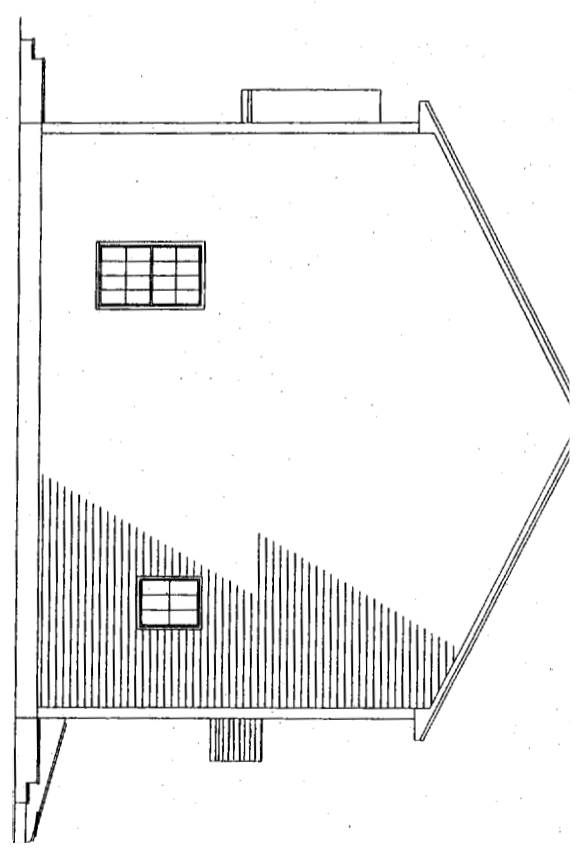
THIS SET OF PLANS IS FOR THE CITY OF TOWN  
 BUILDING PERMIT NO. 101



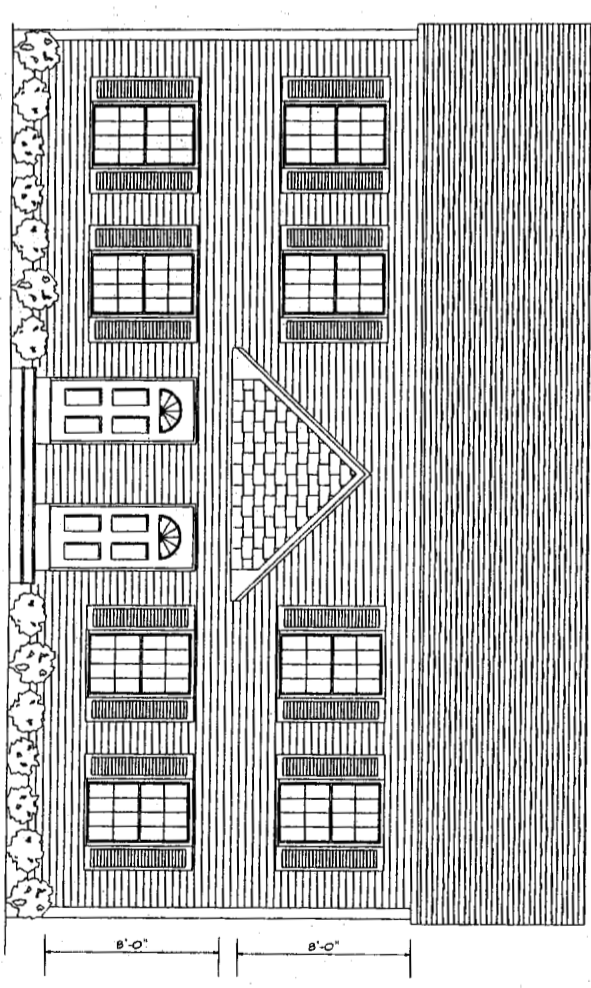
REAR ELEVATION



LEFT ELEVATION




RIGHT ELEVATION

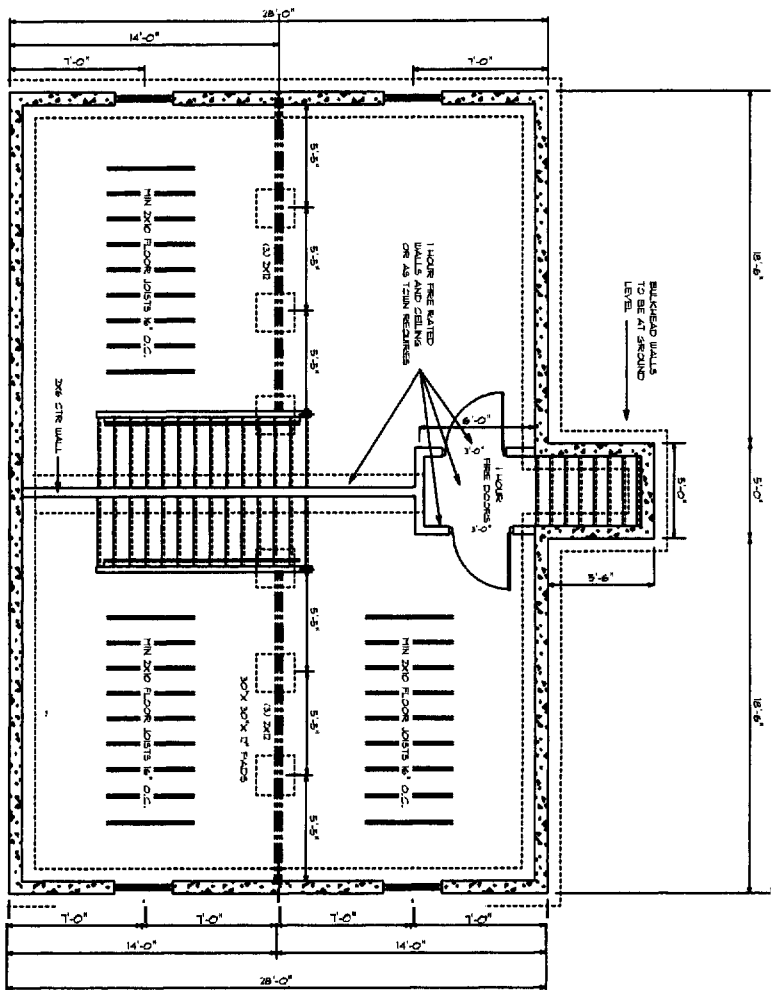


FRONT ELEVATION

THESE DRAWINGS ARE COPY WRITTEN, AND AS SUCH CANNOT BE COPIED, CONSTRUCTED FROM OR GIVEN TO A THIRD PARTY WITHOUT WRITTEN PERMISSION FROM HOUSE CALLS INC  
 THEY ARE TO BE USED FOR THE CONSTRUCTION OF ONE HOME ONLY FOR THE ADDRESS NAMED ON THESE DRAWINGS

 <b>HOUSE CALLS INC.</b> HOME PLANNING & DESIGN 151 ROOSEVELT TRAIL WINDHAM, ME	NAME & <b>MICHAUD DUPLEX</b> EAST KIDDER ST, PORTLAND	SCALE 1/4" = 1'	DRAWN BY J. CALL	<small>IN ACCEPTING THESE DRAWINGS OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS BUILT ACCORDING TO A U.S. STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNERS AND THE BUILDER WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS AND TO VERIFY THAT ALL MEASUREMENTS ARE WHAT THEY WANT. IF ANY ERRORS ARE FOUND HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.</small>
	DRAWING <b>ELEVATIONS</b>	DATE 3/06	PAGE 1 OF 3	

MICHAUD



VERIFY FOUNDATION REQUIREMENTS ARE WHAT YOU WANT BEFORE CONSTRUCTION.  
 ALL CEILING WINDOW LOCATIONS ARE TO BE VERIFIED BY THE BUILDER OR THE OWNER.  
 ALL HEIGHT & WALL REQUIREMENTS ARE TO BE VERIFIED BY THE BUILDER OR THE OWNER.  
 INTERIOR AND EXTERIOR FINISHES, SUBGRADE OR OTHER FOUNDATION CONDITIONS, VERIFIED BY BUILDER.  
 ALL ELECTRICAL, PLUMBING, SUBGRADE OR OTHER FOUNDATION CONDITIONS, VERIFIED BY BUILDER.  
 IF THERE ARE ANY DATUMS, ELEVATIONS, WALLS, BUILDER WILL DETAIL THE LOCATIONS.

WINDOW SIZES SHOWN ON PLAN:  
 (A) 3'-0" x 5'-0" DOUBLE  
 (B) 3'-0" x 5'-0" DOUBLE  
 (C) 2'-0" x 3'-0" CABINET (REMOVED)  
 WINDOW SCHEDULE:

NO. AND STYLE	QUANTITY
(A)	1
(B)	2
(C)	4

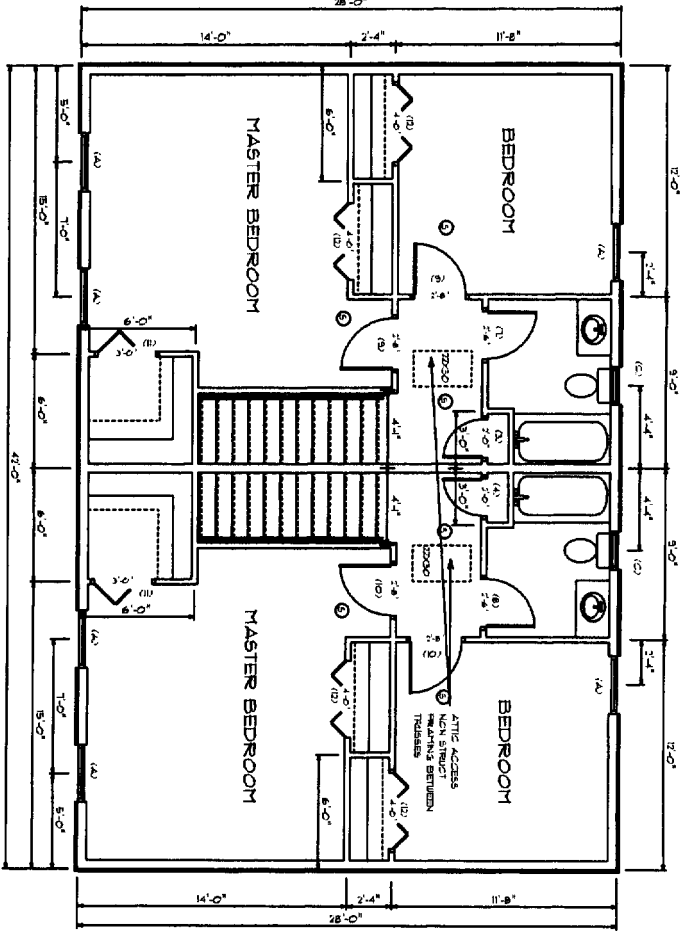
EXTERIOR DOOR SCHEDULE:

NO. AND STYLE	QUANTITY
(1) 3' FRONT ENTRY L. <td>1</td>	1
(2) 3' REAR ENTRY L. <td>1</td>	1
(3) 3' REAR ENTRY R. <td>1</td>	1

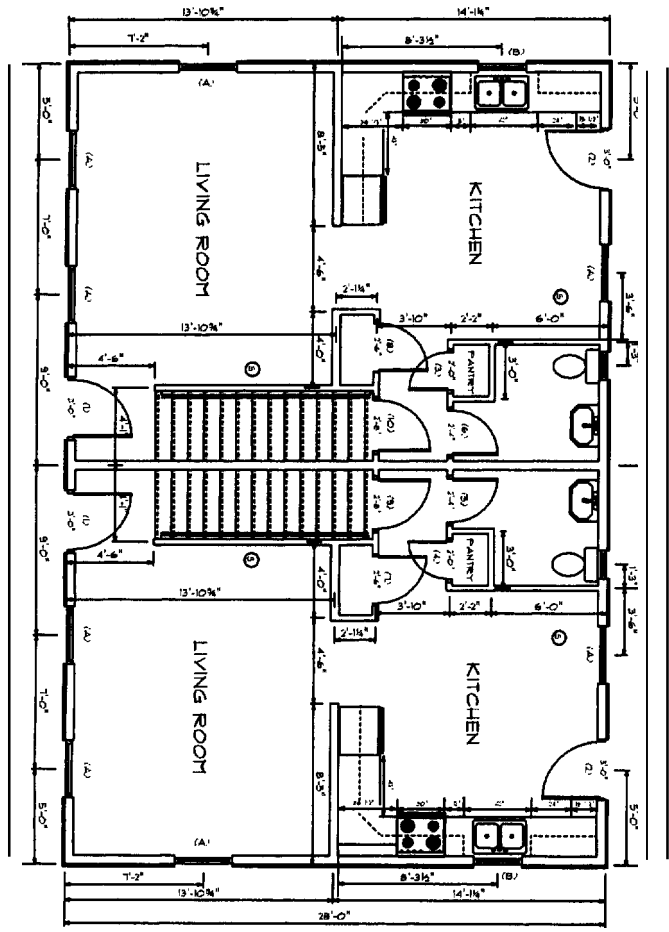
INTERIOR DOOR SCHEDULE:

NO. AND STYLE	QUANTITY
(4) 3'-0" T. <td>2</td>	2
(5) 3'-0" R. <td>1</td>	1
(6) 3'-0" L. <td>1</td>	1
(7) 3'-0" L. <td>1</td>	1
(8) 3'-0" R. <td>2</td>	2
(9) 3'-0" L. <td>2</td>	2
(10) 3'-0" R. <td>3</td>	3
(11) 3'-0" R. <td>2</td>	2
(12) 4'-0" TBL. <td>4</td>	4

NOTE: ALL WINDOW AND DOOR STYLES, SIZES, SPACINGS, AND QUANTITIES BEFORE CONSTRUCTION. SOME DOORS ARE IN 3' OF WALLS AND SOME ARE IN 5' OF WALLS - BUILDER TO VERIFY.



WINDOW NOTES:  
 ALL DOOR AND WINDOW SIZES, REARDOOR STYLE AND EXACT LOCATIONS ARE TO BE DICTATED BY THE OWNER.  
 THE LOCATION OF WINDOW SIZES, STILES OR LOCATIONS SHOWN ON PLAN ARE RECOMMENDATIONS ONLY.  
 THE BUILDER OR OWNER SHALL BE RESPONSIBLE FOR THE FINAL WINDOW SIZES AND LOCATIONS.  
 ALL BEDROOMS ARE TO HAVE AT LEAST ONE EXTERIOR WINDOW.  
 VERIFY ALL WINDOW AND DOOR LOCATIONS WITH BUILDER BEFORE CONSTRUCTION.  
 FINISH STRUCTURAL:  
 ALL HEADINGS ARE TO BE 2" X 8" AND ALL JOISTS ARE TO BE 2" X 8".  
 ALL WALLS ARE TO BE 8" THICK AND ALL CEILING ARE TO BE 8" THICK.  
 STRAPS TO COMPLY WITH REG. 300 - MIN. OF TREAD, MAX. 1 3/4" FREE HANGING, AT 3'6".  
 FINISH INTERIOR FINISHES TO BE DONE BY OTHERS.  
 PLEASE GO OVER ALL REQUIREMENTS BEFORE CONSTRUCTION AND VERIFY THAT THEY ARE WHAT YOU WANT.



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 THEY ARE TO BE USED FOR THE CONSTRUCTION OF ONE HOME ONLY FOR THE ADDRESS NAMED ON THESE DRAWINGS

<b>HOUSE CALLS INC.</b> HOME PLANNING & DESIGN 151 ROOSEVELT TRAIL, WINDHAM, ME	NAME <b>MICHAUD DUPLEX          EAST KIDDER ST, PORTLAND</b>	SCALE <b>1/4" = 1'</b>	DRAWN BY <b>J. CALL</b>	IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNER AND THE BUILDER WILL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY ALL REQUIREMENTS. IF ANY ERRORS ARE FOUND, HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.
	DRAWING <b>FLOOR PLANS, &amp; FOUNDATION</b>	DATE <b>3/06</b>	NO. OF SHEETS <b>2 OF 3</b>	

APR 20 2006  
 PORTLAND MAINE  
 ARCHITECTURAL CONSTRUCTION PLANS

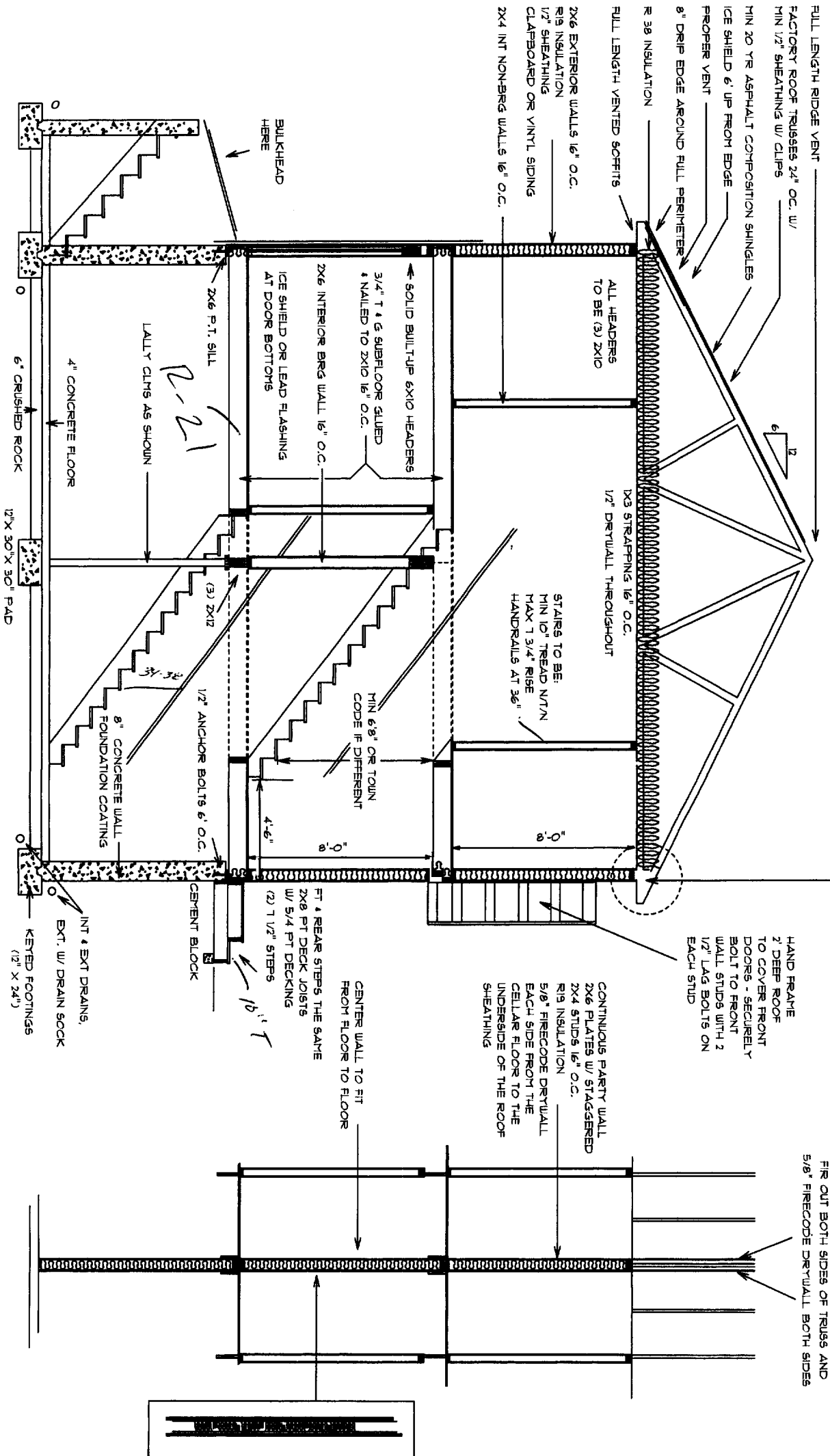
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APR 20 2006

SUPERSEDES ALL  
PRIOR DATED PLANS

TRUSSES SHOWN ARE REPRESENTATIONS ONLY  
ACTUAL TRUSSES DESIGNED BY MANUFACTURER

RECOMMEND CANTILEVERED STYLE TRUSSES FOR BETTER INSULATION ABOVE WALLS



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**HOUSE CALLS INC.**  
HOME PLANNING & DESIGN  
151 ROOSEVELT TRAIL, WINDHAM, ME

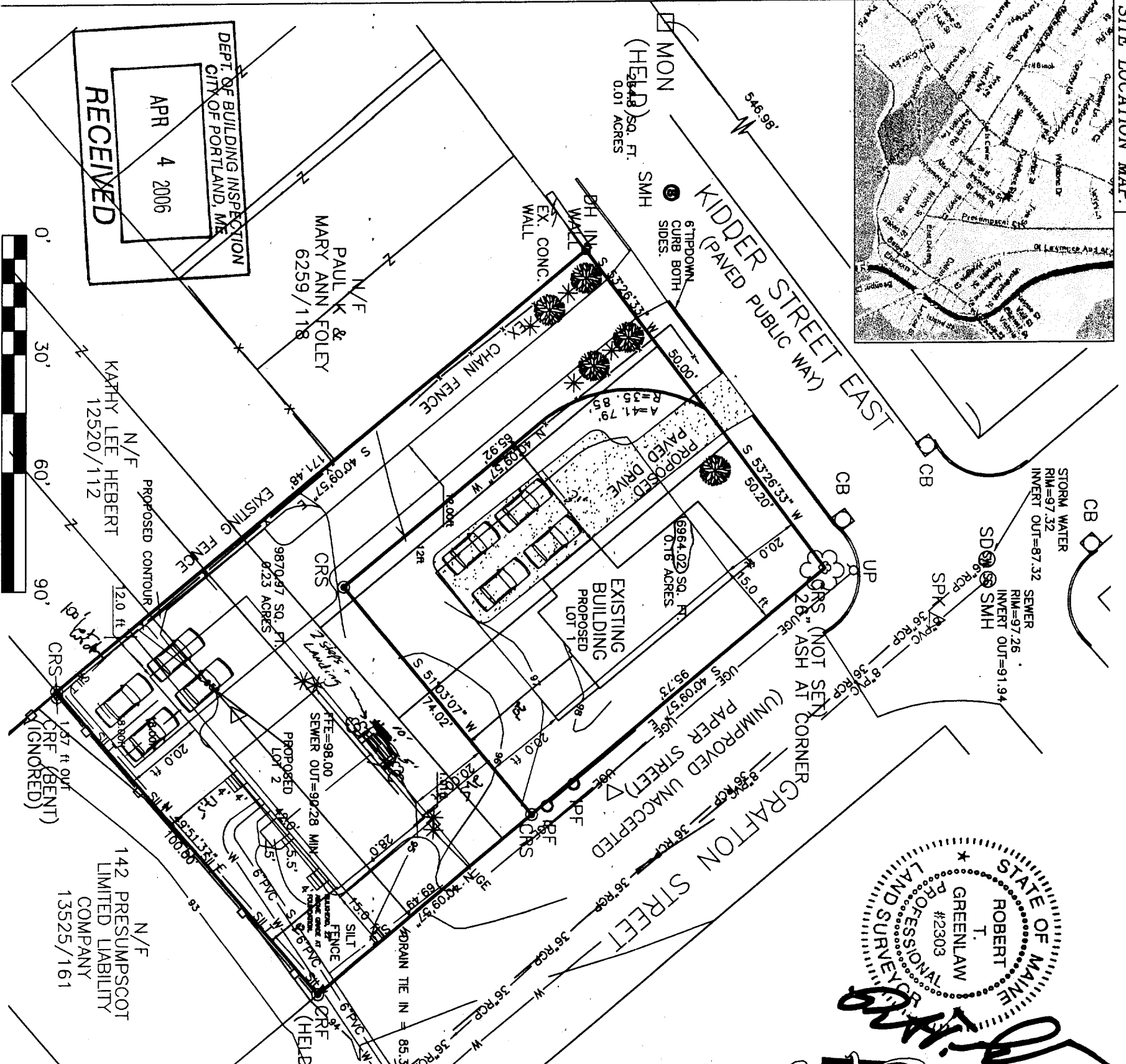
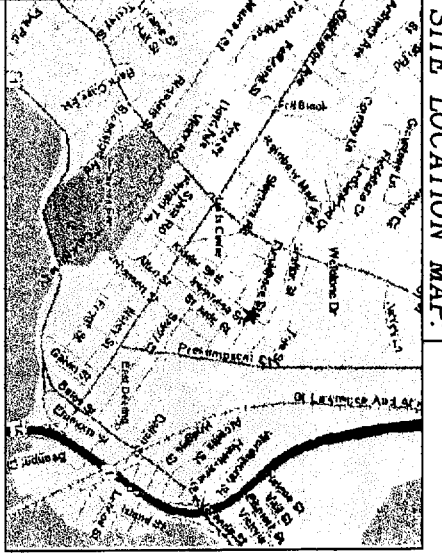
PROJECT	MICHAUD DUPLEX EAST KIDDER ST. PORTLAND
SCALE	NO SCALE
DRAWN BY	J. CALL
DATE	3/06
PROJECT NO.	3 OF 3
DRAWING	STRUCTURALS

IN ACCEPTING THESE DRAWINGS, OWNERS REALIZE THAT THEY ARE FOR PICTORIAL REFERENCE ONLY. THEY FURTHER UNDERSTAND THAT HOUSE CALLS INC. IS NOT AN ARCHITECTURAL OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT THIS HOME IS BUILT ACCORDING TO ALL STATE AND LOCAL BUILDING CODES THAT ARE IN EFFECT AT THE TIME OF CONSTRUCTION. THE OWNER AND THE BUILDER SHALL GO OVER THESE DRAWINGS BEFORE CONSTRUCTION STARTS TO VERIFY THAT THEY ARE SUITABLE FOR THEIR NEEDS, AND TO VERIFY ALL MEASUREMENTS. IF ANY ERRORS ARE FOUND, HCI WILL GLADLY CORRECT THEM BEFORE CONSTRUCTION STARTS.

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CITY OF PORTLAND, ME

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CITY OF PORTLAND, ME  
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STATE OF MAINE  
ROBERT T. GREENLAW  
PROFESSIONAL LAND SURVEYOR  
#2303

GENERAL NOTES:

1. RECORD OWNER OF PARCEL: JEFFREY J LOWERY, BOOK 19208 PAGE 95 AND PAGE 97, AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:  
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 33 DATA COLLECTOR.
3. AREA OF SUBJECT PARCELS:  
ORIGINAL LOTS: 16,834.99 SQ. FT., 0.38 ACRES  
PROPOSED LOT 1: 6964.02 SQ. FT., 0.16 ACRES  
PROPOSED LOT 2: 9,870.97 SQ. FT., 0.23 ACRES \*SUBJECT OF PLAN\*
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:  
a.) WASHINGTON AVENUE GARDENS ANNEX, OWNED BY EVERETT C. WELLS, IN PORTLAND, MAINE, BY ERNEST W. BRANCH, C.E., OCTOBER 1920, RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS PLAN BOOK 14 PAGE 49.  
b.) WASHINGTON AVENUE GARDENS, OWNED BY EVERETT C. WELLS, PORTLAND, MAINE, BY ERNEST W. BRANCH, C.E., SEPTEMBER 1920, RECORDED IN THE CCRD PLAN BOOK 14 PAGE 46.  
c.) CITY OF PORTLAND ASSESSORS PLAN NO. 425-1-28-32
5. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY AT THE TIME OF THIS SURVEY. NEW PROPOSED ACCESS EASEMENT INCLUDED ON THIS PLAN.
6. ZONING: R-5 RESIDENTIAL  
SETBACKS: FRONT - 20 FT  
REAR - 20 FT  
SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT  
ON SIDE STREET: 15 FT

MINIMUM LOT SIZE: 6,000 SQ FT  
MINIMUM LOT FRONTAGE: 50 FT  
MINIMUM BUILDING HEIGHT: 35 FT  
MAXIMUM LOT COVERAGE: 40% (CURRENT NEW LOT COVERAGE = 34.4%)  
CURRENT LOT AREA = 9636.22 SQUARE FEET  
PROPOSED IMPERVIOUS AREA = 3746.4 SQUARE FEET  
PROPOSED COVERAGE = 39%

LEGEND

CRS	Capped 5/8" Rebar Set with registration No. 2303	Property Line	
CRF	Capped 5/8" Rebar Found	Abutter Line	
PK W/WSHR	PK Nail with Washer #2303	Street Line	
IPF	Iron Pipe Found	Edge of traveled way	
DH	Drill Hole in Conc. Wall	Setback Line	
(50.00')	Distance from reference plan or deed.	Old Lot Line	
N/F	Now Or Formerly	MON	Monument Found
Z	Indicates Ownership in Common	CB	Catch Basin
1234/567	Book and Page of local Registry	SMH	Sewer Manhole
U-E	Proposed Underground Electric	U	Utility Pole
	Proposed 2 - 1/2" Minimum Diameter Deciduous Tree	Δ	Control Point

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
  - b) NO NEW DESCRIPTION
- ROBERT T. GREENLAW P.L.S., #2303  
V. PRESIDENT BACK BAY BOUNDARY, INC.

*Used for zoning*

REVISED 03-29-2006: ADDED REAR STAIRS.  
REVISED 09-23-2005: CHANGED PROPERTY UNE.  
REVISED 08-25-2005: MOVED PARKING SPOTS.

**PROPOSED TWO FAMILY DWELLING**  
AT: 117-119 EAST KIDDER STREET, PORTLAND, MAINE  
FOR: **LEFEVERE MICHAUD INC.**

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
PROFESSIONAL LAND SURVEYING  
643 FOREST AVENUE  
PORTLAND, MAINE  
207-774-2855 FAX 207-374-3446

DRAWN BY: RJG  
CHECKED BY: RTG  
SCALE: 1"=30'  
DATE OF SURVEY: 07/29/2004  
JOB NUMBER: 2005038  
SHEET: 1 OF 2