

POLES

4" STRAIGHT SQUARE ALUMINUM

SPECIFICATIONS

POLE SHAFT: The pole shaft is a one-piece, 4" square, seamless 6000 series extruded aluminum tubing and is heat treated to achieve a T6 temper with a guaranteed minimum yield strength of 31 KSI. Pole wall thickness is .100".

BASE TENON ASSEMBLY: The tenon anchor base assembly consists of structural quality A53 carbon steel tubing welded to an A36 structural steel base with a guaranteed minimum yield strength of 36 KSI. The base plate telescopes the pole shaft and is circumferentially welded on both top and bottom. The base is provided with slotted bolt holes to accommodate a ± .5" variation in the rotational flexibility. The entire assembly is hot-dipped galvanized. Four (4) mechanically galvanized fasteners secure the aluminum pole shaft to the base tenon assembly.

ANCHOR BOLTS: Anchor bolts are fabricated from a commercial quality hot rolled carbon steel bar that meets or exceeds a minimum guaranteed yield strength of 50,000 psi. Bolts have an "L" bend on one end and threaded on the opposite end. Anchor bolts are completely hot dipped galvanized. Four (4) properly sized bolts, each furnished with two (2) regular hex nuts, two (2) flat washers and one (1) lock washer are provided per pole, unless otherwise specified.

BASE COVER: A two-piece, fabricated aluminum cover completely conceals the entire base plate and anchorage. The base cover is secured to the base assembly with four (4) stainless steel fasteners.

HANDHOLE: The handhole has a nominal rectangular 2" X 4" inside opening in the pole shaft and tenon assembly. Included is an

aluminum cover plate with attachment screws. The handhole is located 18" above the base and 180° clockwise with respect to the luminaire arm when viewed from the top of the pole for one arm. For two arms the handhole is located directly under one arm.

POLE TOP CAP: Each pole assembly is provided with a removable cast aluminum pole top cap. The pole top cap is secured with two (2) stainless steel allen head set screws.

FINISH: Poles are available with bronze, natural or black Aluminum Association Architectural Class 1 anodized finish. Electrostatically applied, thermally cured TGIC polyester powdercoat finish is also available.

DESIGN: The poles as charted are designed to withstand dead loads and predicted dynamic loads developed by variable wind speeds with an additional 30% gust factor under the following conditions:

The charted weights include luminaire(s) and/or mounting bracket(s).

The wind velocities are based on 10 mph increments from 80 mph through 100 mph. Poles to be located in areas of known abnormal conditions may require special consideration. For example: coastal areas, airports and areas of special winds.

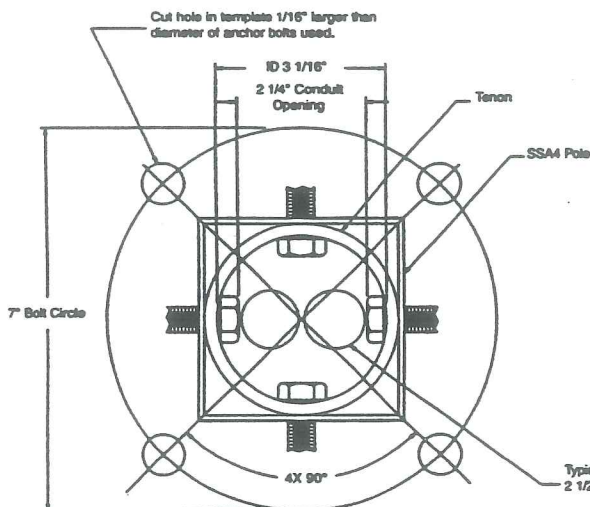
Poles are designed for ground mounted applications. Poles mounted on structures (such as buildings and bridges) may also necessitate special consideration requiring Gardco/Emco Lighting's recommendation.

Height correction factors and drag coefficients are applied to the entire structure. An appropriate safety factor is maintained based on the minimum yield strength of the material incorporated in the pole.

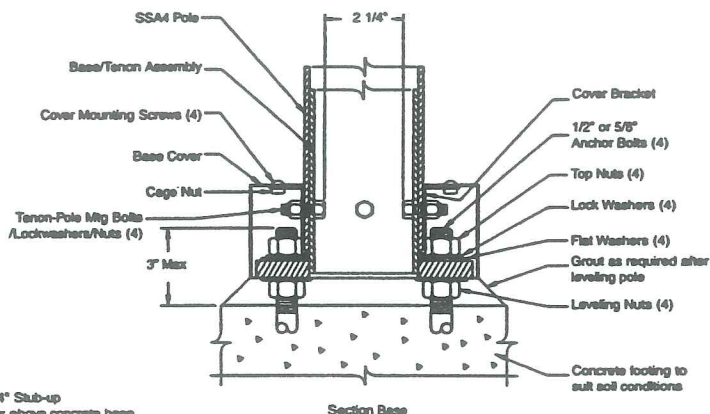
WARNING: This design information is intended as a general guideline only. The customer is solely responsible for proper selection of pole, luminaire, accessory and foundation under the given site conditions and intended usage. The addition of any items to the pole, in addition to the luminaire, will dramatically impact the EPA load on that pole. It is strongly recommended that a qualified professional be consulted to analyze the loads given the user's specific needs to ensure proper selection of the pole, luminaire, accessories, and foundation. Gardco/Emco Lighting and Genlyte Thomas Group, LLC assume no responsibility for such proper analysis or product selections. **Failure to insure proper site analysis, pole selection, loads and installation can result in pole failure, leading to serious injury or property damage.**

GENERAL INFORMATION: Mounting height is the vertical distance from the base of the lighting pole to the center of the luminaire arm at the point of luminaire attachment.

Twin arms as charted are oriented at 180° with respect to each other. For applications of two (2) arms at 90° or other multiple arm applications, consult the factory.



NOTE: Internal clearance of tenon/pole mounting bolts dictates allowable area for stub-ups.



Gardco Lighting/EMCO Lighting reserves the right to change materials or modify the design of its product without notification as part of the company's continuing product improvement program.

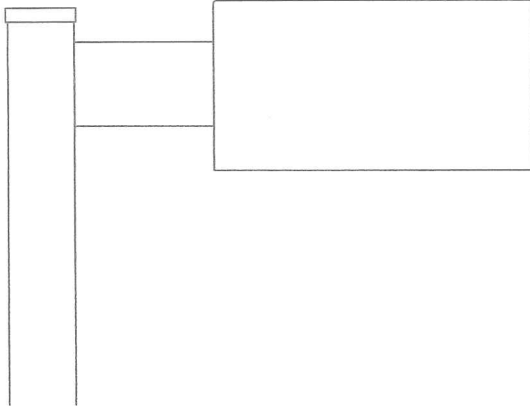
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sitelighting.com

Genlyte Thomas Group LLC



79415-1/102



ECOLUME ECA/ECW

15c

The Ecolume ECA/ECW is a rectilinear arm-mounted area luminaire. The precision segmented optical systems provide required light levels, even illumination, wide pole spacings and glare control. The housing is die-formed and the door frame is extruded aluminum. The Ecolume luminaire is completely sealed and gasketed, preventing intrusion from moisture, insects and contaminants.

ORDERING

PREFIX	MOUNTING	SIZE	CONFIGURATION	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS
EC	A	23	1	3H	175MH	120	BRP	LF
EC	A Arm Mount	14" 18"	1 Single	14"/18" 2H	14" 70 HPS	120	BRP	HS MF
	W Wall Mount	23"	2 Twin @ 90°	23" 2H	250 HPS	208	BLP	F AP
	WA Wall Mount w/arm		2@180 Twin @ 180°	3H	400 HPS	240	WP	LF AT
			3 Triple @ 90°	FH	750 HPS	277	NP	PCT PTF2
			3@120 Triple @ 120°	QH	1000 HPS	347	OC	PCR PTF3
			4 Quad	3V	100 MH	480	SC	PCB PTF4
				FV	400 MH	QUAD		PTR4 ACR
				QV	1000 MH	120/208/240/277 factory tied to 277V		PTR5 POLY
				3V-RNC	175PSMH ²			QS
				QV-RNC	400 PSMH			
				3SV				
				QSV				

Arm mounting on round poles is designed to mount to poles measuring 3.5" OD or larger.

Use "1" for ECW(A) wall mounted units

Refer below for notes and exclusions

1. 100HPS and 150 HPS units require medium base lamp. N/A w/480V
 2. 14" 200MH w/vertical lamp optics is available in medium base only.
 3. Vertical Lamp Only
 4. Medium base lamp.

DISTRIBUTIONS

2H	Type II Horizontal Lamp
3H	Type III Horizontal Lamp
FH	Type IV Forward Throw Horizontal Lamp
QH	Type V Horizontal Lamp
3V ^{4,5,6}	Type III Vertical Lamp
FV ^{4,6}	Type IV Forward Throw Vertical Lamp
QV ^{4,5,6}	Type V Vertical Lamp
3V-RNC ^{4,5}	Type III Vertical Lamp, Reduced Nadir Candlepower
QV-RNC ^{4,5}	Type V Vertical Lamp, Reduced Nadir Candlepower
	RNC (Reduced Nadir Candlepower) option should be specified only in applications requiring extreme maximum to minimum uniformity ratios (5 to 1 or lower). Reduced luminaire efficiency will result in lower average footcandle levels.
3SV ⁴	Type III Vertical Lamp Mallmaster Semi-cutoff
QSV ⁴	Type V Vertical Lamp Mallmaster Semi-cutoff

FINISH

BRP	Bronze Paint
BLP	Black Paint
WP	White Paint
NP	Natural Aluminum Paint
OC	Optional Color Paint Specify RAL designation as shown in Color Selection Guide.
SC	Special Color Paint (Specify. Must supply color chip)

OPTIONS

HS	Internal House Side Shield (Supplied standard for FH/FV)
F	Fusing
LF	In-Pole/In-Line Fusing (Kit includes In-Line Fuses)
PCT*	Locking Type Photocontrol Receptacle w/Photocontrol Not available with 480V
PCR*	Locking Type Photocontrol Receptacle
PCB*	Button Photocontrol
PTR4*	4" Pole cap with Photocontrol receptacle for SSS4 pole
PTR5*	5" Pole cap with Photocontrol receptacle for SSS5 pole *Limited to 1000w maximum combined luminaire wattage.
MF	Mast Arm Fitter (18" & 23" units only)
AP	Adjustable Knuckle - Pole Mount Only available with single and twin luminaires @ 180°
AT	Adjustable Knuckle - Tenon Mount (N/A w/23" units)
PTF2	Pole Top Filter 2 3/8" X 4"
PTF3	Pole Top Filter 3" - 3 1/2" X 6"
PTF4	Pole Top Filter 3 1/2" - 4" X 6"
ACR	Acrylic Sag Lens (in lieu of glass - N/A w/23" units)
POLY	Polycarbonate Sag Lens (in lieu of glass - N/A w/23" units)
QS	Quartz Standby

4. 14"/18" vertical lamp optics are supplied standard w/high temperature resistant thermoplastic sag lens. 23" vertical lamp optics are supplied standard with sag glass.
 5. 18" and 23" 3V/QV optical systems feature an upper (factory set) sharp cutoff socket position. For wider spacings, a lower (field adjustable) semi-cutoff socket position may be set.
 6. 14" vertical lamp optics require a medium base lamp. N/A with 480V.

TYPE	PREFIX	MOUNTING	SIZE	CONFIGURATION	DISTRIBUTION	WATTAGE	VOLTAGE	FINISH	OPTIONS
	EC								
	EC								
	EC								
	EC								



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15d

ECOLUME ECA/DECW

SPECIFICATIONS

GENERAL DESCRIPTION: Each EMCO Ecolume is a sharp cutoff luminaire for high intensity discharge lamps. Internal components are totally enclosed, rain-tight, dust-tight, and corrosion resistant. No venting of the optical system or electrical components is required or permitted. Lamping requires no lifting or hinging of the luminaire housing, disturbing wiring or exposing uninsulated live parts.

HOUSING: The housing wrapper is one-piece dieformed aluminum with 3 integral ribs permanently rolled into the housing. The housing has an integral reinforcing spine and no welded corners. Silicone seals provide a weathertight seal at all points of material transition.

LENS: A mitered, extruded anodized aluminum door frame retains the optically clear, heat and impact resistant tempered flat glass in a sealed manner using hollow section, high compliance, memory retentive extruded silicone rubber. A non-yellowing drop acrylic lens is provided standard on 14" and 18" vertical lamp and a sag glass lens is provided on 23" vertical lamp luminaires. A single flush 1/4 turn captive fastener permits easy access to the luminaire.

OPTICAL SYSTEMS: The segmented reflector system consists of two levels of highly specular aluminum facets precisely aligned to achieve specified photometric distributions. The entire optical system is field rotatable in 90° increments. The position-oriented mogul base socket is glazed porcelain with a nickel plated screw shell. A lamp stabilizer is standard on 3H and QH 400W MH units.

ELECTRICAL: Each high power factor ballast is the separate component type, capable of providing reliable lamp starting down to -20° F. The ballast is mounted on a unitized tray and secured within the luminaire, above the reflector system. Component-to-component wiring within the luminaire will carry no more than 80% of rated current and is listed by UL for use at 600 VAC at 150°C or higher. Plug disconnects are listed by UL for use at 600 VAC, 15A or higher.

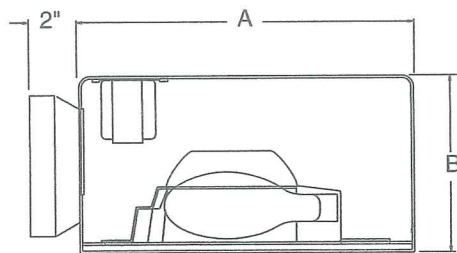
FINISH: Each luminaire receives a fade and abrasion resistant, electrostatically applied, thermally-cured polyester powder finish after fabrication.

LABELS: All fixtures bear UL or CSA/CUL (where applicable) Wet Location labels.

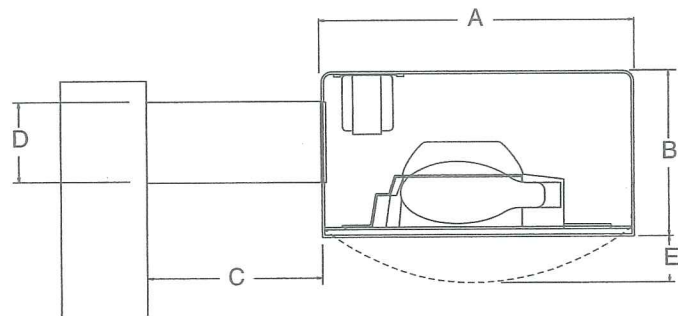
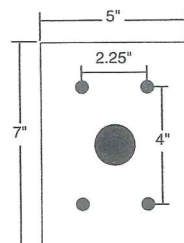
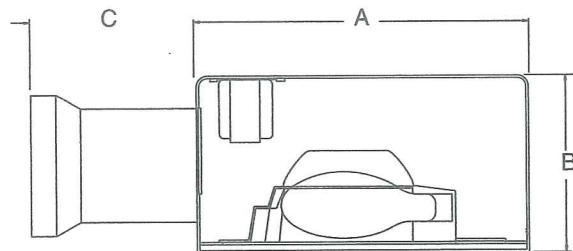
DIMENSIONS, EPA'S AND WEIGHTS

Ecolume EPA (Effective Projected Area) Ft²

	Single Arm	Twin 18°	Quad	Single Fixture Weight
14" units	1.1	2.2	2.7	30 lbs
18" units	1.9	3.8	4.8	50 lbs
23" units	3.6	7.3	8.8	90 lbs



WALL MOUNT		
	ECW14	ECW18
A	14" sq	18" sq
B	7"	10"
C	8"	11"



ARM MOUNT			
	ECA14	ECA18	ECA23
A	14" sq	18" sq	23" sq
B	7"	10"	14.5"
C Arm Length	6"	9"	12"
D Arm Height	5"	5"	8"
E Drop Lens	2"	4"	6.5"

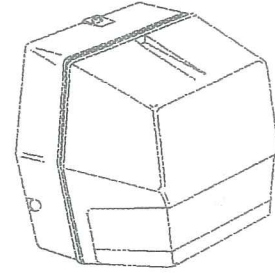
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NITE BRITES

WLB-DIE CAST CUTOFF WALL LIGHT-H.I.D. 50-100 watt Metal Halide 35-150 watt High Pressure Sodium



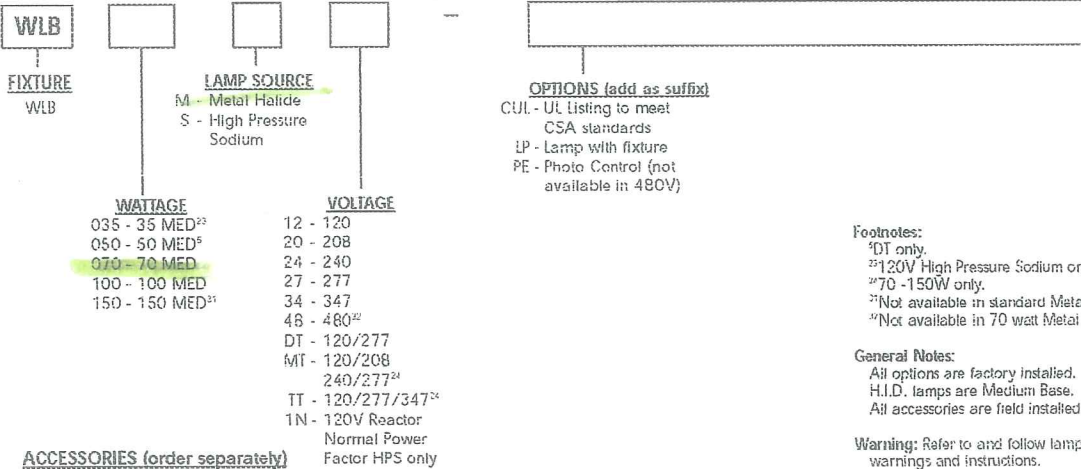
Day-Brite Lighting

JOB NAME _____
TYPE _____

The Cutoff wall light features a lens trim that eliminates uplight, making it ideal for installations where keeping the sky dark, light pollution and light trespass are a primary concern.

ORDERING MATRIX

SAMPLE CATALOG NUMBER: WLB150S12-LP



Footnotes:
¹DT only.
²³120V High Pressure Sodium only.
²⁵70 - 150W only.
²²Not available in standard Metal Halide.
²⁴Not available in 70 watt Metal Halide.

General Notes:
All options are factory installed.
H.I.D. lamps are Medium Base.
All accessories are field installed.

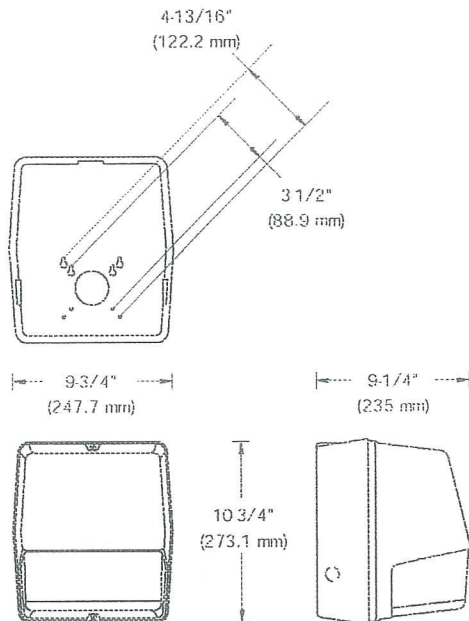
Warning: Refer to and follow lamp manufacturer's warnings and instructions.

ACCESSORIES (order separately)

- WLS-PEC12 - Photo control 120 volt
- WLS-PEC27 - Photo Control 208-277 volt
- WLS-D-TP - Tamper proof screws
- PEC-MT - Photo Control multi-volt
- PEC-4B - Photo Control 480 volt

(For additional descriptions of Wall Light accessories refer to sheet number OA-50030.)

DIMENSIONS



ENERGY DATA

HIGH PRESSURE SODIUM

REACTOR BALLAST INPUT WATTS
35 watt-46 watts
HX-HPF BALLAST INPUT WATTS
50 watt-66 watts
70 watt-91 watts
100 watt-130 watts
150 watt-188 watts

METAL HALIDE

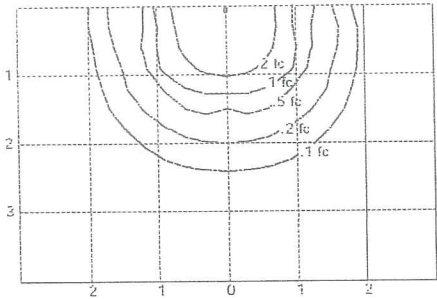
HX-HPF BALLAST INPUT WATTS
50 watt-72 watts
70 watt-90 watts
100 watt-129 watts
150 watt-189 watts

WEIGHT = 17 lbs. (max.)

WL-43130

WLB-DIE CAST CUTOFF WALL LIGHT-H.I.D.

PHOTOMETRICS

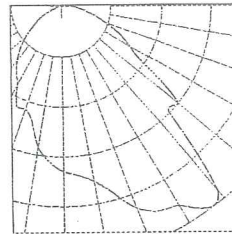


UNITS SHOWN IN TERMS OF MOUNTING HEIGHT
INITIAL FOOTCANDLES SHOWN

CATALOG NUMBER: WL8050M
 TEST NUMBER: 23260
 LAMP: METAL HALIDE
 WATTAGE: 50
 LUMENS: 3,100
 TILT ANGLE: 0°
 MOUNTING HEIGHT: 10 FEET

LIGHT LEVEL MULTIPLYING FACTORS	
MOUNTING HEIGHT	MULTIPLIER
20'	0.25
15'	0.44
12'	0.69
10'	1.00
8'	1.56

POLAR GRAPH



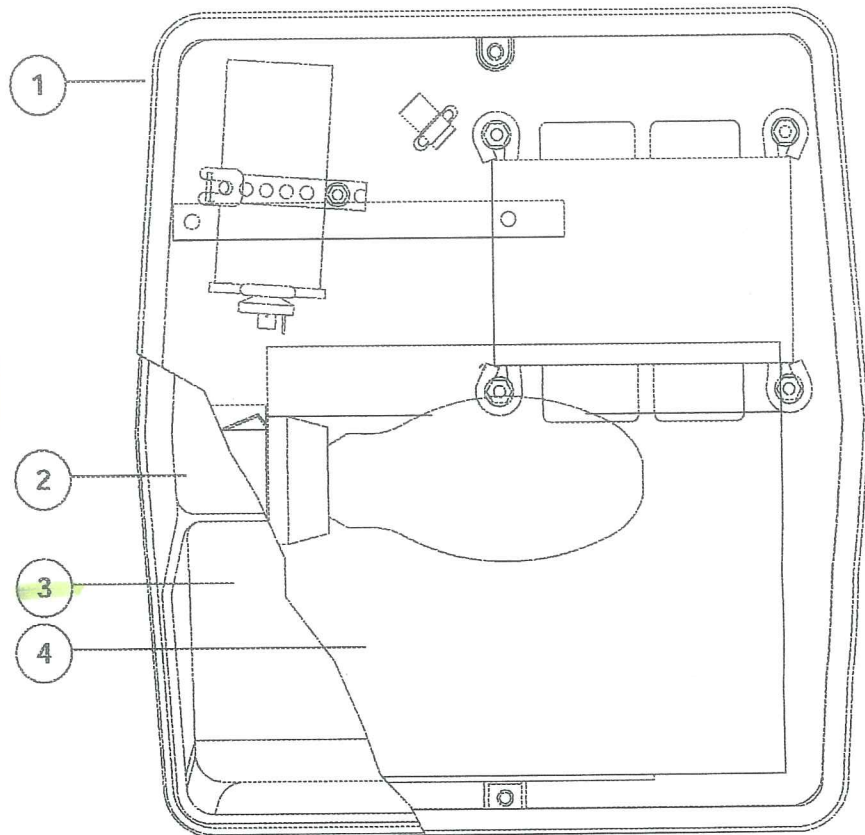
ADDITIONAL TEST NUMBERS

DESCRIPTION/CATALOG NUMBER	TEST NUMBER
WL8070M	23260-1P

PRODUCT FEATURES

UL 1598 Listed wet location and 25°C ambient for all lamp wattages listed.
 Optional NSF Certification for Non Food Zone areas.

1. Back housing is die cast aluminum and mounts easily to 3-1/2" or 4" outlet box. 3/4" threaded conduit top entry with plug and 3/4" knockouts on each side for surface conduit entry.
2. Decorative one piece injection molded front housing is a UV stabilized polycarbonate for vandal resistance and long life.
3. Lens is painted dark bronze and exposes only the bottom portion of the clear lens, helping to eliminate uplight that leads to unwanted light pollution and light trespass.
4. Formed diffuse-white reflector provides smooth light distribution.



Visit our web site at www.daybriteighting.com

776 South Green Street Tupelo, MS 38804 Phone: 662-842-7212 Fax: 662-841-5501

WL-43130

189 Bullock Drive Markham, Ontario Canada L3P 1W4 Phone: 905-294-9570 Fax: 905-294-8911
 Day-Brite Lighting reserves the right to make changes without notice. ©February 2003. DL2.5M0203
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Att-16

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

May 3, 2004

Ms. Brenda M. Buchanan
Warren Currier & Buchanan
57 Exchange Street
Portland, ME 04101-5020

RE: Coastal Equipment Expansion, 142 Presumpscot Street
ID #2003-0104, CBL #425-I-004

Dear Brenda:

I have reviewed the lighting specifications proposed for the Coastal Equipment Expansion project. The proposed light fixture is not a full cut-off light fixture and does not meet our lighting standard. The lighting standard states that "all fixtures, including wall packs, shall be a "cut-off " type *where lenses, refractors or lamp sources do not extend below the surface of the fixture housing and no direct light shall be directed at or above the horizontal plane.*"

If you have any questions, please do not hesitate to contact me at 874-8901.

Sincerely,

Kandice Talbot
Planner

CC: Sarah Hopkins, Development Review Services Manager

Att. 17

From: <LAURIEJGAGNON@aol.com>
To: <kcote@portlandmaine.gov>
Date: Fri, May 21, 2004 11:33 AM
Subject: 142 presumpscot street

My name is Laurie Gagnon and I live at 104 Providence Street. I am very concerned about a commercial building going behind me and a parking lot. I was at a meeting about this last year and was told there would be a fence put in and some trees to buffer any noise.

After thinking about this, I went out in my back yard and listened. There are many trees there now, but all will be cut down, and these don't even stop the noise of trucks backing up and workers over in the building at 160 Presumpscot Street.

I feel if this goes through that the noise level will be a lot louder and the value of my property will go down.

Another concern of mine is what will be put in the parking lot. In the fenced in property behind 142 Presumpscot street is all kinds of equipment and other things just laying around, It looks very dumpy. If this ends up behind my house it will make the neighborhood look dumpy also.

Concerned homeowner
Laurie Gagnon/104 Providence St. Portland, Maine 04103/ 775-2734

334 Forest Avenue
Portland, Maine 04101
Phone: (207) 773-3356
Fax: (207) 773-3991

17a

5-20-04

Pier 1 imports®

RE: 142 Presumpscot LLC 5-25 meeting
TO The Planning Board -

I have no objections to the proposed
expansion of 9,865 sq. ft. proposed by my
neighbors at 142 Presumpscot.

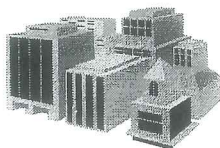
Regards -

Wyatt Godfield

145 Presumpscot

176

FRANCIS P. DRAKE



P. O. BOX 1378 ♦ PORTLAND, ME 04104
(207) 775-1832

5/31/04

KANDIE TALBOT
PLANNING DEPARTMENT
CITY OF PORTLAND
389 CONGRESS ST.
PORTLAND, ME. 04101

RE: 142 PRESUMPCOT ST.

DEAR KANDIE:

CONFIRMING THE CONCERNS I EXPRESSED AT THE PLANNING BOARD'S 5/25/04 MEETING, THE APPLICANT'S SITE PLAN IS LACKING INFORMATION AND DETAILS, NEEDED TO EVALUATE THE PROJECT. BOTH PRE DEVELOPMENT AND POST DEVELOPMENT

THE GRAFTON ST. SIDE LINES AND ELEVATIONS ARE NOT COMPLETE. THE EXISTING CATCH BASINS AND FIELD DRAINS ARE NOT SHOWN. THE POWER POLES AND ANCHOR LINES ARE IN THE PAVED AREA OF THE STREET BUT ARE NOT SHOWN. THE DIMENSIONS OF SEWER PIPES AND CATCH BASINS ARE NOT SHOWN.

THE BUILDING AND LAND ABUTTING THE FAR SIDE OF GRAFTON ST. ARE NOT SHOWN. THE STORM WATER THAT RUNS FROM DRAKE'S LOT TO THE DRAINS ON THE APPLICANT'S SIDE OF THE STREET ARE NOT SHOWN ON THE STORM WATER ANALYSIS.

THE APPLICANT'S EXISTING BUILDING IS NOT SHOWN CLEARLY. NOR ARE ITS SETBACKS FROM PRESUMPCOT ST. AND GRAFTON ST. SHOWN.. EXISTING PARKING SPACES ARE NOT DEFINED.

THE IMPERVIOUS SURFACE FIGURES FROM THE APPLICATION, ON PAGE 5 , ADD UP TO 72% IMPERVIOUS COVERAGE.

THE EXISTING OUTSIDE STORAGE TENTS ARE NOT SHOWN, EITHER PRE OR POST DEVELOPMENT.

THE PRE AND POST DEVELOPMENT STORM DRAINAGE PLANS ARE INCORRECT IN THAT, SUBAREA # 2 DOES NOT FLOW FROM THE NORTH END OF THE PROPERTY TO ANALYSIS POINT # 2. ON PRESUMPCOT ST. THE NORTHERN HALF OF SUBAREA # 2 AND RUNOFF FROM THE EAST SIDE OF GRAFTON ST. FLOW TO A 15" FIELD DRAIN ON THE WEST SIDE OF GRAFTON ST. JUST PAST THE EXISTING CHAIN LINK FENCE..

THE LITES ON THE OUTSIDE OF THE WEST SIDE OF THE BUILDING, ARE CALLED " FORWARD THROW " IN THE APPLICANTS SUBMITTAL. THIS WOULD SHINE LITE IN THE ABUTTING YARDS.

SECTION 14-47 DEFINES

SETBACK; THE DISTANCE FROM THE STREET TO THE CLOSEST POSSIBLE STRUCTURE.

SIDE YARD; WIDTH, AS THE LEAST DISTANCE, BETWEEN THE LINE AND THE STRUCTURE.

THE SETBACK FOR A BUILDING IN THE IL ZONE IS 40' WHERE IT ABUTS A R-5 ZONE,

THE DISTANCE BETWEEN THE BUILDING . AT THE LOADING DOCK, APPEARS TO BE LESS THAN 30' FROM THE R-5 ZONE.

ROAD ACCESS - TRAFFIC CIRCULATION - PARKING

THE APPLICANTS TRUCK LOADING AND UNLOADING IS NOW NORMALLY DONE IN GRAFTON ST. THE TRUCKS DRIVE INTO GRAFTON ST. AND MAKE A " U " TURN IN DRAKE EQUIPMENT'S REAR OR SIDE YARD. OVER TIME THEY HAVE DAMAGED THE PAVEMENT IN BOTH AREAS.

THE SITE PLAN DOES NOT MAKE ANY PROVISION FOR YARD UNLOADING OR THE ELIMINATION OF THE PRESENT STREET UNLOADING AREA.

WELDING FLASH IS CLEARLY VISIBLE FROM THE APPLICANTS SHOP, WITH THE DOOR OPEN OR CLOSED, FROM PRESUMPCOT ST. GRAFTON ST. AND ABUTTER,S LAND OR BUILDINGS. THIS CONDITION IS NOT ADDRESSED BY THE APPLICANT.

THE PARKING LOT, THE LOADING DOCK, AND THE TRUCK MANEUVERING AREA HAVE BEEN COMBINED, ON THE SITE PLAN,. A VARIANCE TO ALLOW PARKING IN ZONE #5 IS FOR PASSENGER CAR ONLY, THE SITE PLAN SHOWS 11 CAR PARKING SPACES AND 2 TRACTOR PARKING SPACES AT THE LOADING DOCK, THAT EXTEND INTO THE R-5 ZONE. THE MANEUVERING AREA FOR THE TRUCKS IS SHOWN AS BEING IN THE R-5 ZONE

THE PREPOSED SERVICE DELIVERY LOADING DOCK THAT FACES GRAFTON ST. IS SHOWN AS 50" HIGH, MOST UPS OR FEDEX TRUCKS ARE 24" - 36" BED HIGHT. A TRUCK BACKED INTO THIS DOOR WOULD BLOCK GRAFTON ST. AND NOT BE 65' FROM THE STREET.

THE KELLEY CO. AND THE RITE-HITE CORP. ARE SPECIALISTS IN LOADING AREA DESIGN. THEY HAVE PUBLISHED RECCOMENDED STANDARDS FOR ROADWAY AND DOCK DESIGN. SEE ATTACHED.

BOTH RECCOMEND A 34' WIDE ROADWAY IF PEDESTRIAN TRAFFIC IS INVOLVED AND 35' - 50' RADIUS FOR TURNS.

GRAFTON ST. IS SHOWN ON THE SITE PLAN AS THE PRINCIPAL ACCESS TO THIS BUILDING, IT SHOULD BE IMPROVED TO CITY STANDARDS. INCLUDING PAVEMENT, GRANITE CURBS, AND SIDEWALKS. THE SEWERS AND WATER HAVE ALREADY BEEN INSTALLED. THE SIDEWALKS WILL BE NEEDED BY CHILDREN, FROM THE OCEAN EAST DEVELOPMENT, WHO WILL USE GRAFTON ST AS AN ALTERNATE TO TRUE ST.

THIS SITE PLAN APPEARS TO BE PUTTING A BUILDING THAT IS TOO BIG, ON THIS LOT.

IF THE BUILDING WERE SHORTENED BY 80 TO 100 FT. THE PARKING LOT WOULD NOT BE CONGESTED OR USED FOR ANY OTHER PURPOSE, TRUCKS OF ALL SIZES COULD PULL DOWN GRAFTON ST. AND BACK INTO A LOADING DOCK , WITH GOOD VISIBILITY. SEE ATTACHED SKETCH.

A RAMP COULD BE ADDED TO ALLOW FOR YARD UNLOADING RAMP WOULD ACT AS A NOISE BUFFER TO THE ABUTTERS

SINCERELY



F.P. DRAKE

WAITING, MANEUVERING, AND LOADING AREAS

Kelly 17d

WAITING AREA

Unless you design your facility to accommodate peak loads, you must make provisions for a truck "waiting area." It should be adjacent to the dock approach, and large enough to accommodate as many trucks as you feel will arrive before dock positions are available. It doesn't matter how long they are to be held. Even if the wait is only five minutes, you must provide a "waiting area." The area must be designed and placed so trucks in the area will not interfere with trucks maneuvering into or pulling away from the docks.

THE MANEUVERING AREA

In planning new or remodeling existing docks, consideration should be given to changes in carrier size. Today all states allow over-all tractor-trailer dimensions of 55' in length (Fig. 1). Four years ago the average length was 50'. Some states now permit 70' and even 75' length combinations. Predictions are that 65' with 70' quite common, could be the average within the next five to ten years. If you cannot restrict the size of the trucks to be serviced, your layout should anticipate maximum size units. The length of the waiting and maneuvering area is determined by the traffic flow. If traffic flow is counterclockwise (solid green arrows in Fig. 9) the maneuvering room must extend a minimum of 40' beyond the loading area. If traffic flow is clockwise (outline green arrow in Fig. 9) the maneuvering area must extend at least 100' beyond the loading area. The figures assume a 65' loading area and 65' tractor-trailer combination. Longer or shorter trucks will need proportionately more or less room. Width of berths have little bearing on the maneuvering area needed.

THE LOADING AREA

The loading area directly in front of the dock should extend a minimum of 65' forward from the dock face and extend at least 3' on either side of the dock itself. If the loading area is asphalted, a "landing strip" of concrete should be laid parallel to the dock to support small steel wheel landing gear. This strip should be as long as the dock and 6' wide and cover an area from 26' to 32' from the face of the dock.

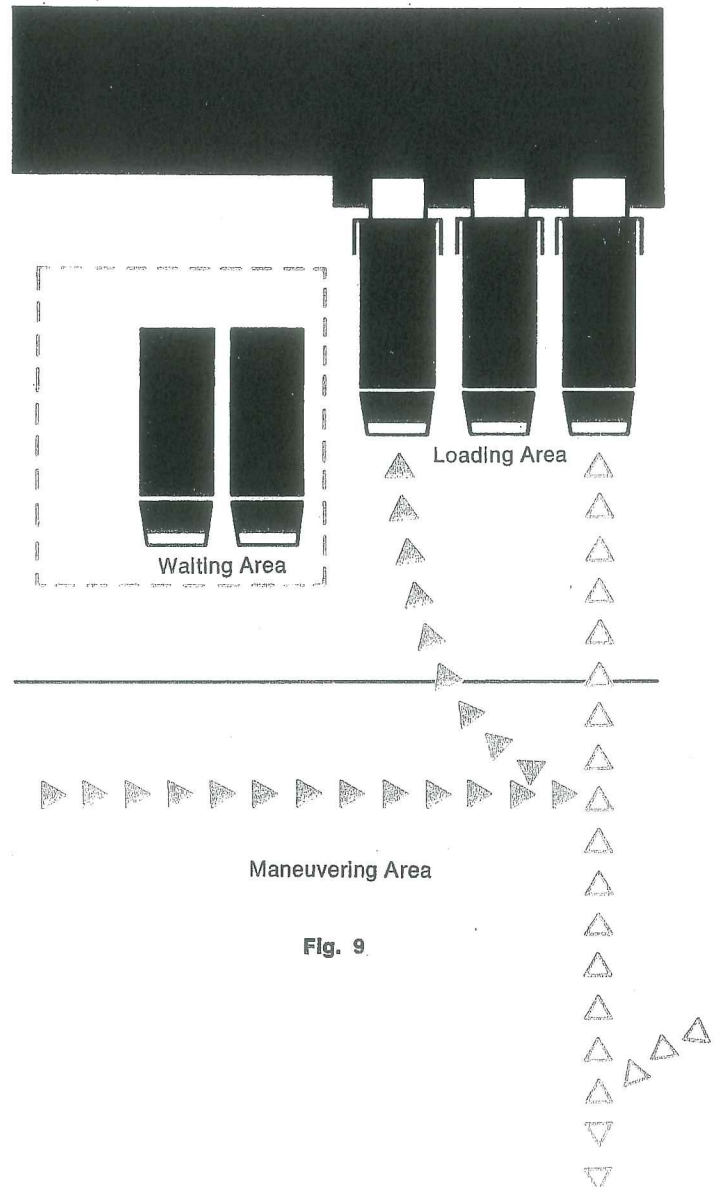


Fig. 9

DESIGN RESPONSIBILITY BEGINS AT THE BOUNDARY LINE OF THE PROPERTY

17e

APPROACH GATES AND SERVICE ROADS

Getting trucks to and from the dock is as important as the dock itself. Your responsibility begins when the vehicle reaches the boundary line of the property. However, before laying out the road or approach estimate the amount of car, truck, and pedestrian traffic which will be using the road or roads.

APPROACHES

Whatever road or gate configuration you settle upon your primary consideration is to get the trucks off the public highway quickly with a minimum of maneuvering. If at all possible, the trucks should drive into your plant, not back in. This is especially true if your plant abuts a boulevard or a one-way street. Here the driver must make a blind right-hand back, which usually results in blocked traffic in both lanes. If your property abuts a narrow street you must reduce the angle of access and exit to permit up to 65' long tractor trailers (70' to 75' in Nevada and Wyoming) to turn into and off the street. This can be done with a "Y" or angle approach (Fig. 5) or a recessed approach (65' minimum, 130' optimum) to accommodate two vehicles as in Fig. 6.

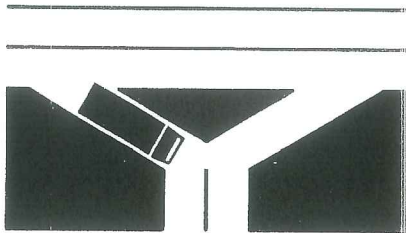


Fig. 5

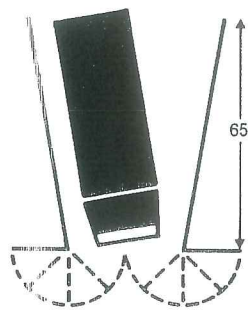


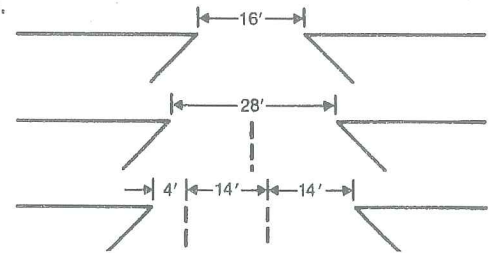
Fig. 6

If your estimates establish a high volume of truck, car, and pedestrian traffic, the best solution is to establish a "private" passenger car and pedestrian road, under the truck road where the two cross. This is a logical solution when it is realized that truck traffic may continue for a full eight hours, while pedestrian and passenger traffic is a twice-a-day, short time movement.

RECOMMENDED STANDARDS

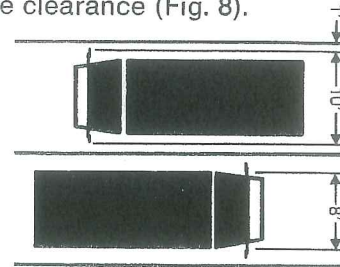
- A. Gate and Approach Roadways. Recommended minimum width at gates are 16' for 1-way, 28' for 2-way, 34' if pedestrian traffic is involved (Fig. 7).

Fig. 7



- B. Service Roads, over which 10' wide vehicles must operate in two directions (rear view mirrors add approximately 2' to over-all vehicle width), should be no less than 24' wide to permit 2' clearance between passing vehicles with a 2' side clearance (Fig. 8).

Fig. 8



- C. One-Way Service Roads should be a minimum of 12' wide.
- D. Mixed Traffic Service Roads also used by pedestrians should be a minimum of 28' wide and have 4' pedestrian lane separated from the roadway by a physical barrier.
- E. Right-Angle Roadway Intersection. A 50' radius is considered a desirable minimum for most commercial vehicles. A 35' radius is satisfactory when intersecting a road 20' or more in width.
- F. Traffic Circulation. Ideally, traffic should circulate counterclockwise . . . since it is easier for drivers to make left-hand turns with large vehicles. Also, it is easier to back a trailer into the dock from a counterclockwise position.
- G. Traffic Control. Speed limit regulations should be posted. Strict parking prohibitions should be maintained at points of minimum width. Proper installation of wide angle mirrors at blind corners will substantially reduce hazards.
- H. Roadway Surfaces should be evenly laid and structurally sound for heavy wheel loads (40,000 lbs. on tandem axles is legal in some states). All roadways should be slightly crowned and properly equipped with drainage outlets. Scheduled, periodic maintenance is of prime importance, since ruts and pot holes can easily cause damage to merchandise as well as trucks.

Rite - Hite 17f

General Access

Well-planned access roads minimize the chance of accidents and reduce conflict with pedestrian and employee vehicle traffic.

The Y-type entrance offers several advantages. Incoming vehicles can quickly leave the street without blocking traffic. Also, outgoing trucks can get back on the street more easily. The access road—from street to gate—should ideally be twice the length of the longest truck.

Service Roads (Two-way)

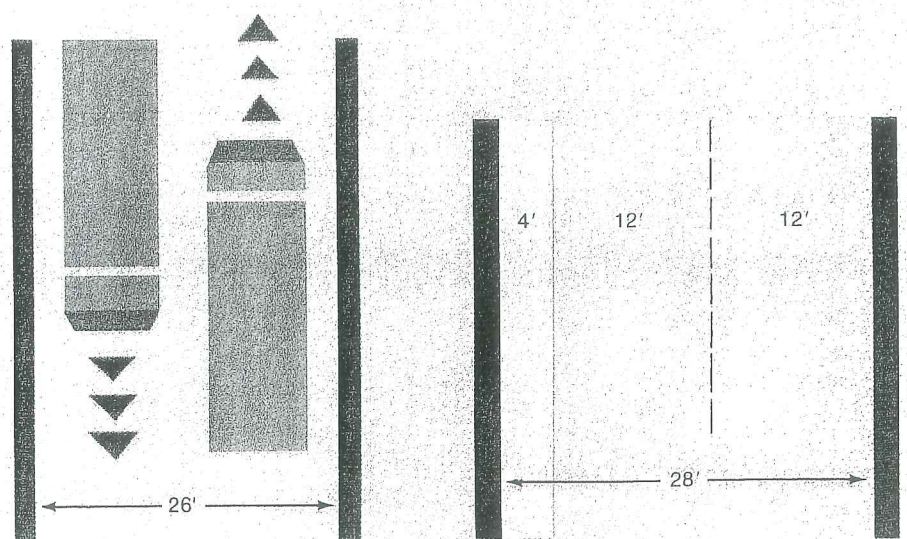
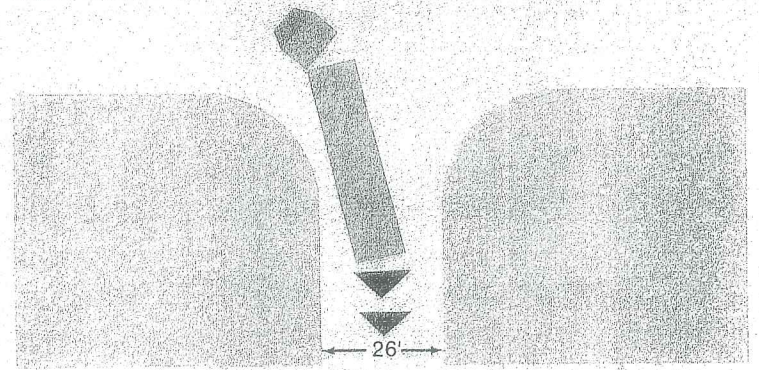
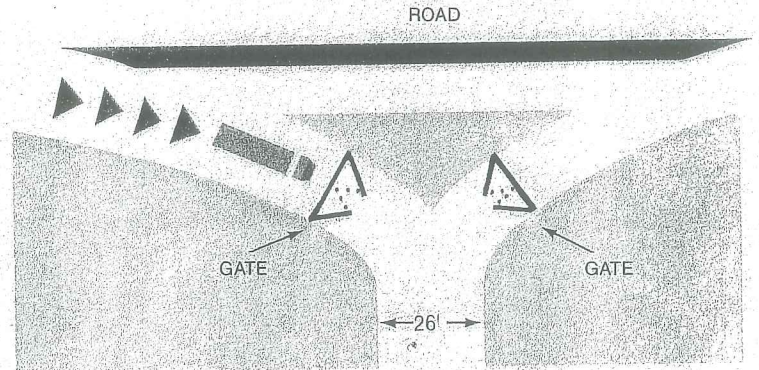
Two-way service roads should be no less than 26' in width. This will give drivers at least 2' clearance between passing vehicles, and a 1½' to 2' side clearance.

One-way Service Roads

If funds and space permit, one-way service roads are preferred. They provide better traffic circulation and are far safer. They should be a minimum of 12' wide.

Mixed Traffic and Pedestrian Roads

If the roadway will also serve pedestrian traffic, add 4' to the width and provide lane marking or a 4' high barrier.



Surface and Construction

With present total maximum vehicle loads ranging from 40,000 lbs. to 140,000 lbs., your service road should be constructed to accommodate these weights. In areas where frost depths will be more than 2', the following construction is recommended: a well compacted sub-base, topped with 9" crushed gravel, overlaid with 9" of reinforced concrete. This will provide a 20-year roadway requiring minimum maintenance. Where less severe weather conditions are encountered, a compact sub-base, topped with 9" crushed gravel and overlaid with a 5" asphalt top will provide a suitable surface.

Traffic Circulation

Make every effort to establish a counter-clockwise traffic pattern. It affords the best visibility, safety and efficiency. It permits drivers to maneuver and back into docks with a direct view of the dock and the trailer. The backing driver should always be looking into the mirror on the left side of the truck while backing.

Gates

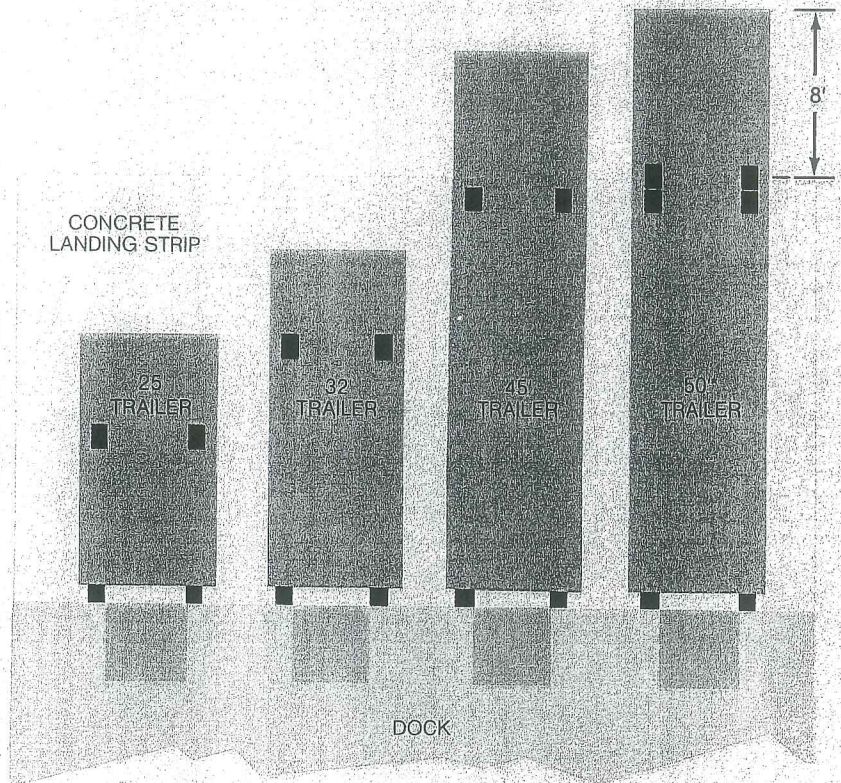
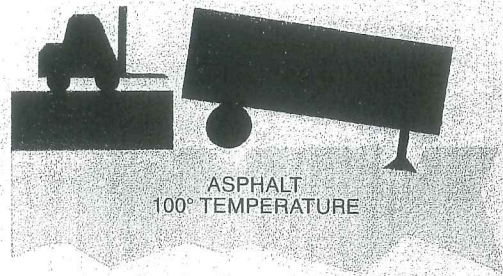
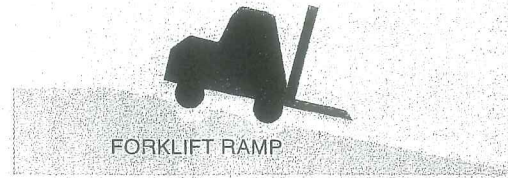
Separate pedestrian and vehicle gates are recommended—both for safety and security. For one-way vehicular traffic using a 12' roadway, the gate should be 16' wide. For two-way traffic on a 26' roadway, the gate should be 30' wide.

Loading Area

If you plan an asphalt surface, a concrete strip must be poured in the dock approach to support the trailer from sinking into the asphalt while resting on landing gear when a tractor is not attached. The length of the concrete strip will be dependent upon the different lengths of trailers being dropped off at the dock, and can be calculated simply by taking the longest trailer length minus 8' as shown. The drawing below gives a sampling of the landing gear locations on different trucks.

Forklift Ramp

Don't forget about providing a means for forklifts to get from the building to the driveway. This can be a fairly common requirement, and provision to do this can be accomplished with either a concrete ramp or dock lift.



*In some states trailers in excess of 50' are permissible. Consult your local representative for maximum allowable trailer lengths in your state.

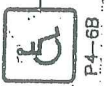
17g

17b

EXIST

Grafton Street

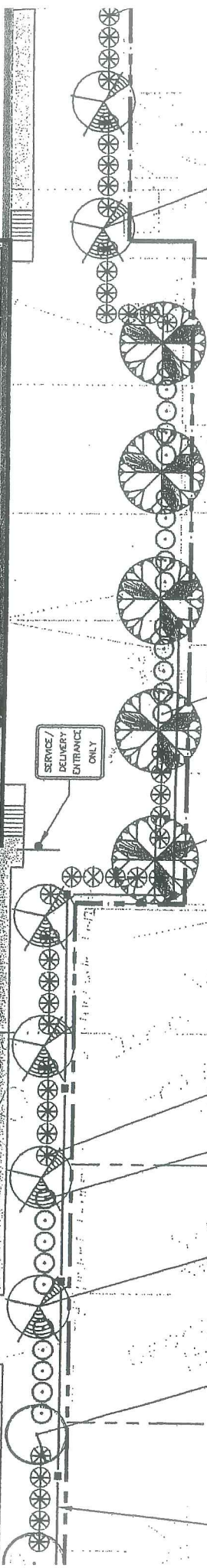
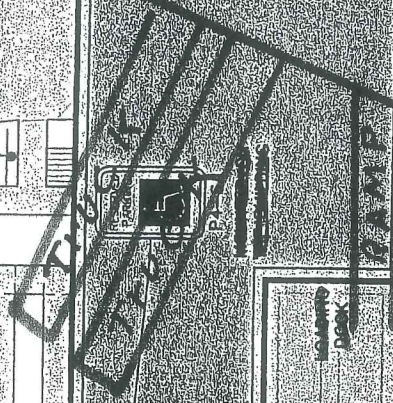
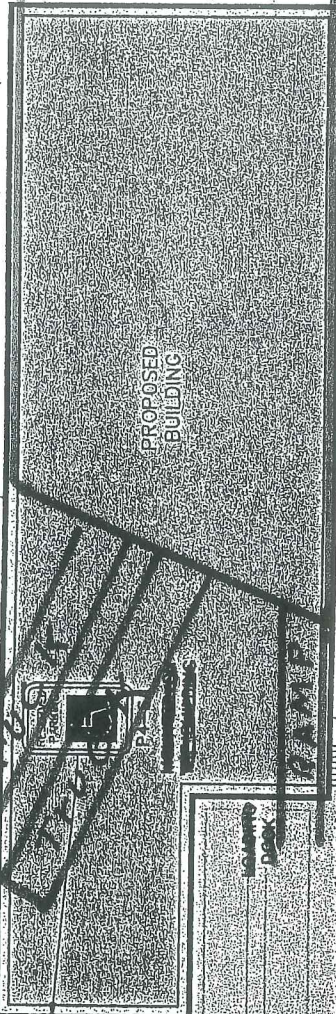
IL ZONE
R5 ZONE



M.H.
Rim 307
Inv. 244

SERVICE/DELIVERY ENTRANCE ONLY

SERVICE/DELIVERY ENTRANCE ONLY



2 AG

15 CR

5 BN

21 CA

10 CR

4 AG

5 MB

9' 5"

9' 5"

19'

TYP.

9' TYP.

ICE

Grafton Street

EXIST

17i

R5 ZONE
IL ZONE



P4-6B

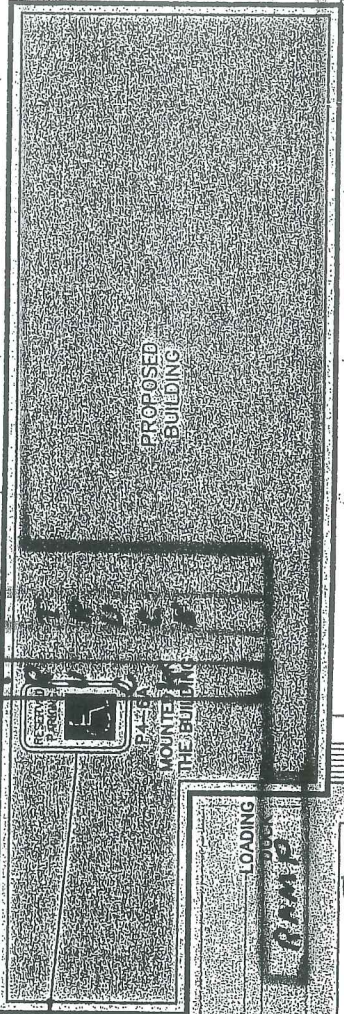
M.H.
Rim 30"
M.V. 24"



Gravel

Utility
plan
(100%)

Flood Light



PROPOSED
BUILDING

RESEAL
PARTIAL
PAPER
MOUNTED
TO THE BUILDING

LOADING
DOCK
CAMP

SERVICE/
DELIVERY
ENTRANCE
ONLY

SERVICE/
DELIVERY
ENTRANCE
ONLY

2
AG

15
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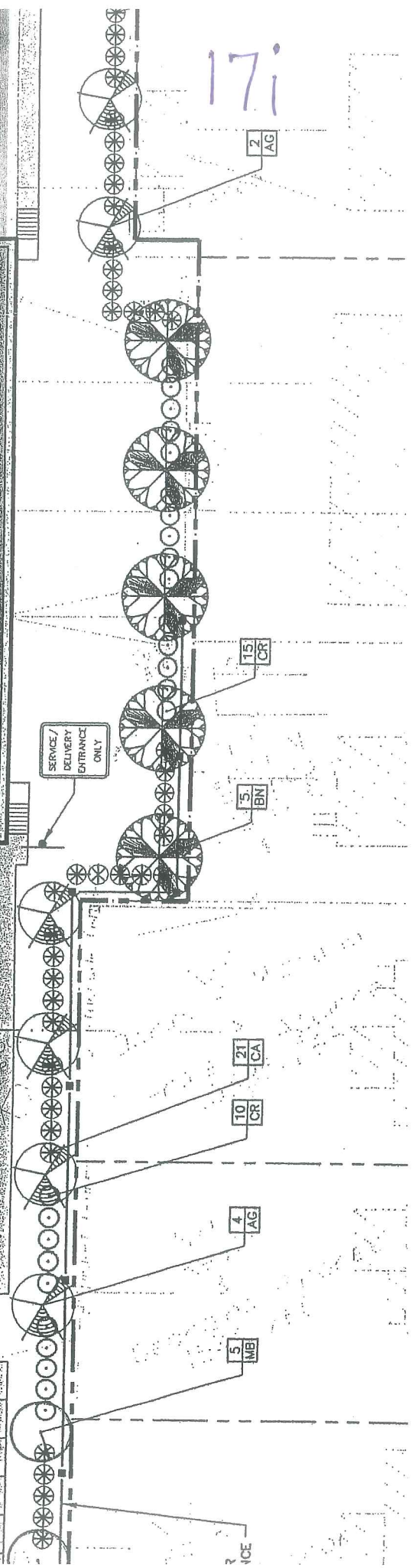
21
CA

10
CR

4
AG

5
MB

ICE



6/9/04

D.
Lee Urban
Director of Planning & Development
City of Portland
Re: Coastal Equipment Corp. Expansion, 142 Presumpscot Street
ID # 2003-0104, CBL # 425-I-004

17j

Joseph B. Wodjenski
Property Owner
118-122 Providence Street

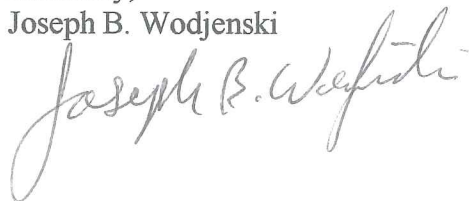
Dear Mr. Urban:

I am writing to you to document my concerns about the proposed Coastal Equipment Corp expansion at 142 Presumpscot St. My apartment building, 188-122 Providence St., abuts the proposed project. My main concerns are the long-term affects this new structure and business will have on the value of my property, my ability to retain tenants and to charge fair market value for my apartments. There are certain issues about this project that have led to these concerns. They are;

- 1) The noise level brought on by trucking in and out.
 - Backing up to loading docks very early in the morning
 - What will be the trucking schedule?
 - How many trucks per day?
 - Will there be weekend operations?
- 2) The proposed 20' lighting poles.
 - 20' is TOO HIGH!!
 - When will the light be turned on an off?
 - Which direction will they be facing?
- 3) The hours and description of operation.
 - What kind(s) of business will be conducted at the proposed site?
 - What will the hours of operation be?
- 4) The drainage plans are not clear. I DO NOT want run off draining into my back yard.

As an abutting property owner, I feel I have the right to have all the above questions and concerns answered in a clear, concise and timely manner. I do not feel that I, nor or any property owner or resident that abuts this proposed project should suffer lower property values, lower attainable rents, reduced ability to retain tenants, or lower quality of living due to excessive noise, activity, drainage problems or bright lights after dark.

Sincerely,
Joseph B. Wodjenski



17K

From: "Jeffrey and Ellen Lowery" <loweryportland@hotmail.com>
To: <kcote@portlandmaine.gov>
Date: Thu, Jun 3, 2004 2:55 PM
Subject: proposed expansion of Coastal Equipment property on Presumpscot St

Dear Kandice:

I am writing to you in regards to the above project which is being opposed by myself and Jim Drake. We are two adjoining neighbors to Mr. Goldsteins property. I was unable to attend the workshop on Tuesday of last week (may 25 I think). Anyway I wanted to convey that my opposition to the project has not changed. I am very very concerned that Mr. Goldstien is not being entirely forthcoming about his true uses for the "parking lot" that he recieved permission to build. First from studying the proposal it seems clear that the parking lot is really a driveway for large trucks entering, leaving, turning around and idling thier engines at all hours of the day and night. Secondly, the construction of the lot and huge addition to his warehouse will destroy a thick grove of old growth trees that currently act as a natural barrier between industrial properties and residential properties. The result will be a clear view of the back of a large unattractive warehouse with excessive light, noise and air pollution reflected onto what is currently a quiet residential street. The former zoning administrators had the foresight to determine that area as undevelopable for industrial use, but the current guardians of zoning laws saw fit to override that wisdom. I am very upset because when I researched the future available uses for that land with the zoning department before purchasing my home one year ago, I was told that it was residential and could not be used for industrial purposes. This was told to me at the very time that Mr. Goldstein's proposal was being considered, but since I didn't own the property yet I was not informed about the proposal. Had I known, I would have not bought this property. If this project is allowed to be completed it will seriously lower the value of my property. I am a realtor and it is my opinion that it could diminish the value by \$100,000. It is my intention to do everything possible, up to and including filing a lawsuit against the project, and if I cannot stop it I will be forced to sell my home. Please convey my concern to whomever is considering this project in a positive light. Would you please also forward me the names and e-mail addresses of other decision makers in this matter so that I may contact them appropriately.

Thank you very much.
Jeffrey J. Lowery
123 E. Kidder Street/ 0000 South Grafton st.
Portland

Watch the online reality show Mixed Messages with a friend and enter to win a trip to NY
<http://www.msnmessenger-download.click-url.com/go/onm00200497ave/direct/01/>

Att. 18

From: "Tom Errico" <terrigo@wilbursmith.com>
To: "Kandi Talbot" <kcote@ci.portland.me.us>
Date: Thu, Feb 19, 2004 3:46 PM
Subject: Coastal Equipment Corporation

Kandi--

I have reviewed the plans provided dated January 16, 2004 and have no comments.

Thomas A. Errico, P.E.
Senior Transportation Engineer
Wilbur Smith Associates
59 Middle Street
Portland, Maine 04101
(207) 871-1785
(207) 871-5825 fax

CC: "Katherine Earley" <KAS@ci.portland.me.us>

Att. 19

From: "Tom Errico" <terrico@wilbursmith.com>
To: "Kandi Talbot" <kcote@ci.portland.me.us>
Date: 06/16/2004 10:00:04 PM
Subject: Coastal Equipment - Presumpscot Street

Kandi--

Per your request I have reviewed the on-site turning movement provisions for trucks at the above project site. As specified in the City of Portland Technical and Design Standards and Guidelines publication, "the area within the site to which a driveway provides access shall be of sufficient size to allow all necessary functions for loading, unloading and parking maneuvers to be carried out on the site and completely off the street right-of-way. AASHTO Standard WB-50 design vehicle shall be used for purposes of design". Based upon the use of a WB-50 turning template, turning movements can be accomplished within the proposed pavement area. I would note this assumes using all of the proposed new pavement area on Grafton Street and therefore may be in conflict with other vehicles. However, because traffic volumes will be very low, I do not find this to be problematic. Additionally, I would note that if larger vehicles are anticipated (WB-62 or larger), the exiting movement for trucks will be difficult.

If you have any questions please contact me.

Thomas A. Errico, P.E.
Senior Transportation Engineer
Wilbur Smith Associates
59 Middle Street
Portland, Maine 04101
(207) 871-1785
(207) 871-5825 fax

CC: "Katherine Earley" <KAS@ci.portland.me.us>

MEMORANDUM

Application of 142 Presumpscot Street LLC for Warehouse Addition Appeal by Francis P. Drake

A. Planning Board Comments and Questions

1. Lighting. The photometric plan was prepared by Barry Hosmer, ASLA who will be available at the meeting on June 22 to answer questions. The plan calculates the illumination limits of each fixture. In every case, care has been taken to comply with the City standards, which require adequate illumination of the Applicant's property through the use of fully cut-off fixtures that cause the light to diminish to a virtually imperceptible level at the property boundaries. A question was raised as to whether 20-foot poles were necessary, given the proximity to residences. The pole height complies with the City of Portland Technical Standards Section XV (4) (c). Mr. Hosmer reports that if shorter poles were used, more lighting fixtures would be required to achieve the same illumination level. The Applicant is willing to set the lights on a timer so that they will not be on all night. If the Planning Board wishes to impose such a condition, the Applicant requests that the Planning staff be authorized to rescind it should vandalism or other security problems arise when the lights are off.

2. Use of Building. The existing building is occupied by Coastal Equipment Corporation ("CEC"), which fabricates various products from steel, stainless steel and aluminum. Examples of products fabricated by CEC are racks, carts, conveyors and other materials handling equipment. Welding and grinding occur inside the building. It does not house large manufacturing equipment. The 6,209 square foot building is divided into a shop, warehouse and small office. The proposed building is designed so it can be partitioned similarly. CEC may move its operation to the new addition, which would allow a tenant who desires street visibility to use the existing structure. That decision will be determined by market forces once construction is complete. To date, inquiries about renting space have come from retail businesses looking for retail space near downtown Portland and small businesspeople engaged in products assembly or occupations such as carpentry.

3. Traffic. CEC is an 8 a.m. – 5 p.m. operation. The Applicant anticipates renting space to tenants with similar hours. Currently, the property gets less than one truck delivery a day, always during the 8 – 5 time period. The Applicant anticipates the truck traffic might increase to one or two trucks each day, also during the daytime. The traffic flow on the site was designed by Stephen J. Bradstreet, P.E., who will be present at the June 22 public hearing to respond to questions. During the staff review, at the suggestion of Sebago Technics, the city's engineering consultant on this project, the original plan was modified to improve the flow of truck traffic.

4. Building Height; Relationship with Existing Structure. Questions were raised by the board about building heights and the relationship between the existing building and the proposed addition. The existing structure is 19'high. The proposed addition will be 25'6" above the finish floor. From the outside, its maximum height above finish grade will be 29'6." The addition will be connected to the existing building by a doorway and short stairway. The location of existing building in relation to the proposed addition is shown on the survey by Bruce Bowman, on the EER plan and on the RTB plans.

5. Buffering. At the workshop, Providence Street property owner Joseph Wodjenski asked about the impact this project may have on his tenants, and the Board asked the Applicant to respond to his concerns. Mr. Wodjenski specifically mentioned drainage, which the city indicates is currently over capacity on Providence Street. The drainage work that will be done as part of this project will redirect the flows from the Applicant's property to Grafton Street, which should improve the situation for the Providence Street abutters. Mr. Wodjenski also asked about buffering. Currently, the Property is fenced with a variety of fencing materials, as shown on the Bruce Bowman survey. It varies from a 5' chain link fence across the rear of the Property to a 4' picket fence, 5' stockade fence and 6' stockade fence on the Providence Street side. The portion of the Property where the addition will be constructed is vegetated irregularly with various "field invader" species. The site plan calls for a new, uniform 6' cedar stockade fence along the perimeter and landscaping with deciduous shrubs and trees. Species to be planted include Birch, Dogwood, Lilac, Serviceberry and Summersweet. City Arborist Jeff Tarling has been consulted during the design of the landscape plan. Mr. Wodjenski also asked about light migration. That issue is addressed in #1, above.

A Planning Board member asked about installing a berm at the rear of the property to buffer noise. Mr. Hosmer indicates that only a one-foot berm would be possible under the Code, and it would not be as effective a buffer as the proposed 6' fence and landscaping, which along the back line will be 13 Lilac bushes and three Siberian Crab trees. Mr. Bradstreet also indicated that installing a berm would impact the drainage system in a negative manner.

6. Setbacks. At the workshop, Mr. Drake alleged that the proposed structure does not meet setback requirements. That statement is incorrect.

Section 14-234 of the Land Use Code (the "Code") sets forth setback requirements in the IL zone. The front setback requirement is 25,' but that is immaterial to this application. The existing building is legally non-conforming as to front setback. The addition will not increase that non-conformity. The side and rear setback requirement when a building abuts a residential zone is 40,' and the proposed structure has been sited to meet that setback on the south and west sides. On the north (Grafton Street) side, the Code requires only a 25-foot setback, because that side abuts the I-L zone. In addition, the parking lot has been designed to meet the requirement of §14-234(h) that paved parking areas be set back 15' from the lot boundary.

Mr. Drake's statement about setback requirements not being met apparently is derived by measuring setbacks on a diagonal, rather than perpendicular to the lot line. This issue was raised when the Applicant appeared before the Zoning Board of Appeals seeking a variance to allow parking for an industrial use in the R-5 zone. At that time, City Zoning Administrator Marge Schmuckal confirmed that setbacks are measured perpendicular to the boundary line, not diagonally.

B. Francis P. Drake Comments

My notes of Mr. Drake's comments at the May 25, 2004 workshop and the content of his letter of May 31, 2004 appear to cover the same ground. In the interest of keeping this response focused, I will address each point he raised in the letter, in order.

1. Mr. Drake alleges that “the Applicant’s site plan is lacking information and details needed to evaluate the project, both pre-development and post-development.”

In fact, all information on the Planning Department’s site plan review checklist has been provided.

2. Mr. Drake indicates the Grafton Street sidelines and elevations are not complete, in that existing catch basins and field drains are not shown.

There is no requirement in the ordinance that street elevations be shown. All relevant catch basins are shown on the Plans. Mr. Drake may be referring to an old culvert from the Applicant’s property that runs into a storm drain on Grafton Street. The site post-development will be graded and paved in such a manner as to render that culvert unnecessary, so it will be filled. In other words, it is not shown on the drainage plan because it is not part of the post-development drainage scheme.

3. Mr. Drake said there are utility poles and anchor lines in the paved area of Grafton Street, but they are not shown on the Plan.

There is in fact a utility pole in the street. It was installed by Central Maine Power at Mr. Drake’s request and provides power to his building. An existing pole, still standing on the southerly edge of the road, apparently was not tall enough so that trucks using Mr. Drake’s property could pass beneath without catching the wires. The pole in the roadway is not shown on the plan as it does not provide power to the Applicant’s property.

4. Mr. Drake states that the dimensions of the sewer pipes and catch basins are not shown on the Plans.

All sewer pipes and catch basis are shown on the survey plan and their sizes are specified thereon.

5. Mr. Drake states that the building and land abutting the far side of Grafton Street are not shown.

My client understands this to mean the Drake property, which is on the northerly side of Grafton Street. Because it is not a directly abutting parcel, it is not shown on the survey plan. The Site Plan Review standards do not require it to be.

6. Mr. Drake states that the storm water that runs from his lot to the drains on the Applicant’s side of the street are not shown on the storm water analysis.

Storm water from Mr. Drake’s property is supposed to run into the existing storm drain system on Grafton Street, and not to flow southerly across Grafton Street to the Applicant’s property. However, some time ago, Mr. Drake filled one of the culverts with rocks, which may have disrupted the storm water drainage from his lot. In any event, the storm water analysis that is required by the ordinance does not require an applicant to take into account the storm flows from abutting parcels.

7. Mr. Drake states that the Applicant's building is not shown clearly, its setbacks from Presumpscot and Grafton Street are not shown and the existing parking spaces are not defined.

The dimensions of the existing building are not shown, only those for the proposed addition, as that is all that is required. However, to provide context to the drawings for the proposed development, the Applicant's existing building is shown on the survey by Bruce Bowman, on the EER plan and on the RTB plans that show the elevations of the proposed addition. The setbacks for the existing building are not shown for the same reason. The building exists and its footprint will not change if this application is approved. The parking for the existing building is not striped on the face of the earth, so it is shown only as "paved surface" on the survey plan. The existing building contains 6,209 square feet. There is adequate paved parking area for approximately 8 cars. No changes are proposed to this paved area as part of this project, so those spaces will be preserved for the use of the tenant of the existing structure.

8. Mr. Drake states that the impervious surface figures from the application add up to 72% impervious surface.

It appears Mr. Drake may be confusing the storm water analysis figures, which must take into account the asphalt and gravel surface on abutting streets, with the calculations of impervious surface on the Applicant's parcel. The storm water analysis has been approved by Sebago Technics, the city's engineering consultant.

9. Mr. Drake states that the "outside storage tents" are not shown, either pre- or post-development.

There are two "car tent garages" currently on the site to shield various stored equipment and materials from view. Those temporary structures will be removed as part of this project.

10. Mr. Drake takes issue with the pre- and post-development storm drainage plans, again saying, essentially, that the storm water that flows from his property northerly of Grafton Street is not taken into account.

Please see response #6, above.

11. Mr. Drake says the lights on the west side of the building are called "forward throw" in the documents that support the application, and that would cause light to shine into abutting yards.

The term "forward throw" does not mean what Mr. Drake implies. Rather, it is a term that explains how the reflector in a light fixture distributes the light. "Forward throw" means that the lights primarily illuminate the area in front of the fixture. The light flow is sharply cut off in the rear. It has nothing to do with how far the light is visible. All fixtures on the photometric plan are fully cut-off. For further discussion, see response to A (1), above.

20d

12. Mr. Drake states that the distance between the building at the loading dock appears to be less than 30 feet from the R-5 zone.

The proposed building meets all setback requirements from boundary lines in both the I-L and R-5 zones. As discussed above, it appears Mr. Drake is measuring on the diagonal.

13. Mr. Drake states that the current truck loading and unloading procedure used by the Applicant caused Grafton Street to be blocked at times, and has caused damage to payment.

The plan provides for adequate truck turnaround. Mr. Drake's concerns will be eliminated by this proposed site plan.

14. Mr. Drake said the site plan makes no provision for eliminating the current streetside loading.

A full loading dock in the rear, and all large trucks will be directed to use that dock to load or unload. The Grafton Street entrance is designed as a service entrance for UPS vehicles and pickup-sized trucks only.

15. Mr. Drake says welding flash is now visible from the Applicant's shop with the door open or closed, and this condition is not addressed by the site plan.

"Welding flash" is a term for damage to vision sustained by looking directly at a welding torch from a close distance without proper eye protection. The Applicant does not agree that any such condition now exists. If the door is closed, the activity inside is not visible unless someone peers through a high window in the door. Even if the door is open, a person standing at the property boundary would be distant enough from the welding activity to be safe from danger.

16. Mr. Drake takes issue with the design of the parking lot, and categorizes a portion of it as a "truck maneuvering area." He alleges this should not occur in the R-5 zone, where only parking for passenger cars related to an industrial use is permitted.

This issue was discussed at length at two hearings held by the Zoning Board of Appeals on this matter. The ZBA ultimately did not accept this argument, and granted a miscellaneous variance to allow the parking area in its current design. That variance was renewed this year. Relevant documentation is in the Applicant's packet.

17. Again, Mr. Drake expresses concern about large trucks continuing to load and unload from Grafton Street.

See response to #14, above.

18. Mr. Drake states that published standards he has consulted require a wider roadway than what is shown on the plan.

The Applicant's project engineer has relied upon the Institute of Traffic Engineers (ITE) manual, which is the industry standard, in designing the driveway and parking area.

20e

19. Mr. Drake asserts that Grafton Street should be improved to city standards, including curbing and sidewalks, to protect pedestrians.

There is no pedestrian traffic on Grafton Street, nor is any foreseeable. Mr. Drake quite simply is asking for the Applicant to be required to invest significant sums into improving Grafton Street so that Mr. Drake's own property would be enhanced. As Mr. Jaegerman explained at the workshop session, the Planning Staff and the Public Works staff spent months discussing the appropriate level of improvement to Grafton Street that should be required. The design shown on the site plan reflects the balance that ultimately was reached on this issue.

20. Mr. Drake says the proposed building is too large for the lot, and suggests that it be shortened by 100 feet.

The Code permits a building of this size on this lot.

C. Jeffrey and Ellen Lowery Comments

1. The Lowerys state that they believe the Applicant is "not being entirely forthcoming" about the true uses of the parking lot, and they essentially restate the argument made by Mr. Drake that the ZBA was wrong to grant a variance to permit parking in the R-5 zone because trucks will be using a part of the parking area to maneuver into the loading docks. The Lowerys also express concern that trucks will be idling in the parking area at all hours of the day and night.

Again, this issue was discussed extensively by the ZBA at two hearings. The board rejected the argument that the parking area was somehow not a parking area if trucks headed for the loading dock cross into it while backing up. The concerns about truck noise disrupting the abutting residential neighborhood are without basis. See I(A)(3), above.

2. The Lowerys state that construction of the addition will destroy a "thick grove of old growth trees that currently act as a natural barrier between industrial properties and residential properties." They allege this warehouse addition will result in "excessive light, noise and air pollution reflected onto what is currently a quiet residential street."

The existing trees on the lot are "volunteers," field invader species such as poplar, sumac and gray birch. It is not a thick grove of old growth trees by any reasonable description. More importantly, the Lowerys do not take into account the landscaping plan, which involves the planting of numerous, higher-value trees along the perimeter of the lot and a uniform six-foot stockade fence to buffer the site from its residential neighbors. This is a property that is on the division line between an industrial and a residential zone and there is no question that such areas present certain issues that are not present in wholly industrial zones. But this area has been zoned in this manner for many years, long before the Lowerys bought their property on East Kidder Street in 2002. The site plan review requirements – with their extensive buffering provisions -- strike the right balance in such neighborhoods. The site plan meets all of these standards.

3. The Lowerys indicate that they are upset by the ZBA decision to allow parking to support this warehouse in the R-5 zone, and that when they were planning to buy their property, they were not informed about this proposal.

The parking in R-5 already has been addressed. The Lowerys' predecessor in title was notified of the variance application and the hearing. If she failed to inform the Lowerys, they should direct their concern to her, not to the city, which has properly informed all abutters throughout this process. The Lowerys' estimate regarding diminution of value of their property are unsupported by independent evidence. It is the Applicant's view that development of this parcel with appropriate screening and landscaping will actually result in increased value to abutting residential properties, which now look out on a poorly-fenced vacant lot choked with scrubby trees.

142 Presumpscot Street - Workshop 5/25/04

1. Lighting - full cut-off check w/

- * coverage/impervious surface.
- * parking - warehousing/fabrication parking
- * Elevation Reductions
- * loading docks

Wodjenski

118-124 Providence St - effect on tenants
noise, activity, lights, trucks,
tr. height of Bldg

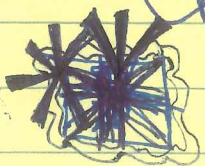
Jim Drake - Drainage - Impervious Surface.
loading dock area, power poles 36" storm
drain

Steven Scharf - appeal process, elevations

agreement from applicant regarding residential
area - screening, setbacks accurate,
20 ft. poles - cut-off

turning radius - berm along Kidder St.

loading dock area + truck
turning area in
Check Sec. 14-4030 for R-5



parking 14-344 -

WAITING, MANEUVERING, AND LOADING AREAS

Kelly

WAITING AREA

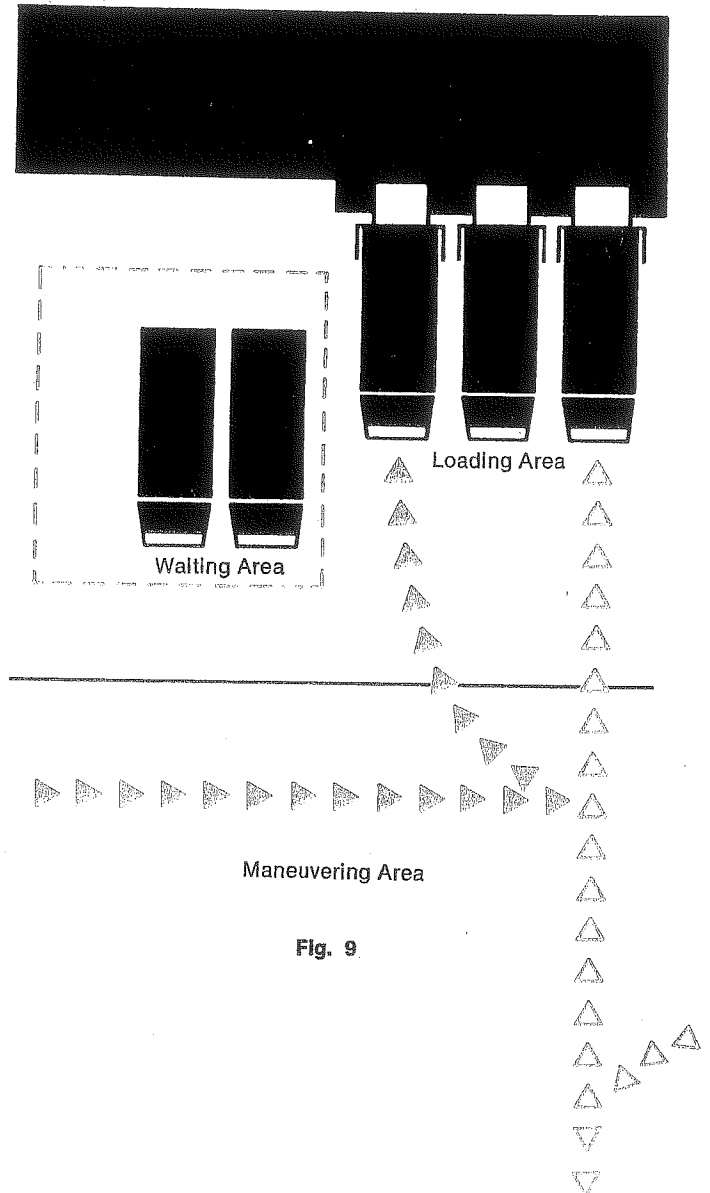
Unless you design your facility to accommodate peak loads, you must make provisions for a truck "waiting area." It should be adjacent to the dock approach, and large enough to accommodate as many trucks as you feel will arrive before dock positions are available. It doesn't matter how long they are to be held. Even if the wait is only five minutes, you must provide a "waiting area." The area must be designed and placed so trucks in the area will not interfere with trucks maneuvering into or pulling away from the docks.

THE MANEUVERING AREA

In planning new or remodeling existing docks, consideration should be given to changes in carrier size. Today all states allow over-all tractor-trailer dimensions of 55' in length (Fig. 1). Four years ago the average length was 50'. Some states now permit 70' and even 75' length combinations. Predictions are that 65' with 70' quite common, could be the average within the next five to ten years. If you cannot restrict the size of the trucks to be serviced, your layout should anticipate maximum size units. The length of the waiting and maneuvering area is determined by the traffic flow. If traffic flow is counterclockwise (solid green arrows in Fig. 9) the maneuvering room must extend a minimum of 40' beyond the loading area. If traffic flow is clockwise (outline green arrow in Fig. 9) the maneuvering area must extend at least 100' beyond the loading area. The figures assume a 65' loading area and 65' tractor-trailer combination. Longer or shorter trucks will need proportionately more or less room. Width of berths have little bearing on the maneuvering area needed.

THE LOADING AREA

The loading area directly in front of the dock should extend a minimum of 65' forward from the dock face and extend at least 3' on either side of the dock itself. If the loading area is asphalted, a "landing strip" of concrete should be laid parallel to the dock to support small steel wheel landing gear. This strip should be as long as the dock and 6' wide and cover an area from 26' to 32' from the face of the dock.



DESIGN RESPONSIBILITY BEGINS AT THE BOUNDARY LINE OF THE PROPERTY

APPROACH GATES AND SERVICE ROADS

Getting trucks to and from the dock is as important as the dock itself. Your responsibility begins when the vehicle reaches the boundary line of the property. However, before laying out the road or approach estimate the amount of car, truck, and pedestrian traffic which will be using the road or roads.

APPROACHES

Whatever road or gate configuration you settle upon your primary consideration is to get the trucks off the public highway quickly with a minimum of maneuvering. If at all possible, the trucks should drive into your plant, not back in. This is especially true if your plant abuts a boulevard or a one-way street. Here the driver must make a blind right-hand back, which usually results in blocked traffic in both lanes. If your property abuts a narrow street you must reduce the angle of access and exit to permit up to 65' long tractor trailers (70' to 75' in Nevada and Wyoming) to turn into and off the street. This can be done with a "Y" or angle approach (Fig. 5) or a recessed approach (65' minimum, 130' optimum) to accommodate two vehicles as in Fig. 6.

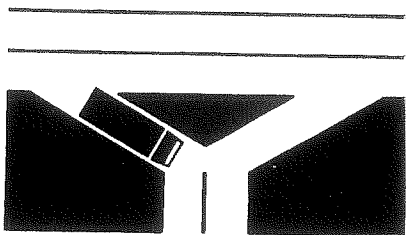


Fig. 5

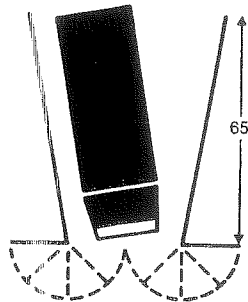


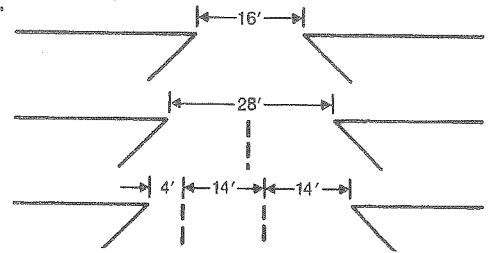
Fig. 6

If your estimates establish a high volume of truck, car, and pedestrian traffic, the best solution is to establish a "private" passenger car and pedestrian road, under the truck road where the two cross. This is a logical solution when it is realized that truck traffic may continue for a full eight hours, while pedestrian and passenger traffic is a twice-a-day, short time movement.

RECOMMENDED STANDARDS

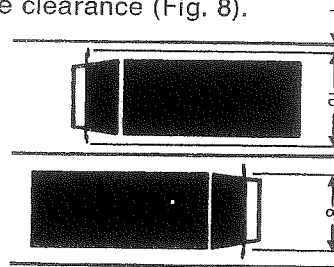
- A. Gate and Approach Roadways. Recommended minimum width at gates are 16' for 1-way, 28' for 2-way, 34' if pedestrian traffic is involved (Fig. 7).

Fig. 7



- B. Service Roads, over which 10' wide vehicles must operate in two directions (rear view mirrors add approximately 2' to over-all vehicle width), should be no less than 24' wide to permit 2' clearance between passing vehicles with a 2' side clearance (Fig. 8).

Fig. 8



- C. One-Way Service Roads should be a minimum of 12' wide.
- D. Mixed Traffic Service Roads also used by pedestrians should be a minimum of 28' wide and have 4' pedestrian lane separated from the roadway by a physical barrier.
- E. Right-Angle Roadway Intersection. A 50' radius is considered a desirable minimum for most commercial vehicles. A 35' radius is satisfactory when intersecting a road 20' or more in width.
- F. Traffic Circulation. Ideally, traffic should circulate counterclockwise... since it is easier for drivers to make left-hand turns with large vehicles. Also, it is easier to back a trailer into the dock from a counterclockwise position.
- G. Traffic Control. Speed limit regulations should be posted. Strict parking prohibitions should be maintained at points of minimum width. Proper installation of wide angle mirrors at blind corners will substantially reduce hazards.
- H. Roadway Surfaces should be evenly laid and structurally sound for heavy wheel loads (40,000 lbs. on tandem axles is legal in some states). All roadways should be slightly crowned and properly equipped with drainage outlets. Scheduled, periodic maintenance is of prime importance, since ruts and pot holes can easily cause damage to merchandise as well as trucks.

WARREN & CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

June 17, 2004

Ms. Kandice Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

RE: Site Plan Review Appeal
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find enclosed four (4) copies of a memorandum responding on behalf of my client, 142 Presumpscot Limited Liability Company, to questions and concerns raised by the Planning Board and the public at and after the workshop session on May 25, 2004 on Francis P. Drake's appeal of the staff approval of this application.

As you know, Mr. Drake, another abutter and a non-abutter spoke at that session. Mr. Drake followed up on his comments with a letter to you dated May 31, 2004, a copy of which you have provided to me. You also have forwarded to me an email regarding this project from Jeffrey and Ellen Lowery, abutters to my client's property on the west (East Kidder Street) side.

The enclosed memorandum addresses the concerns raised by members of the Planning Board at the workshop, as well as those raised by the appellant and other abutters.

The revised photometric plan is being delivered to you this morning under separate cover. If you have any questions about it, please contact me or Barry Hosmer. If you need anything further from me before next week's meeting, please let me know.

Best regards,



Brenda M. Buchanan

Cc: 142 Presumpscot LLC

WARREN & CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

May 21, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

RE: Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find enclosed ten (10) copies of Steve Bradstreet's site plan and Bruce Bowman's survey plan in 11 x 17 format for the Planning Board packets.

Thank you again for all of your assistance. We will look forward to seeing you Tuesday, May 25 at 3:30 p.m.

Best regards,


Brenda M. Buchanan

Cc: 142 Presumpscot LLC

From: Marge Schmuckal
To: Kandi Talbot
Date: Tue, Sep 9, 2003 2:27 PM
Subject: Re: Coastal Equipment/Drake

Kandi,

I believe that it was a decision arrived by planning staff that because Drake had his access off of Presumpscot, he did not need to put in South Grafton Street. He would not need to put in the street up to 14-403 standards because his frontage on Presumpscott Steet meets the standards. It is still my zoning opinion that Coastal Equipment does not have to put in the South Grafton street under 14-403. Again, it was a planning staff decision that the street would need to be put in for Coastal under site plan standards. If you remember, I voiced my dissent on that decision.

If Coastal builds a second detached building on their full lot, I do not think the 14-403 regulations kick in. I think that the site plan standards and the regulations of 14-403 are being conjoined when they are two separate requirements. If Coastal splits their lot and wants to build a separate building on the new lot, then I believe that 14-403 requirements would be appropriate for the new frontage on South Grafton St.

If Drake does not connect his buildings, I do not think he is in violation of zoning. He has not split the lot. However, planning staff may think he is in violation of the site plan standards. I see this as a site plan poser and not a zoning poser.

I hope that helps you.

Marge

>>> Kandi Talbot 09/09 1:40 PM >>>

Marge,

Last week we discussed that Drake wanted to come in and build the connector between his two buildings. The foundation is in, but the rest is not. We told him his approval was expired and he would have to apply for minor site plan. During site plan review, we would require that he install granite curb along the frontage of South Grafton Street to restrict access; build South Grafton Street to City standards; or he would have to have the street vacated. His choice. He's decided he' probably won't go forward with finishing the connector between the buildings.

Coastal Equipment's attorney stated that Coastal Equipment was told that they could not build a separate building on the site, because they would have to have frontage on South Grafton Street, so therefore would have to build South Grafton Street, which they do not want to do.

The attorney is questioning why Drake does not have to build the connector between his two buildings? He is wondering if this makes Drake's building nonconforming because it doesn't have a frontage. Does just the foundation give him enough of a connection so that its not a separate building or does he not meet zoning? Thanks.

Aquarion Engineering Services Co.
222 St. John Street, Suite 314
Portland, ME 04102
www.aquarioneng.com

207.828.1272 phone
207.774.6907 fax



AQUARION
Engineering Services

Local Experts.Global Expertise.™

June 21, 2004

Ms. Kandice Talbot, Planner
City of Portland
389 Congress Street
Portland, ME 04101

**Subject: 142 Presumpscot Street
Impervious Area and Photometrics**

Dear Kandi:

The enclosed plan has been revised to correct an oversight. The impervious area noted in the table on Sheet 1 of 3 did exceed the 65% allowable by the ordinance. We have revised the plan to show existing paved areas that will have the pavement removed and a lawn area planted. This will bring the impervious area to 62.5%.

The enclosed plan also shows the photometric foot candle contours for the wall mounted lights and the one pole light. The foot candles do not exceed .1 foot candles at the property line.

I trust this addresses the comments presented to date. If you have any questions, please feel free to give me a call.

Very truly,

Aquarion Engineering Services

A handwritten signature in blue ink, appearing to read "Stephen J. Bradstreet".

Stephen J. Bradstreet, P.E.

Cc: Mark Goldstein
Brenda Buchanan
Barry Hosmer

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

March 31, 2004

Brenda Buchanan, Esq.
Warren Currier & Buchanan
57 Exchange St.
Portland, ME 04101-5020

Mr. Steve Bradstreet
EER
222 St. John Street, Suite 314
Portland, ME 04102

RE: Coastal Equipment Corp. Expansion, 142 Presumpscot Street
ID #2003-0104, CBL #425-I-004

Dear Ms. Buchanan and Mr. Bradstreet:

On March 31, 2004, the Portland Planning Authority approved the site plan for the expansion of the Coastal Equipment facility at 142 Presumpscot Street, as shown on the approved plan with the following conditions:

- i. The depths of the existing 8-inch sanitary and 36-inch storm sewer lines will be coordinated with the proposed utility companies to provide adequate ground cover.
- ii. Prior to issuance of the building permit, a geotechnical report will be required for the soil loading. The site is sitting on soft saturated clay and could be subject to settlement or frost action. A note shall be added identifying this condition.
- iii. A revised lighting plan will need to be submitted that meets our lighting standards.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic CADD.DXF files with seven (7) sets of the final plans.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

Sec. 14-401. Generally.

The requirements of this article shall be subject to the use regulations and exceptions of this division.

(Code 1968, § 602.18)

Sec. 14-402. Relationship of buildings to lots.

Every building hereafter erected shall be located on a lot as defined in section 14-47.

(Code 1968, § 602.18.A)

Sec. 14-403. Street access.

(a) *In general.* No building intended for use as a habitation shall be erected on a lot which has its only street frontage on a street less than thirty-five (35) feet wide. No building shall be erected on a lot, except on the islands in Casco Bay, which does not abut a street meeting the minimum requirements for street improvements set forth in this section. For purposes of this section, street shall be as defined in section 14-47, except that a dedicated street which may no longer be accepted due to lapse of time and an accepted street which may have been discontinued by abandonment shall also be deemed to be streets, provided that an applicant for a building permit respecting any lot abutting such street shall, without compensation or claim for damages, and at his own cost and expense, first submit to the building authority (a) a deed from the owner of such lot conveying to the city all his right, title and interest in and to such street or any portion thereof; and (b) an agreement by such owner forever releasing the city from any and all claims for damages for the laying out and taking of such street and indemnifying the city against any and all other such claims, both such instruments to be executed and in recordable form acceptable to the corporation counsel and to encumber and run with the land.

(b) *Minimum requirements for street improvements on unimproved and improved but unpaved streets.* For a lot abutting any portion of a street which is unimproved or improved but not permanently paved, that portion which abuts the lot, and any like portion between such portion and the nearest permanently paved street or portion which is the principal access to such lot, shall be improved, including sewers, storm drains, pavements, curbs and,

if located on a designated school walking route, sidewalks, in accordance with the minimum technical standards promulgated by the public works authority pursuant to section 14-498(a) of article IV of this chapter. Where the nearest permanently paved street does not have granite curbing, the public works authority may waive the requirement of curbing under this section, if it determines that an acceptable alternative drainage plan will be provided. Prior to the issuance of a building permit for erection of a building on a lot abutting any portion of a street which is unimproved or improved but not permanently paved, the following shall occur: (1) A plan of the street improvements required by this section shall be submitted to the public works authority; and (2) upon determination by the public works authority that the plan meets the street improvement requirements established by this subsection, a performance guarantee and inspection fee for said improvements shall be submitted to the city as set forth in section 14-501. Also as set forth in section 14-501, a one-year defect bond shall be tendered to the city prior to release of the performance guarantee required hereby. The provisions of this subsection (b) shall not apply to the erection of any single-family dwelling on any lot where the owner of the lot establishes that he or she was the owner of that same lot on November 19, 1984, and at all times thereafter, and states his or her intention under oath to make the structure his or her personal residence.

(c) *Exceptions.* The requirements of this section shall not apply to the following city streets upon their construction by the public works authority to such standards as are determined by the authority to be the most feasible:

(1) Dingley Court;

(2) Morgan Court.

(Code 1968, § 602.18.B; Ord. No. 193-84, § 1, 11-19-84; Ord. No. 178-87, 11-2-87; Ord. No. 372-89, 3-20-89; Ord. No. 273-90, 3-19-90)

Sec. 14-404. Accessory use.

The term "accessory use" shall include only the following:

(a) A subordinate use of land or building which is customarily incidental to the main building or to the principal use of the land and which is located on the same lot with the principal building or use. No "garage

From: <LAURIEJGAGNON@aol.com>
To: <kcote@portlandmaine.gov>
Date: Fri, May 21, 2004 11:33 AM
Subject: 142 presumpscot street

My name is Laurie Gagnon and I live at 104 Providence Street. I am very concerned about a commercial building going behind me and a parking lot. I was at a meeting about this last year and was told there would be a fence put in and some trees to buffer any noise.

After thinking about this, I went out in my back yard and listened. There are many trees there now, but all will be cut down, and these don't even stop the noise of trucks backing up and workers over in the building at 160 Presumpscot Street.

I feel if this goes through that the noise level will be a lot louder and the value of my property will go down.

Another concern of mine is what will be put in the parking lot. In the fenced in property behind 142 Presumpscot street is all kinds of equipment and other things just laying around, It looks very dumpy. If this ends up behind my house it will make the neighborhood look dumpy also.

Concerned homeowner

Laurie Gagnon/104 Providence St. Portland, Maine 04103/ 775-2734

From: "Jeffrey and Ellen Lowery" <loweryportland@hotmail.com>
To: <kcote@portlandmaine.gov>
Date: 06/03/2004 2:55:58 PM
Subject: proposed expansion of Coastal Equipment property on Presumpscot St

Dear Kandice:

I am writing to you in regards to the above project which is being opposed by myself and Jim Drake. We are two adjoining neighbors to Mr. Goldsteins property. I was unable to attend the workshop on Tuesday of last week (may 25 I think). Anyway I wanted to convey that my opposition to the project has not changed. I am very very concerned that Mr. Goldstien is not being entirely forthcoming about his true uses for the "parking lot" that he recieved permission to build. First from studying the proposal it seems clear that the parking lot is really a driveway for large trucks entering, leaving, turning around and idling thier engines at all hours of the day and night. Secondly, the construction of the lot and huge addition to his warehouse will destroy a thick grove of old growth trees that currently act as a natural barrier between industrial properties and residential properties. The result will be a clear view of the back of a large unattractive warehouse with excessive light, noise and air pollution reflected onto what is currently a quiet residential street. The former zoning administrators had the foresight to determine that area as undevelopable for industrial use, but the current guardians of zoning laws saw fit to override that wisdom. I am very upset because when I researched the future available uses for that land with the zoning department before purchasing my home one year ago, I was told that it was residential and could not be used for industrial purposes. This was told to me at the very time that Mr. Goldstein's proposal was being considered, but since I didn't own the property yet I was not informed about the proposal. Had I known, I would have not bought this property. If this project is allowed to be completed it will seriously lower the value of my property. I am a realtor and it is my opinion that it could diminish the value by \$100,000. It is my intention to do everything possible, up to and including filing a lawsuit against the project, and if I cannot stop it I will be forced to sell my home. Please convey my concern to whomever is considering this project in a positive light. Would you please also forward me the names and e-mail addresses of other decision makers in this matter so that I may contact them appropriately.

Thank you very much.
Jeffrey J. Lowery
123 E. Kidder Street/ 0000 South Grafton st.
Portland

Watch the online reality show Mixed Messages with a friend and enter to win a trip to NY
<http://www.msnmessenger-download.click-url.com/go/onm00200497ave/direct/01/>

WARREN & CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

February 11, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

BY HAND DELIVERY

RE: Revised Plan for Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find enclosed seven (7) copies of page one and two of the site plan for the proposed warehouse addition at 142 Presumpscot Street. These are intended to replace pages one and two of the packet that was delivered to you on January 30, 2004. Page three of that packet is unchanged.

The change on page one and two since the January 30 version is that a handicap access ramp has been added. When the January 30 plans were being drawn, Project Engineer Steve Bradstreet sought advice from the state ADA compliance officer about what features and design were needed to comply with that law, but he had not had a response by January 30 so nothing was shown on the plan. Mr. Bradstreet later received the information he sought, and it is reflected on these two replacement pages. For your convenience in keeping these plans organized, I have stapled the replacement pages together and highlighted on page one the date the most current version was completed and stamped by Mr. Bradstreet (2/9/04).

If you have any questions, please do not hesitate to call. Thank you for your assistance.

Best regards,



Brenda M. Buchanan

Cc: 142 Presumpscot LLC

Coastal Equipment

Mtg 7/17/03

Grafton Street - dedicated, unaccepted street
driveway from Grafton Street should be
paved - 20-24 ft. wide

Coastal Equipment - 1-2 trucks/day and cars

Sidewalk/curb waiver - no waiver, because of
it being unaccepted street

Zoning Variance from ZBA for parking in
residential zone

curbing required?? talk to legal and Eric

MOTIONS FOR THE BOARD TO CONSIDER – June 22, 2004
Coastal Equipment, 142 Presumpscot Street

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #25-04 relevant to standards for site plan regulations, and other findings as follows:

1. That the plan is in conformance with the site plan standards of the land use code.

Potential Conditions of Approval

- i. the depths of the existing 8-inch sanitary and 36-inch storm sewer lines will be coordinated with the proposed utility companies to provide adequate ground cover.
- ii. prior to issuance of a building permit, ^{applicant secure approval.} a geotechnical report will be required for the soil loading. The site is sitting on soft saturated clay and could be subject to settlement or frost action. A note shall be added identifying the condition.
- iii. that the Zoning Administrator review and approve the dimensions of the proposed loading docks.
- iv. that the light pole height be reduced to 14 ft. for review and approval by planning staff.
- v. that the lights be turned off at 9:00 p.m. If vandalism or other security problems arise because of this condition, the applicant may submit to planning staff a security lighting plan that addresses the problem for review and approval by planning staff.
- vi. that a note be added to the plan that the developer will coordinate with CMP to relocate the utility pole, which is located within Grafton Street.

Vii. Truck deliveries restricted to the hours of ^{7:30 AM - 8:00 PM} 6 AM - 9 PM (?)

Viii. ~~No tractor trailers to utilize side loading doors.~~

Viii additional landscape @ Front of site

ix - taller trees adjacent to Lowey property

WARREN & CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

February 24, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

RE: Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find a letter verifying adequate water capacity that has been provided to my client, 142 Presumpscot LLC, by the Portland Water District. We are still waiting for a letter regarding the sanitary sewer. I will forward it to you as soon as it arrives.

Also, on February 18, the Zoning Board of Appeals extended for another six month period the term of the variance my client obtained last year to allow parking to support this industrial use in portion of his lot that is the R-5 zone. I did not know if you had been made aware of that. I have not received the formal notice from the board yet but will send that along, too, as soon as possible.

If you need anything further from me, or wish to discuss any aspect of this site plan review application while it is undergoing staff review, please do not hesitate to call.

Thank you for your assistance.

Best regards,



Brenda M. Buchanan

Cc: 142 Presumpscot LLC

WARREN, CURRIER & BUCHANAN

FACSIMILE TRANSMITTAL SHEET

TO: Kandi Talbot	FROM: Brenda Buchanan
COMPANY: City of Portland	DATE: 3/2/2004
FAX NUMBER: 756-8258	TOTAL NO. OF PAGES INCLUDING COVER SHEET: 3
PHONE NUMBER: 874-8721	SENDER'S TELEPHONE NUMBER: 772-1262
RE: 142 Presumpscot LLC	SENDER'S FACSIMILE NUMBER: 772-1279

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

IMPORTANT NOTICE

THIS MESSAGE IS INTENDED ONLY FOR THE USE OF THE INDIVIDUAL OR ENTITY TO WHICH IT IS ADDRESSED, AND MAY CONTAIN INFORMATION THAT IS PRIVILEGED, CONFIDENTIAL AND EXEMPT FROM DISCLOSURE UNDER APPLICABLE LAW. IF THE READER OF THIS MESSAGE IS NOT THE INTENDED RECIPIENT, OR THE EMPLOYEE OR AGENT RESPONSIBLE FOR DELIVERING THE MESSAGE TO THE INTENDED RECIPIENT, YOU ARE HEREBY NOTIFIED THAT ANY DISSEMINATION, DISTRIBUTION OR COPYING OF THIS COMMUNICATION IS STRICTLY PROHIBITED. IF YOU HAVE RECEIVED THIS COMMUNICATION IN ERROR, PLEASE NOTIFY US IMMEDIATELY BY TELEPHONE AND RETURN THE ORIGINAL MESSAGE TO US AT THE ADDRESS BELOW VIA THE U.S. POSTAL SERVICE. THANK YOU FOR YOUR COOPERATION.

57 EXCHANGE STREET
PORTLAND, MAINE 04101

WARREN CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

March 2, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

BY FAX AND REGULAR MAIL

RE: Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find a letter verifying adequate capacity of existing sewer lines to transport sewage to the Portland Water District sewage treatment facility, which has adequate capacity to treat the flow generated by this warehouse expansion.

If you need anything further from me, please do not hesitate to call.

Thank you for your assistance.

Best regards,



Brenda M. Buchanan

Cc: 142 Presumpscot LLC

Department of Public Works

Michael J. Bobinsky
Director

CITY OF PORTLAND

25 February 2004

Mr. Stephen J. Bradstreet, P.E.,
Environmental Engineering & Remediation, Inc.,
222 St. John Street, Suite 314,
Portland, Maine 04102

**RE: The Capacity to Handle Wastewater Flows for a ~~9,865 S. F.~~
Building Expansion to Coastal Equipment Corporation**

Dear Mr. Bradstreet:

The existing eight inch diameter sewer pipe, located in Grafton Street, has **adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated increased wastewater flows of **75 GPD**, from your proposed project.

Anticipated Wastewater Flows from the Proposed Expansion:

5 Proposed Employees @ 15 GPD/Employee	= 75 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 75 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,

CITY OF PORTLAND

Frank J. Brancely, B.A., M.A.
Senior Engineering Technician

FJB

cc: Alexander Q. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
Eric Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Desk file

WARREN & CURRIER & BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

February 11, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

BY HAND DELIVERY

RE: Revised Plan for Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find enclosed seven (7) copies of page one and two of the site plan for the proposed warehouse addition at 142 Presumpscot Street. These are intended to replace pages one and two of the packet that was delivered to you on January 30, 2004. Page three of that packet is unchanged.

The change on page one and two since the January 30 version is that a handicap access ramp has been added. When the January 30 plans were being drawn, Project Engineer Steve Bradstreet sought advice from the state ADA compliance officer about what features and design were needed to comply with that law, but he had not had a response by January 30 so nothing was shown on the plan. Mr. Bradstreet later received the information he sought, and it is reflected on these two replacement pages. For your convenience in keeping these plans organized, I have stapled the replacement pages together and highlighted on page one the date the most current version was completed and stamped by Mr. Bradstreet (2/9/04).

If you have any questions, please do not hesitate to call. Thank you for your assistance.

Best regards,


Brenda M. Buchanan

Cc: 142 Presumpscot LLC

WARREN & CURRIER BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

January 30, 2004

Ms. Sarah Hopkins
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

BY HAND DELIVERY

RE: Revised Plan for Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Marge:

Please find enclosed six (6) copies of a revised Site Plan Review Application regarding the proposed warehouse addition at 142 Presumpscot Street.

Also enclosed are three (3) copies of the revised Stormwater Management Report with a cover letter from Steve Bradstreet in which he addresses the questions that had been posed by the City and Sebago Technics last summer. It is my understanding that three copies of these documents will be sufficient for the staff review. If you need additional copies of that, please let me know.

If you have any questions, please do not hesitate to call.

Thank you for your assistance.

Best regards,



Brenda M. Buchanan

Cc: 142 Presumpscot LLC



SITE PLAN/SUBDIVISION
PERFORMANCE GUARANTEE
LETTER OF CREDIT
72527

One Portland Square
P.O. Box 9540
Portland, ME 04112-9540

tel. 800-462-3666
207-761-8500

July 16, 2004

Lee D. Urban
Planning and Development Department Director
Planning Division
City of Portland, 4th Floor
389 Congress Street
Portland, Maine 04101

Re: Application of **142 Presumpscot Limited Liability Company** for **142 Presumpscot Limited Liability Company** at 142 Presumpscot Street, Portland, Maine 04104.

Banknorth, N.A. hereby issues its Irrevocable Letter of Credit for the account of **142 Presumpscot Limited Liability Company**, as developer, (hereinafter referred to as "Developer"), in the name of the City of Portland, in the aggregate amount of **Eighty Thousand Five Hundred Six and 56/100 Dollars (\$80,506.56)**. These funds represent the estimated cost of installing site improvements as depicted on the **site plan**, approved on **June 21, 2004** and as required under Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §§46 through 65.

This Irrevocable Letter of Credit is intended to satisfy the Developer's obligation, under Portland Code of Ordinances Chapter 14 §§501, 502 and 525, to post a performance guarantee for the above referenced development.

The City, through its Director of Planning and Development and in his sole discretion, may draw on this Letter of Credit by presentation of a sight draft and the original Letter of Credit and all amendments thereto, at Banknorth, N.A. offices located at **Commercial Loan Administration Manager**, One Portland Square, P.O. Box 9540, Portland, Maine 04112-9540, stating that:

1. the Developer has failed to satisfactorily complete by **May 31, 2005** the work on the improvements contained within the **site plan** approval, dated **June 21, 2004**;
or
2. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or

3. the Developer has failed to post the ten percent (10%) Defect Guarantee required by Portland Code of Ordinances Chapter 14 §§501 and 525; or
4. the Developer has failed to notify the City for inspections.

In the event of the Banknorth, N.A. dishonor of the City of Portland's sight draft, the Banknorth, N.A. shall inform the City of Portland in writing of the reason or reasons thereof within three (3) working days of the dishonor.

After all underground work has been completed and inspected to the satisfaction of the Department of Public Works and Planning, including but not limited to sanitary sewers, storm drains, catch basins, manholes, electrical conduits, and other required improvements constructed chiefly below grade, the City of Portland Director of Planning and Development or its Director of Finance as provided in Chapter 14 §501 of the Portland Code of Ordinances, may authorize the Banknorth, N.A., by written certification, to reduce the available amount of the Letter of Credit by a specified amount.

It is a condition of this Letter of Credit that it is deemed to be automatically extended without amendment for period(s) of one year each from the current expiration date hereof, or any future expiration date, unless within sixty (60) days prior to any expiration, the Banknorth, N.A. notifies the City by certified mail (restricted delivery to Duane Kline, Director of Finance, City of Portland, 389 Congress Street, Portland, Maine 04101) that the Banknorth, N.A. elects not to consider this Letter of Credit renewed for any such additional period.

In the event of such notice, the City, in its sole discretion, may draw hereunder by presentation of a sight draft drawn on the Bank, accompanied by the original Letter of Credit and all amendments thereto, and a statement purportedly signed by the Director of Planning and Development, at Banknorth, N.A. offices located at One Portland Square, P.O. Box 9540, Portland, Maine 04112-9540 stating that:

1. this drawing results from notification that the Banknorth, N.A. has elected not to renew its Letter of Credit No. **72527**; or
2. the Developer has failed to satisfactorily complete by **May 31, 2005** the work on the improvements contained within the **site plan** approval, dated **June 21, 2004**; or
3. the Developer has failed to deliver to the City a deed containing the metes and bounds description of any streets, easements or other improvements required to be deeded to the City; or
4. the Developer has failed to post the ten percent (10%) Defect Guarantee required by Portland Code of Ordinances Chapter 14 §§501 and 525; or
5. the Developer has failed to notify the City for inspections.

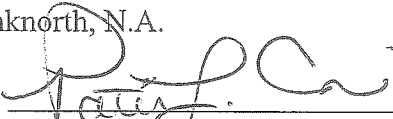
This Letter of Credit will automatically expire upon the earlier of:

1. the Banknorth, N.A. receipt of written notification from the City of Portland that said work contained within the **site plan** approval and as required by Portland Code of Ordinances Chapter 14 §§499, 499.5, 525 and Chapter 25 §46 through 65 has been completed in accordance with the City of Portland's specifications and the Banknorth, N.A. Letter of Credit No. **72527** may be cancelled; or
2. the expiration date of **May 31, 2005** or any automatically extended date as specified herein.

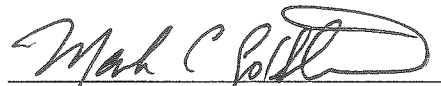
Very truly yours,

Banknorth, N.A.

Date: 7/16/04

By: 
Patricia Camelio
Its: Senior Vice President

Seen and Agreed to: **142 Presumpscot Limited Liability Company**

By: 
Mark C. Goldstein
Its: Member

APPROVED AS TO FORM:
Jenny Little 7/22/04
CORPORATION COUNSEL'S OFFICE
Joy Reynolds, JRC
7-22-04

Development Review Meeting Agenda
Wednesday, August 17, 2004

*k - Shld we ✓ w/
Tom E. re the turning
radii for Coastal Equip. ?
Just to cover our basis*

New Projects

1. Forest City....kt
2. Cumberland Avenue..PROP...kt

Exemptions

1. yup

On-going Projects

1. jetport outer congress st. parking lot..rk
2. 280 Fore Street drive thru.....wrap up review.....bn
3. 91 Bell Street....bn
4. riverwalk/adamwolf
5. Dunkin Donuts...kt
6. Packard
7. M. Rogers
8. Rainmaker Wrap-Up...ebm
9. Sid Harvey Wrap-Up....ebm
10. Haverty Dump....ebm
11. Waterview Apartments Memos??...ebm
12. Carriage Lane, Lot 11, changes?.....jjr

Revisions/Post Approvals

1. 135 marginal way (all comments on the revisions are due at this meeting)...rk
2. 29 Liberty..... : <
3. 429 Warren, Holmes.....jjr
4. Prop Defects.....jjr
5. Logan Place.....bb
6. East End School.....bb
7. The R-7 zone mystery on Cumberland Ave...rk
8. Skip Baker, Warren Ave.....jjr
9. USM Jeff?

WARREN & CURRIER BUCHANAN

Limited Liability Company, P.A.

Carol Godfrey Warren
David E. Currier
Brenda M. Buchanan

March 2, 2004

Ms. Kandi Talbot
Planning Department
City of Portland
389 Congress Street
Portland, Maine 04101

BY FAX AND REGULAR MAIL

RE: Site Plan Review Application
142 Presumpscot Limited Liability Company Warehouse Addition

Dear Kandi:

Please find a letter verifying adequate capacity of existing sewer lines to transport sewage to the Portland Water District sewage treatment facility, which has adequate capacity to treat the flow generated by this warehouse expansion.

If you need anything further from me, please do not hesitate to call.

Thank you for your assistance.

Best regards,


Brenda M. Buchanan

Cc: 142 Presumpscot LLC



CITY OF PORTLAND

25 February 2004

Mr. Stephen J. Bradstreet, P.E.,
Environmental Engineering & Remediation, Inc.,
222 St. John Street, Suite 314,
Portland, Maine 04102

**RE: The Capacity to Handle Wastewater Flows for a 9,865 S. F.
Building Expansion to Coastal Equipment Corporation**

Dear Mr. Bradstreet:

The existing eight inch diameter sewer pipe, located in Grafton Street, has **adequate capacity to transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have **adequate capacity to treat** the anticipated increased wastewater flows of **75 GPD**, from your proposed project.

Anticipated Wastewater Flows from the Proposed Expansion:

5 Proposed Employees @ 15 GPD/Employee	= 75 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 75 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement (with the U.S.E.P.A., and with the Maine D.E.P.) requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,
CITY OF PORTLAND

A handwritten signature in black ink that reads "Frank Brancely".

Frank J. Brancely, B.A., M.A.
Senior Engineering Technician

FJB

cc: Alexander Q. Jaegerman, Director, Planning Division, Department of Planning, and Urban Development, City of Portland
✓ Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
Eric Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Desk file



One Portland Square, Portland, Maine 04101

FAX TRANSMITTAL

DATE: <u>7/20/04</u>	Number of pages including cover <u>3</u>
TIME: <u>1:10 pm</u>	Peoples Heritage Bank FAX # 207-761-8660 One Portland Square, Portland, Maine 04101

TO: <u>Kandi (Cote) Talbot</u>	<u>756-8258</u>
FROM: <u>Patricia L. Camelio, Senior Vice President - 207-761-8782</u>	
<input checked="" type="checkbox"/> <u>Sandra A. Wells, Commercial Loan Administrator - 207-761-8606</u>	

NOTES & COMMENTS: RE: 142 Presumpscot Letter of Credit

Amnt = \$ 80,506.52

Private \$ 69,388.00

Public \$ 9,540.00

+ 2% insp. fee \$ 1,578.52

\$ 80,506.52

If you have any questions concerning this fax please contact the person sending this fax as stated above.

PR-12-2004 13:16

CITY OF PORTLAND
 Planning and Development Department
 SUBDIVISION/SITE DEVELOPMENT

2077568258

P.02

COST OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: _____

Name of: _____

Address/Location: _____

Developer: _____

Form of Performance Guarantee: _____

Type of Development: Subdivision _____ Site Plan (Major/Minor) _____

TO BE FILLED OUT BY THE APPLICANT:

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road/Parking Areas	159 Ton	60	9540	306 Ton	60	18360
Curbing				96 yd	20	1920
Sidewalks						
Esplanades						
Monuments				1		
Street Lighting						
Street Opening Repairs				30 LF	20	600
Other <i>UETC</i>				75 LF		
2. EARTH WORK						
Cut				973 cu yd	3.50	3,405
Fill				852 cu yd	20	17,040
3. SANITARY SEWER						
Manholes						
Piping				1	2000	2000
Connections						
Main Line Piping				54 LF	35	1836
House Sewer Service Piping						
Pump Stations						
Other						
4. WATER MAINS						
6" sprinkler				40 LF	40	1600
1" service				40 LF	35	1400
5. STORM DRAINAGE						
Manholes				1	1500	1500
Catchbasins				200	30	6000
Piping						
Retention Basin						
Stormwater Quality Units						
Other <i>4" Floor drain</i>				25	15	375

6. SITE LIGHTING	_____	_____	_____
7. EROSION CONTROL	_____	_____	_____
Silt Fence	_____	_____	_____
Check Dams	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____
Level Lip Spreader	_____	_____	_____
Slope Stabilization	_____	_____	_____
Geotextile	_____	_____	_____
Hay Bale Barriers	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	(per label)	12302
10. MISCELLANEOUS	_____	_____	1000
TOTAL:	_____	_____	69388
GRAND TOTAL:	_____	_____	_____

INSPECTION FEE (to be filled out by the City)

	PUBLIC	PRIVATE	TOTAL
A: 2.0% of totals.	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

Memorandum
Department of Planning and Development
Planning Division



To: Chair Delogu and Members of the Portland Planning Board

From: Kandice Talbot, Planner

Date: May 21, 2004

Re: May 25, 2004 Planning Board Workshop Meeting
Coastal Equipment Expansion, 142 Presumpscot Street
Appeal of Administrative Approval of Minor Site Plan Application
142 Presumpscot LLC, Applicant

Introduction

On March 31, 2004, pursuant to City Code Section 14-525(d), the Planning Authority approved a minor site plan application for a 9,865 sq. ft. expansion to the existing building located at 142 Presumpscot Street. The approval was based on the following conditions:

- i. The depths of the existing 8-inch sanitary and 36-inch storm sewer lines will be coordinated with the proposed utility companies to provide adequate ground cover.
- ii. Prior to issuance of the building permit, a geotechnical report will be required for the soil loading. The site is sitting on soft saturated clay and could be subject to settlement or frost action. A note shall be added identifying this condition.
- iii. A revised lighting plan will need to be submitted that meets our lighting standards.

The conditions still have to be met, but are minor in nature. The Planning Authority approval letter is included as Attachment A.

On April 2, 2004, the Portland Planning Authority received an appeal of the approved minor site plan for the expansion at 142 Presumpscot Street. Francis Drake, who is an abutting property owner at 160 Presumpscot Street, made the appeal, which is included as Attachment B. With the appeal of an administrative approval, the Planning Board conducts a de novo review.

Fire

The Fire Department has approved the proposed development.

Utilities

There is currently water, sewer, stormdrain and electrical lines running through Grafton Street. The applicant is proposing to connect to the existing lines. A water capacity letter is included as Attachment 9. A sewer capacity letter is included as Attachment 10.

Drainage/Grading/Stormwater Management

Drainage will sheetflow to two catch basins on the site, one being an existing catch basin, the other one will be installed during construction. The applicant is proposing to grade the southerly edge of the property to drain to an existing catch basin on the southerly property line, which currently drains to Providence Street. The proposal is to connect the existing catch basin to the new catch basin and connect it to the existing storm drain in Grafton Street. Public Works and the Development Review Coordinator have reviewed the plans and find them acceptable.

Landscaping

There is currently a fence, which runs along the southerly and westerly edge of the site. The height and material of the fence ranges from a 6 ft. high cedar stockade fence to a 4 ft. high picket fence and also a 5 ft. high chain link fence. The applicant is replacing portions of the existing fencing to make the fencing consistent, with a 6 ft. high cedar stockade fence.

The applicant is proposing to provide vegetation along the southerly and westerly property line. The landscaping will include Robin Hill Serviceberry, Heritage River Birch, Ruby Spice Summersweet, Dogwood, Siberian Crab and Lilac. The City Arborist has reviewed and approved the plan.

Lighting

The applicant is proposing five (5) additional wall mounted light fixtures. The fixtures are proposed as 70-watt fixtures. There is also a proposal for an 18 ft. 250 watt light pole within the parking lot. As stated previously, a lighting photometric plan is necessary to determine if the lighting meets the City's lighting standards.

Financial Capacity

A letter of financial capacity is included as Attachment 1.

Attachments:

- A. Approval Letter dated March 3, 2004
- B. Appeal Letter from Mr. Drake dated April 2, 2004

Site Plan Attachments

- 1. Applicant's Submittal dated May 27, 2003 including Deed, Financial Capacity, Stormwater Management Report, etc.
- 2. Fire Approval dated June 11, 2003
- 3. Letter from Mr. Drake regarding Planning Board Review dated June 16, 2003
- 4. Response to Mr. Drake's Letter from the Director of Planning and Development dated June 27, 2003
- 5. DRC's Memo dated July 1, 2003
- 6. Revised Stormwater Management Report dated January 26, 2004
- 7. Applicant's Letter dated January 27, 2004
- 8. Public Works' Memo dated July 3, 2003 and February 11, 2004
- 9. Water Capacity Letter
- 10. Sewer Capacity Letter
- 11. Miscellaneous Appeal Approval
- 12. DRC's Memo dated March 9, 2004
- 13. Staff Letter dated March 19, 2004
- 14. Applicant's Submittal dated March 25, 2004
- 15. Lighting Information
- 16. Staff Letter dated May 3, 2004
- 17. Abutter's Letter
- 18. Boundary Survey
- 19. Plans

Handwritten: Kandi - I need a short (1 page) background memo for the City Council w/ explanation of zoning and site plan issue

Handwritten: Copy (SW, KT)

**CITY OF PORTLAND, MAINE
CITY COUNCIL AGENDA REQUEST FORM**

2 copies to be submitted (with supporting material) **at least 12 days** before Council Meeting: 1 copy to City Manager (Sonia Bean)
1 copy to Legal (Elizabeth Boynton)

Handwritten: for Council Packet
to discuss (rezone)

- 1) Council Meeting at which action is requested (Date): October 28, 2004
- 2) Can action be taken at a later date? Yes: _____ No: X
If no, why not? Litigation is pending and the rezoning resolves two issues raised by the litigation

If a memo addresses the following issues you may attach and reference the memo but please highlight it so staff can easily answer I-V.

I. SUMMARY OF ISSUE

142 Presumpscot Street LLC fronts on Presumpscot Street but the lot is divided by a zone line. The portion of the lot which fronts on Presumpscot Street is in the I - L zone and the back portion of the lot is in the R - 5 zone. The lots along Presumpscot Street to the North have deep lots that lie entirely within the I - L zone. In reviewing the industrial nature of this area, the City seeks to rezone this parcel so as to be more consistent with the industrial zoning to the north of the property.

II. REASON FOR SUBMISSION (What issue/problem will this address?)

Rezoning of property along Presumpscot Street.

III. INTENDED RESULT (How does it resolve the issue/problem?)

By rezoning you avoid having a lot split between and industrial and residential zone.

IV. FINANCIAL IMPACT

There is no financial impact to the City.

V. STAFF ANALYSIS & RECOMMENDATION

Rezoning this parcel makes it more consistent with the industrial zoning to the north of the property.

Date: _____

Prepared by: _____

NATHAN H. SMITH (MAYOR)(3)
WILLIAM R. GORHAM (1)
KAREN A. GERAGHTY (2)
CHERYL A. LEEMAN (4)
JAMES I. COHEN (5)

CITY OF PORTLAND
IN THE CITY COUNCIL

Order 81-04/05
Tab 21 10-4-04

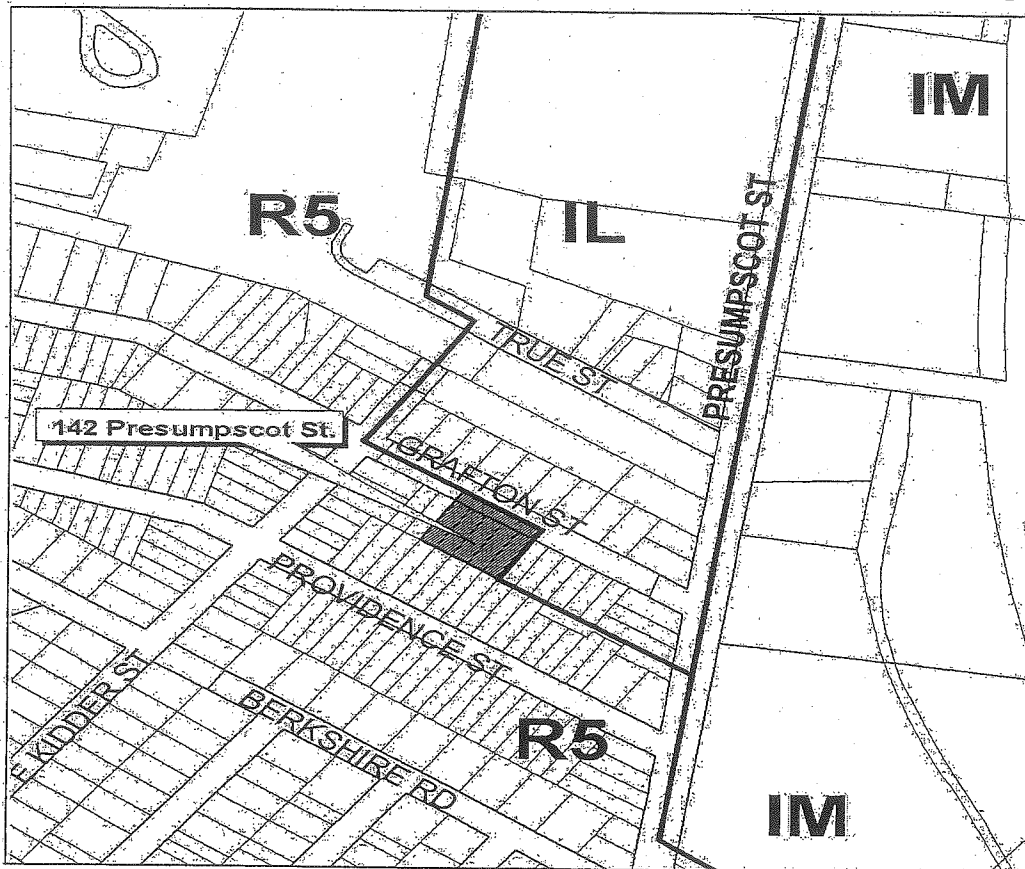
PETER E. O'DONNELL (A/L)
JAMES F. CLOUTIER(A/L)
JILL C. DUSON (A/L)
NICHOLAS M. MAVODONES (A/L)

AMENDMENT TO ZONING MAP
RE: REZONING FROM R-5 to I-L
VICINITY OF 142 PRESUMPCOT STREET

Kandi

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAINE
IN CITY COUNCIL ASSEMBLED AS FOLLOWS:

That the Zoning Map of the City of Portland, dated December 2000, as amended and on file in the Department of Planning and Urban Development, and incorporated by reference into the Zoning Ordinance by §14-49, be and hereby is amended by adopting the map change below.



**Proposed Rezoning for 142 Presumpscot Street
from R5 to IL**

September 2004

100 0 100 200 Feet

Map prepared by the City of Portland's Department of Planning & Development and the GIS Workgroup

Drake 5/25/04

Marge - parking calculations
Setbacks
Impervious Surface
2 truck spaces - loading dock
setback from parking/trucks

Elevations of Bldg - Height of Bldg

Hours of Operation

Lights

Rest of site shown on plan

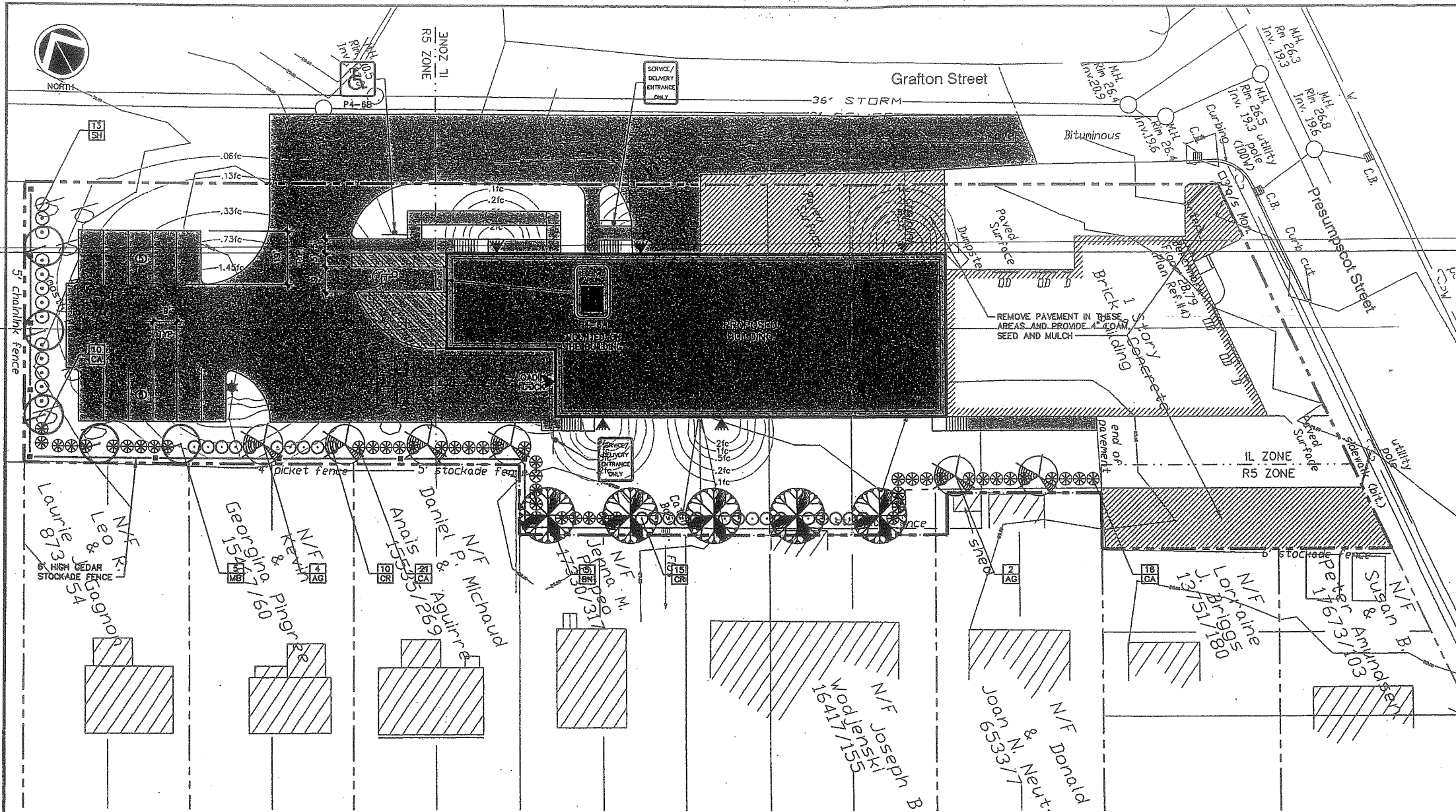
Power Poles

Backlot Lines - Benm - Screening - from E. Kidder Street

Tom Errico - turning radius adequate?

Condition - Lighting →
Screening
20 ft poles
cut-offs/photometric





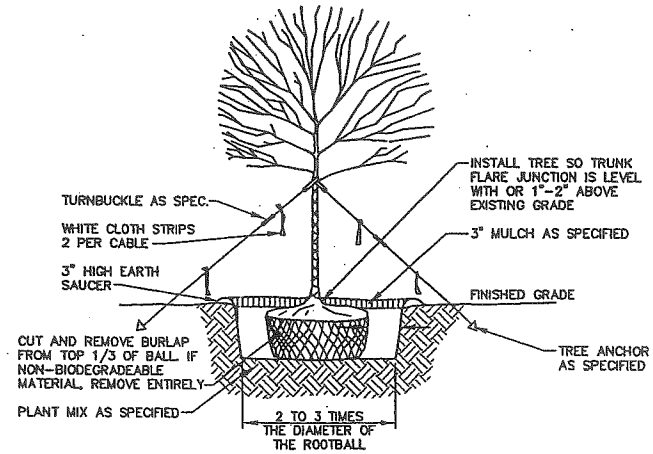
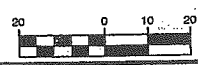
LANDSCAPING NOTES

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2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR NOT UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK, LATEST EDITION. PRIOR TO INSTALLATION THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT WOULD GROUPE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT USING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
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PLANT SPECIES LIST

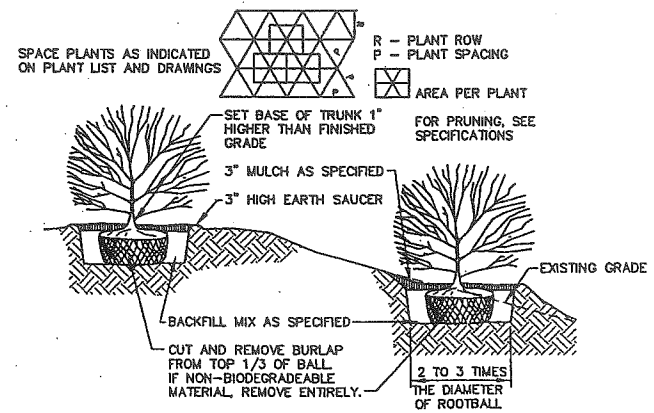
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
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CR	25	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5-3"	5' O.C.
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MB	5	MALUS BACCATA "WALTERS"	WALTERS' COLUMNAR SIBERIAN CRAB	2.5-3" CAL 30" O.C.	B&B
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SCALE
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- NOTES:**
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 3. FOR PRUNING, SEE SPECIFICATIONS.
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TYPICAL TREE PLANTING DETAIL
NOT TO SCALE
4" CALIPER AND GREATER

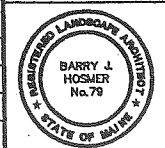


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TYPICAL SHRUB PLANTING DETAIL
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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: QTY COMMENTS	818_c_C100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_a_C100

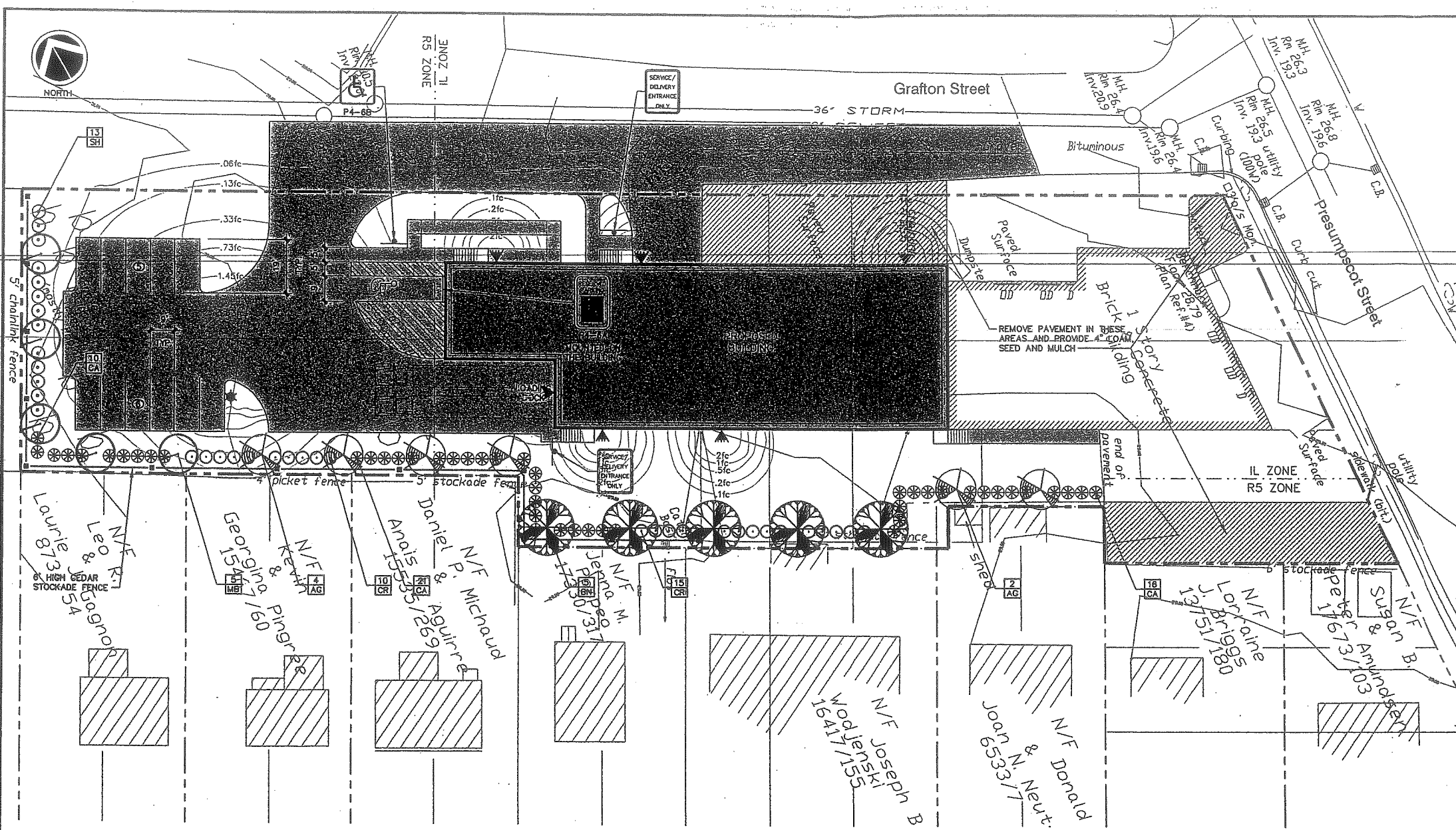
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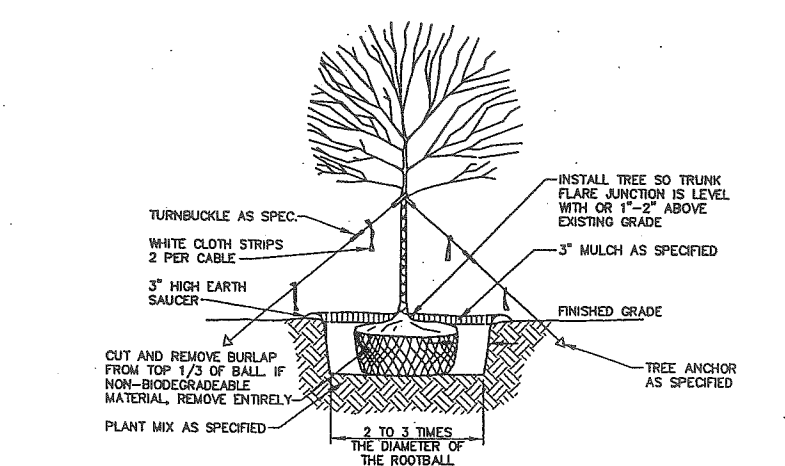
MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
LANDSCAPING, STRIPING
AND SIGNAGE PLAN

EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 314 Portland, Maine 04102
Barry J. Hosmer, ASLA
Landscape Architect
198 Wilbury Avenue, Portland, Maine 04102

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
C-101
SHEET 2 OF 3

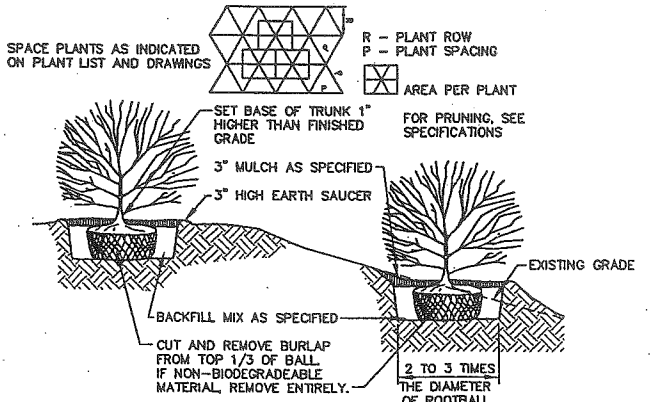


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TYPICAL TREE PLANTING DETAIL
NOT TO SCALE
4" CALIPER AND GREATER

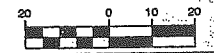


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TYPICAL SHRUB PLANTING DETAIL
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SCALE
SCALE: HOR 1" = 20'



REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_C100
B	SJB	05-19-03	ISSUED FOR: PLANNING STAFF REVIEW	818_s_C100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION

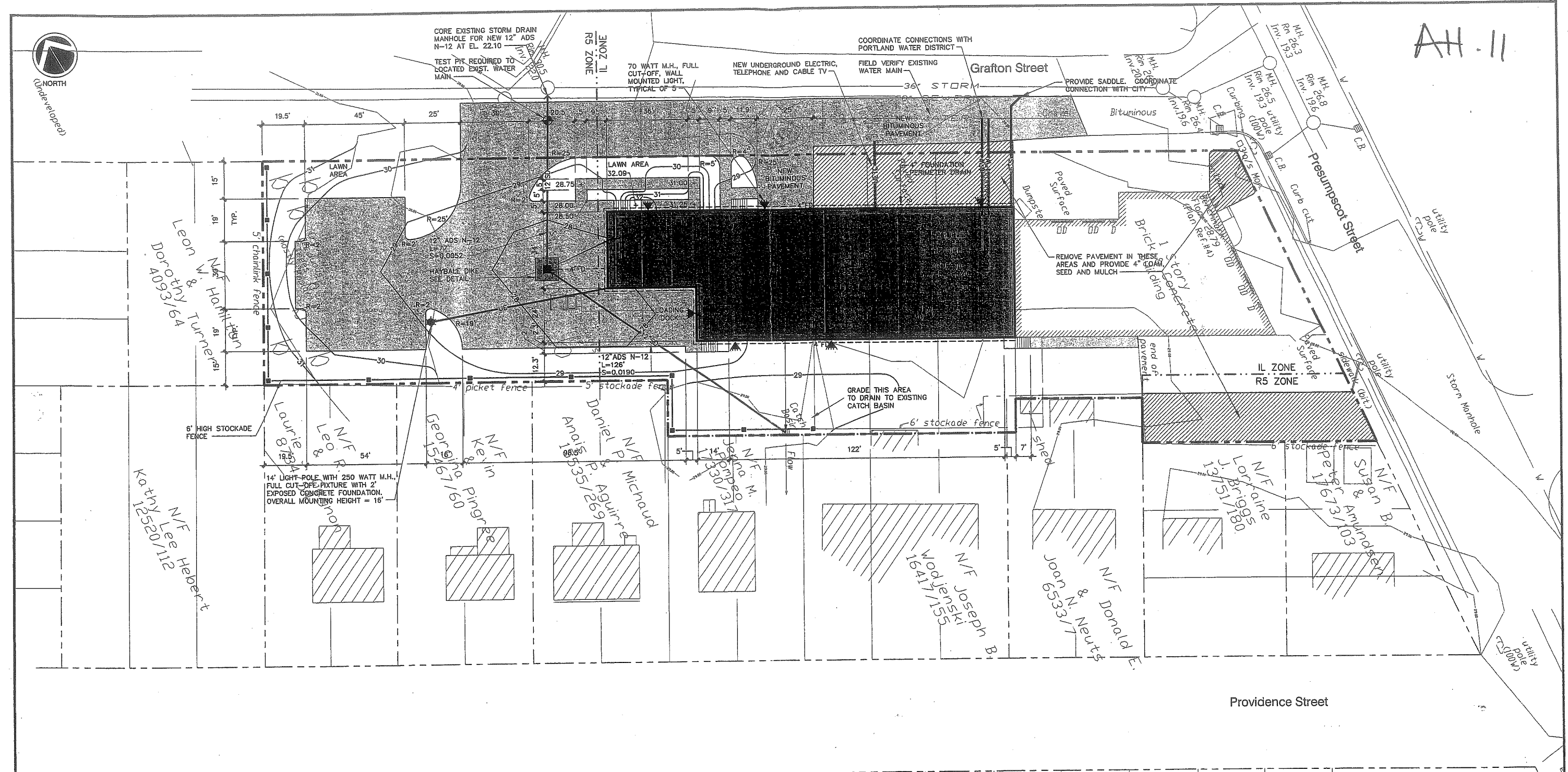
**LANDSCAPING, STRIPING
AND SIGNAGE PLAN**

EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 314 Portland, Maine 04102

Barry J. Hoerner, ASLA
Landscape Architect
198 Wilbur Avenue, Portland, Maine 04102

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
C-101
SHEET 2 OF 3

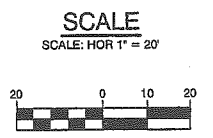
AH-11



DEVELOPMENT SUMMARY

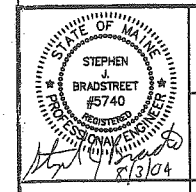
	EXISTING	PROPOSED
BUILDING	6,209 S.F.±	15,760 S.F.±
PAVEMENT	7,228 S.F.±	16,385 S.F.±
PERVIOUS	38,024 S.F.±	19,316 S.F.±
TOTAL PARCEL AREA	51,461 S.F.±	51,461 S.F.±

- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.
 - THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES TO VERIFY THAT CONNECTIONS TO 8" SANITARY AND 36" STORM WATER WILL BE PROVIDED WITH ADEQUATE GROUND COVER.
 - A GEOTECHNICAL REPORT HAS BEEN PROVIDED TO THE CITY'S DEVELOPMENT REVIEW COORDINATOR. THE SITE IS SITTING ON SOFT SATURATED CLAY THAT MAY BE SUBJECT TO SETTLEMENT OR FROST ACTION. THE CONTRACTOR SHALL BE AWARE OF SUBSURFACE SOIL CONDITIONS PRIOR TO CONSTRUCTION.
 - THE LOADING DOCK DIMENSIONS HAVE BEEN PROVIDED TO THE ZONING ADMINISTRATOR FOR REVIEW AND APPROVAL.
 - THE LIGHTS SHALL BE TURNED OFF AT 9:00 P.M. THE APPLICANT MAY SUBMIT A SECURITY LIGHTING PLAN TO PLANNING STAFF, SHOULD VANDALISM OR OTHER SECURITY ISSUES ARISE THAT NEED TO BE ADDRESSED.
 - THE APPLICANT SHALL COORDINATE WITH CENTRAL MAINE POWER TO RELOCATE THE UTILITY POLE WITHIN THE PROPOSED PAVING AREA ON GRAFTON STREET.
 - SERVICE TRUCKS OR DELIVERIES SHALL BE PROHIBITED FROM 8:00 P.M. TO 7:00 A.M. AND TRUCKS SHALL NOT BE ALLOWED TO IDLE.
 - PLANNING STAFF SHALL SECURE FINAL APPROVAL OF THE LANDSCAPING PLAN FROM THE CITY ARBORIST.



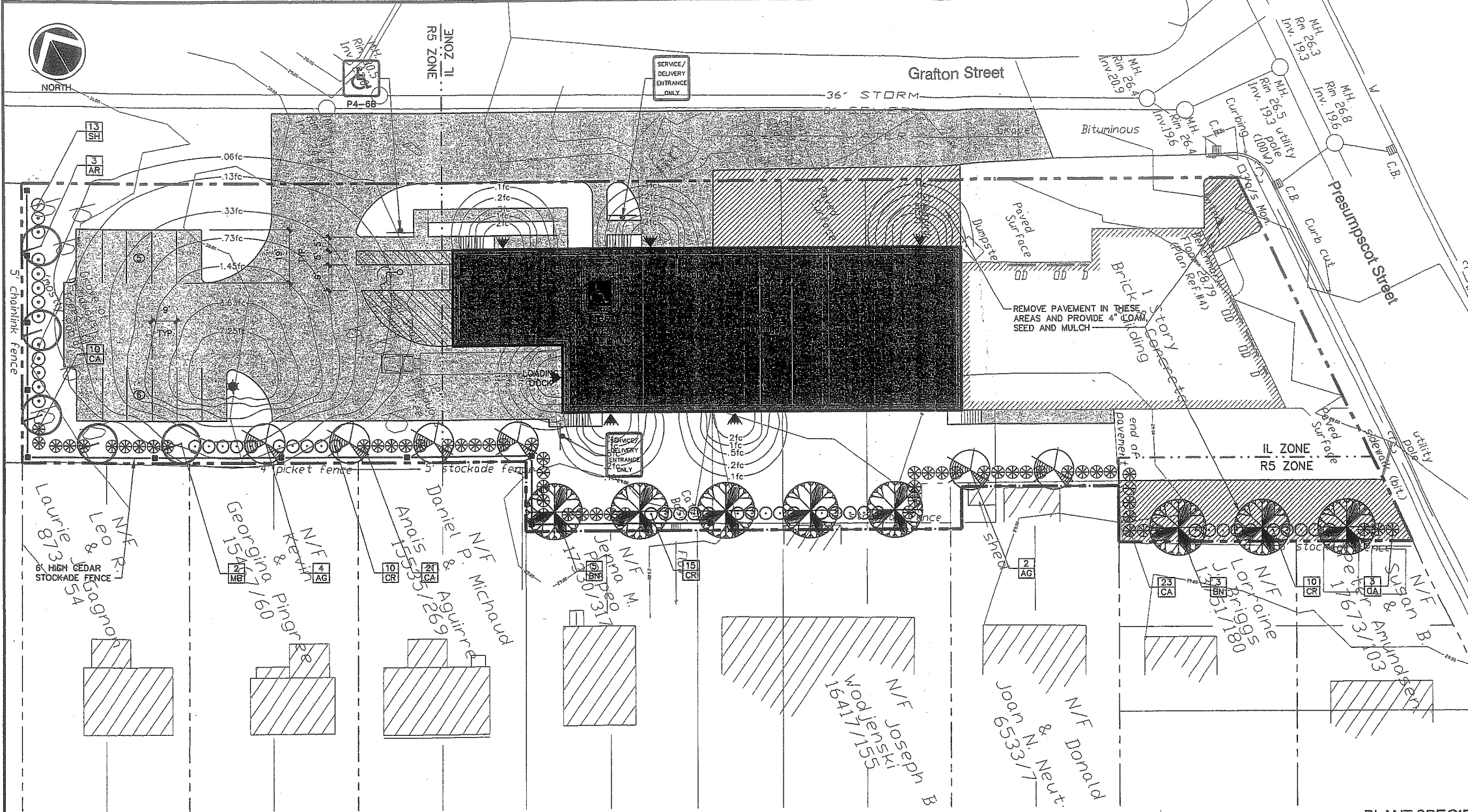
REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 06/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_c_C100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_C100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
SITE LAYOUT, UTILITY, GRADING
AND EROSION CONTROL PLAN

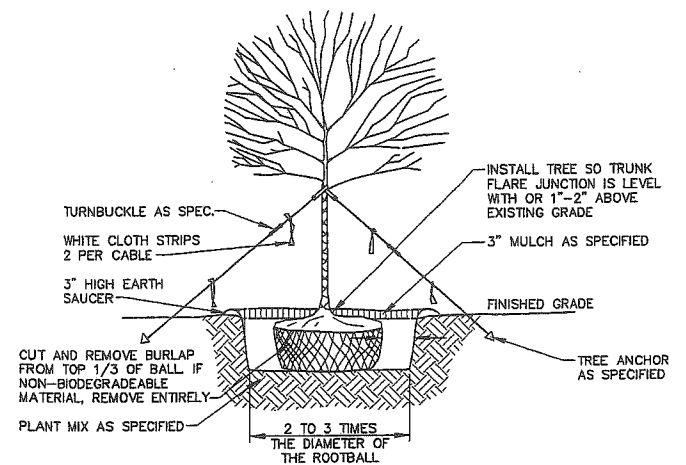
EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 714 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 03-24-03 JOB NO: 818 SCALE: 1" = 20' C-100 SHEET 1 OF 3
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 - ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK, LATEST REVISION. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
 - ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCUING ROOTS OR ROOTS THAT LATER WOULD GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
 - BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
 - ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "AGRIFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 6'-0"-3 TABLETS/PLANT AND TREES 6'-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "ROOTS" OR AN APPROVED EQUAL. MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QTS/PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL./PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3 GAL./PLANT AND TREES 10' AND ABOVE-4 GAL./PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF THE SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
 - TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
 - MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHEDDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A .25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
 - ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
 - PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
 - ALL PLANTS SHALL BE GUARANTEED FOR ONE 1 GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
 - ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEEDDED WITH "TRI-FLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
 - THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTITLE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
 - ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.

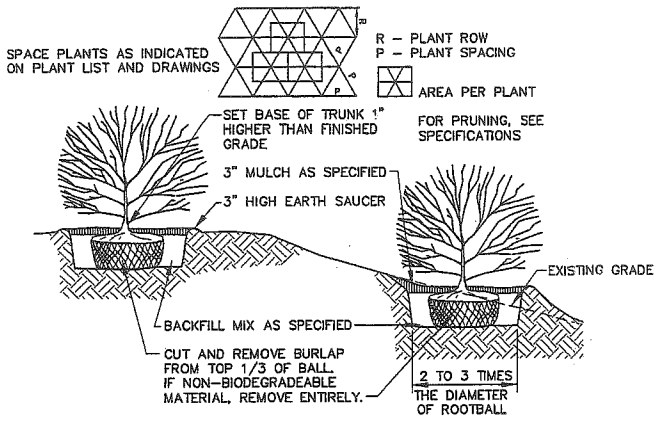
PLANT SPECIES LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	3	ACER RUBRUM "AUTUMN FLAME"	AUTUMN FLAME MAPLE	2.5-3" CAL. 30' O.C.	B&B
AG	6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5-3" CAL. 30' O.C.	B&B
BN	8	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5-3" CAL. 30' O.C.	B&B
CR	35	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5-3"	5' O.C.
CA	57	CORNUS ALBA "IVORY HALO"	IVORY HALO RED TWIG DOGWOOD	2.5-3"	5' O.C.
MB	2	MALUS BACCATA "WALTER'S"	WALTER'S COLUMNAR SIBERIAN CRAB	2.5-3" CAL. 30' O.C.	B&B
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	POCAHONTAS LILAC	2.5-3"	5' O.C.



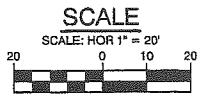
- ### NOTES:
- ON TREES LESS THAN 4" CA. USE WOOD STAKES.
 - ON TREES 3" CA. OR GREATER USE GUYING CABLES (3) EVENLY SPACED.
 - FOR PRUNING, SEE SPECIFICATIONS.
 - NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 - SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 - WATER AT TIME OF PLANTING-SEE NOTES AND SPECS.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE



- ### NOTES:
- SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 - INSTALL SHRUB SO TRUNK ROOT JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.

TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE



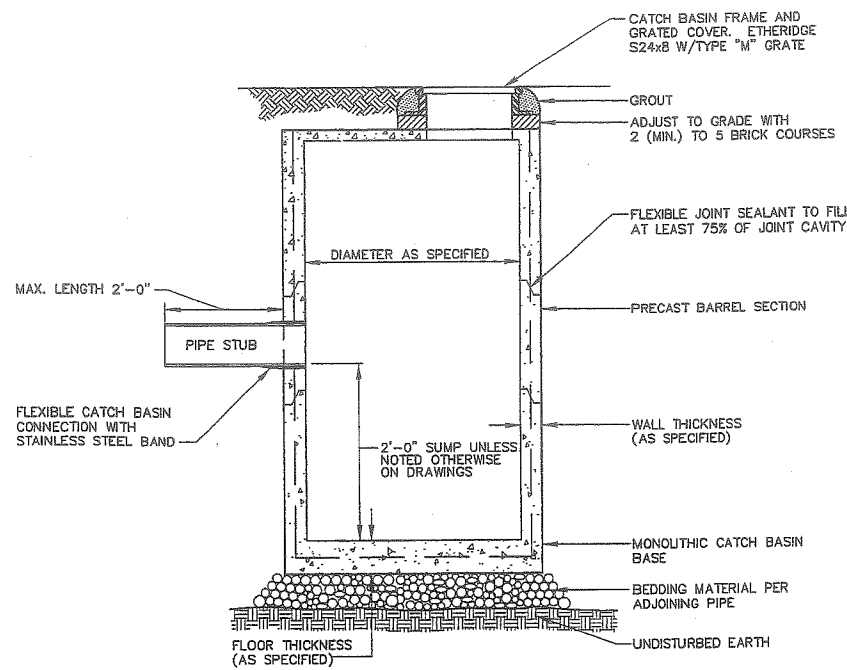
MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION

**LANDSCAPING, STRIPING
AND SIGNAGE PLAN**

DESIGN BY: SJB	DRAWN BY: JAR	CHECKED BY: SJB	DATE: 03-24-03
EER Environmental Engineering & Remediation, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102		JOB NO: 818	
Barry J. Hoemer, ASLA Landscape Architect 195 Whitney Avenue, Portland, Maine 04102		SCALE: 1" = 20'	
		SHEET 2 OF 3	

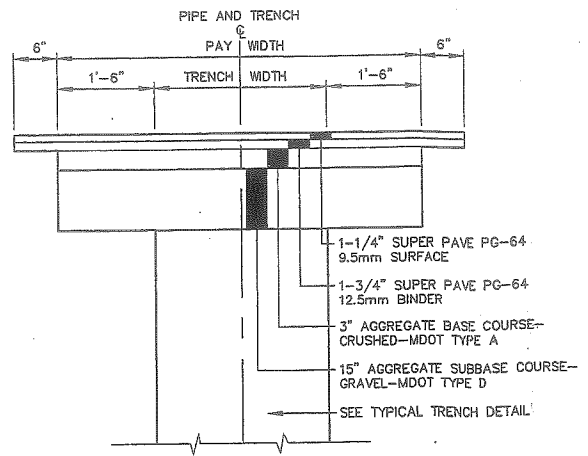
D	SJB	08-03-04	ISSUED FOR: 06/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_c_C100
C	SJB	01-18-04	ISSUED FOR: CITY COMMENTS	818_c_C100
REV.	BY	DATE	STATUS	CAD NO.

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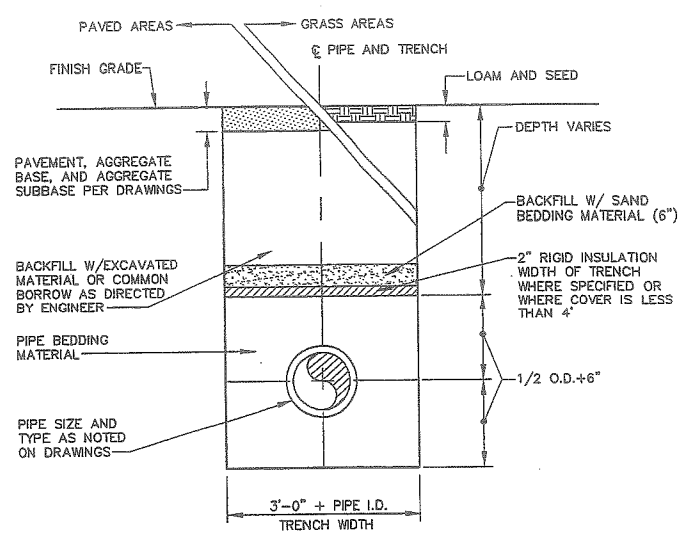
I.D.	WALL WIDTH	FLOOR THICKNESS
4'-0"	5"	6"
5'-0"	6"	6"
6'-0"	7"	6"
8'-0"	8"	8"
10'-0"	10"	9"

PRECAST CONCRETE CATCH BASIN/MANHOLE
NOT TO SCALE



NOTE: SURFACE PAVEMENT MAY CONSIST OF SHIM AND OVERLAY ON SAME STREETS.

TYPICAL TRENCH PAVING DETAIL
NOT TO SCALE



1. SAND BACKFILL AND RIGID INSULATION AS REQUIRED.

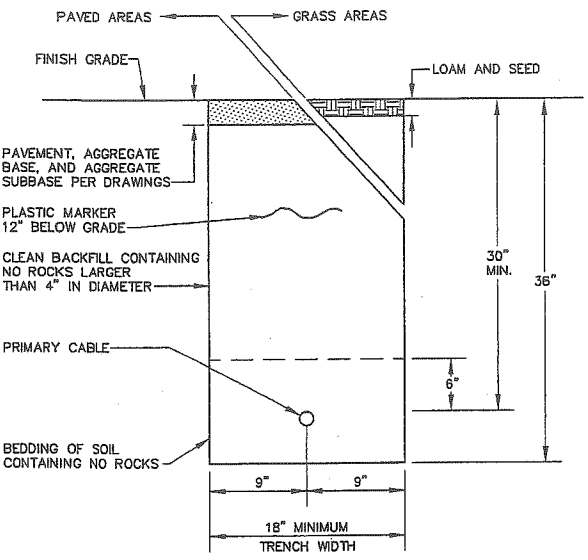
TYPICAL TRENCH DETAIL
NOT TO SCALE

EROSION CONTROL NOTES

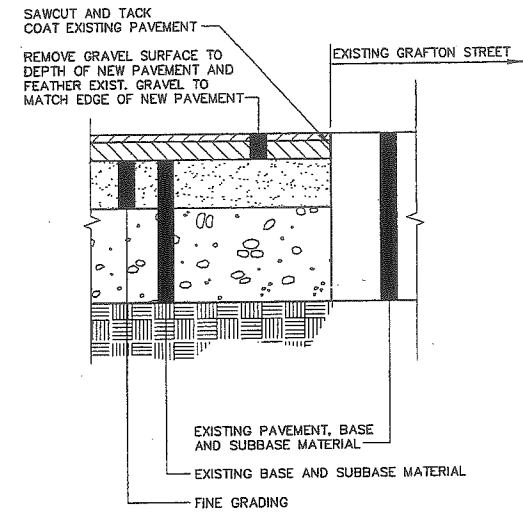
- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
- SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
- PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
- PERMANENT SEEDING SHALL BE:

	LBS/1,000 S.F.	
BIRDSFOOT TREFOL	.18	
CROWNVECH	.34	
CREeping RED FESCUE OR TALL FESCUE	.46	
- TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

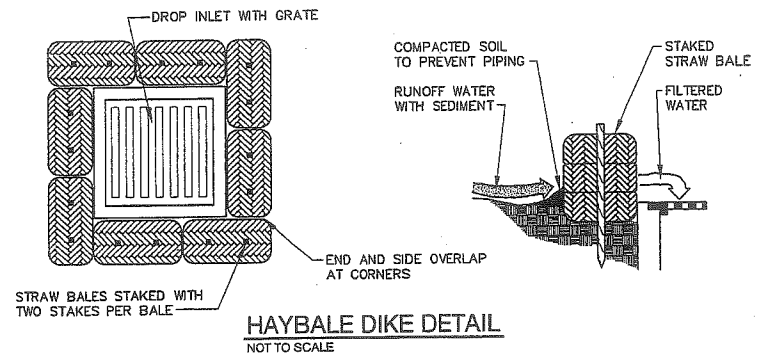
SEED	LB/1,000 SQ. FT.	SEEDING DEPTH	RECOMMENDED SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1 8/15-9/15
ANNUAL RYEGRASS	0.9	.25"	4/1-7/1
SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL	0.9	.25"	8/15-9/15
- FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
- LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
- MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
- WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
- ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
- SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
- EROSION CONTROL INSPECTION SHALL BE PERFORMED BY: ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC. STEPHEN J. BRADSTREET, P.E. 222 ST. JOHN STREET SUITE 314 (207) 828-1272
- EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - CONSTRUCT THE BUILDING.
 - CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - INSTALL PERMANENT EROSION CONTROL MEASURES.



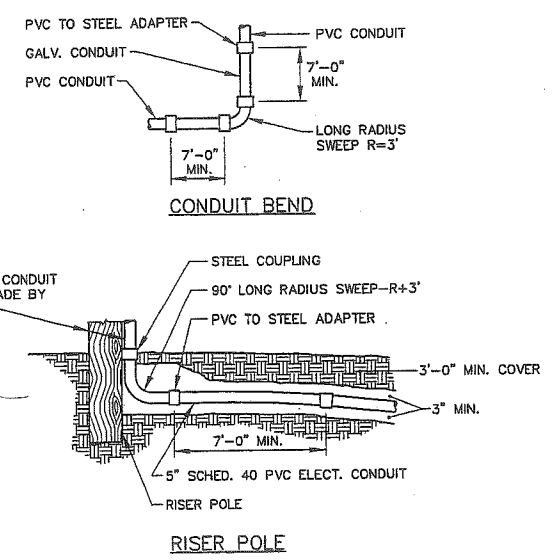
UNDERGROUND UTILITY TRENCH DETAIL
NOT TO SCALE



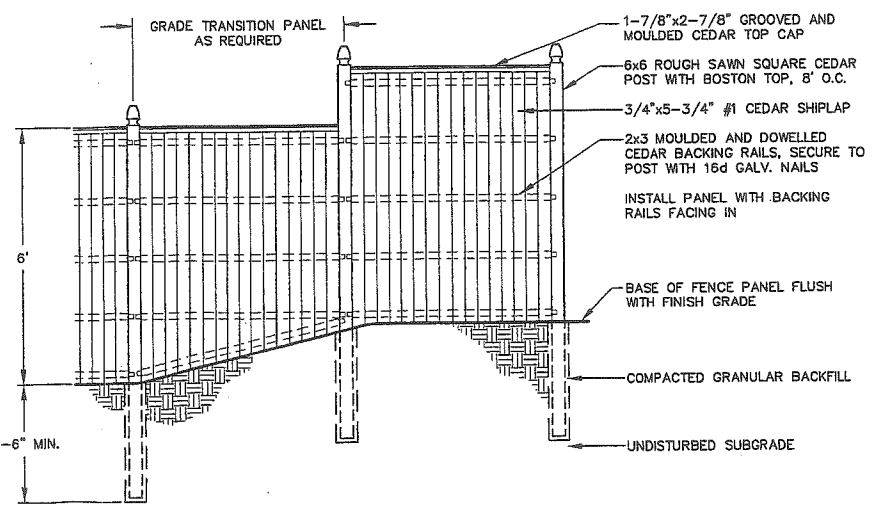
PAVEMENT BUTT JOINT DETAIL
NOT TO SCALE



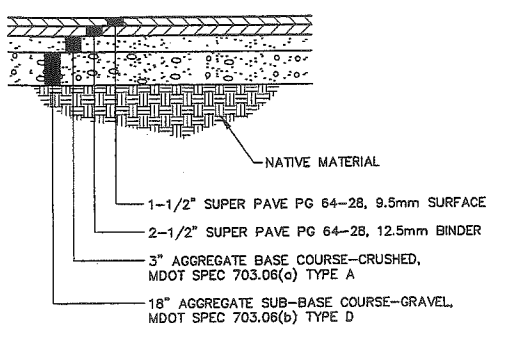
HAYBALE DIKE DETAIL
NOT TO SCALE



CONDUIT BEND AND RISER POLE DETAIL
NOT TO SCALE



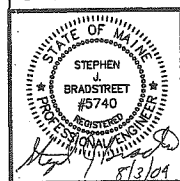
STOCKADE FENCE DETAIL
NOT TO SCALE



TYPICAL PAVEMENT SECTION
NOT TO SCALE

REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 06/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_c_C100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_C100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION
DETAILS

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
C-102
SHEET 3 OF 3

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
AND EROSION CONTROL PLAN

DESIGN BY: SJB
 DRAWN BY: JAM
 CHECKED BY: SJB
 DATE: 03-24-09
 JOB NO: 816
 SCALE: 1" = 20'
 SHEET 1 OF 3

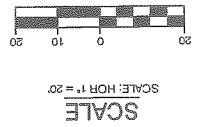
222 St. John Street, Suite 714 Portland, Maine 04102
EER Engineering & Environmental Resources, Inc.

STATE OF MAINE
 PROFESSIONAL ENGINEER
 #5740
 STEPHEN J. BRADSHAW

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REV.	BY	DATE	STATUS
C	SJB	01-10-04	ISSUED FOR CITY COMMENTS
B	SJB	05-19-03	ISSUED FOR PLANNING STAFF REVIEW

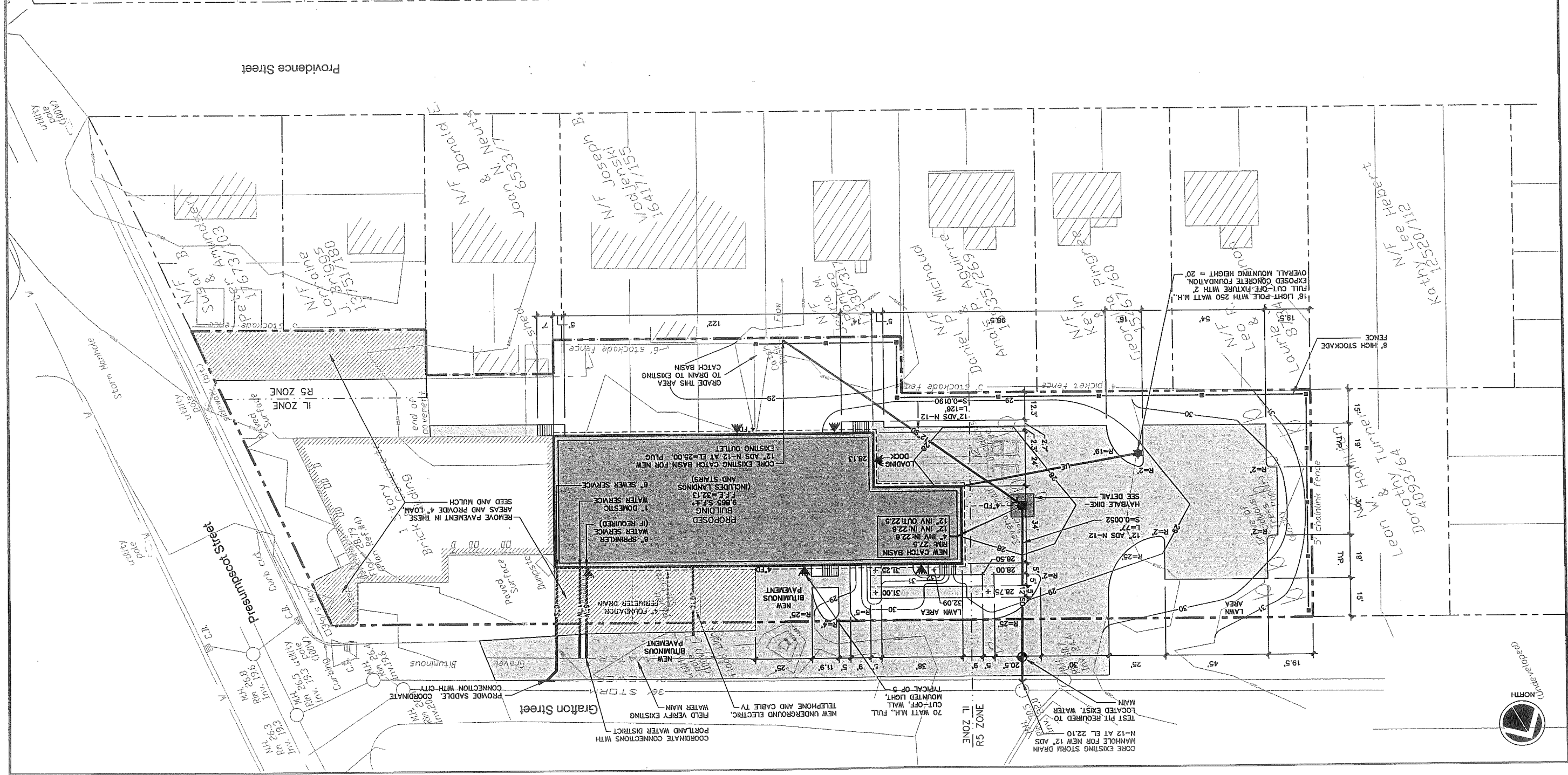
CAD NO. 816_C100



- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 3. PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING)
 REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 4. IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.

DEVELOPMENT SUMMARY

EXISTING	PROPOSED
15,760 S.F.F.	15,760 S.F.F.
16,365 S.F.F.	16,365 S.F.F.
7,228 S.F.F.	7,228 S.F.F.
38,024 S.F.F.	38,024 S.F.F.
51,461 S.F.F.	51,461 S.F.F.
TOTAL PARCEL AREA	



Att: 21

BOUNDARY SURVEY
 142 Presumpscot Street
 for
 Warehouse Addition
BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 199 John Small Road, Chebeague Island, Maine 046-663 846-664(F)
 Date: 03/12/03 Job: 03002
 Drawn By: JRB Scale: 1"=30'

REFERENCES

- 1 Washington Avenue Gardens owned by Everett C. Wells recorded CRD Planbook 14 Page 46
- 2 Washington Avenue Gardens Annex owned by Everett C. Wells recorded CRD Planbook 14 Page 45
- 3 Standard Boundary Survey 132-134 Providence Street dated May 7, 1996
- 4 City of Portland Engineering Plan Presumpscot Street Portland Maine Sewer Lines and Profile File 496/7

I HEREBY CERTIFY that this survey conforms to the Maine Board of Licensure for Professional Land Surveyors, Category 1, Condition II
 Except No Report Submitted
 No Deeds Written
 Bruce R. Bowman PLS #1313

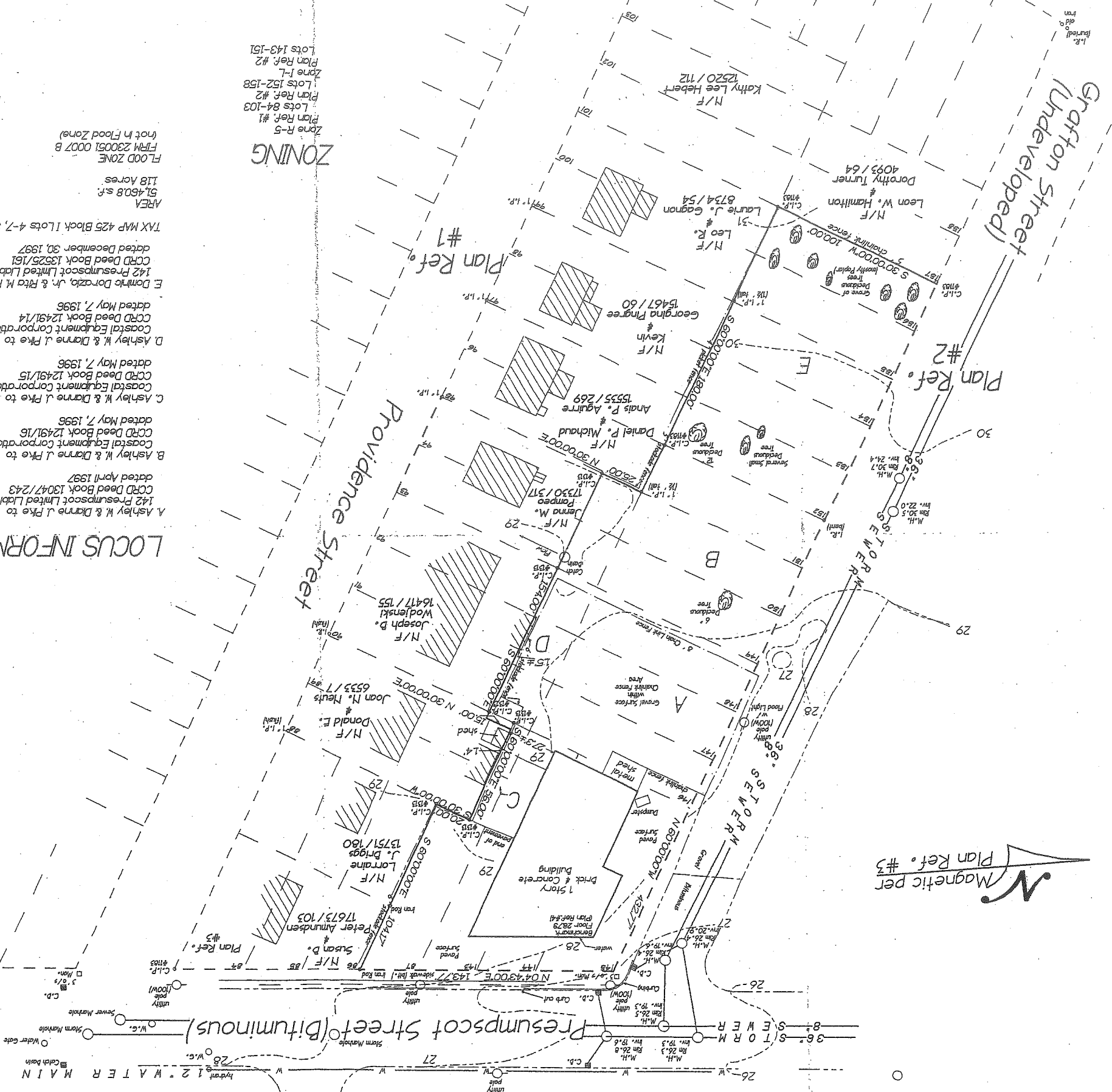
LOCUS INFORMATION

- A Ashley W. & Dianne J. Pike to 142 Presumpscot Limited Liability Company CCRD Deed Book 13047/243 dated April 1997
 - B Ashley W. & Dianne J. Pike to Coastal Equipment Corporation CCRD Deed Book 12491/16 dated May 7, 1996
 - C Ashley W. & Dianne J. Pike to Coastal Equipment Corporation CCRD Deed Book 12491/15 dated May 7, 1996
 - D Ashley W. & Dianne J. Pike to Coastal Equipment Corporation CCRD Deed Book 12491/14 dated May 7, 1996
 - E Donniko Donzoko, Jr. & Rita M. Pranis to 142 Presumpscot Limited Liability Company CCRD Deed Book 13525/161 dated December 30, 1997
- TAX MAP 425 Block Lots 4-7, 33-43, p.a. 8-12 AREA 51,460.8 s.f. 118 Acres FLOOD ZONE FEMA 230051 0007 B (not in Flood Zone)

ZONING

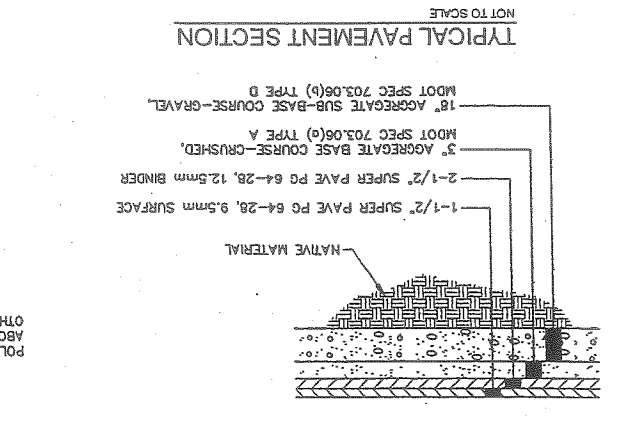
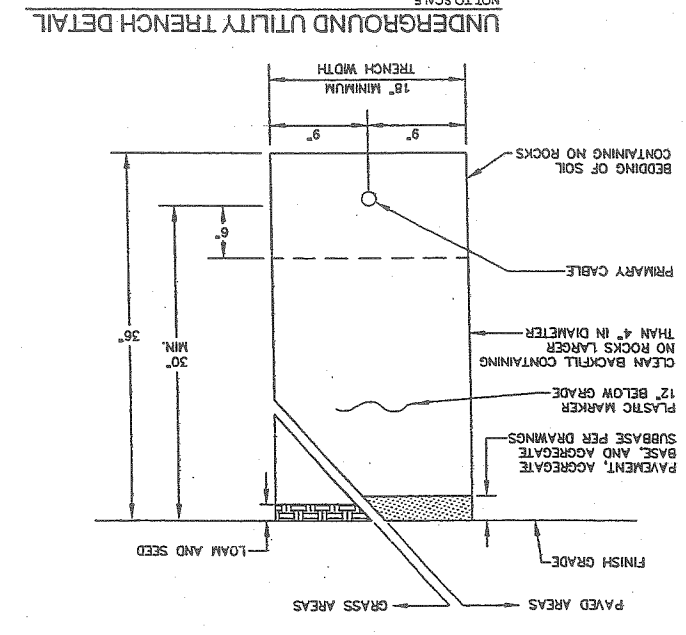
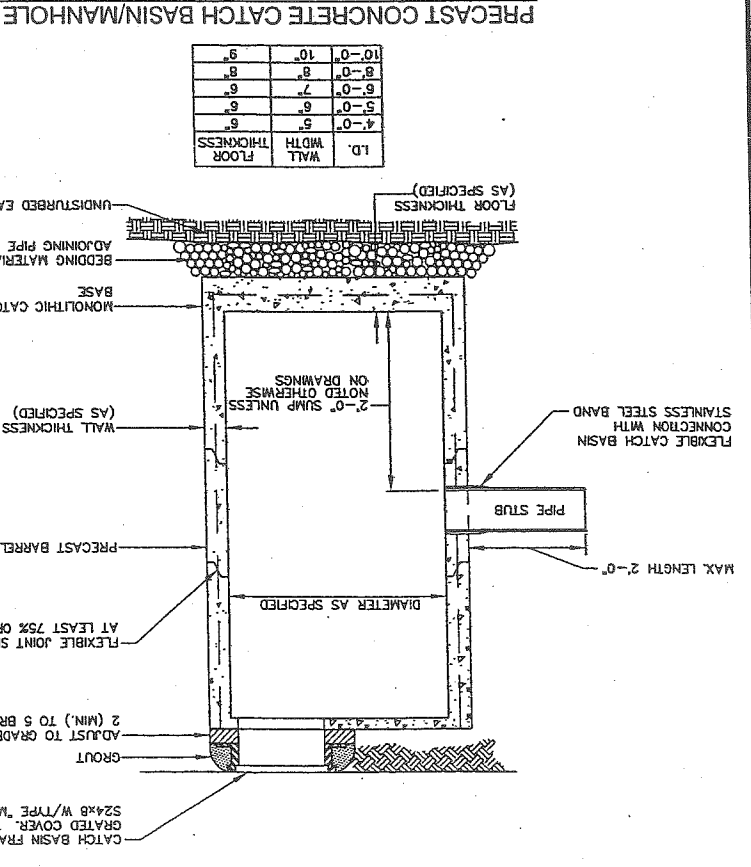
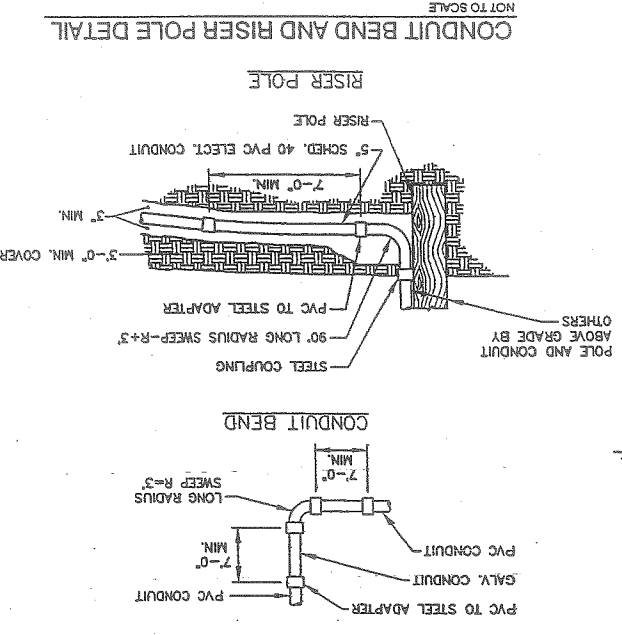
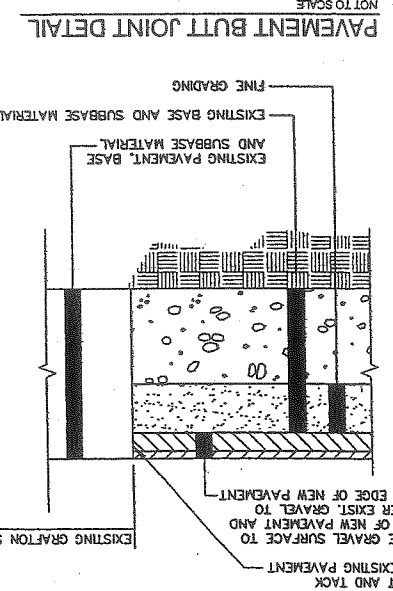
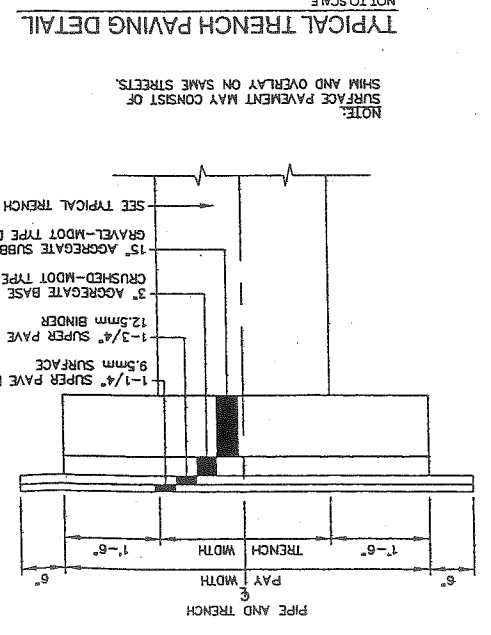
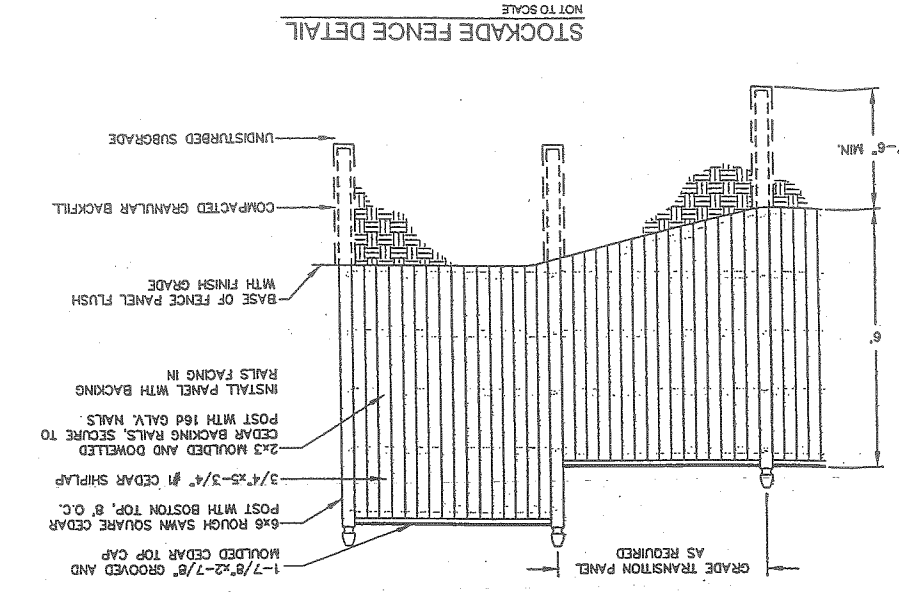
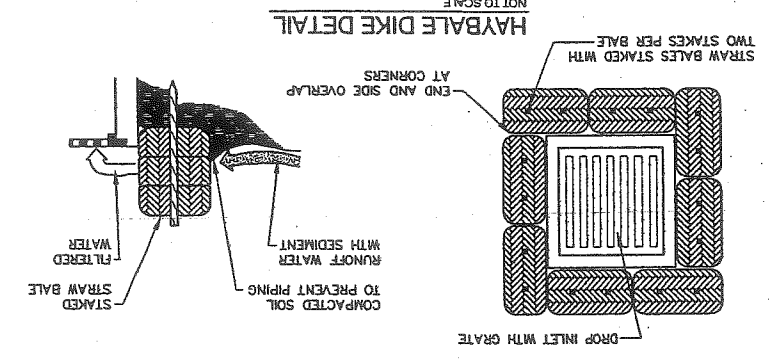
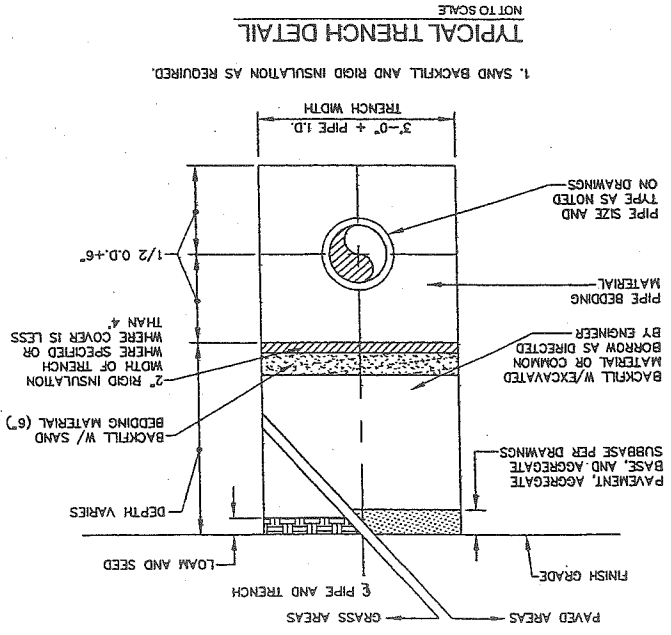
Zone R-5
 Lots 84-103
 Plan Ref. #2
 Zone I-L
 Lots 152-158
 Plan Ref. #2
 Zone I-L
 Lots 143-151

GRAPHIC SCALE 1" = 30'



EROSION CONTROL NOTES

1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:
 - LB5/1,000 S.F.
 - BIRDFOOT TREFOIL
 - CROWNLET
 - CREeping RED FESCUE OR TALL FESCUE
 - SEEDING RECOMMENDED DEPTH
 - SEED
 - SO. FT.
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
 - LB5/1,000 S.F.
 - PERENNIAL
 - SUDANGRASS
 - ANNUAL RYEGRASS
 - OATS
 - WINTER RYE
6. FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 10.4 LB5/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LB5/1,000 S.F.
8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LB5/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LB5/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY. AFTER RAINSTORMS AND DURING RUNOFF EVENTS, ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL. PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
 - STEPHEN A. BRADSTREET, P.E.
 - ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC.
 - 222 ST. JOHN STREET SUITE 314
 - (207) 828-1272
15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - d) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - b) CONSTRUCT THE BUILDING.
 - c) CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - d) REMOVE EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - e) INSTALL PERMANENT EROSION CONTROL MEASURES.



MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-05
JOB NO: 818
SCALE: 1" = 20'

222 St. John Street, Suite 314 Portland, Maine 04102
EER Environmental & Remediation, Inc.

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
STEPHEN A. BRADSTREET
#5740

REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-10-04	ISSUED FOR: QTY COMMENTS	B18-C-100
B	SJB	06-19-00	ISSUED FOR: CLIENT REVIEW	B18-C-100
A				

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SCALE: 1" = 20'
 JOB NO: 818
 DATE: 05-13-03
 CHECKED BY: SJB
 DRAWN BY: JM
 DESIGN BY: SJB

222 St. John Street, Suite 214, Providence, Rhode 04102
EER
 Environmental
 Engineering &
 Regulatory, Inc.

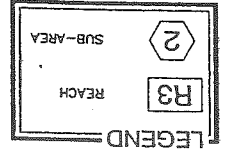
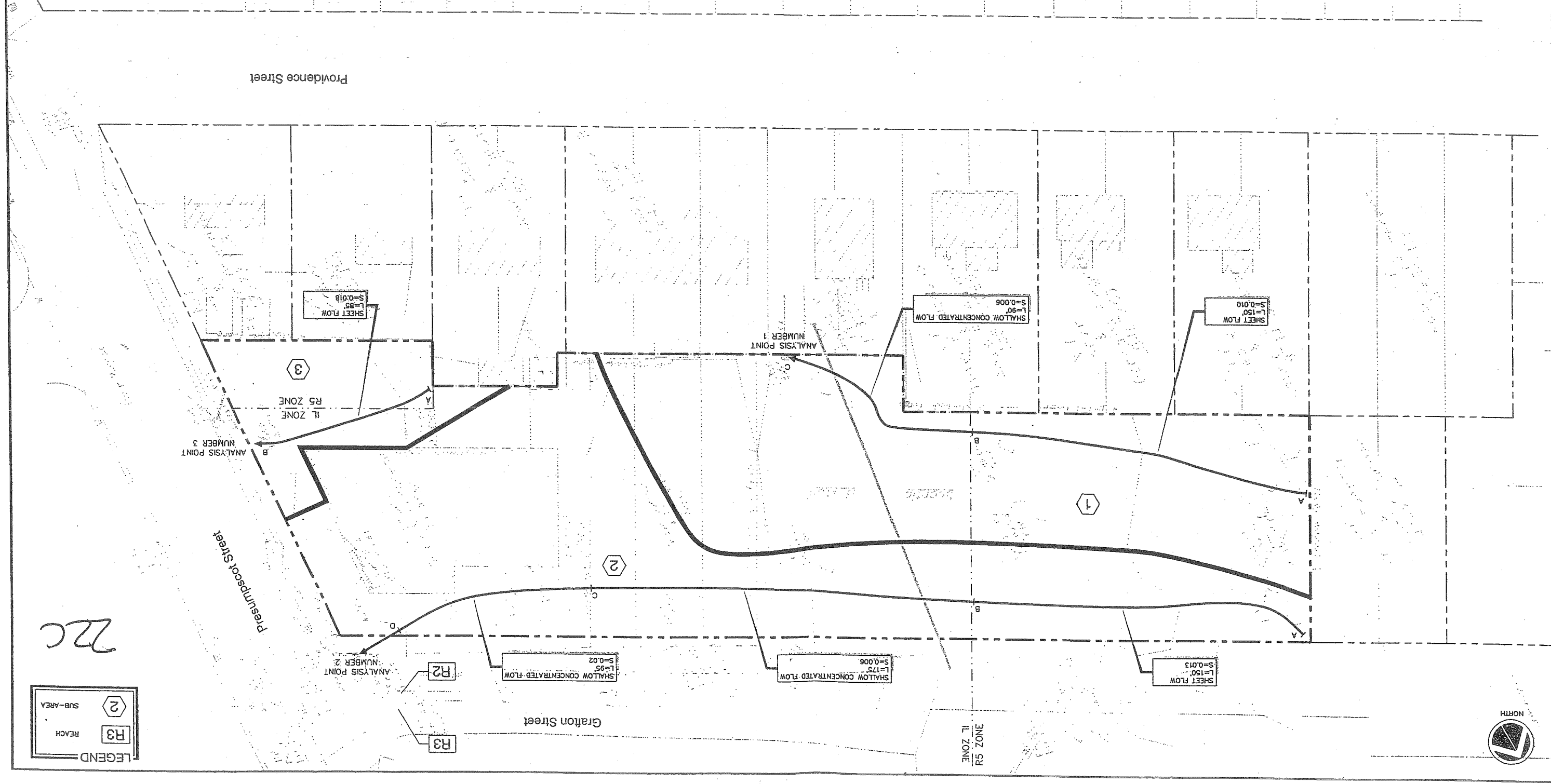


MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 PRE-DEVELOPMENT
 DRAINAGE PLAN

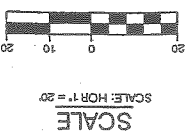


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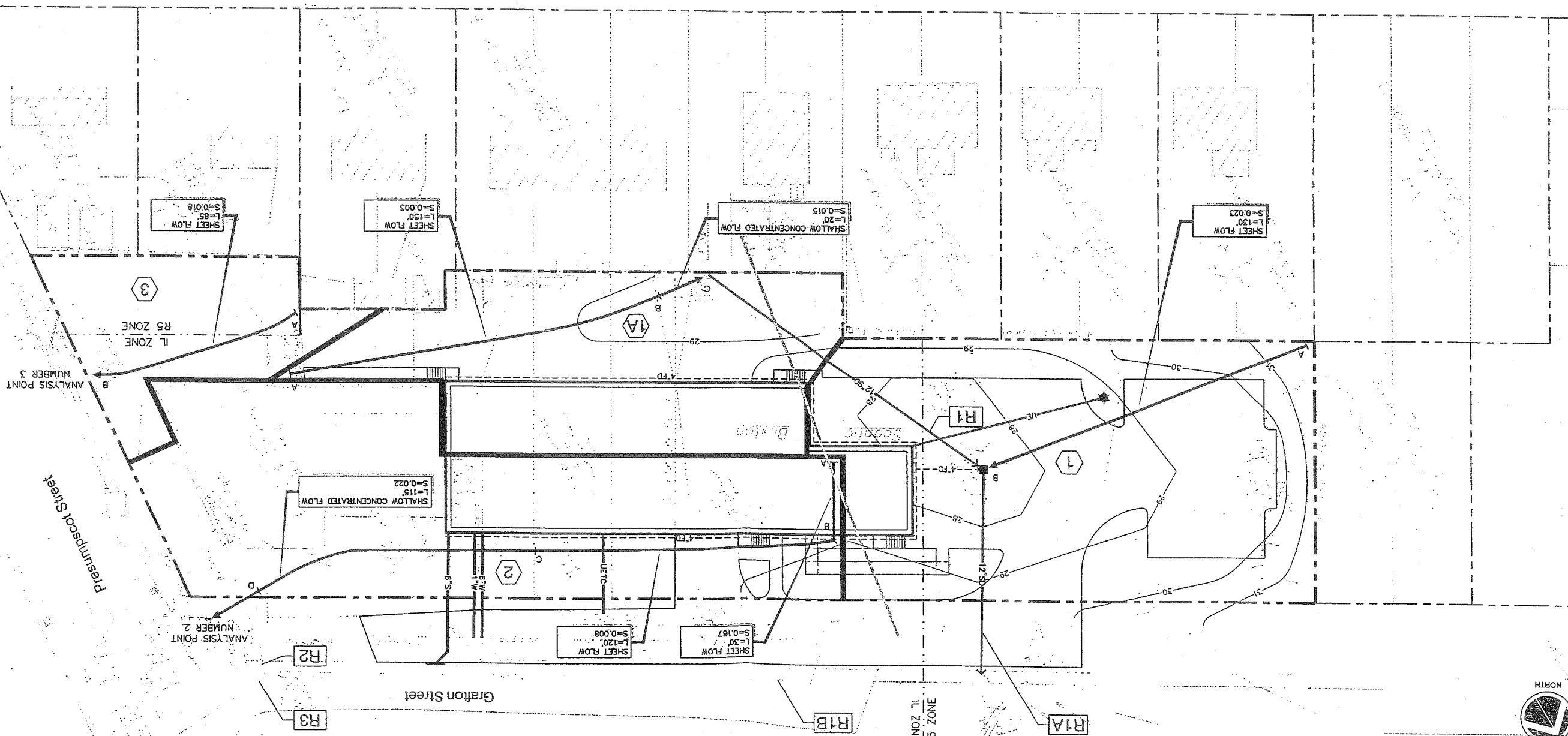
REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_0_H100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_0_H100



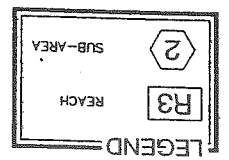
DESIGN BY: SJB DRAWN BY: JMB CHECKED BY: SJB DATE: 05-13-03 JOB NO: B18 SCALE: 1" = 20' PL-104		222 St. John Street, Suite 314 Providence, Rhode Island 04102 EER Environmental Engineering & Architecture, Inc.
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION POST-DEVELOPMENT DRAINAGE PLAN		
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CAD NO. B18_C_H101	REV. B C	BY SJB SJB
DATE 05-13-03 01-16-04	STATUS ISSUED FOR PLANNING STAFF REVIEW ISSUED FOR CITY COMMENTS	REV. BY DATE SJB 05-13-03 SJB 01-16-04

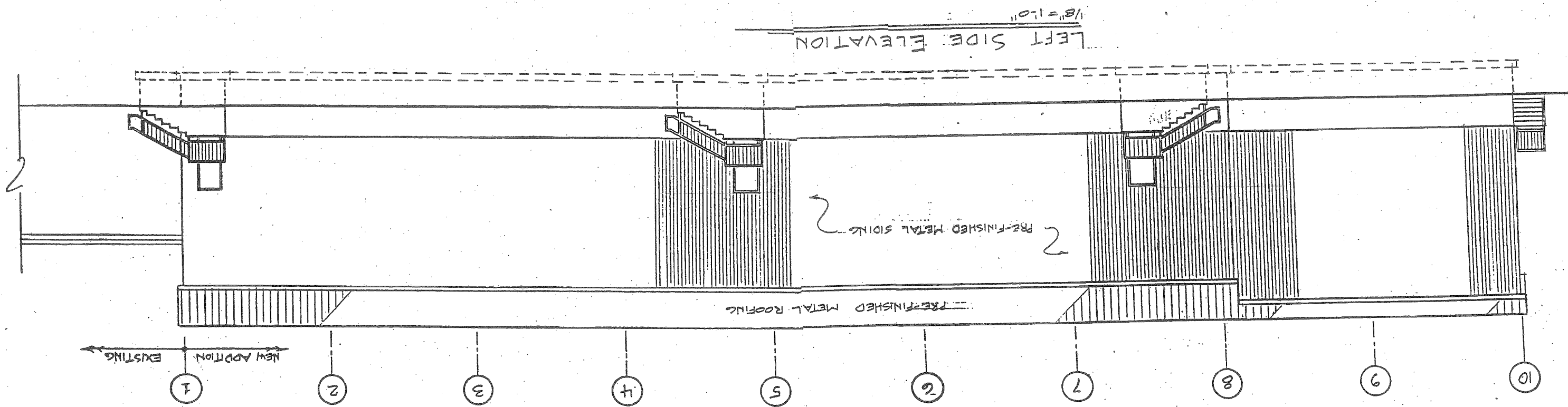


Providence Street



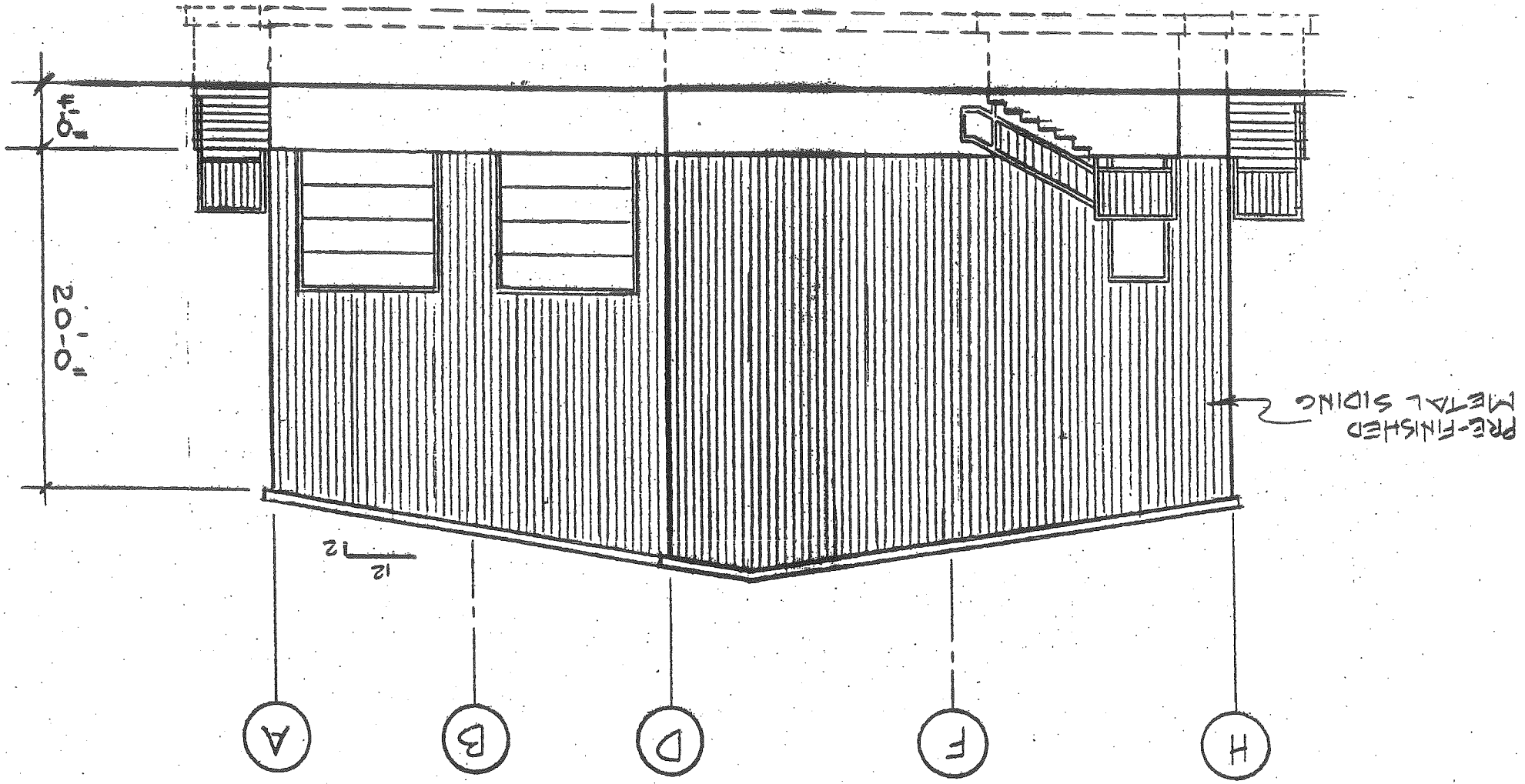
222





AH. 23

REAR ELEVATION



23c

Att: 21

BOUNDARY SURVEY
 142 Presumpscot Street
 Portland, Maine
 for
 142 Presumpscot, LLC
 Warehouse Addition
BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 199 John Small Road, Chebeague Island, Maine 046-1663 846-1664(F)

Date: 03/12/03 Job #: 03002
 Drawn By: JRB Scale: 1"=30'

REFERENCES

- 1 Washington Avenue Gardens
 Portland, Cumberland County, Maine
 owned by Everett C. Wells
 CCRD Deed Book 12491/15
 dated May 7, 1996
- 2 Washington Avenue Gardens Annex
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
- 3 Standard Boundary Survey
 132-134 Providence Street
 Portland, Maine
 for Lester Cord
 by Daniel T. Lapointe PLS #1183
 not recorded
- 4 City of Portland Engineering Plan
 Presumpscot Street
 Portland, Maine
 Sewer Lines and Profile
 File 4967/

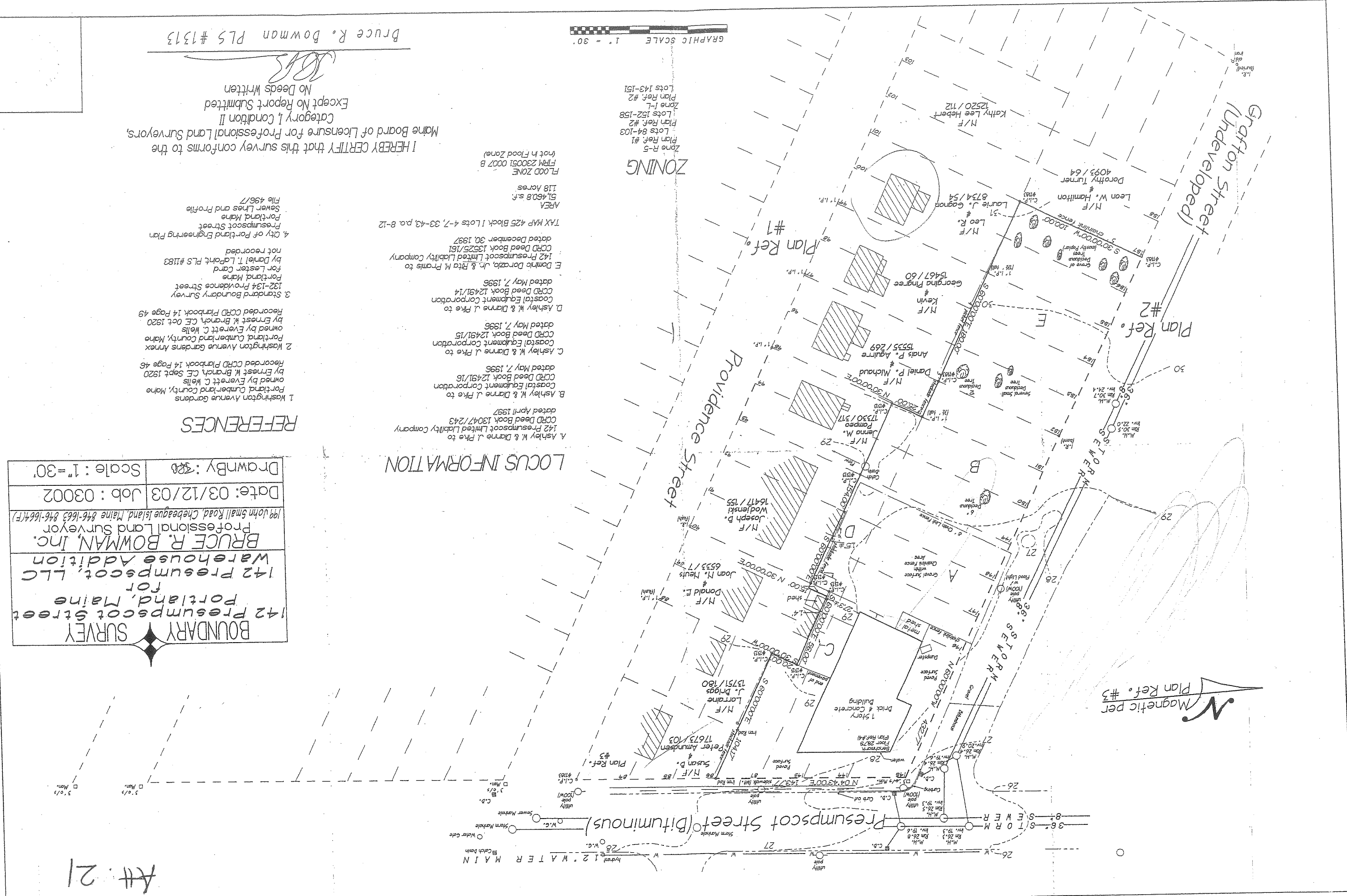
I HEREBY CERTIFY that this survey conforms to the
 Maine Board of Licensure for Professional Land Surveyors,
 Category I, Condition II
 Except No Report Submitted
 No Deeds Written
JRB
 Bruce R. Bowman PLS #1313

LOCUS INFORMATION

- A. Ashley W. & Dianne J. Pike to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13047/243
 dated April 1997
 - B. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - C. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - D. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/14
 dated May 7, 1996
 - E. Dornik Dorozia, Jr. & Rita M. Promis to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13525/161
 dated December 30, 1997
- TAX MAP 425 Block 1 Lots 4-7, 33-43, p.a. 8-12
 AREA 51,450.8 s.f.
 FLOOD ZONE
 FPM 230051.0007 B
 (not in Flood Zone)
 Zone R-5
 Plan Ref. #1
 Lots 84-103
 Plan Ref. #2
 Zone I-L
 Lots 152-158
 Plan Ref. #2
 Zone I-L
 Lots 143-151
 Plan Ref. #2

GRAPHIC SCALE 1" = 30'

ZONING



DESIGN BY: SJB
 DRAWN BY: JAE
 CHECKED BY: SJB
 DATE: 03-24-03
 JOB NO: 818
 SCALE: 1" = 20'
 C-100
 SHEET 1 OF 3

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 AND EROSION CONTROL PLAN



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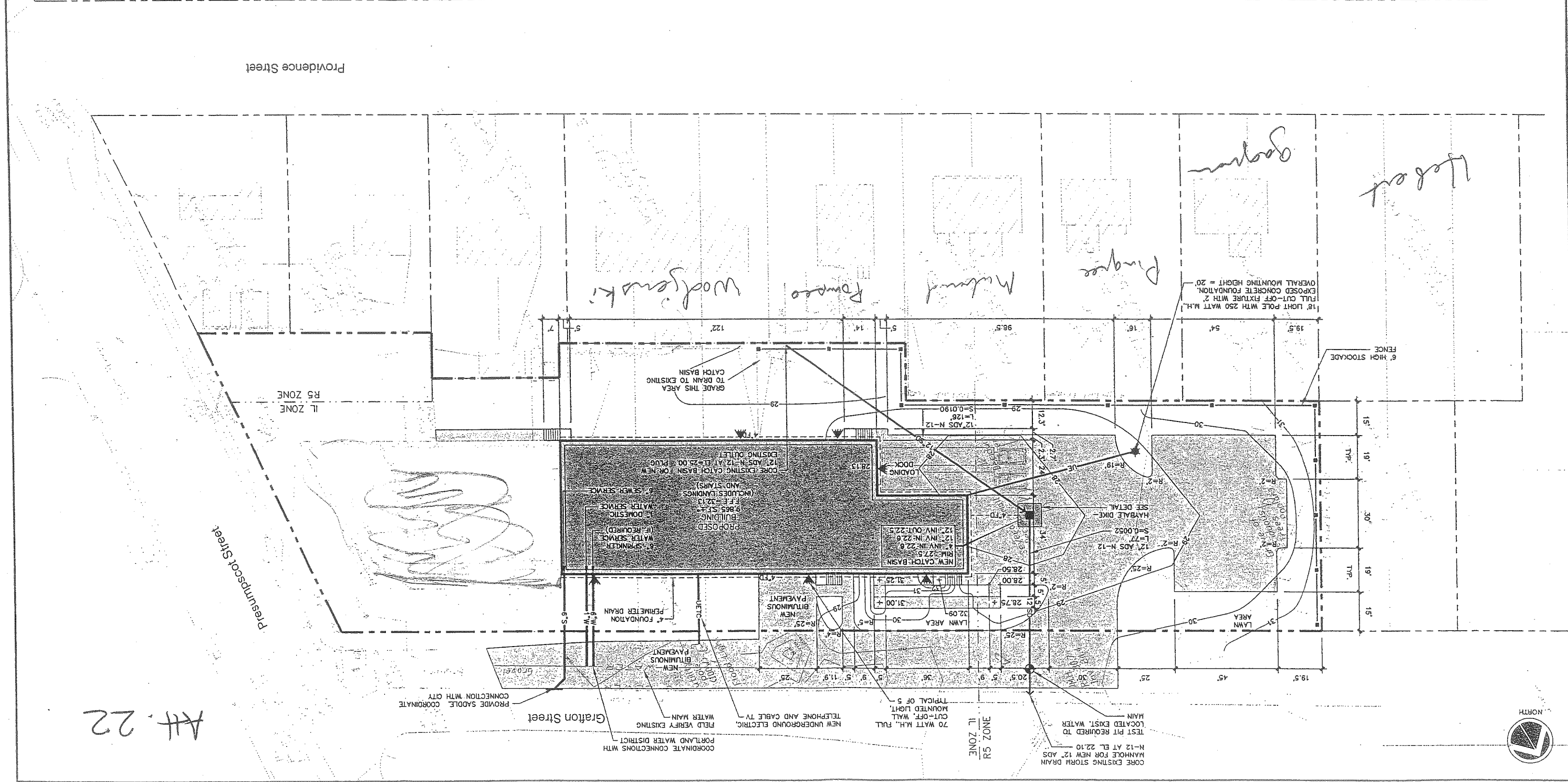
REV	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS	818_C-100
B	SJB	05-14-03	ISSUED FOR PLANNING STAFF REVIEW	818_C-100



DEVELOPMENT SUMMARY

EXISTING	PROPOSED
BUILDING	15,750 S.F.
PAVEMENT	21,177 S.F.
PERVIOUS	36,024 S.F.
TOTAL PARCEL AREA	51,461 S.F.

- GENERAL NOTES
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 - PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 - PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.



Att. 22



MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
LANDSCAPING, STRIPING
AND SIGNAGE PLAN

DESIGN BY: SJB
DRAWN BY: JAM
CHECKED BY: SJB
DATE: 03-24-03
JOB NO.: 818
SCALE: 1" = 20'
SHEET 2 OF 3

196 Wilbur Avenue, Portland, Maine 04102
Bony J. Hosmer, A.S.L.A.
Landscape Architect

222 St. John Street, Suite 314 Portland, Maine 04102
BARRY A. HOSMER
No. 79
LANDSCAPE ARCHITECT
STATE OF MAINE
LICENSED PROFESSIONAL LANDSCAPE ARCHITECT
#5740

REV.	BY	DATE	STATUS	COMMENTS
C	SJB	01-16-04	ISSUED FOR: QTY COMMENTS	
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	
A	SJB	01-16-03	ISSUED FOR: QTY COMMENTS	

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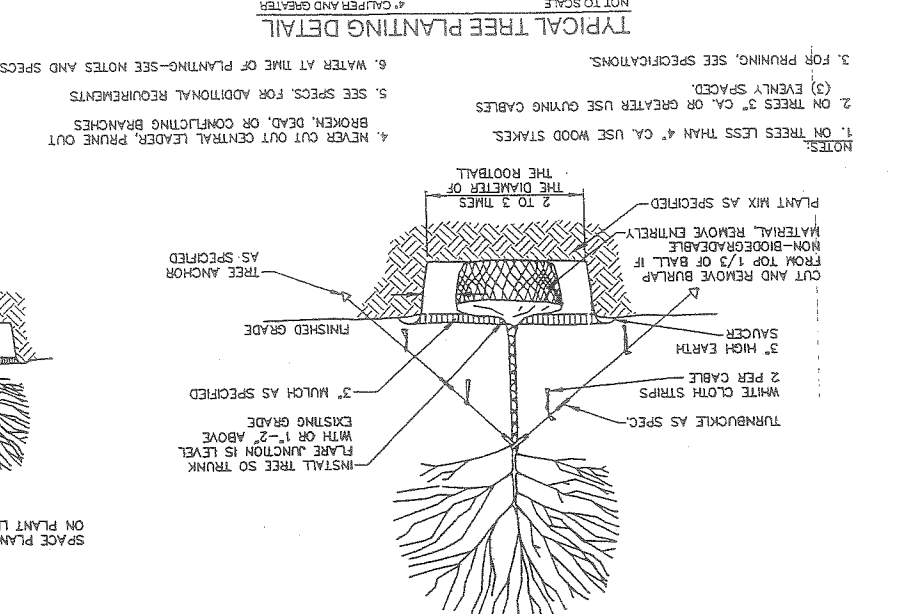
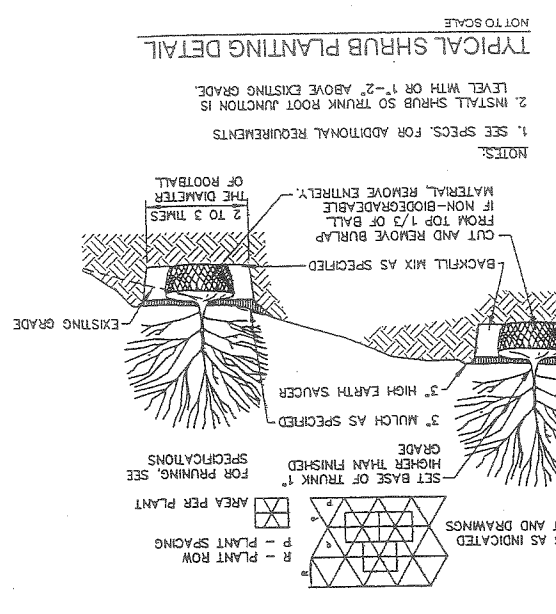
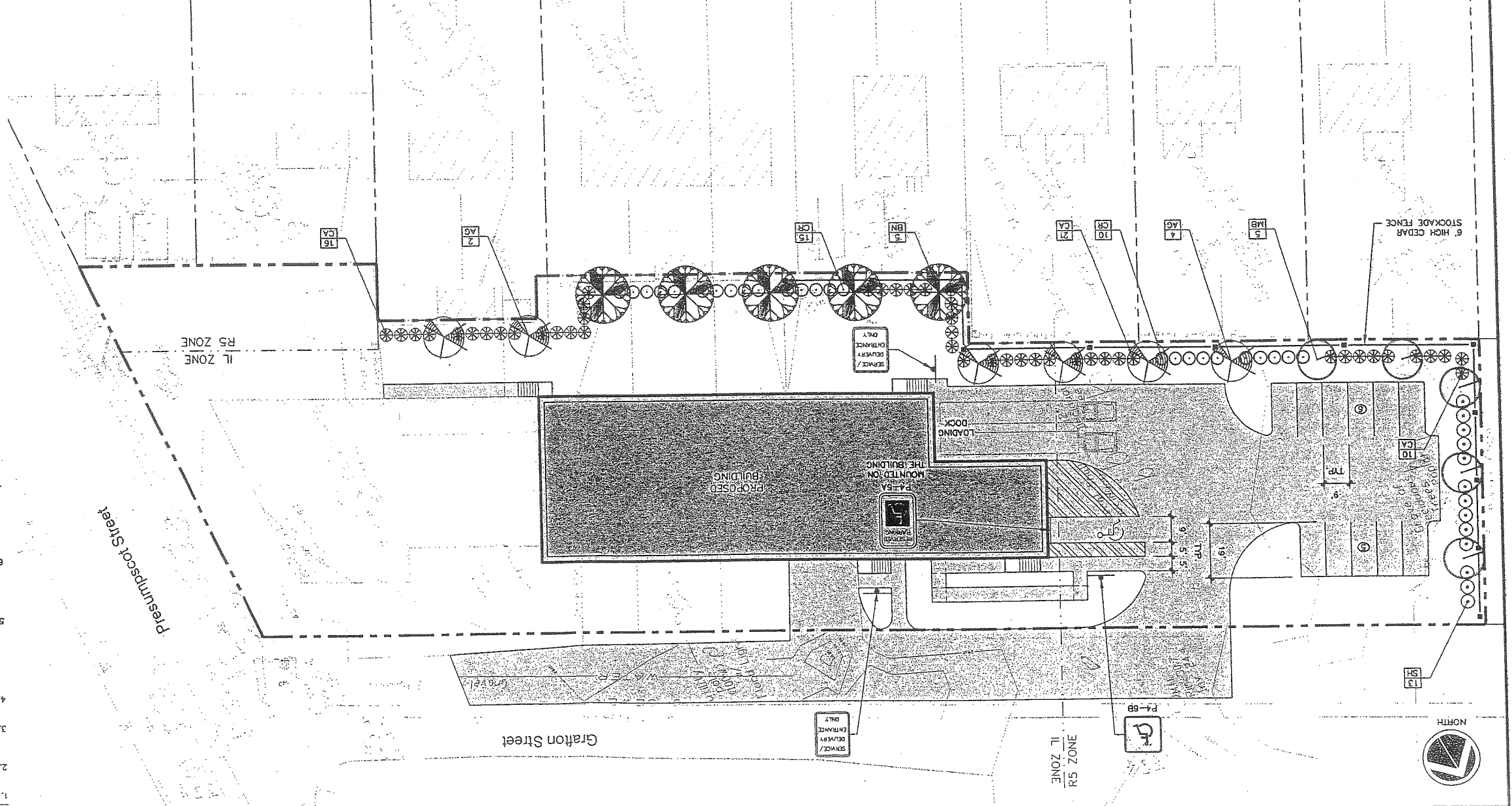
SCALE
SCALE HORIZ: 1" = 20'

PLANT SPECIES LIST

SYM.	QTY.	BOTANICAL NAME	SIZE	REMARKS
AG	6	AMELANCHIER X GRANIFLORA "ROBIN HILL"	2.5-3" CAL. 30" O.C. B&B	
BN	5	BETULA NIGRA "HERITAGE"	2.5-3" CAL. 30" O.C. B&B	
CR	25	CLETHRA ALNIFOLIA "RUBY SPICE"	2.5-3" CAL. 30" O.C. B&B	
CA	47	CORNUS ALBA "IVORY HALL"	2.5-3" CAL. 30" O.C. B&B	
MB	5	MALUS BACCATA "WALTER'S"	2.5-3" CAL. 30" O.C. B&B	
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	2.5-3" CAL. 30" O.C. B&B	

LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS WORK AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR UNTIL ALL PAVING AND PAINTING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-UNRESERVED STOCK LATEST REVISION. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. ROOTS OR THE ROOT BALL SHALL BE CUT GROUPE. THE PLANT SHALL BE STRIPPED OF ALL EXCESSIVE BRANCHES AND CUT AT THE BUTTERFLY METHOD. TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20 LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LEFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE AND SLOW RELEASE FERTILIZER ARE FIRST BACKFILL LEFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "AGFORM" 21 GRAM 20-10-5 PLANTING TABLETS ON AN APPROVED EQUAL APPLICATION RATE. PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2' AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "ROOTS" OR AN APPROVED EQUAL MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 OZS/PLANT, WOODY SHRUBS TO 4'-0"-15' GAL/PLANT, TREES AND SHRUBS 4'-0" TO 10'-0" GAL/PLANT AND TREES TO 10'-0" GAL/PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADOQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED.
8. TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDED HEMLOCK BARK IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A 25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEED WITH LOFTS "TRI-PLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCY BETWEEN THE PLANT SPECIES LIST AND THE DRAWINGS SHALL NOT ENTITILE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.



NOTES:

1. ON TREES LESS THAN 4" CAL. USE WOOD STAKES.
2. ON TREES 3" CAL. OR GREATER USE GUYING CABLES.
3. FOR PRUNING, SEE SPECIFICATIONS.
4. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES.
5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS.
6. WATER AT TIME OF PLANTING--SEE NOTES AND SPECS.

SHEET 2 OF 3
 C-102
 SCALE: 1" = 20'
 JOB NO: 818
 DATE: 03-24-03
 CHECKED BY: SJB
 DRAWN BY: JAN
 DESIGN BY: SJB

222 St. John Street, Suite 314, Portland, Maine 04102
EER
 Environmental Engineering & Remediation, Inc.
 Environmental Engineers & Scientists

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 CONSTRUCTION DETAILS

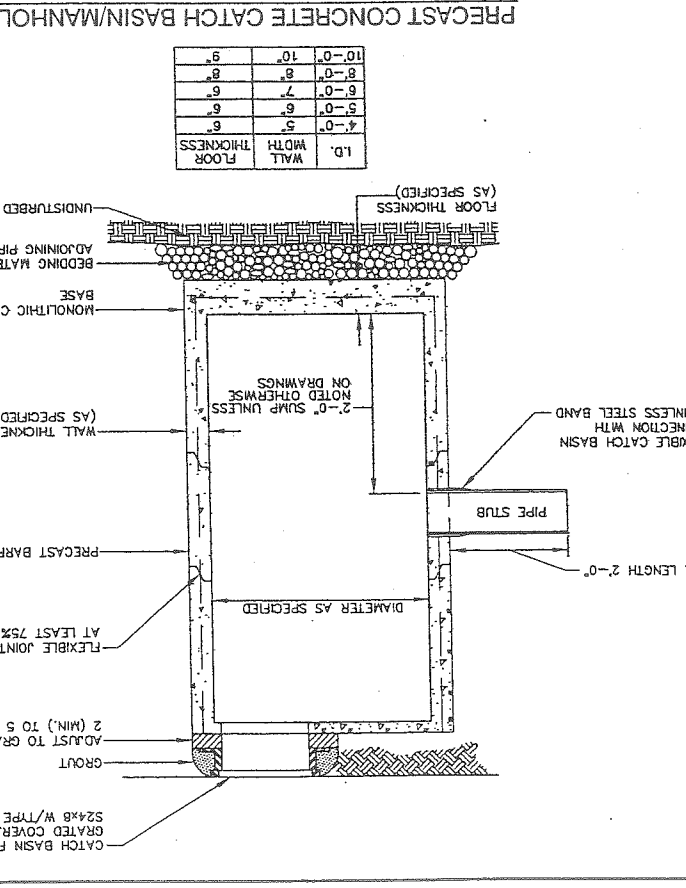
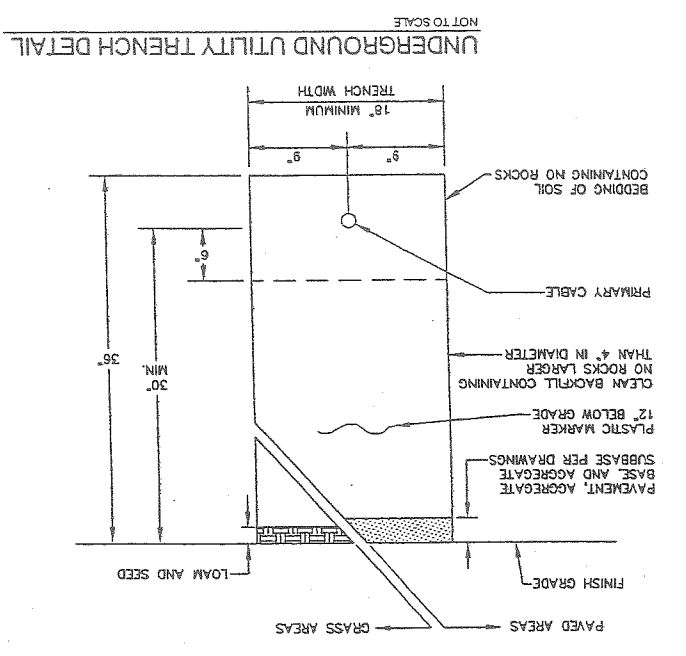
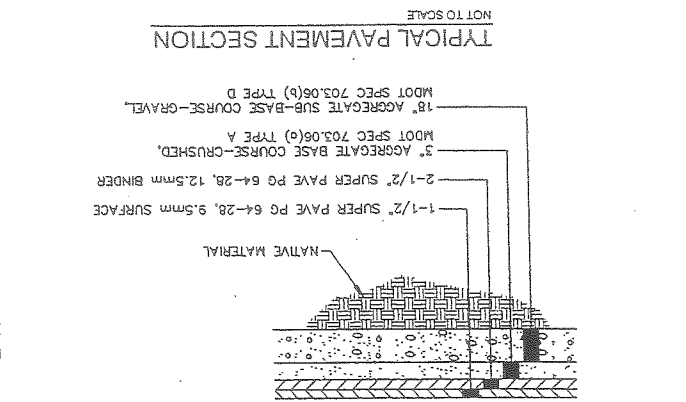
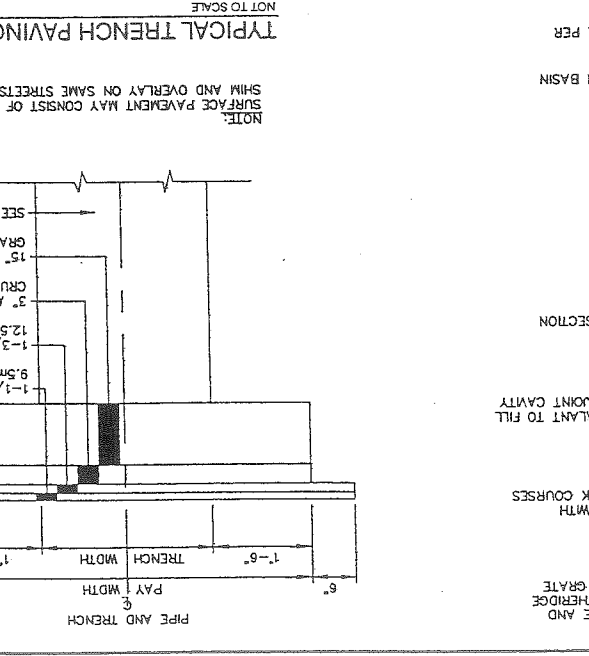
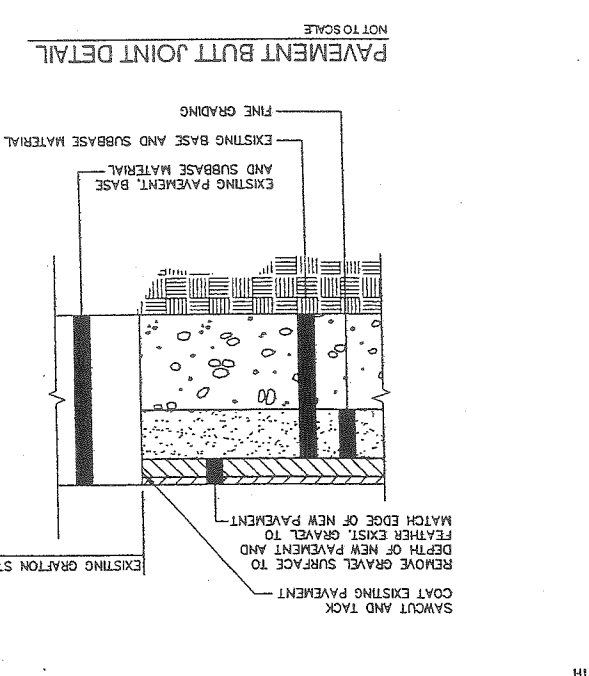
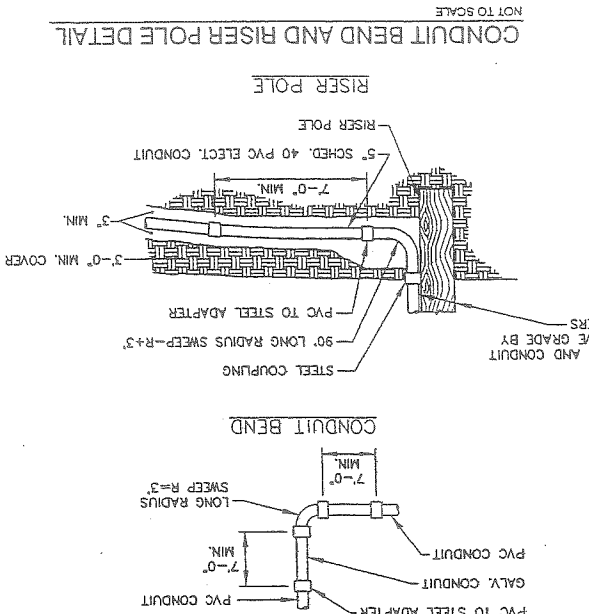
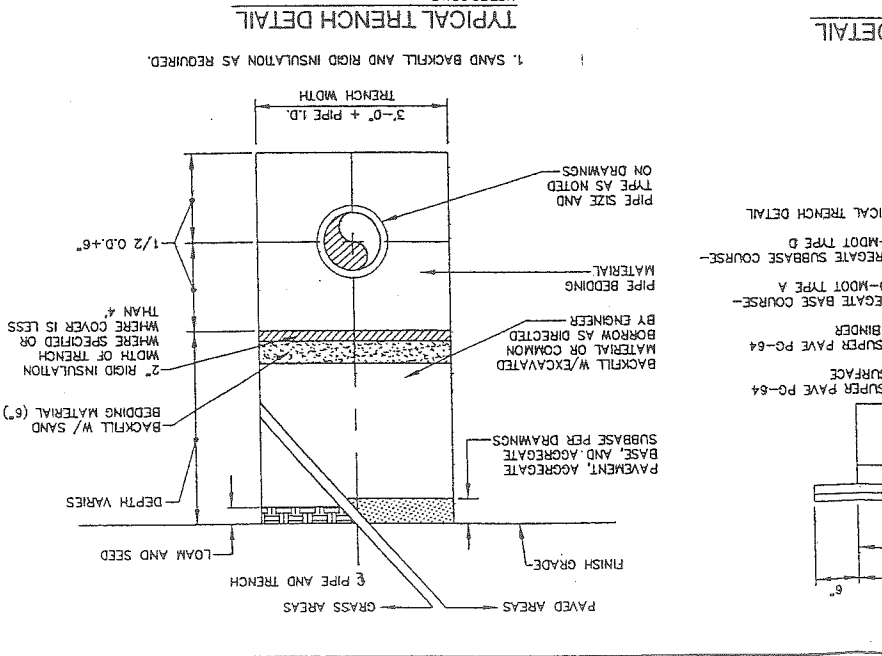
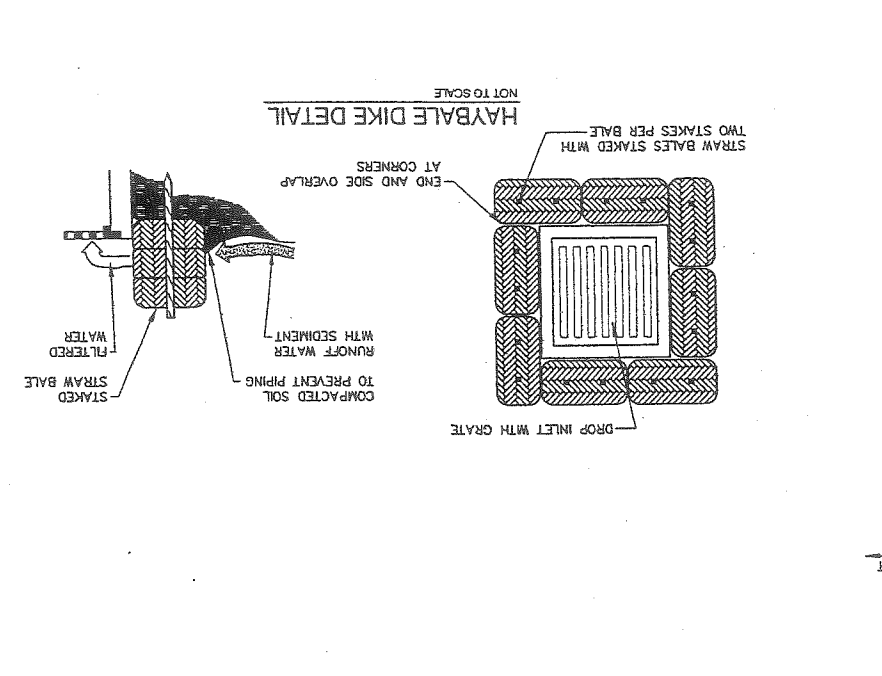
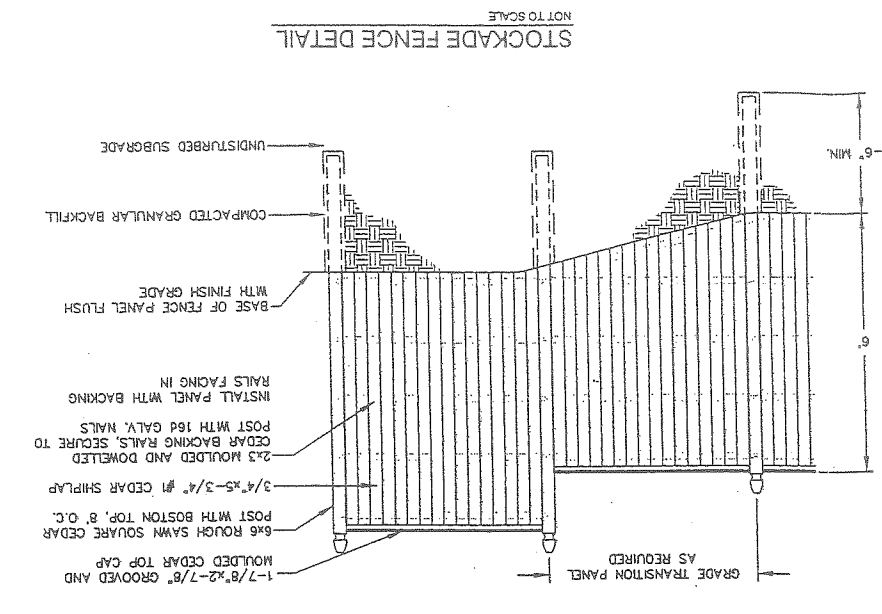
STATE OF MAINE
 PROFESSIONAL ENGINEER
 BRAD STREET
 #5740

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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS	818-C-100
B	SJB	05-13-03	ISSUED FOR CLIENT REVIEW	818-C-100

- EROSION CONTROL NOTES**
- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE MAJOR EROSION AND SEDIMENT CONTROL PROCEDURES AND SPECIFICATIONS OF THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MANAGEMENT PRACTICES", MARCH 1991 (BMP HANDBOOK).
 - SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
 - PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
 - PERMANENT SEEDING SHALL BE:
 - BIRDFOOT TREFOIL 1.8 LBS/1,000 S.F.
 - GREENING RED FESCUE OR TALL FESCUE 0.34 LBS/1,000 S.F.
 - TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

SEED	LB/1,000 SQ. FT.	DEPTH	SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	4/1-7/1
PERENNIAL SUDANGRASS	0.9	.5-1"	5/15-8/15
PERENNIAL REGRASS	0.9	.25"	4/1-7/1
PERENNIAL	0.9	.25"	8/15-9/15
 - FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
 - LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
 - MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
 - WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
 - ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
 - SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL. PRIOR TO SEEDING AND SHALL THEN BE REFERTILIZED, RESEEDED AND REMULCHED.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
 - ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC.
 - STEPHEN J. BRAD STREET, P.E.
 - 222 ST. JOHN STREET SUITE 314
 - (207) 828-1272
 - EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - CONSTRUCT THE BUILDING.
 - CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - INSTALL PERMANENT EROSION CONTROL MEASURES.

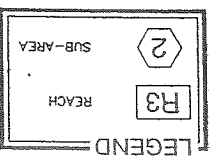
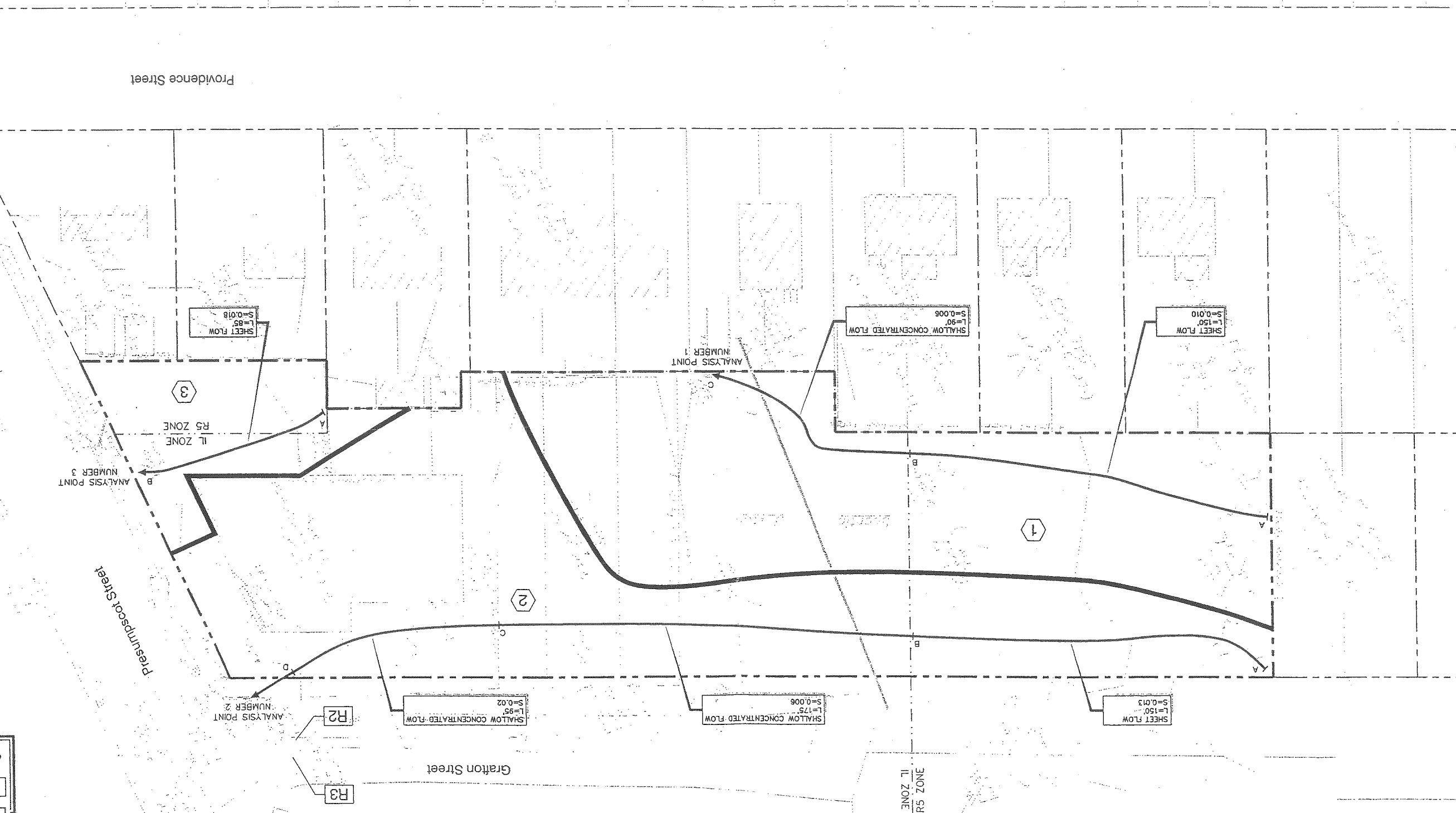
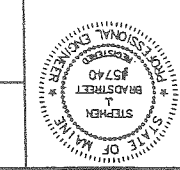


H-100	
SCALE:	1" = 20'
JOB NO.:	B18
DATE:	05-13-03
CHECKED BY:	SJB
DRAWN BY:	JAG
DESIGN BY:	SJB

222 St. John Street, Suite 314 Providence, Rhode Island 04102	
EER Engineering & Environmental Remediation, Inc.	

MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION PRE-DEVELOPMENT DRAINAGE PLAN	
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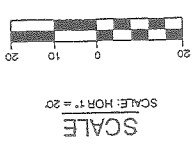
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REV.	BY	DATE	STATUS
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW
CAD NO.			
	818_C_H100		
	818_B_H100		



22C

H-101
 SCALE: 1" = 20'
 JOB NO: 818
 DATE: 02-12-03
 CHECKED BY: SJB
 DRAWN BY: JAM
 DESIGN BY: SJB

222 St. John Street, Suite 714 Portland, Maine 04102
EER
 Environmental
 Engineering &
 Restoration, Inc.

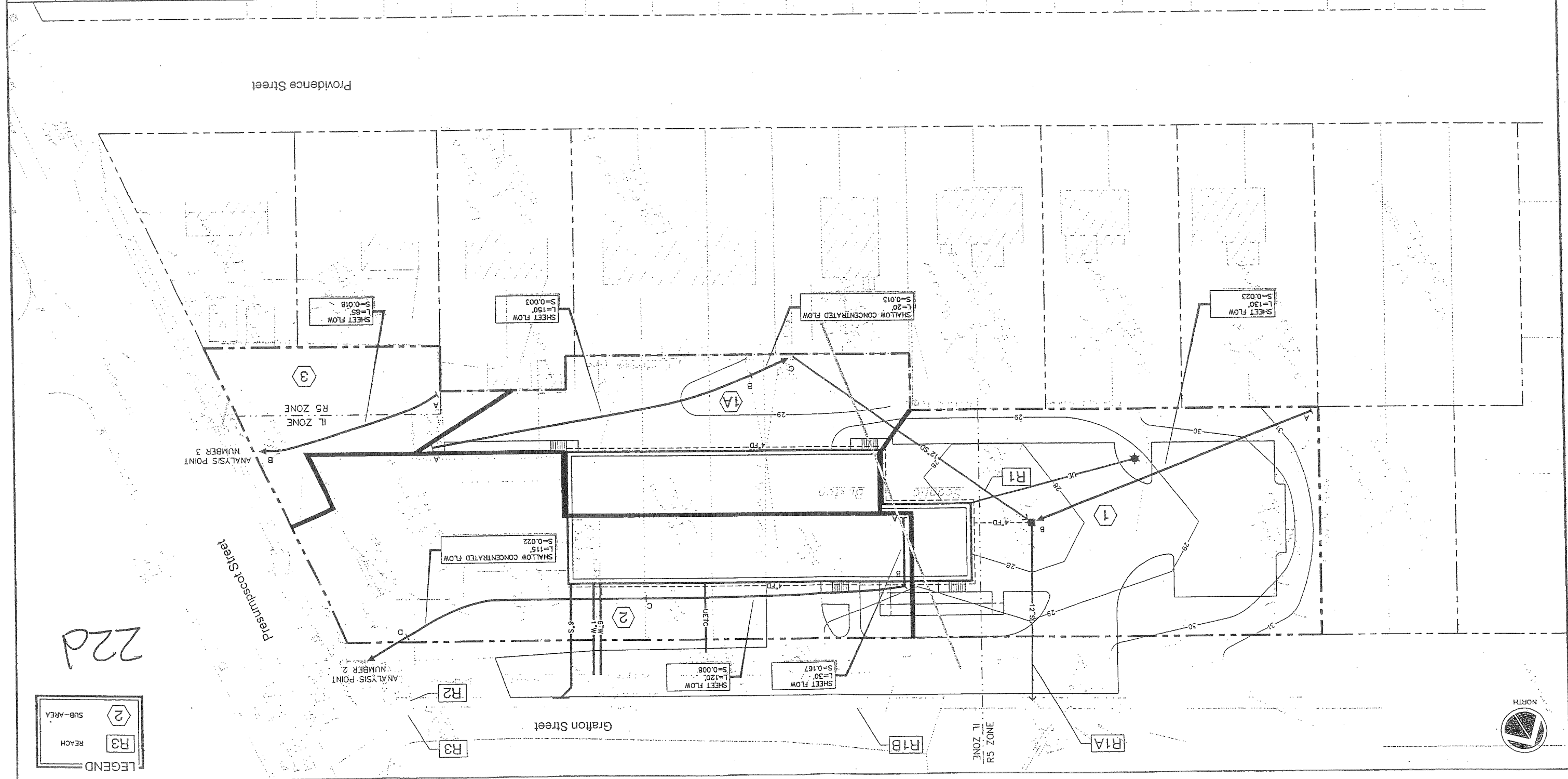


MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 POST-DEVELOPMENT
 DRAINAGE PLAN

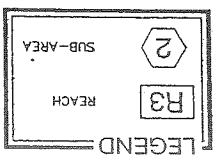


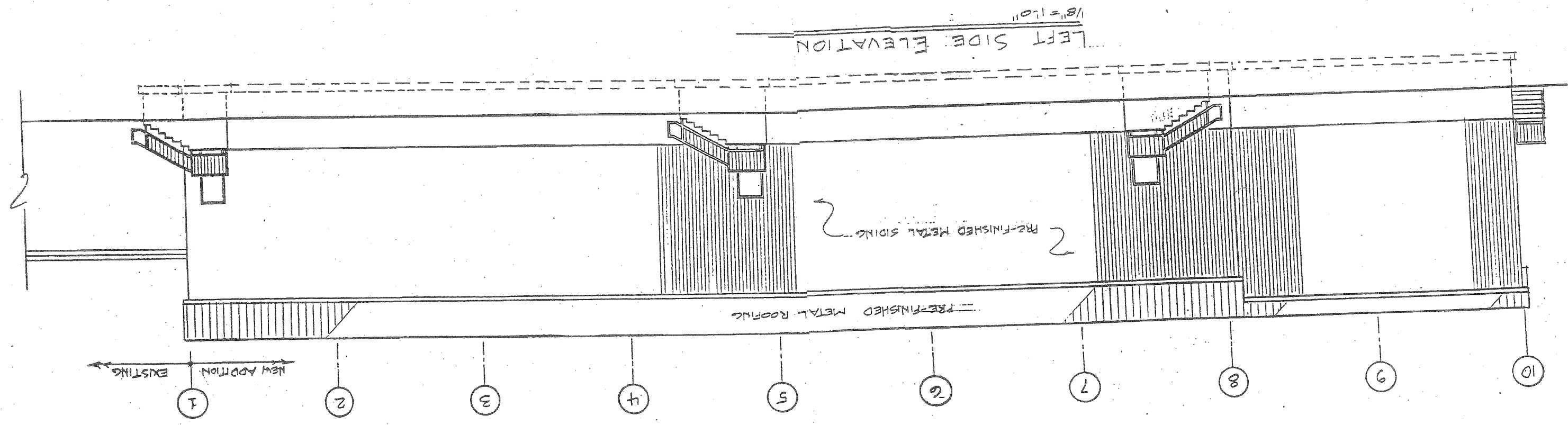
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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS	818_C_H101
B	SJB	05-13-03	ISSUED FOR PLANNING STAFF REVIEW	818_B_H101



222d





Att. 23

1

RIGHT SIDE ELEVATION
1/8" = 1'-0"

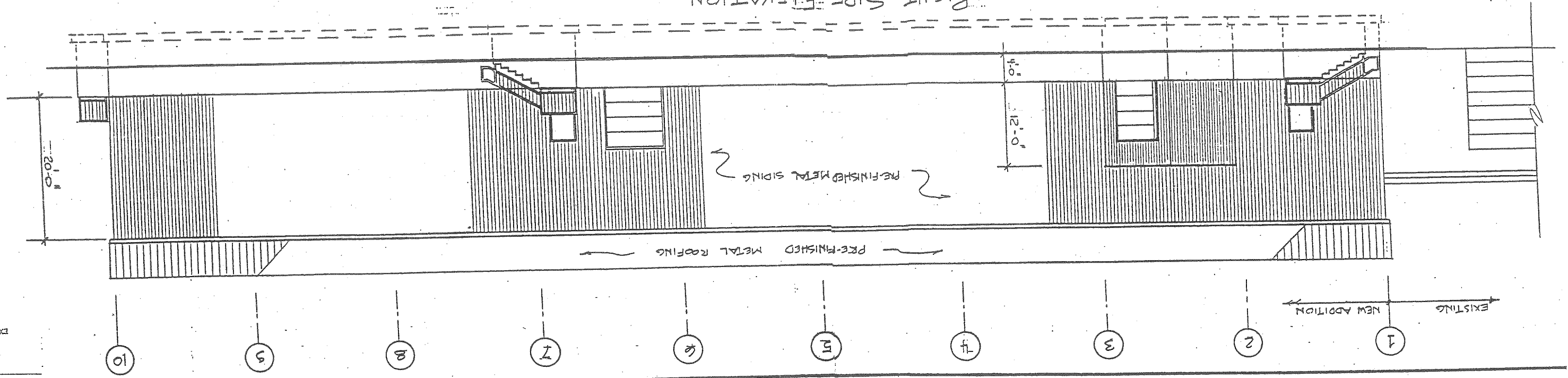
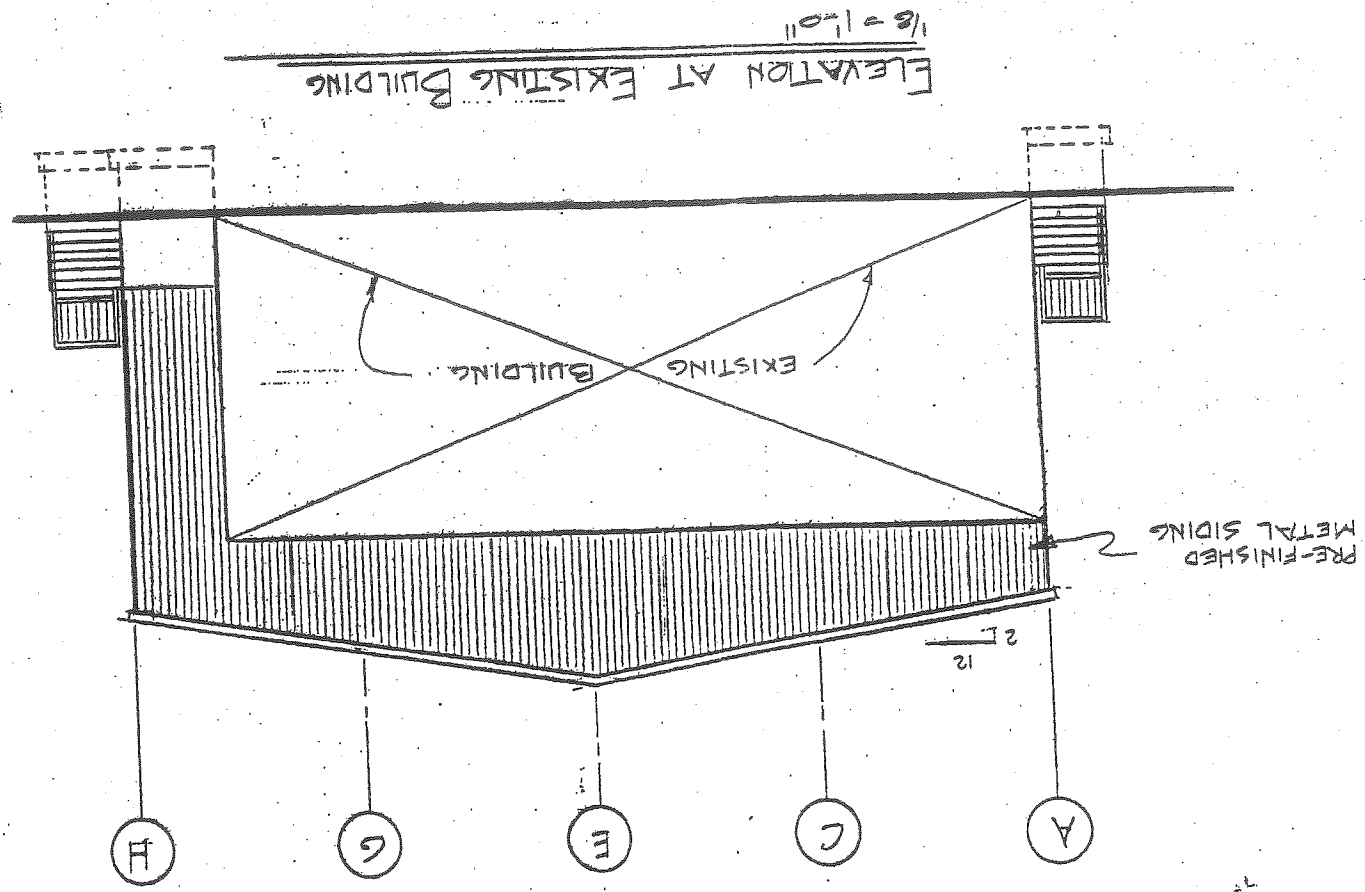


EXHIBIT H-2

230

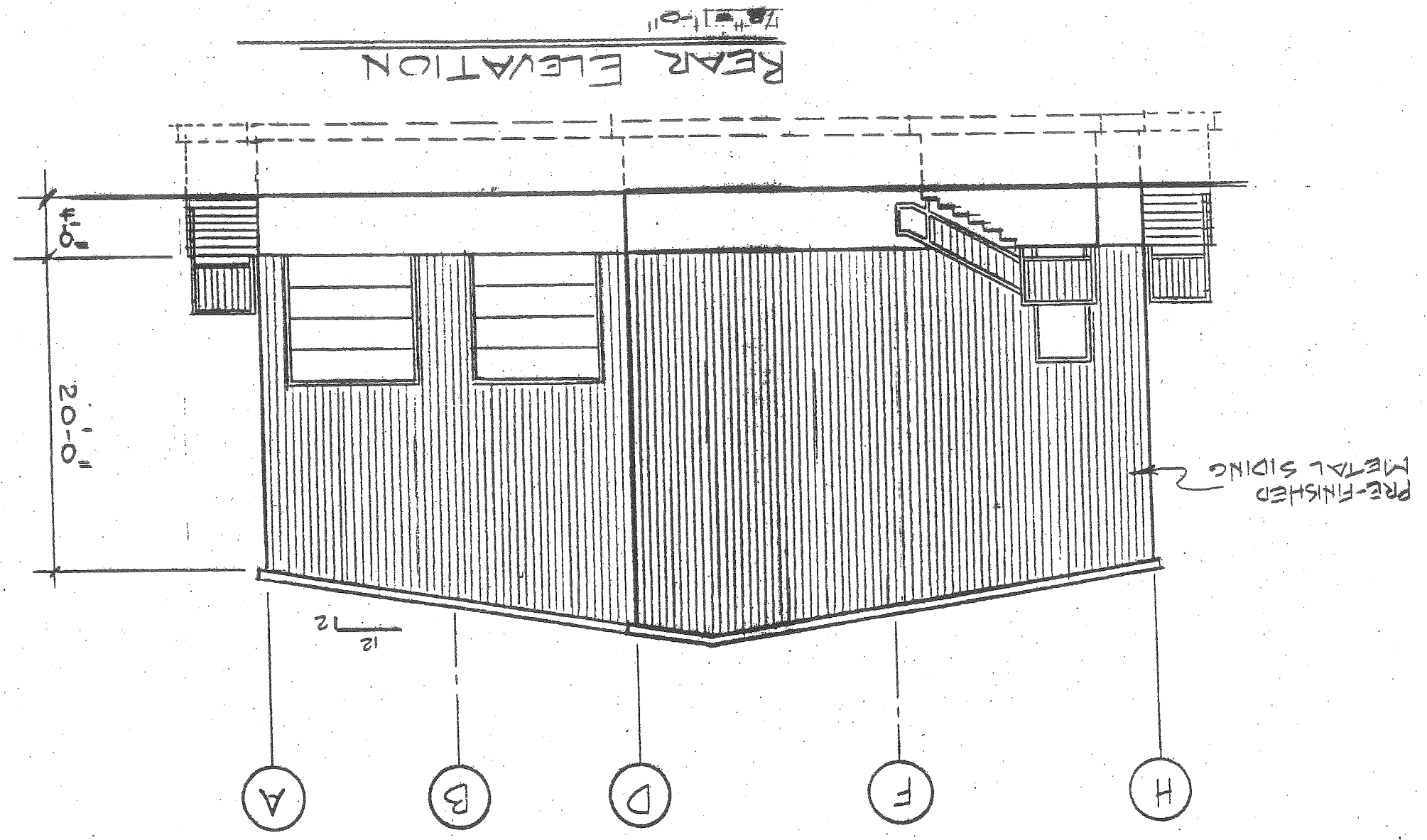
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PRE-FINISH
METAL



07/11/17

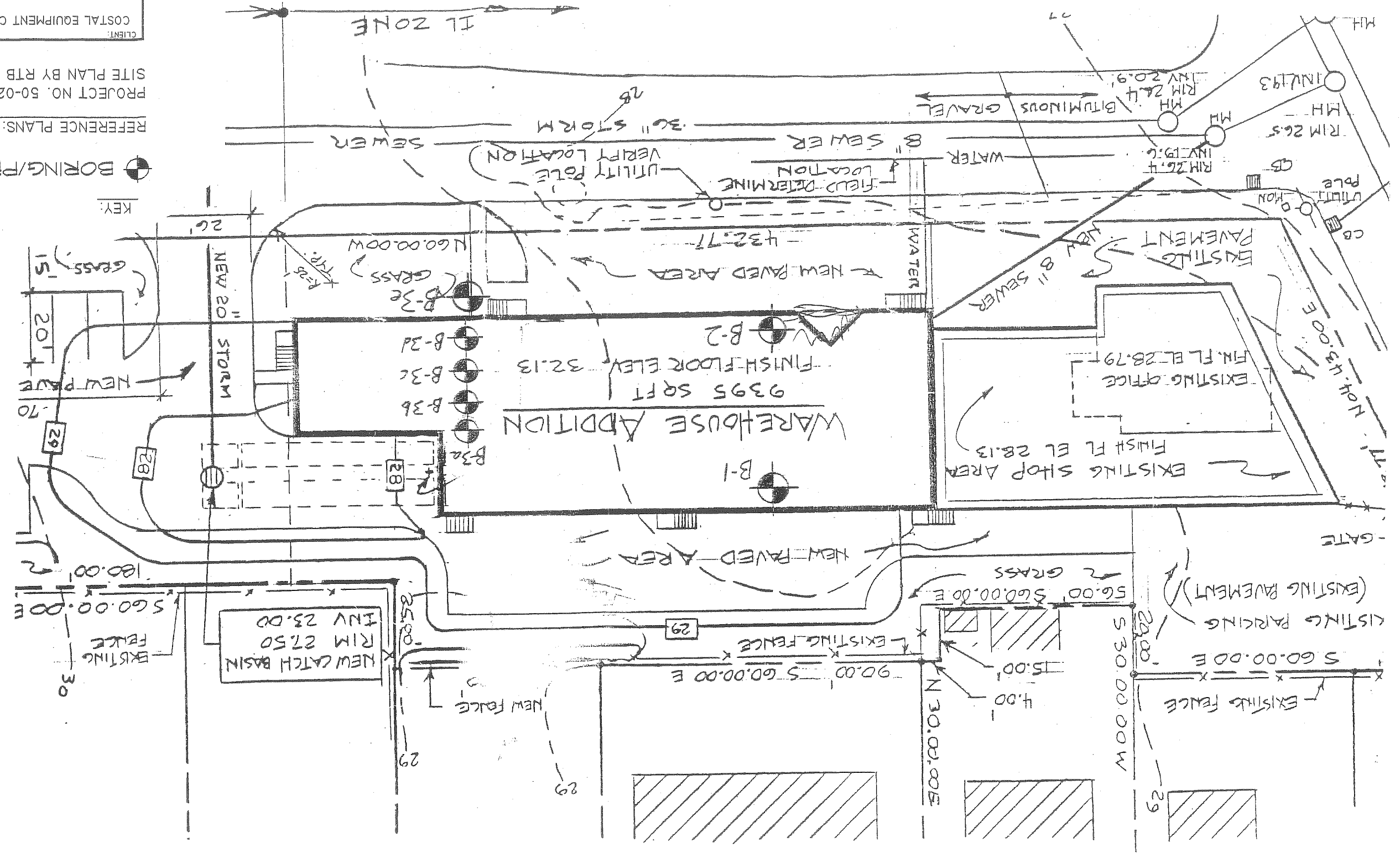
23c



PROJECT NO.: Lewiston, Maine 04240		APPROVED: W.M.P.	FILE NO.: 7808
640 Main Street ENGINEERING SERVICES		DESIGN: ---	DATE: 5/7/04
C.W.C.		SCALE: 1" = 30'	FIGURE: ---
DRAWN: SUMMIT		TITLE: BORING LOCATION PLAN	
CLIENT: COSTAL EQUIPMENT CORP.		PROJECT: BUILDING EXPANSION PORTLAND, MAINE	

PROJECT NO. 50-02, C-1, JUNE 19, 2002
 SITE PLAN BY RTB ENTERPRISES

REFERENCE PLANS:
 BORING/PROBE



IL ZONE

KEY:

NEW 20" STORM
 NEW PAVED AREA
 GRASS
 15'
 20'
 70'
 29

NEW CATCH BASIN
 RIM 27.50
 INV 23.00
 EXISTING FENCE
 560.00.00E
 180.00'
 30

NEW FENCE
 29

EXISTING FENCE
 90.00' S 60.00.00 E
 29

N 30.00.00E
 4.00'
 15.00'
 29

S 30.00.00W
 29.00'
 29

EXISTING FENCE
 560.00.00E
 56.00' S 60.00.00E
 29

GATE

EXISTING PAVEMENT
 NEW 8" SEWER
 WATER

SEWER
 36" STORM
 WATER

FIELD DETERMINE
 UTILITY POLE
 VERIFY LOCATION

WAREHOUSE ADDITION
 9395 SQ FT
 FINISH FLOOR ELEV. 32.13

EXISTING SHOP AREA
 FIN. FL. EL. 28.13

EXISTING OFFICE
 FIN. FL. EL. 28.79

RM 26.5
 INV 19.3
 MH 26.4
 INV 19.6
 MH 24.4
 INV 20.9

UTILITY POLE
 CB
 MH 26.5
 INV 19.3

N 43.00 E
 101.43.00 E

MH 26.5
 INV 19.3

MH 26.4
 INV 19.6

MH 24.4
 INV 20.9

BITUMINOUS GRAVEL

36" STORM

WATER

WATER

NEW 8" SEWER

WATER

WATER

WATER

WATER

WATER

WATER

WATER

WATER

WATER

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 AND EROSION CONTROL PLAN



DESIGN BY: SJB
 DRAWN BY: JAM
 CHECKED BY: SJB
 DATE: 03-24-03
 JOB NO: 818
 SCALE: 1" = 20'
 SHEET 1 OF 3

222 St. John Street, Suite 314 Portland, Maine 04102
FERR
 Engineering & Architecture, Inc.

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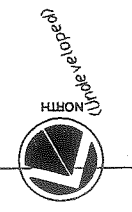
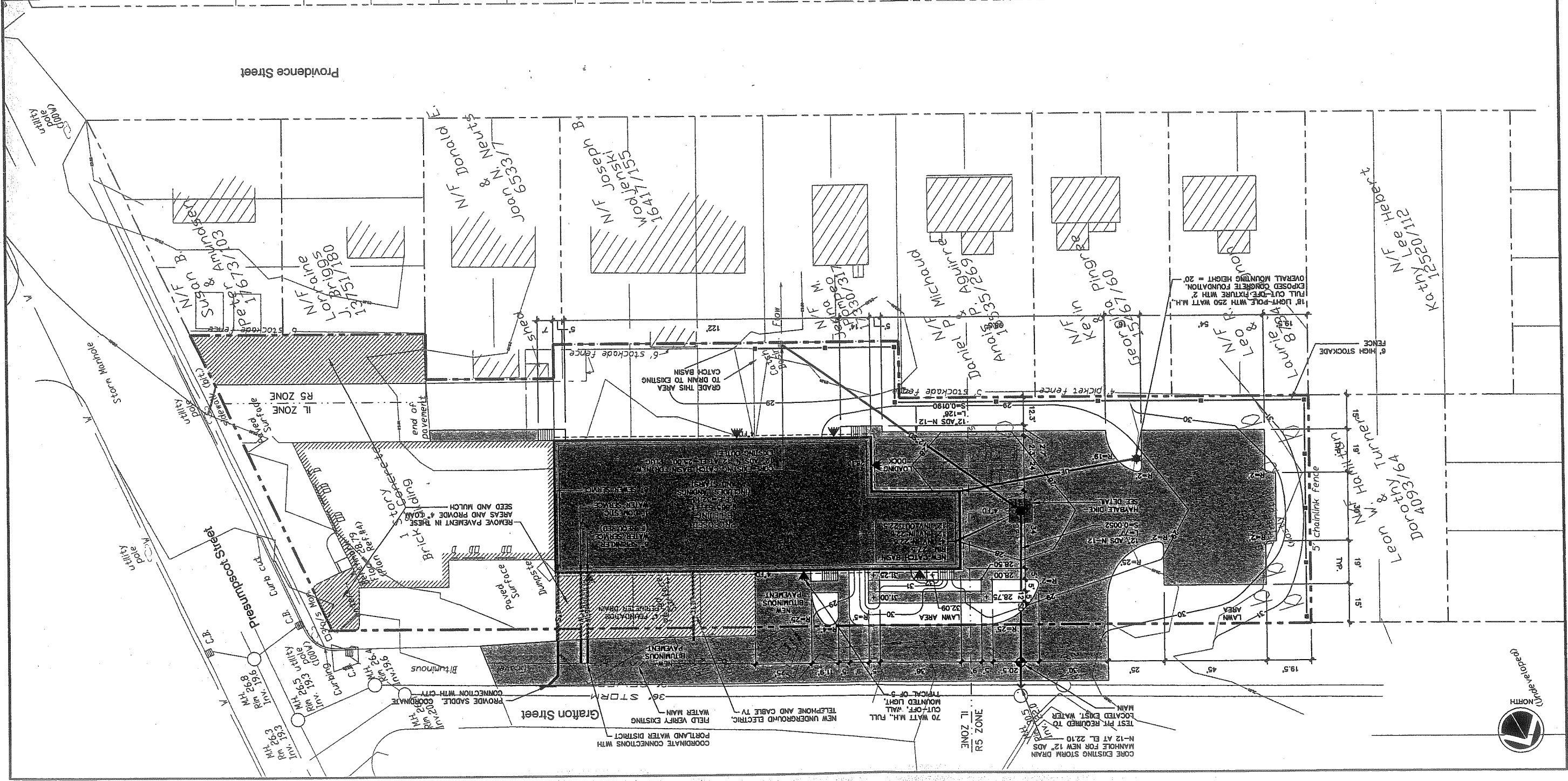
REV.	BY	DATE	STATUS
C	SJB	01-18-04	ISSUED FOR CITY COMMENTS
B	SJB	05-18-03	ISSUED FOR PLANNING STAFF REVIEW
A	SJB	03-24-03	ISSUED FOR PERMITTING



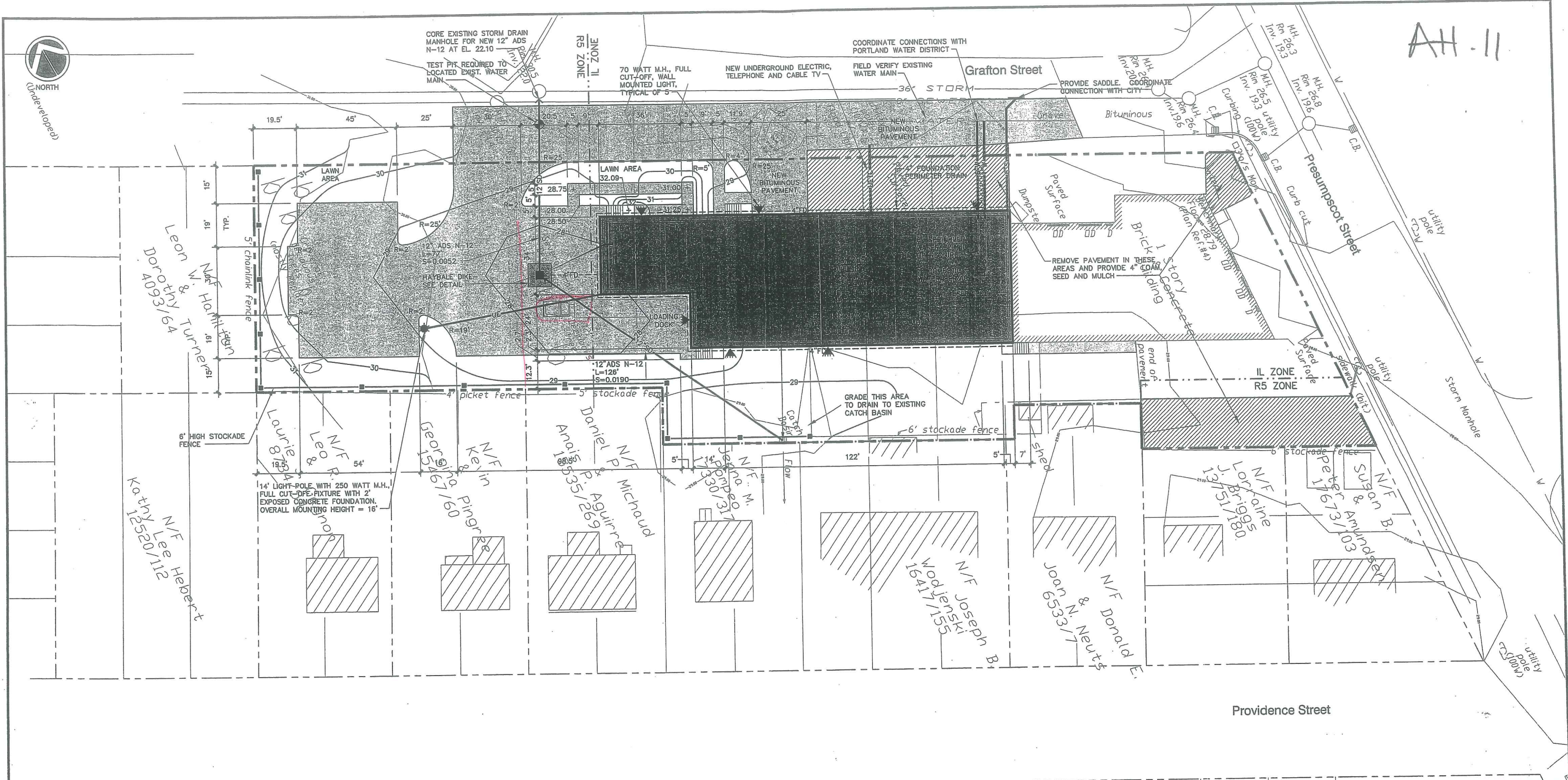
- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - PROPOSED: 25' FRONT YARD, 40' REAR YARD, 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 - PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.

DEVELOPMENT SUMMARY

EXISTING	PROPOSED
15,780 S.F.F.	6,209 S.F.F.
16,385 S.F.F.	7,228 S.F.F.
19,316 S.F.F.	38,024 S.F.F.
51,461 S.F.F.	51,461 S.F.F.



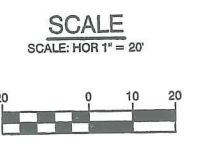
AH-11



DEVELOPMENT SUMMARY

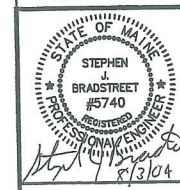
	EXISTING	PROPOSED
BUILDING	6,209 S.F.±	15,760 S.F.±
PAVEMENT	7,228 S.F.±	16,385 S.F.±
PERVIOUS	38,024 S.F.±	19,316 S.F.±
TOTAL PARCEL AREA	51,461 S.F.±	51,461 S.F.±

- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.
 - THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES TO VERIFY THAT CONNECTIONS TO 8" SANITARY AND 36" STORM WATER WILL BE PROVIDED WITH ADEQUATE GROUND COVER.
 - A GEOTECHNICAL REPORT HAS BEEN PROVIDED TO THE CITY'S DEVELOPMENT REVIEW COORDINATOR. THE SITE IS SITTING ON SOFT SATURATED CLAY THAT MAY BE SUBJECT TO SETTLEMENT OR FROST ACTION. THE CONTRACTOR SHALL BE AWARE OF SUBSURFACE SOIL CONDITIONS PRIOR TO CONSTRUCTION.
 - THE LOADING DOCK DIMENSIONS HAVE BEEN PROVIDED TO THE ZONING ADMINISTRATOR FOR REVIEW AND APPROVAL.
 - THE LIGHTS SHALL BE TURNED OFF AT 9:00 P.M. THE APPLICANT MAY SUBMIT A SECURITY LIGHTING PLAN TO PLANNING STAFF, SHOULD VANDALISM OR OTHER SECURITY ISSUES ARISE THAT NEED TO BE ADDRESSED.
 - THE APPLICANT SHALL COORDINATE WITH CENTRAL MAINE POWER TO RELOCATE THE UTILITY POLE WITHIN THE PROPOSED PAVING AREA ON GRAFTON STREET.
 - SERVICE TRUCKS OR DELIVERIES SHALL BE PROHIBITED FROM 8:00 P.M. TO 7:00 A.M. AND TRUCKS SHALL NOT BE ALLOWED TO IDLE.
 - PLANNING STAFF SHALL SECURE FINAL APPROVAL OF THE LANDSCAPING PLAN FROM THE CITY ARBORIST.



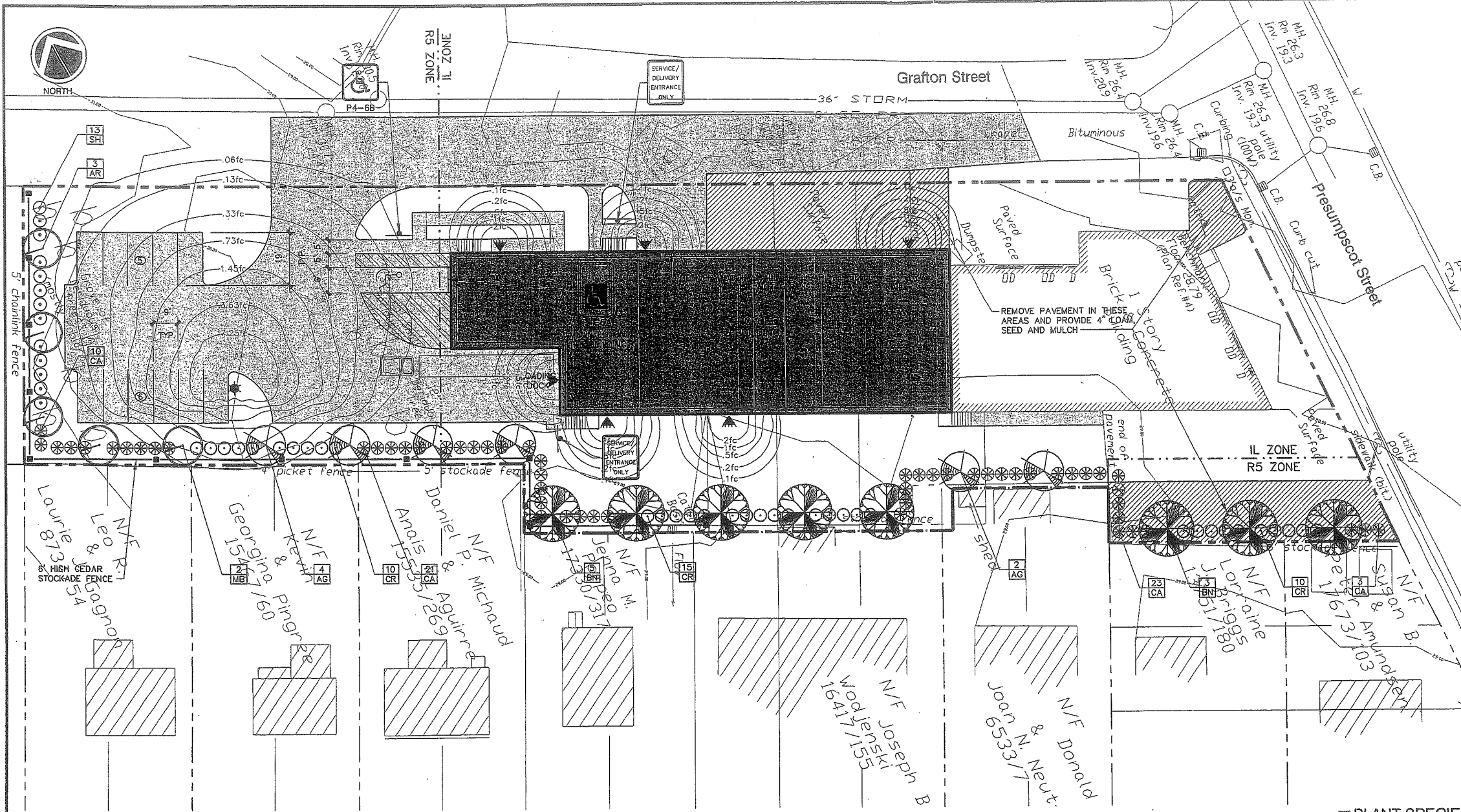
REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 06/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_c_C100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_C100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
SITE LAYOUT, UTILITY, GRADING
AND EROSION CONTROL PLAN

EER Environmental Engineering & Remediation, Inc. 222 Sr. John Street, Suite 314 Portland, Maine 04102	DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB DATE: 03-24-03 JOB NO: 818 SCALE: 1" = 20' C-100 SHEET 1 OF 3
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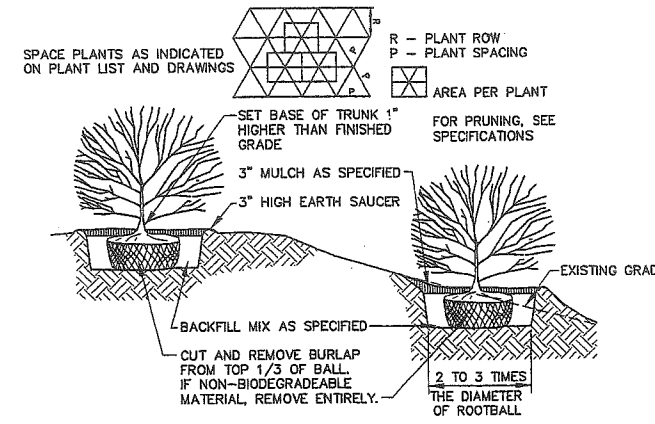
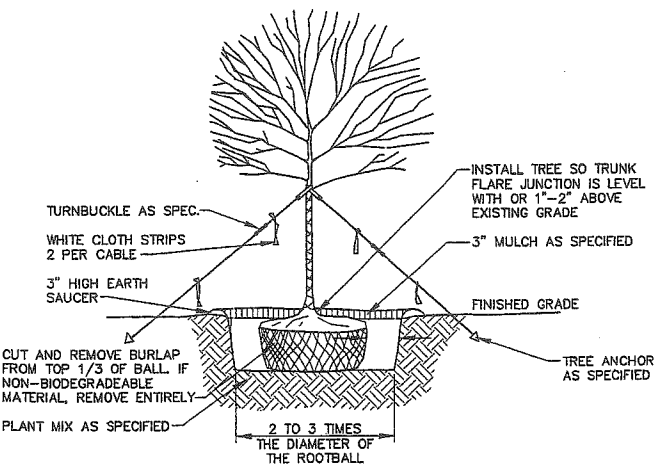
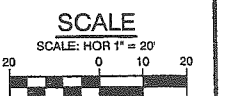


LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK, LATEST REVISION. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT LATER WOULD GIRLDE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20. LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "AGRIFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 6'-0"-3 TABLETS/PLANT AND TREES 6'-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "ROOTS" OR AN APPROVED EQUAL. MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QT'S/PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL./PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3 GAL./PLANT AND TREES 10' AND ABOVE-4 GAL./PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF THE SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
8. TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A .25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE 1 GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEED WITH LOFTS "TRI-PLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTITLE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.

PLANT SPECIES LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	3	ACER RUBRUM "AUTUMN FLAME"	AUTUMN FLAME MAPLE	2.5-3" CAL. 30' O.C.	B&B
AG	6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5-3" CAL. 30' O.C.	B&B
BN	8	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5-3" CAL. 30' O.C.	B&B
CR	35	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5-3"	5' O.C.
CA	57	CORNUS ALBA "IVORY HALO"	IVORY HALO RED TWIG DOGWOOD	2.5-3"	5' O.C.
MB	2	MALUS BACCATA "WALTER'S"	WALTER'S COLUMNAR SIBERIAN CRAB	2.5-3" CAL. 30' O.C.	B&B
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	POCAHONTAS LILAC	2.5-3"	5' O.C.



- NOTES:**
1. ON TREES LESS THAN 4" CA. USE WOOD STAKES.
 2. ON TREES 3" CA. OR GREATER USE GUYING CABLES (3) EVENLY SPACED.
 3. FOR PRUNING, SEE SPECIFICATIONS.
 4. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 6. WATER AT TIME OF PLANTING-SEE NOTES AND SPECS.

- NOTES:**
1. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 2. INSTALL SHRUB SO TRUNK ROOT JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE
4" CALIPER AND GREATER

TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 06/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_c_C100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_C100

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
LANDSCAPING, STRIPING
AND SIGNAGE PLAN

EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 314 Portland, Maine 04102
Barry J. Hosmer, ASLA
Landscape Architect
186 Whitney Avenue, Portland, Maine 04102

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
C-101
SHEET 2 OF 3

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BOUNDARY SURVEY
FOR
142 Presumpscot Street
Portland, Maine
Warehouse Addition
BRUCE R. BOWMAN, Inc.
Professional Land Surveyor
 199 John Small Road, Chebeague Island, Maine 846-1663 846-1664(F)

Date: 03/12/03 Job: 03002
 Drawn by: *BR* Scale: 1"=30'

Att: 21

REFERENCES

- 1 Washington Avenue Gardens
 Portland Cumberland County, Maine
 owned by Everett C. Wells
 Recorded CCRD Plankbook 14 Page 46
- 2 Washington Avenue Gardens Annex
 Portland Cumberland County, Maine
 owned by Everett C. Wells
 Recorded CCRD Plankbook 14 Page 49
- 3 Standard Boundary Survey
 132-134 Providence Street
 Portland, Maine
 for Lester Card
 by Daniel T. LaPoint PLS #1183
 not recorded
- 4 City of Portland Engineering Plan
 Presumpscot Street
 Portland, Maine
 Sewer Lines and Profile
 File 496/7

I HEREBY CERTIFY that this survey conforms to the
 Maine Board of Licensure for Professional Land Surveyors,
 Category I, Condition II
 Except No Report Submitted
 No Deeds Written

BR

Bruce R. Bowman PLS #1313

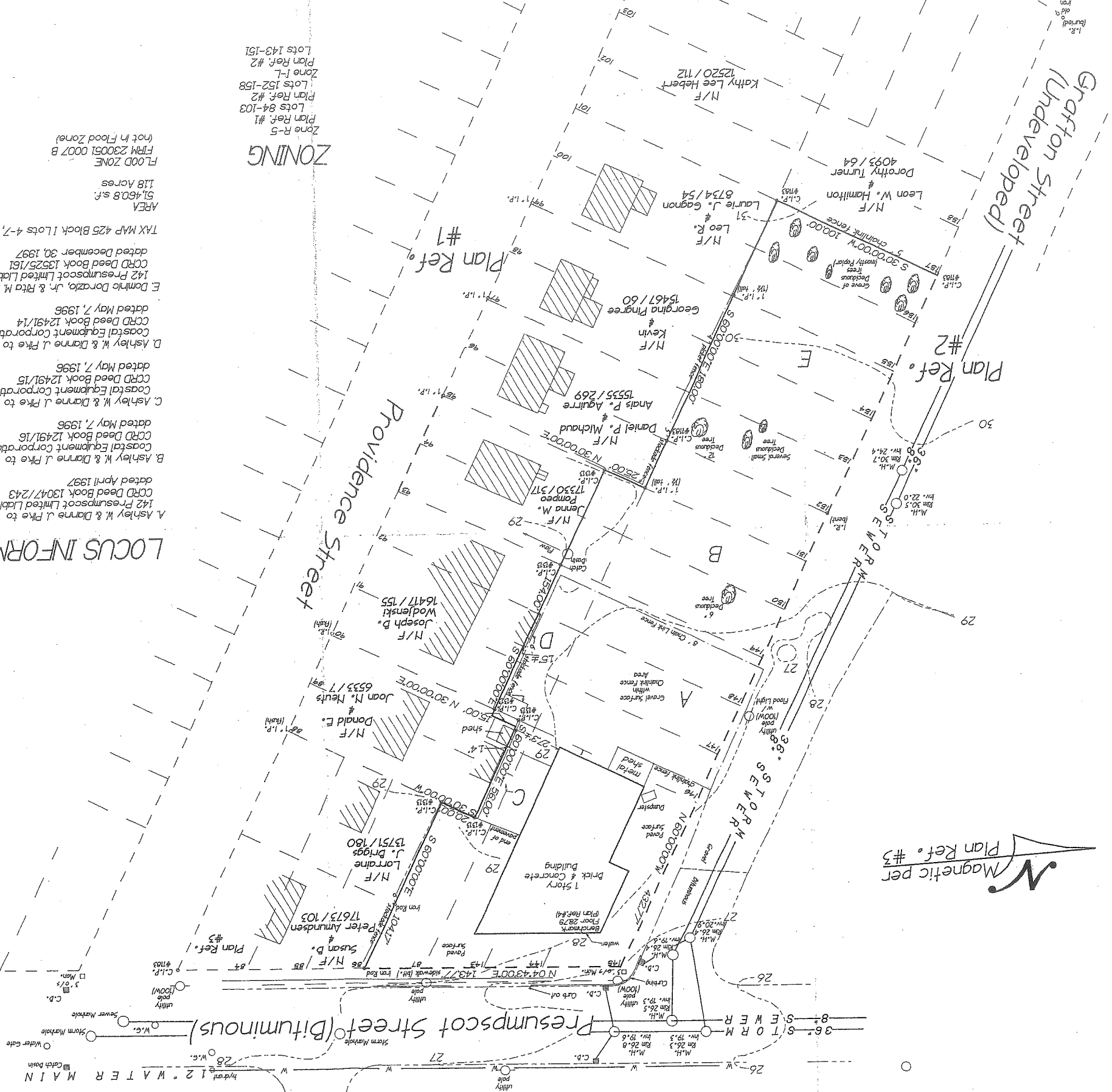
LOCUS INFORMATION

- A. Ashley W. & Dianne J. Pike to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13047/243
 dated April 1997
 - B. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/16
 dated May 7, 1996
 - C. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - D. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/14
 dated May 7, 1996
 - E. Donnie Dorazio, Jr. & Rita M. Pratts to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13525/161
 dated December 30, 1997
- TAX MAP 425 Block 1 Lots 4-7, 33-43, p.a. 8-12
 AREA
 51,460.8 s.f.
 118 Acres
 FLOOD ZONE
 FRM 230051 0007 B
 (not in Flood Zone)

ZONING

- Zone R-5
 Plan Ref. #1
 Lots 84-103
- Zone I-L
 Plan Ref. #2
 Lots 152-158
- Zone I-L
 Plan Ref. #2
 Lots 143-151

GRAPHIC SCALE 1" = 30'



SHEET 1 OF 3	C-100
SCALE: 1" = 20'	JOB NO: 818
DATE: 03-24-03	CHECKED BY: SJB
DRAWN BY: JAF	DESIGN BY: SJB
EER Engineering & Restoration, Inc. 222 St. John Street, Suite 314 Providence, Rhode Island 04102	
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION	
SITE LAYOUT, UTILITY, GRADING AND EROSION CONTROL PLAN	

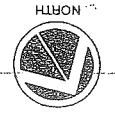
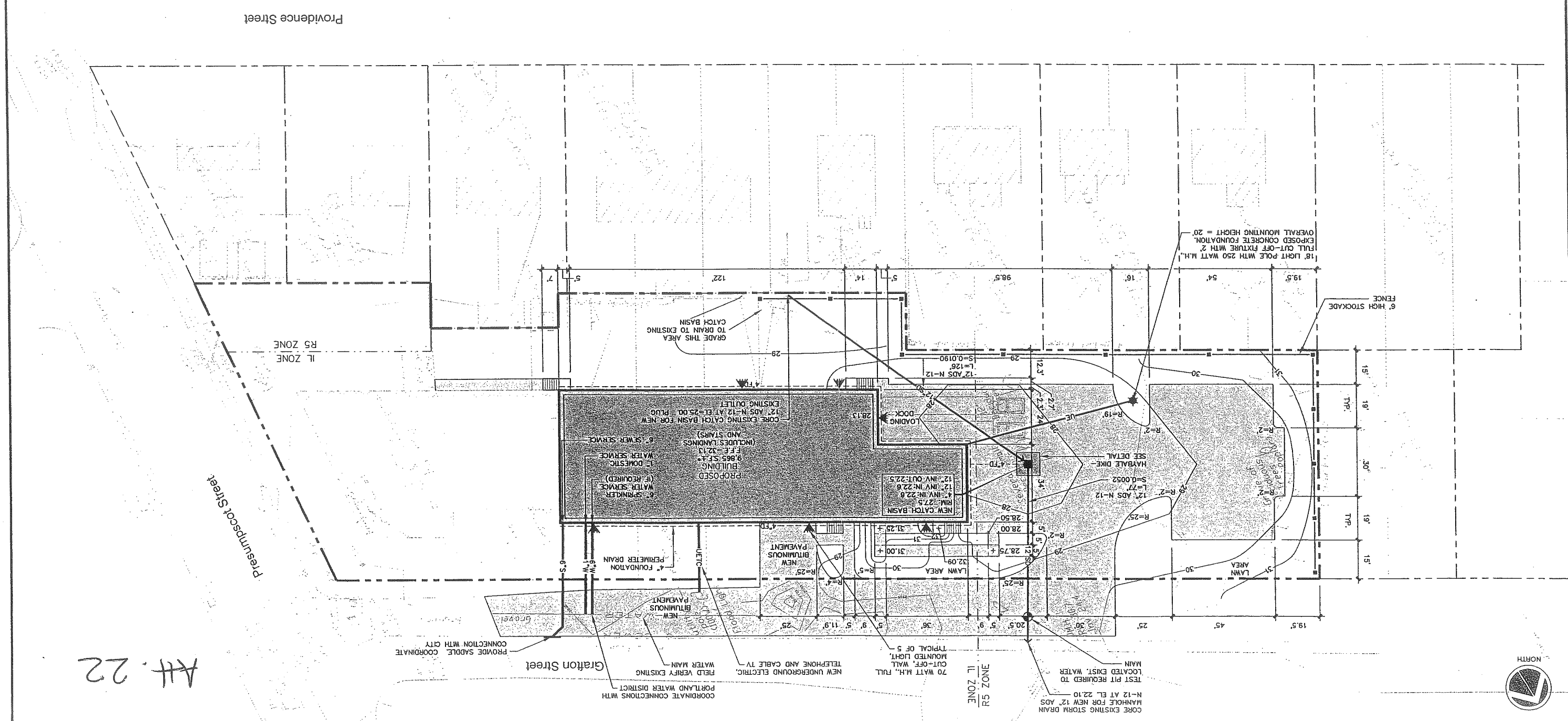


REV.	BY	DATE	STATUS
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS
B	SJB	05-19-03	ISSUED FOR PLANNING STAFF REVIEW
CAD NO.			
B18_C100			
B18_C100			

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DEVELOPMENT SUMMARY		
EXISTING	EXISTING	PROPOSED
BUILDING	6,209 S.F.F.	15,760 S.F.F.
PAVEMENT	7,228 S.F.F.	21,177 S.F.F.
PERVIOUS	38,024 S.F.F.	14,524 S.F.F.
TOTAL PARCEL AREA	51,461 S.F.F.	51,461 S.F.F.

- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - PROPOSED: 25' FRONT YARD, 40' REAR YARD, 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 - PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 - PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.



Att. 22

LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS WORK AT THE COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE STOCK LATEST REVISION, PRIOR TO INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT LATER WOULD GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "BORFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT; WOODY SHRUBS TO 3"-0"-2" AND ABOVE-4 TABLETS/PLANT; SHRUBS AND TREES 3"-0"-6" TO 6"-0"-3" TABLETS/PLANT AND TREES 6"-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "ROOTS" OR AN APPROVED EQUAL MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. PERENNIALS-2 OZ'S/PLANT; WOODY SHRUBS TO 3"-0"-3" GAL/PLANT AND TREES 4"-0"-1.5 GAL/PLANT. TREES AND SHRUBS 4"-0" TO 10"-0"-3 GAL/PLANT AND TREES 10" AND ABOVE-4 GAL/PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF THE SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
8. TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTING. MULCH SHALL BE MEDIUM SHREDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A .25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEEDED WITH LOTS "TRIFLE" GENERAL OR APPROVED EQUAL AND STAW MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED IN THE DRAWINGS, THE SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED IN THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT SPECIES LIST AND THE DRAWINGS SHALL NOT ENTITLE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.

PLANT SPECIES LIST

SYM. QTY.	BOTANICAL NAME	SIZE	REMARKS
AG 6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	2.5-3" CAL. 30" O.C.	B&B
BN 5	BETULA NIGRA "HERTIAGE"	2.5-3" CAL. 30" O.C.	B&B
CR 25	CLETHRA ALIFOLIA "RUBY SPICE"	2.5-3" CAL. 30" O.C.	B&B
CA 47	CORNUS ALBA "IVORY HALO"	2.5-3" CAL. 30" O.C.	B&B
MB 5	MAIUS BACCATA "WALTER'S"	2.5-3" CAL. 30" O.C.	B&B
SH 13	SYRINGA X HYACINTHIFLORA "POACHONTAS"	2.5-3" CAL. 30" O.C.	B&B
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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
AND SIGNAGE PLAN

DESIGN BY: SB8
DRAWN BY: JAM
CHECKED BY: SB8
DATE: 03-24-03
JOB NO.: 818
SCALE: 1" = 20'
SHEET 2 OF 3

196 Wilkey Avenue, Portland, Maine 04102
Barry J. Hosmer, A.S.L.A.
Landscope Architect

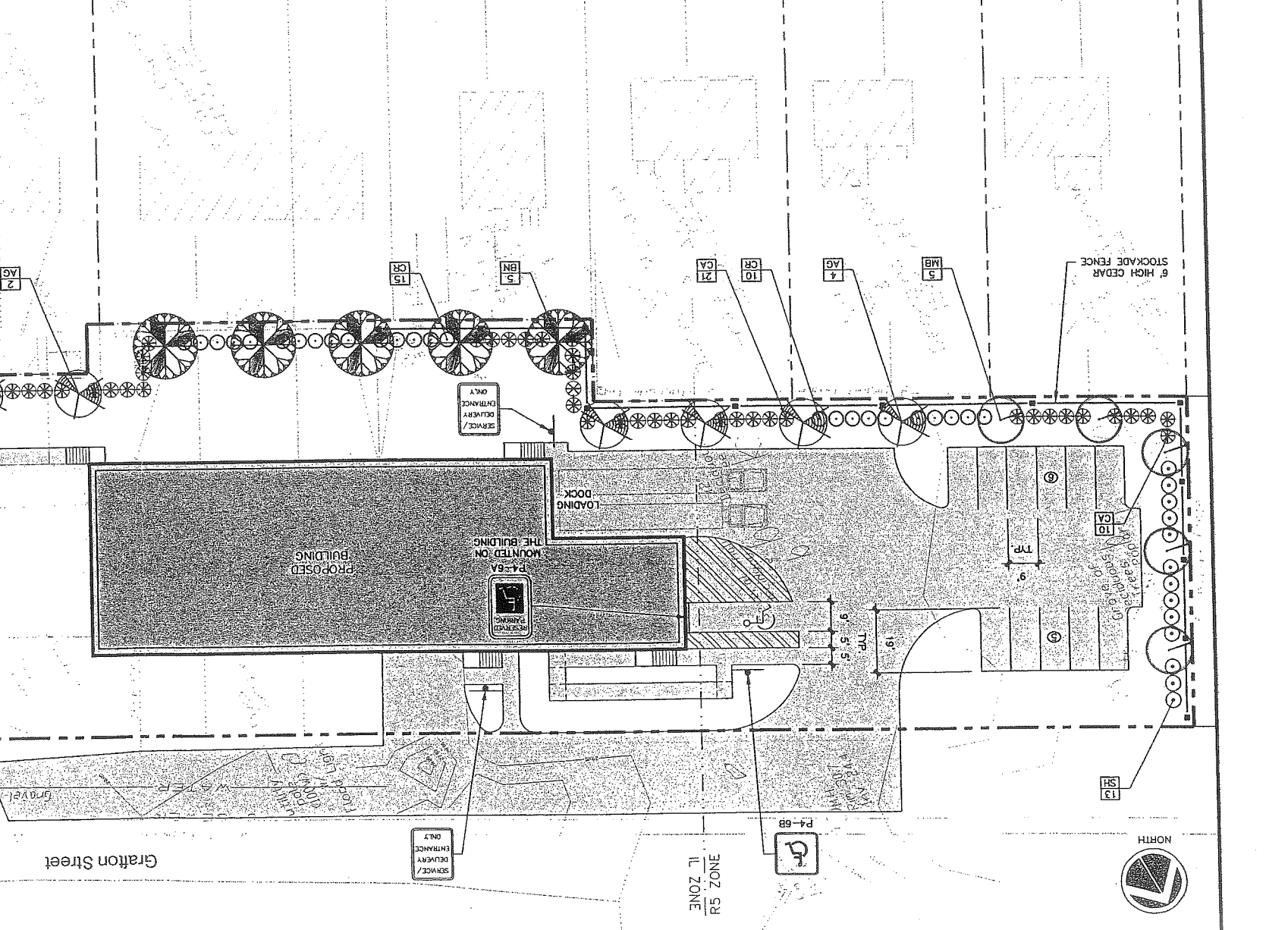
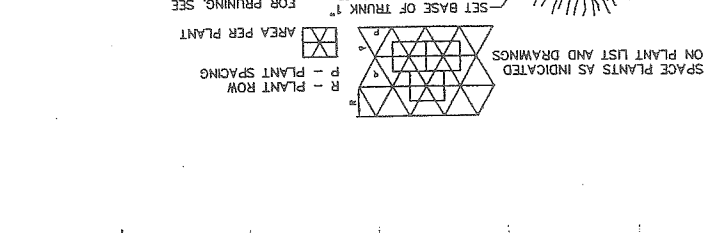
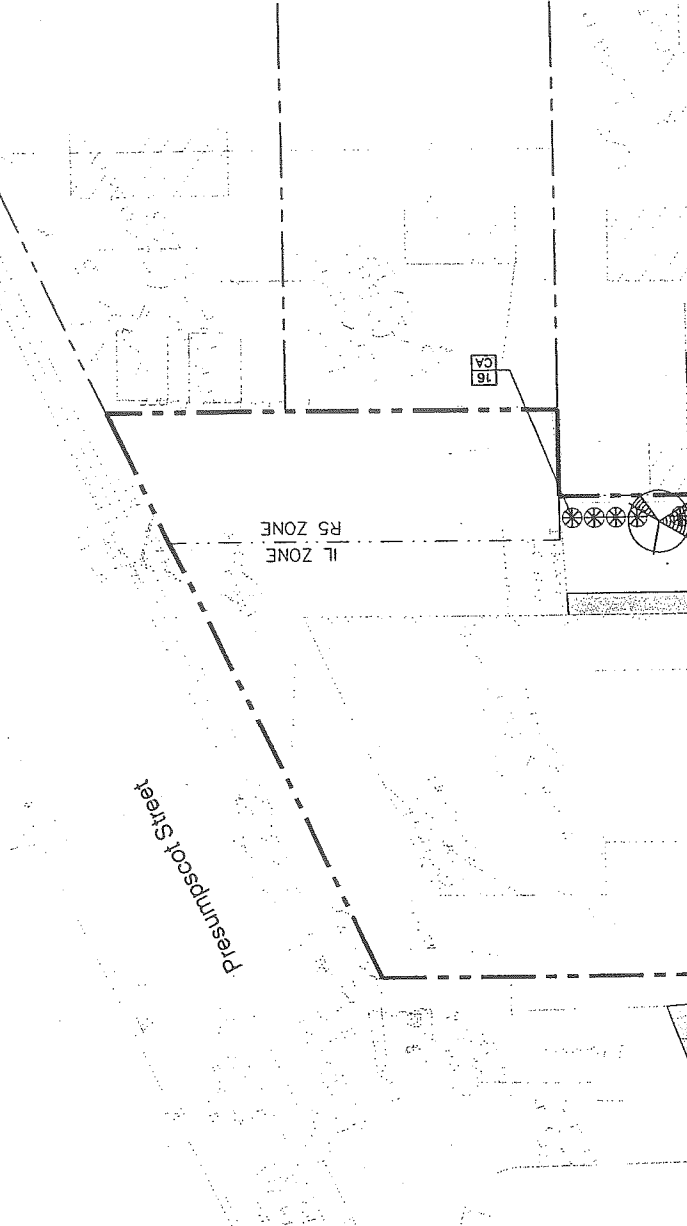
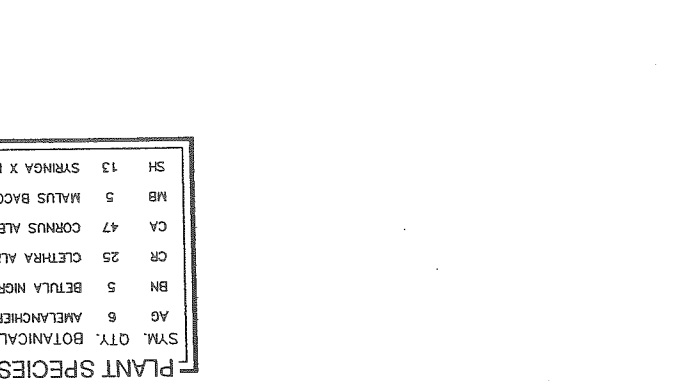
222 St. John Street, Suite 314 Portland, Maine 04102
Barry J. Hosmer, A.S.L.A.
Professional Engineer

REV.	BY	DATE	STATUS
C	SJB	01-15-04	ISSUED FOR CITY COMMENTS
B	SJB	05-13-03	ISSUED FOR PLANNING STAFF REVIEW

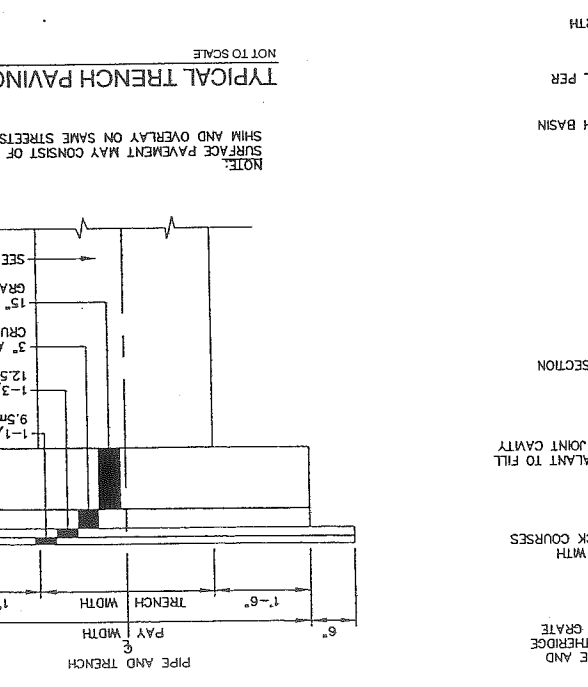
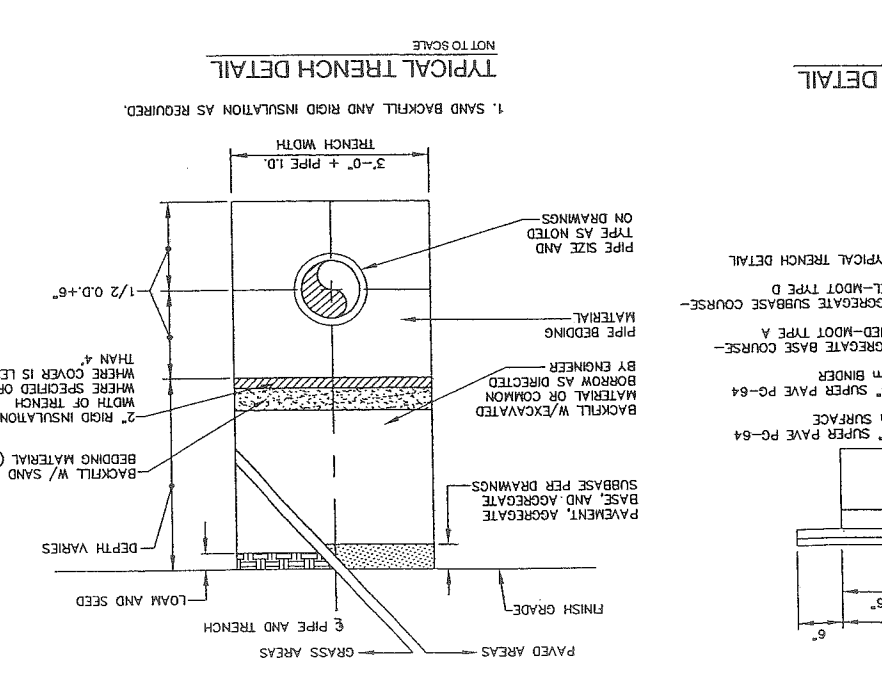
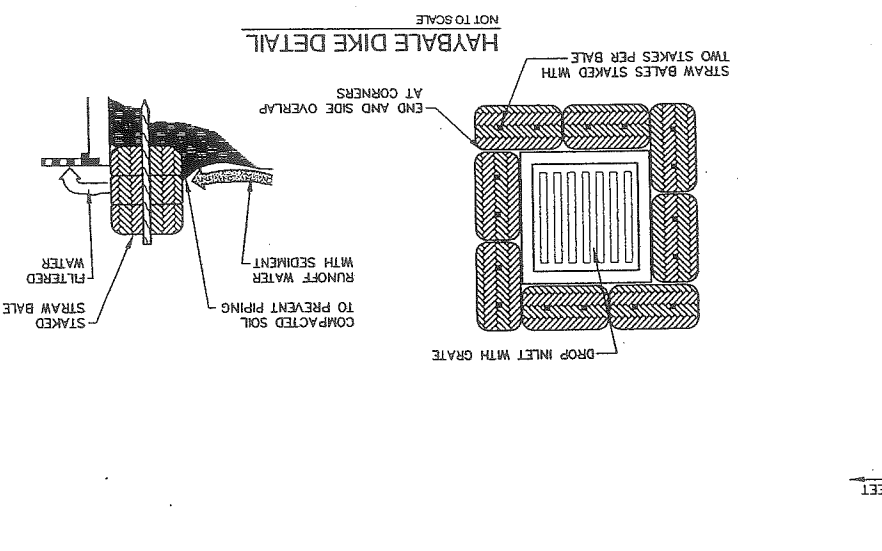
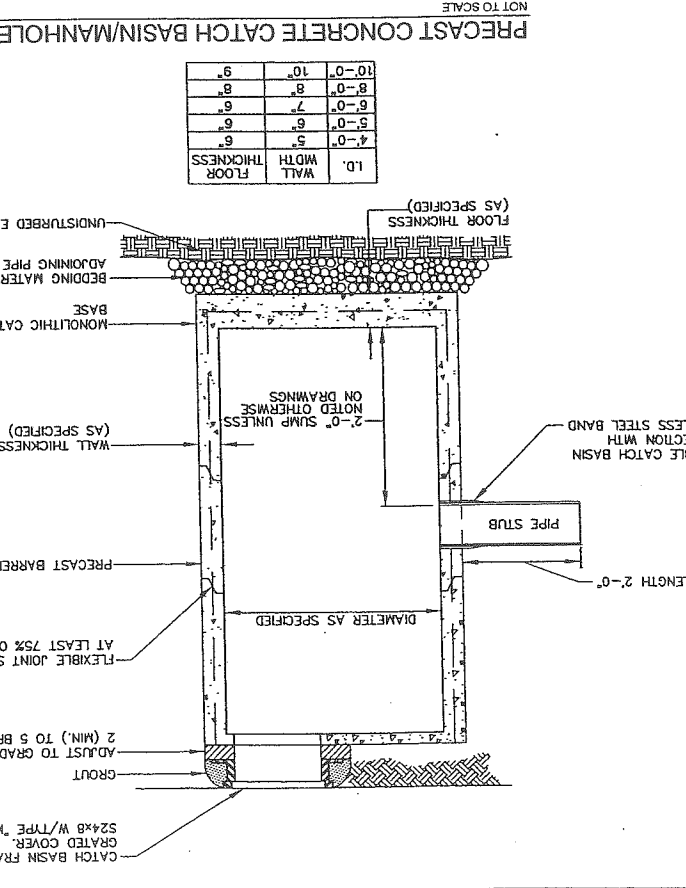
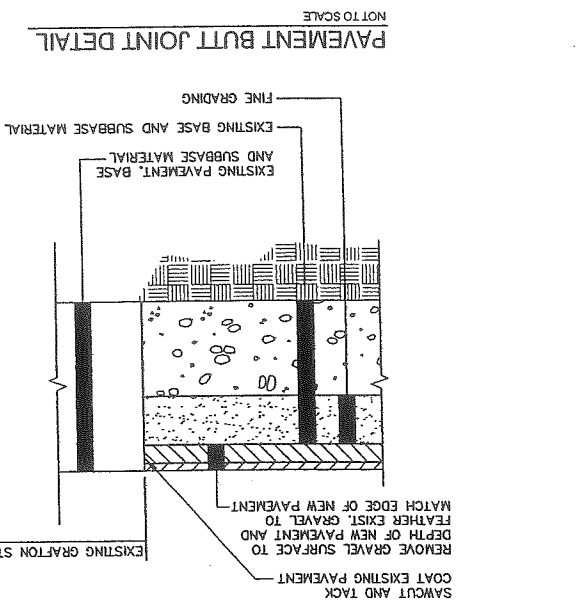
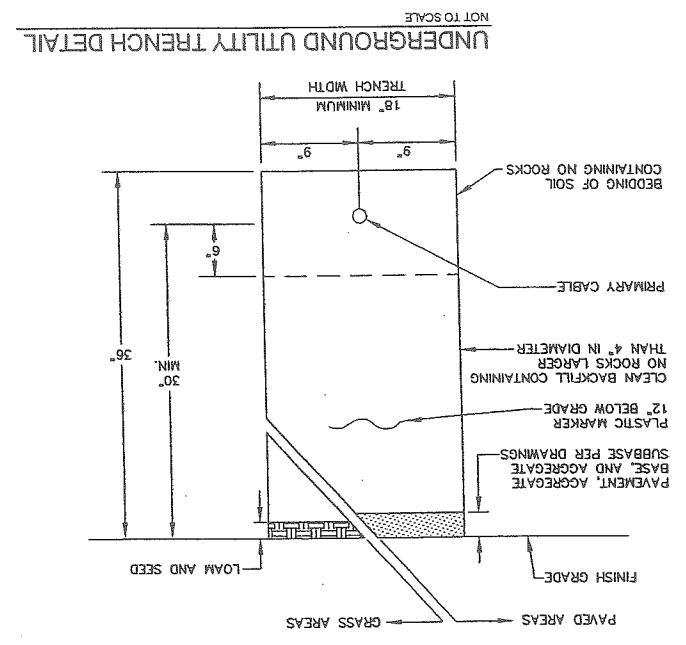
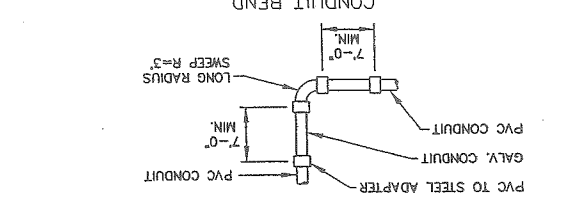
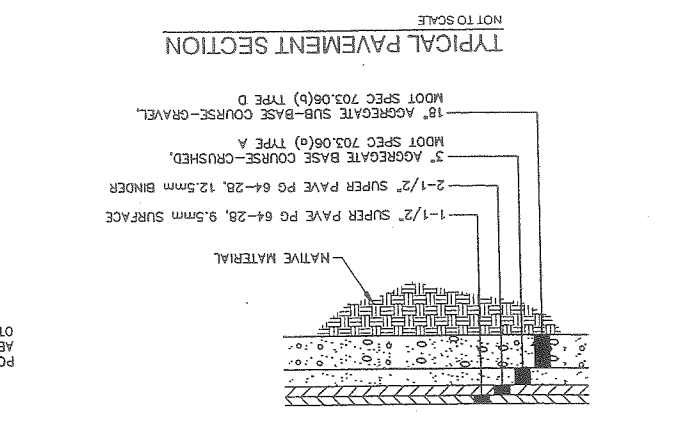
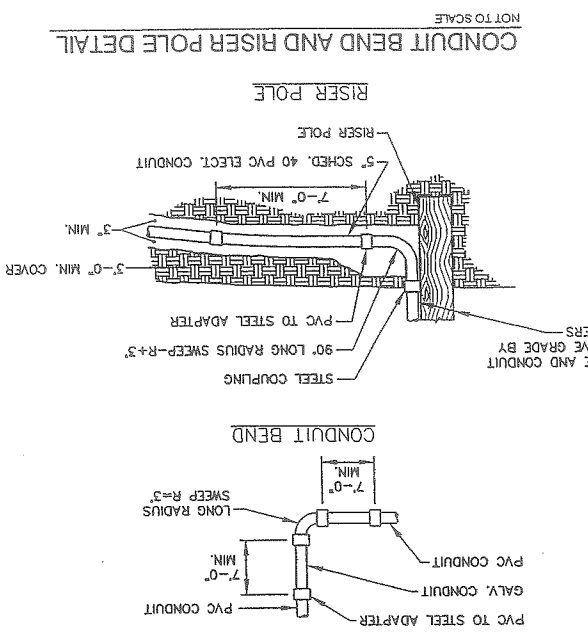
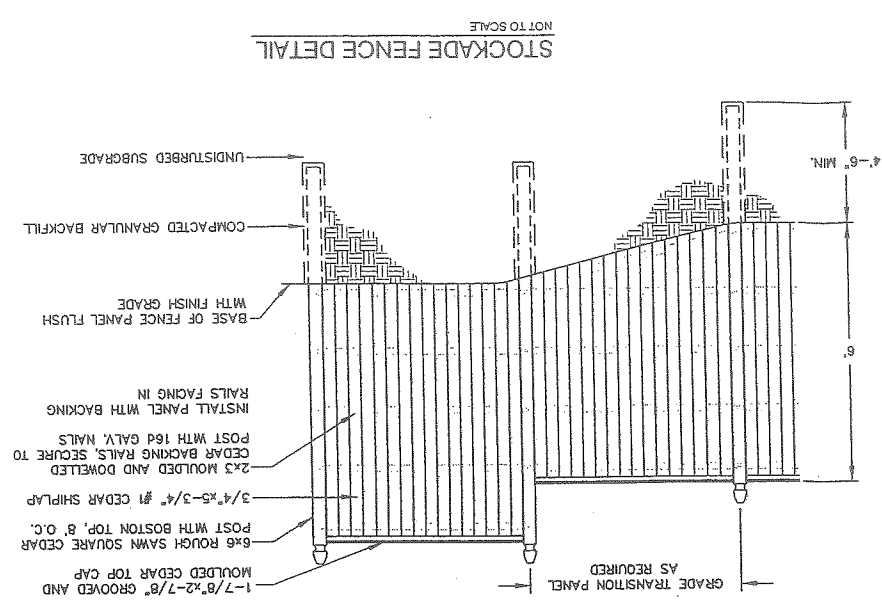
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STATE OF MAINE
PROFESSIONAL ENGINEER
STEPHEN J. BRADSHAW
NO. 79

STATE OF MAINE
PROFESSIONAL LANDSCAPE ARCHITECT & PLANNING
BARRY J. HOSMER
NO. 19



C-102		SHEET 3 OF 3	
SCALE: 1" = 20'			
JOB NO. 818			
DATE: 03-24-03			
CHECKED BY: SJB			
DRAWN BY: JVN			
DESIGN BY: SJB			
222 St. John Street, Suite 314, Portland, Maine 04102			
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION CONSTRUCTION DETAILS			
THIS DOCUMENT IS THE PROPERTY OF ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREON. NO REUSE OR REPRODUCTION OF ANY PART OF THIS DOCUMENT IS PERMITTED WITHOUT THE WRITTEN CONSENT OF ENVIRONMENTAL ENGINEERING & REMEDIATION, INC.			
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C	SJB	01-16-04	ISSUED FOR CITY COMMENTS
B	SJB	05-13-03	ISSUED FOR CLIENT REVIEW
CAD NO. 818-C100			



- EROSION CONTROL NOTES**
- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
 - SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
 - PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
 - PERMANENT SEEDING SHALL BE:

BIRDFOOT TREFOL	18	.34	.46
CROWNVERT	34		
GREENING RB FESCUE OR TALL FESCUE	46		
 - TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:

WINTER RYE	1-1.5"	2.6	1-1.5"	8/15-10/1
OATS	1-1.5"	1.8	4/1-7/1	8/15-9/15
ANNUAL RYEGRASS	4/1-7/1	.25		
PERENNIAL SUDANGRASS	5/15-8/15	0.9	5-1"	8/15-9/15
PERENNIAL	8/15-9/15	0.9	.25	
 - FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
 - LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
 - MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
 - WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
 - ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY. AFTER RAINSTORMS AND DURING RUNOFF EVENTS, ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
 - SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERENCED, RESEEDED AND REMULCHED.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:

STEPHEN J BRADSTREET, P.E.	222 ST. JOHN STREET SUITE 314	(207) 828-1272
----------------------------	-------------------------------	----------------
 - EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - CONSTRUCT THE BUILDING.
 - CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - INSTALL PERMANENT EROSION CONTROL MEASURES.

DESIGN BY: SJB
 DRAWN BY: JMR
 CHECKED BY: SJB
 DATE: 05-13-03
 JOB NO: 818
 SCALE: 1" = 20'
 H-100
 SHEET 1 OF 2

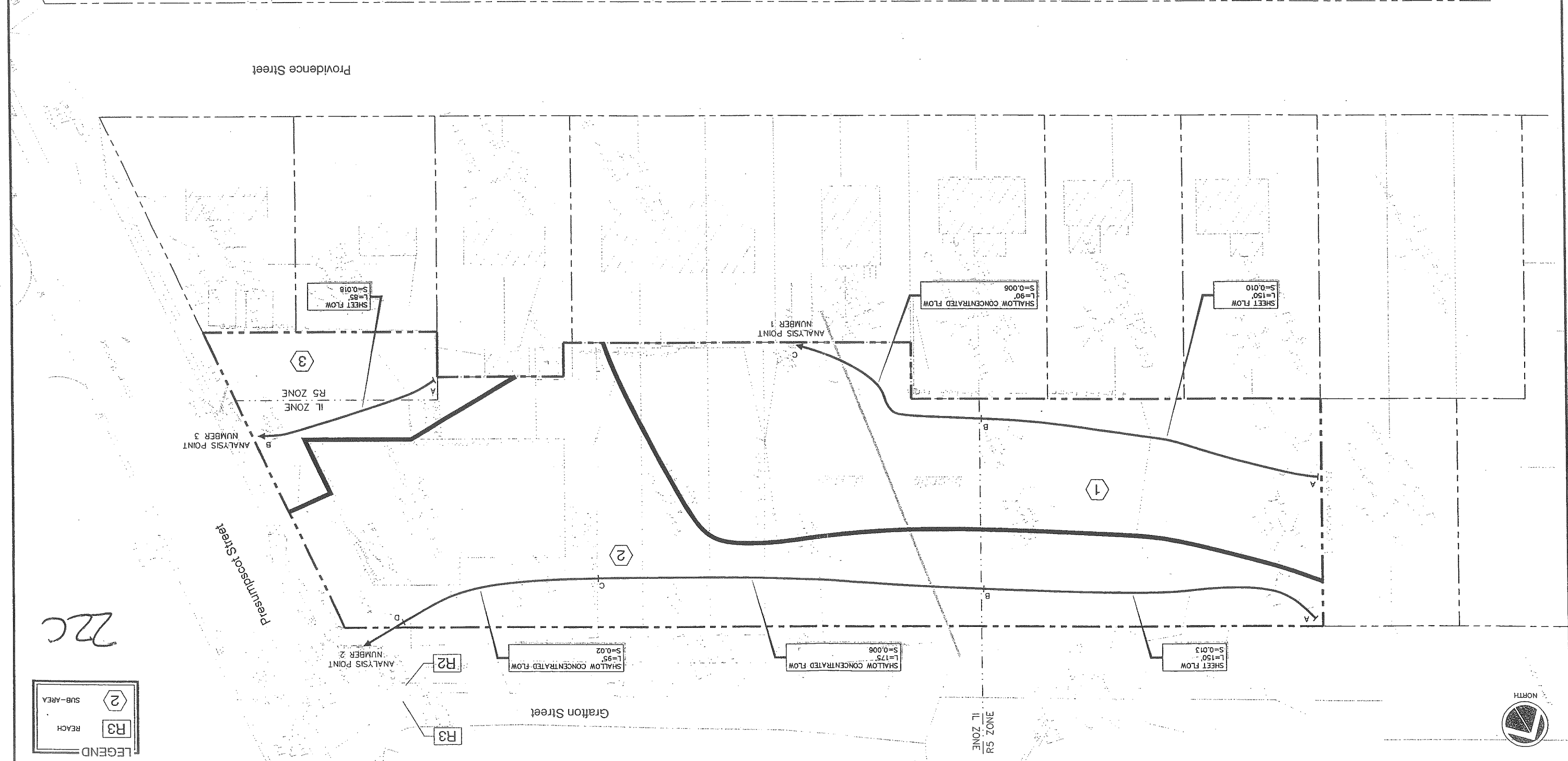
EER
 Environmental Engineering & Restoration, Inc.
 222 St. John Street, Suite 314 Portland, Maine 04102

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 PRE-DEVELOPMENT
 DRAINAGE PLAN

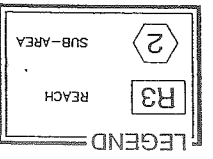
STATE OF MAINE
 REGISTERED PROFESSIONAL ENGINEER
 STEPHEN L. BRADSTREET
 #5740

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B	SJB	05-13-03	ISSUED FOR PLANNING STAFF REVIEW	818_b_H100



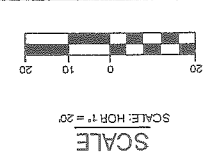
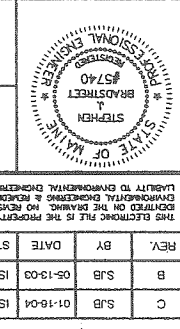
22c



DESIGN BY: SJB
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 H-101
 SHEET 2 OF 2

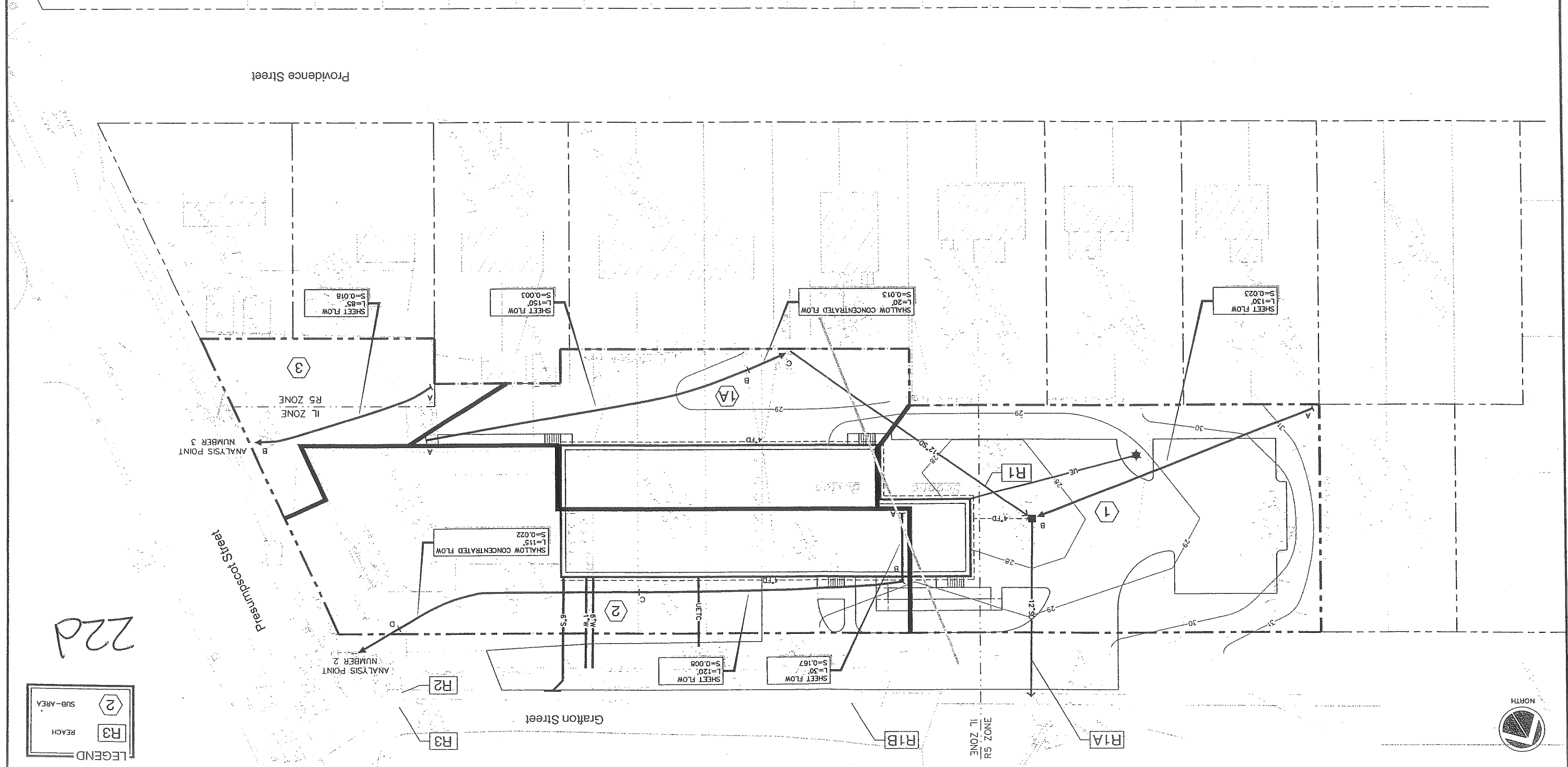
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 DRAINAGE PLAN

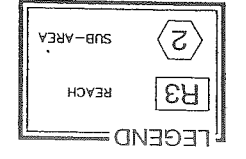


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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-18-04	ISSUED FOR CITY COMMENTS	818_c.H101
B	SJB	05-13-03	ISSUED FOR PLANNING STAFF REVIEW	818_b.H101

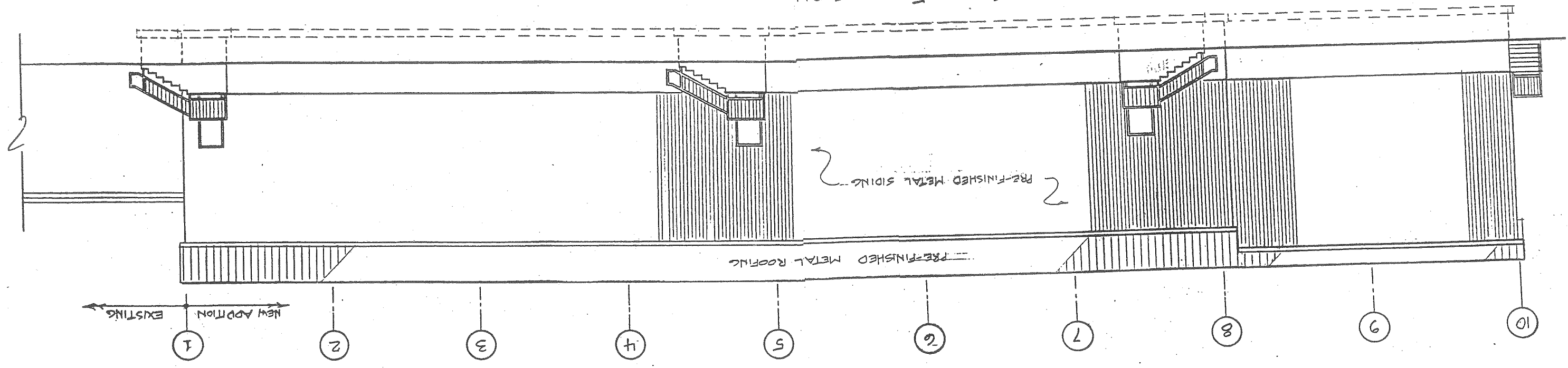


222d



LEFT SIDE ELEVATION

1/8" = 1'-0"



AH. 23

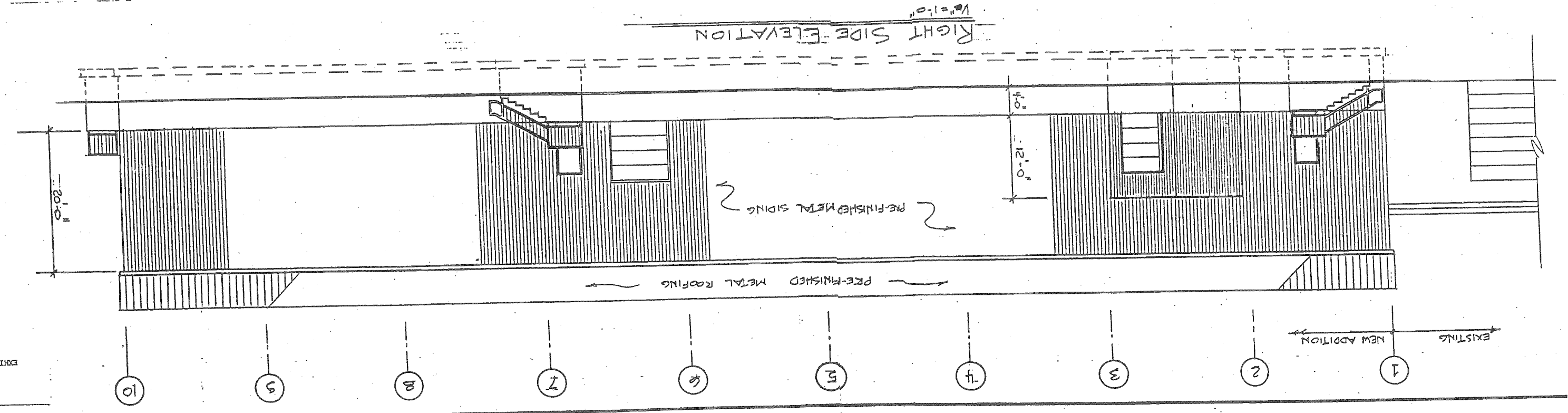
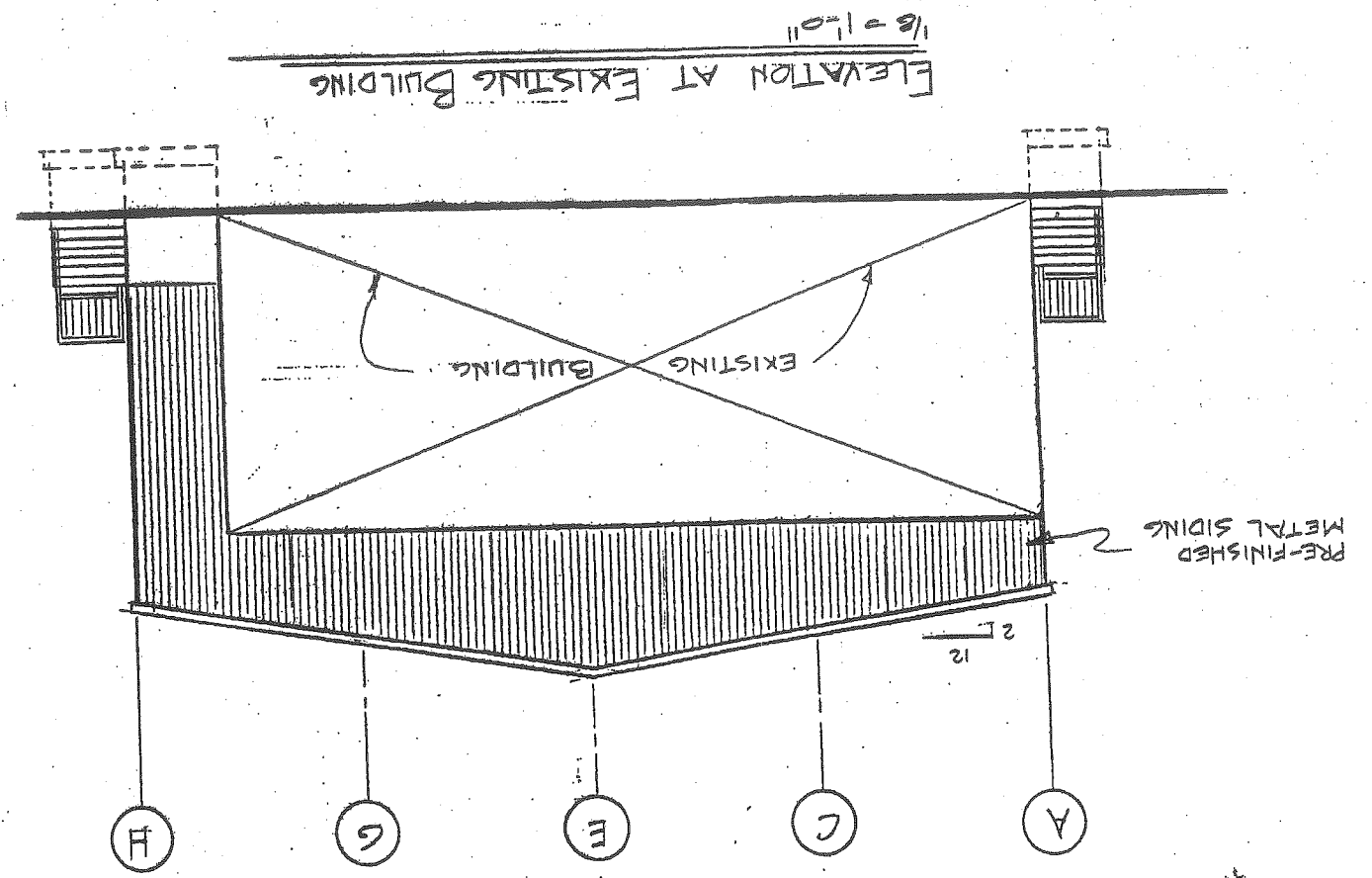


EXHIBIT H-2

23a

236

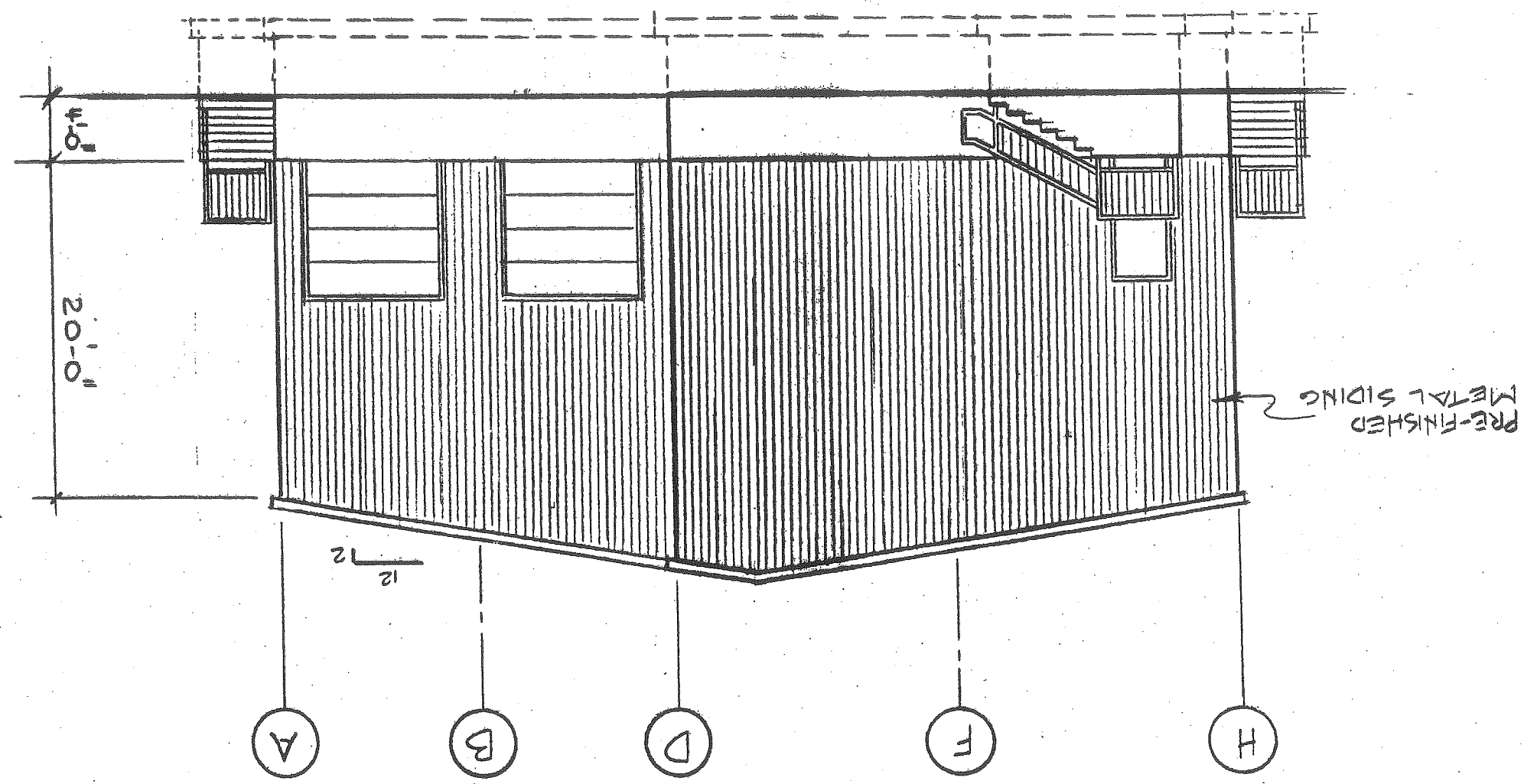
PRE-FIN
METAL

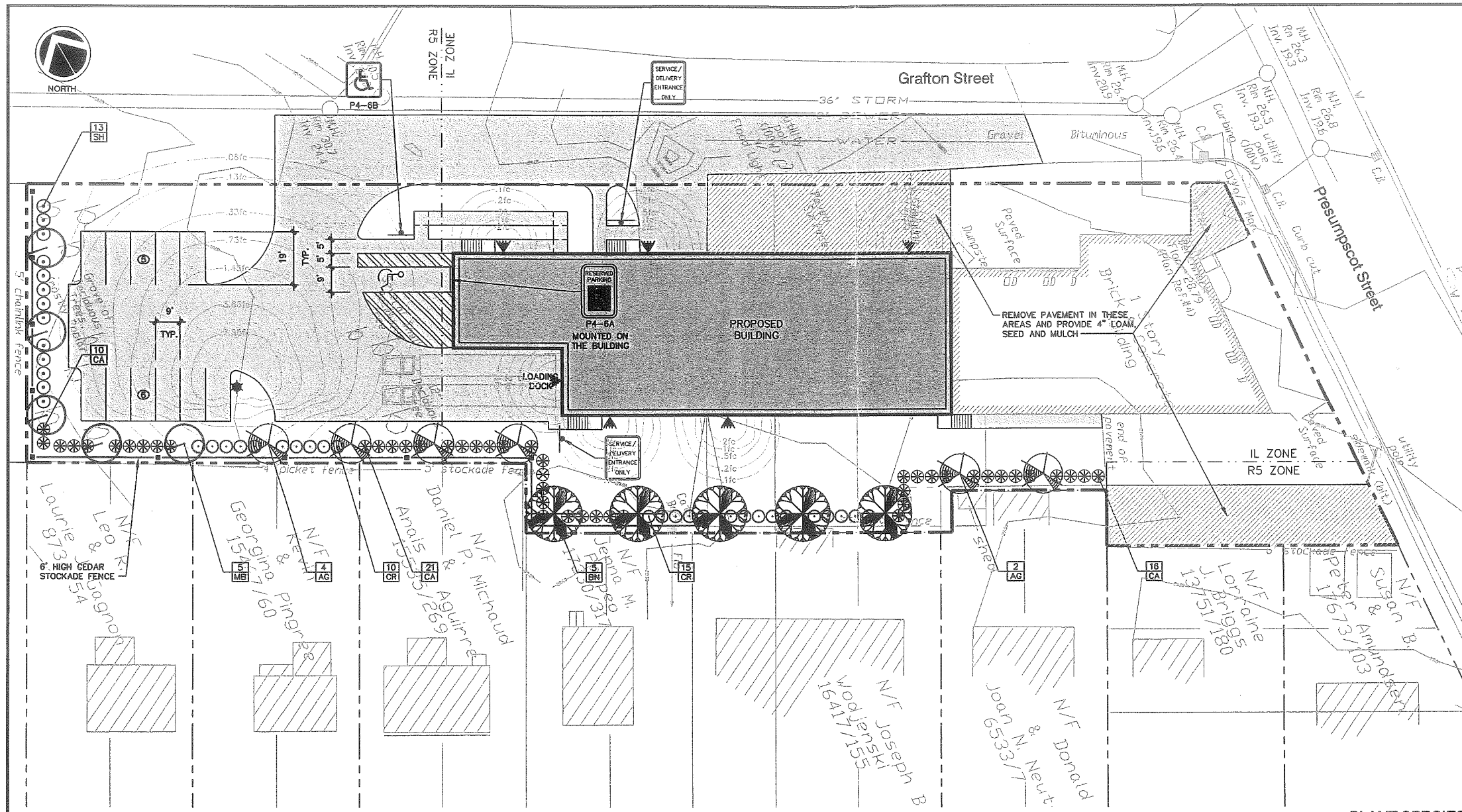


03117

REAR ELEVATION

1/8" = 1'-0"





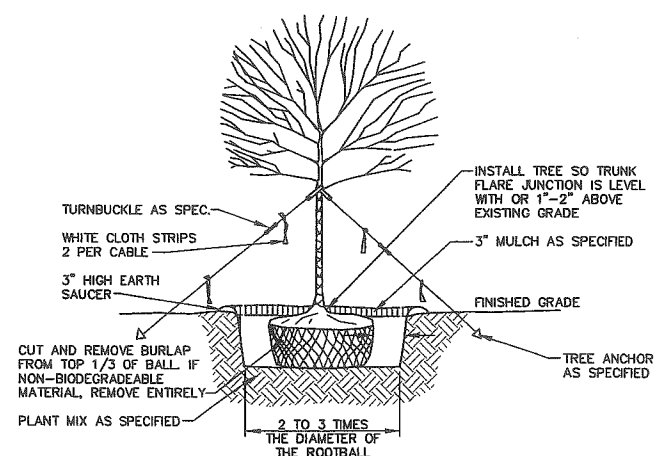
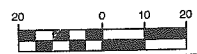
LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR NOT OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK, LATEST REVISION. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT LATER WOULD GIRDLE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20, LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE "AGRIFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT, WOODY SHRUBS TO 3'-0"-2 TABLETS/PLANT, SHRUBS AND TREES 3'-0" TO 8'-0"-3 TABLETS/PLANT AND TREES 8'-0" TO 12'-0"-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH "ROOTS" OR AN APPROVED EQUAL MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QT'S/PLANT, WOODY SHRUBS TO 4'-0"-1.5 GAL/PLANT, TREES AND SHRUBS 4'-0" TO 10'-0"-3 GAL/PLANT AND TREES 10' AND ABOVE-4 GAL/PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF THE SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADEQUATELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
8. TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A .25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LAWN SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEED WITH "TRI-PLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTITLE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.

PLANT SPECIES LIST

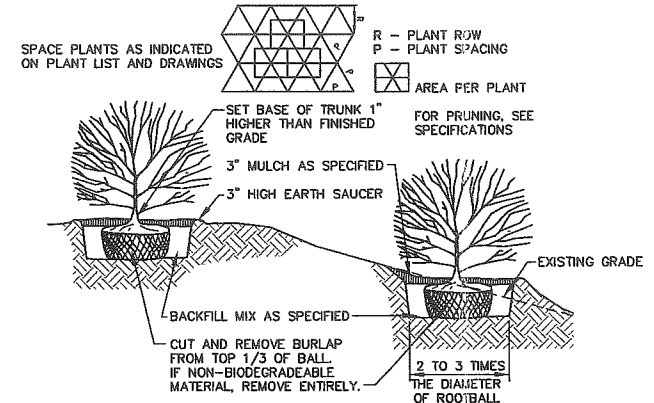
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AG	6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5-3" CAL 30" O.C.	B&B
BN	5	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5-3" CAL 30" O.C.	B&B
CR	25	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5-3"	5' O.C.
CA	47	CORNUS ALBA "IVORY HALO"	IVORY HALO RED TWIG DOGWOOD	2.5-3"	5' O.C.
MB	5	MALUS BACCATA "WALTER'S"	WALTER'S COLUMNAR SIBERIAN CRAB	2.5-3" CAL 30" O.C.	B&B
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	POCAHONTAS LILAC	2.5-3"	5' O.C.

SCALE
SCALE: HOR 1" = 20'



- NOTES:**
1. ON TREES LESS THAN 4" CA. USE WOOD STAKES.
 2. ON TREES 3" CA. OR GREATER USE GUYING CABLES (3) EVENLY SPACED.
 3. FOR PRUNING, SEE SPECIFICATIONS.
 4. NEVER CUT OUT CENTRAL LEADER, PRUNE OUT BROKEN, DEAD, OR CONFLICTING BRANCHES
 5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 6. WATER AT TIME OF PLANTING-SEE NOTES AND SPECS.

TYPICAL TREE PLANTING DETAIL
NOT TO SCALE 4" CALIPER AND GREATER

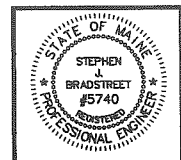


- NOTES:**
1. SEE SPECS. FOR ADDITIONAL REQUIREMENTS
 2. INSTALL SHRUB SO TRUNK ROOT JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE.

TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

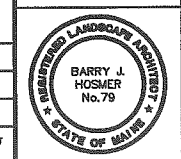
REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-18-04	ISSUED FOR: CITY COMMENTS	818_e_C100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_e_C100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION

LANDSCAPING, STRIPING
AND SIGNAGE PLAN



EER Environmental Engineering & Remediation, Inc.
222 St. John Street, Suite 714 Portland, Maine 04102

Barry J. Hosmer, ASLA
Landscape Architect
198 Whitney Avenue, Portland, Maine 04102

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
SHEET 2 OF 3



EXHIBIT A

1 f

Att. 18

BOUNDARY SURVEY	
142 Presumpscot Street for Portland, Maine	
Warehouse Addition BRUCE R. BOWMAN, Inc. Professional Land Surveyor 199 John Small Road, Chebeague Island, Maine 046-1663 046-1664(F)	
Date: 03/12/03	Job : 03002
Drawn By: <i>SB</i>	Scale : 1"=30'

REFERENCES

1. Washington Avenue Gardens
Portland, Cumberland County, Maine
owned by Everett C. Wells
dated May 7, 1996
Recorded CCRD Planbook 14 Page 46
2. Washington Avenue Gardens Annex
Portland, Cumberland County, Maine
owned by Everett C. Wells
dated May 7, 1996
Recorded CCRD Planbook 14 Page 49
3. Standard Boundary Survey
132-134 Providence Street
Portland, Maine
dated May 7, 1996
Recorded CCRD Planbook 14 Page 49
by Ernest W. Branch, C.E. Oct 1920
4. City of Portland Engineering Plan
Presumpscot Street
Portland, Maine
Sewer Lines and Profile
File 496/7

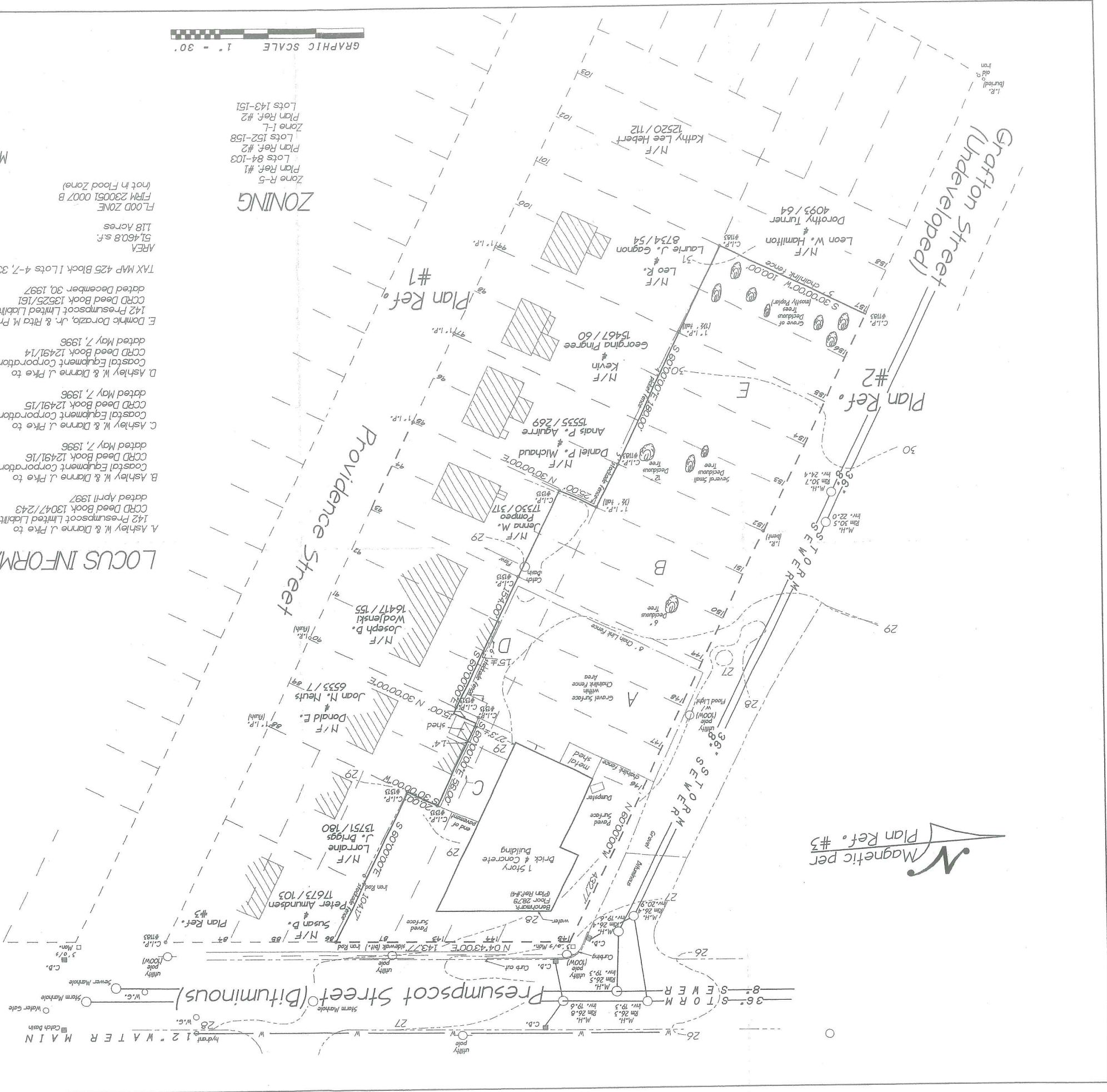
I HEREBY CERTIFY that this survey conforms to the
Maine Board of Licensure for Professional Land Surveyors,
Category I, Condition II
Except No Report Submitted
No Deeds Written
SB
Bruce R. Bowman PLS #1313

LOCUS INFORMATION

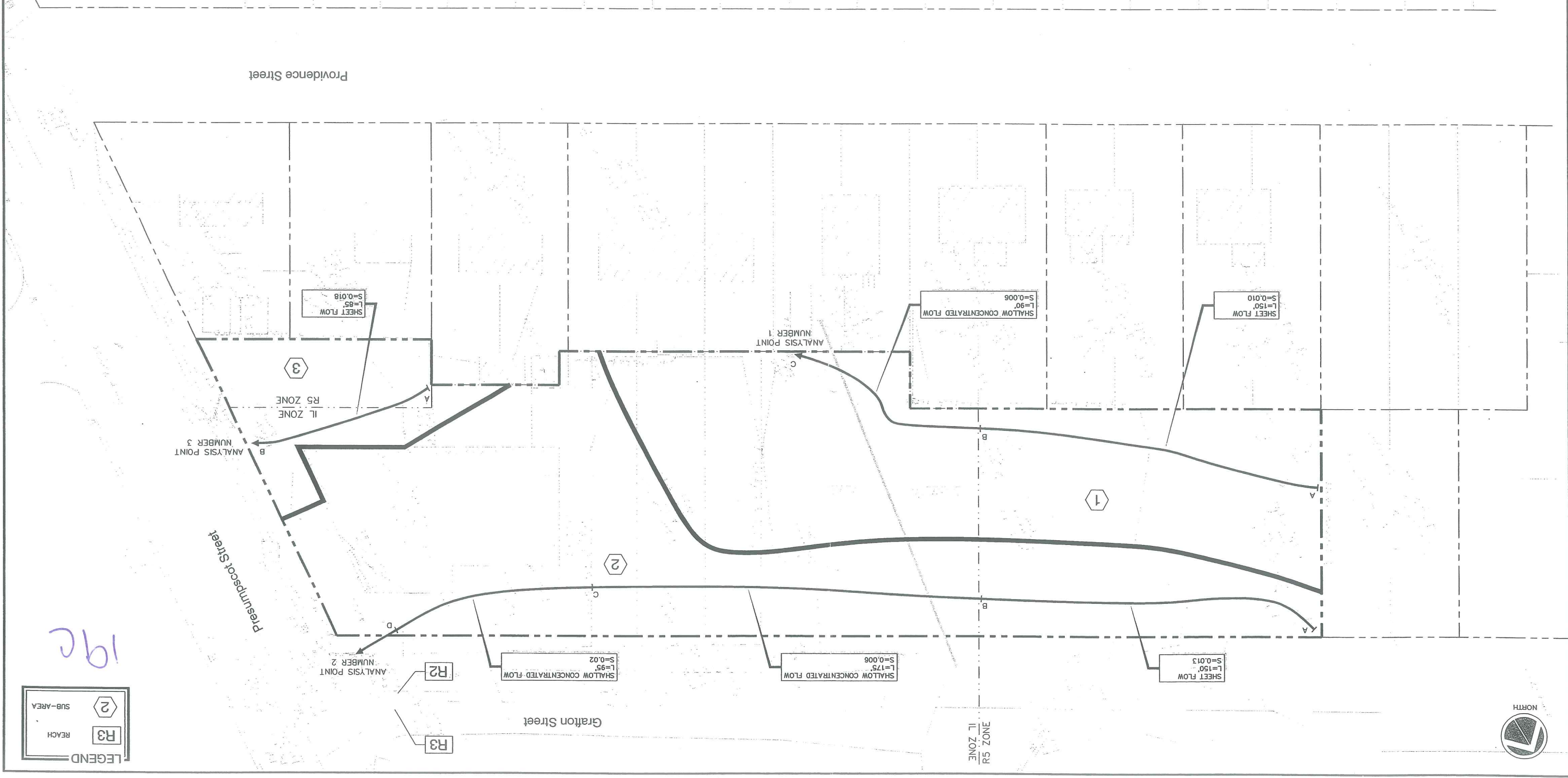
- A. Ashley W. & Dianne J. Pike to
142 Presumpscot Limited Liability Company
CCRd Deed Book 13047/243
dated April 1997
- B. Ashley W. & Dianne J. Pike to
Coastal Equipment Corporation
CCRd Deed Book 12491/16
dated May 7, 1996
- C. Ashley W. & Dianne J. Pike to
Coastal Equipment Corporation
CCRd Deed Book 12491/15
dated May 7, 1996
- D. Ashley W. & Dianne J. Pike to
Recorded CCRD Planbook 14 Page 49
by Ernest W. Branch, C.E. Oct 1920
- E. Dominic Dorazio, Jr. & Rita M. Pranis to
142 Presumpscot Limited Liability Company
CCRd Deed Book 13525/161
dated December 30, 1997
TAX MAP 425 Block Lots 4-7, 33-43, p.a. 8-12

ZONING
Zone R-5
Plan Ref. #1
Lots 84-103
Plan Ref. #2
Zone L-L
Plan Ref. #2
Lots 152-158
Zone R-5
Plan Ref. #1
Lots 143-151

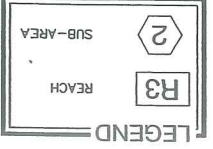
GRAPHIC SCALE 1" = 30'



DESIGN BY: SJB		DRAWN BY: JAR		CHECKED BY: SJB		DATE: 05-13-03		JOB NO: 818		SCALE: 1" = 20'		H-100 SHEET 1 OF 2	
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION		WAREHOUSE ADDITION		PRE-DEVELOPMENT DRAINAGE PLAN		EER Environmental Engineering & Restoration, Inc.		222 St. John Street, Suite 514 Portland, Maine 04102		DATE: 05-13-03		JOB NO: 818	
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REV.		BY		DATE		STATUS		CAD NO.		C		SJB	
C		SJB		01-16-04		ISSUED FOR: CITY COMMENTS		818_c_H100		B		SJB	
B		SJB		05-13-03		ISSUED FOR: PLANNING STAFF REVIEW		818_b_H100		A		SJB	

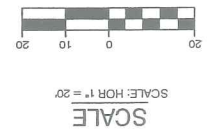


19c



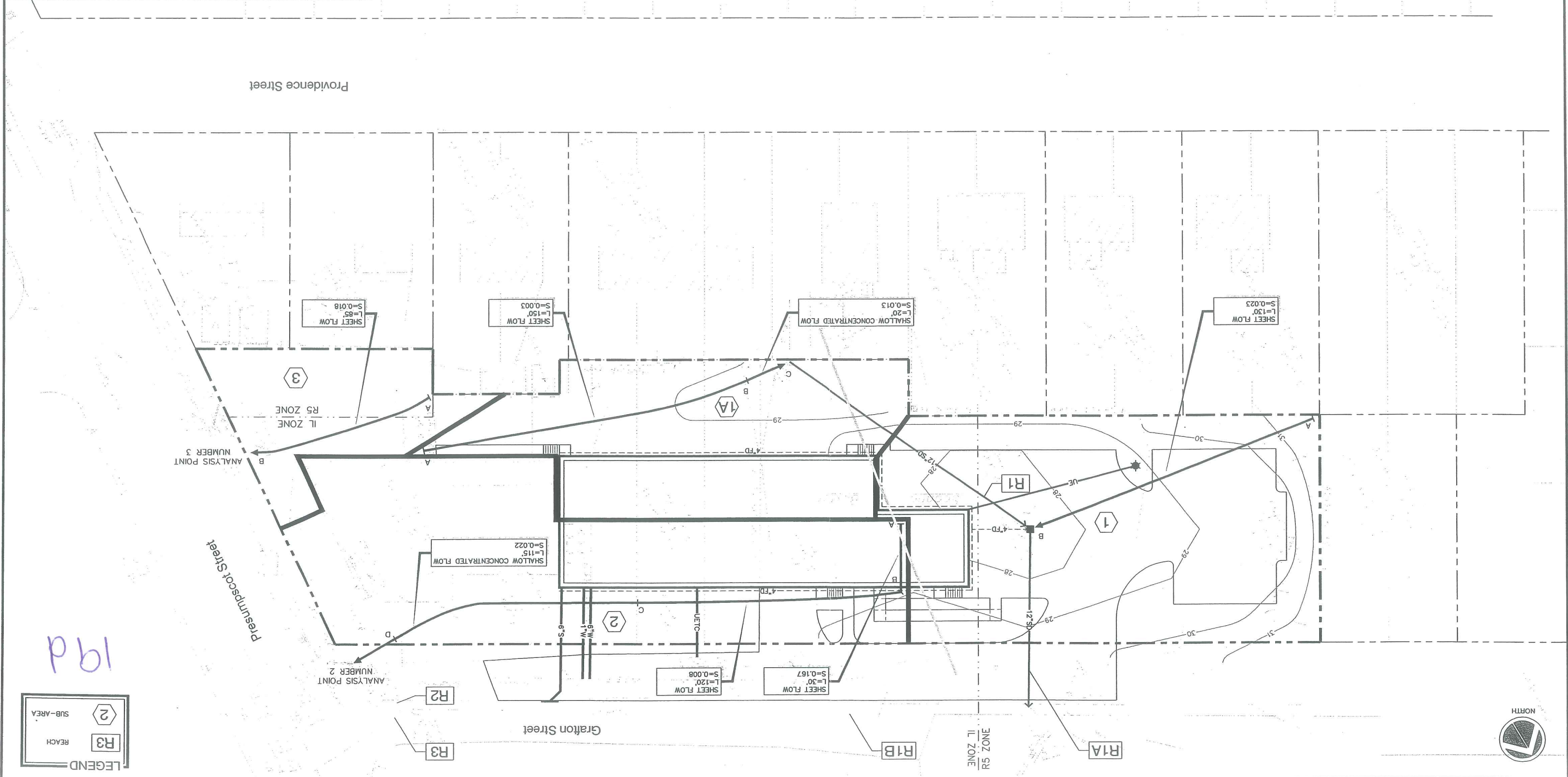
DESIGN BY: SJB	DRAWN BY: JAN
CHECKED BY: SJB	DATE: 05-13-03
JOB NO: 818	
SCALE: 1" = 20'	
H-101 SHEET 2 OF 2	

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
POST-DEVELOPMENT
DRAINAGE PLAN

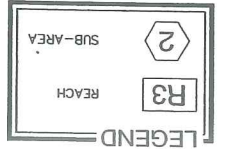


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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: QTY COMMENTS	818_C_H101
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_B_H101



19d



Att. 21

BOUNDARY SURVEY	
142 Presumpscot Street Portland, Maine for 142 Presumpscot, LLC Warehouse Addition BRUCE R. BOWMAN, Inc. Professional Land Surveyor 199 John Small Road, Chebeague Island, Maine 046-1663 046-1664(F)	
Date: 03/12/03	Job: 03002
Drawn By: <i>BR</i>	Scale: 1"=30'

REFERENCES

- 1 Washington Avenue Gardens
Portland Cumberland County, Maine
owned by Everett C. Wells
dated May 7, 1996
C.C.R.D. Deed Book 12491/16
- 2 Washington Avenue Gardens Annex
Portland Cumberland County, Maine
owned by Everett C. Wells
dated May 7, 1996
C.C.R.D. Deed Book 12491/15
- 3 Standard Boundary Survey
132-134 Providence Street
Portland, Maine
for Lester Cord
dated April 1997
142 Presumpscot Limited Liability Company
C.C.R.D. Deed Book 13525/161
- 4 City of Portland Engineering Plan
Presumpscot Street
Sewer Lines and Profile
File 496/7

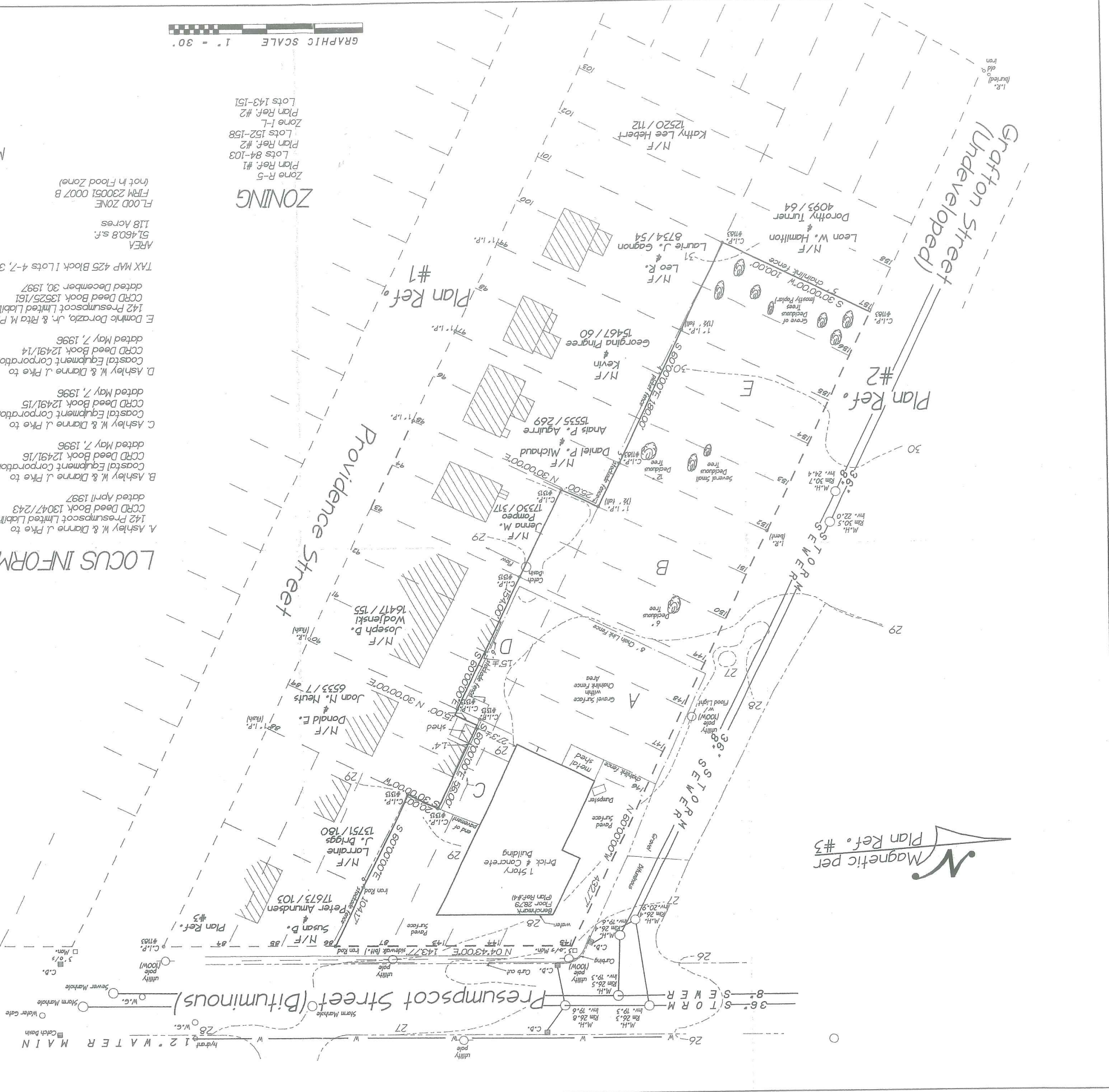
I HEREBY CERTIFY that this survey conforms to the
Maine Board of Licensure for Professional Land Surveyors,
Category I, Condition II
Except No Report Submitted
No Deeds Written
BR
Bruce R. Bowman PLS #1313

LOCUS INFORMATION

- A Ashley W. & Dianne J. Pike to
142 Presumpscot Limited Liability Company
C.C.R.D. Deed Book 13047/243
dated April 1997
- B Ashley W. & Dianne J. Pike to
Coastal Equipment Corporation
C.C.R.D. Deed Book 12491/16
dated May 7, 1996
- C Ashley W. & Dianne J. Pike to
Coastal Equipment Corporation
dated May 7, 1996
C.C.R.D. Deed Book 12491/15
- D Ashley W. & Dianne J. Pike to
Coastal Equipment Corporation
dated May 7, 1996
C.C.R.D. Deed Book 12491/14
- E Dominic Dorozzo, Jr. & Rita M. Promis to
142 Presumpscot Limited Liability Company
C.C.R.D. Deed Book 13525/161
dated December 30, 1997
TAX MAP 425 Block 1 Lots 4-7, 33-43, p.a. 8-12
AREA
51,460.8 s.f.
118 Acres
FLOOD ZONE
FRM 230051 0007 B
(not in Flood Zone)

ZONING

- Zone R-5
Plan Ref. #1
Lots 84-103
Plan Ref. #2
Lots 152-158
Zone I-L
Plan Ref. #2
Lots 143-151



RIGHT SIDE ELEVATION
1/8" = 1'-0"

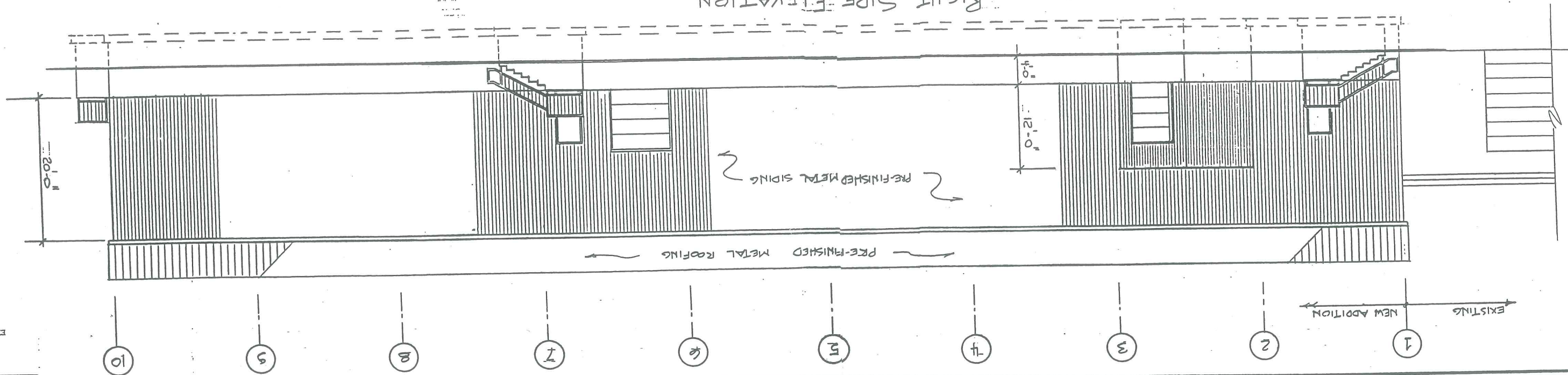
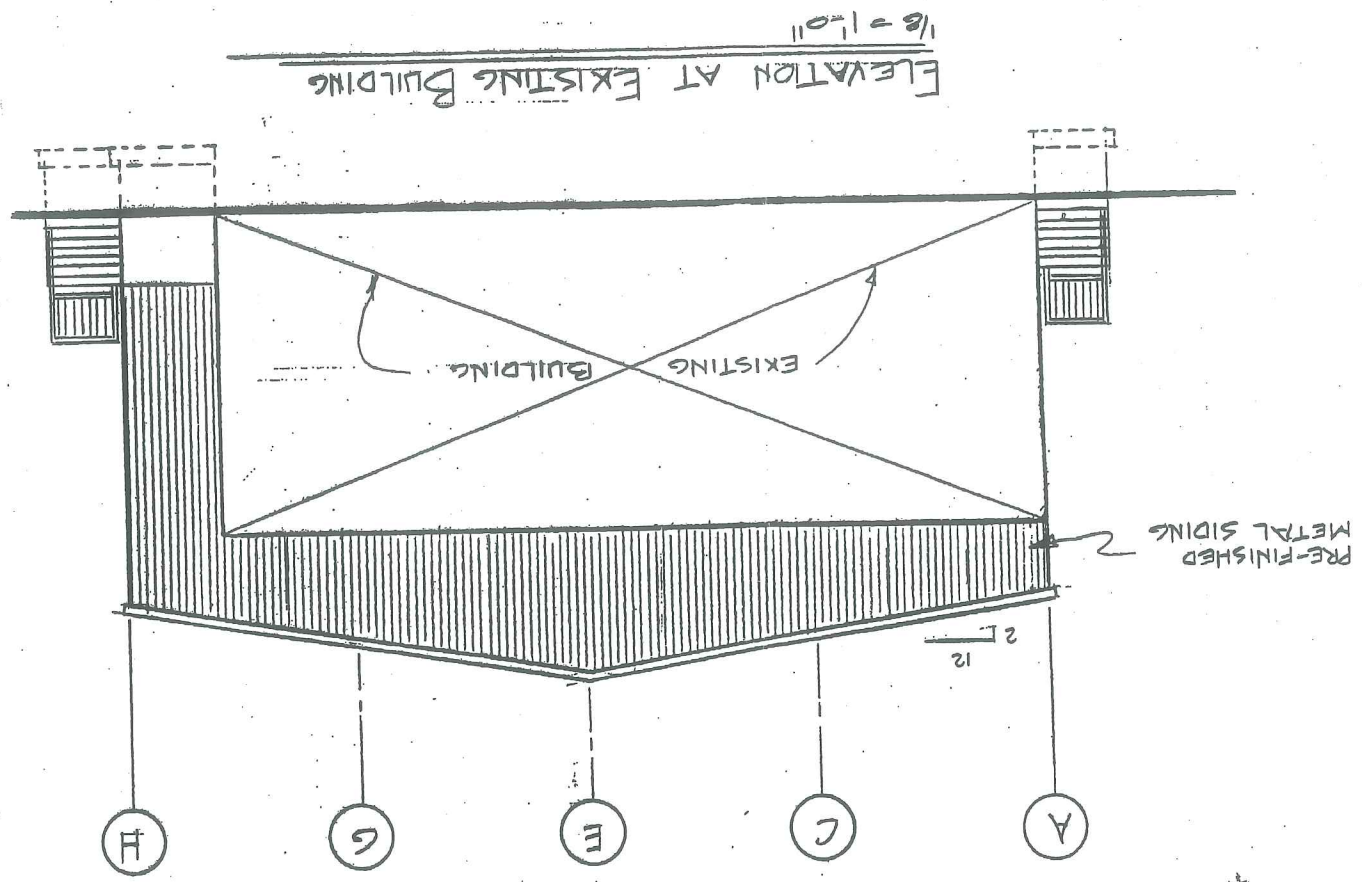


EXHIBIT H-2

230

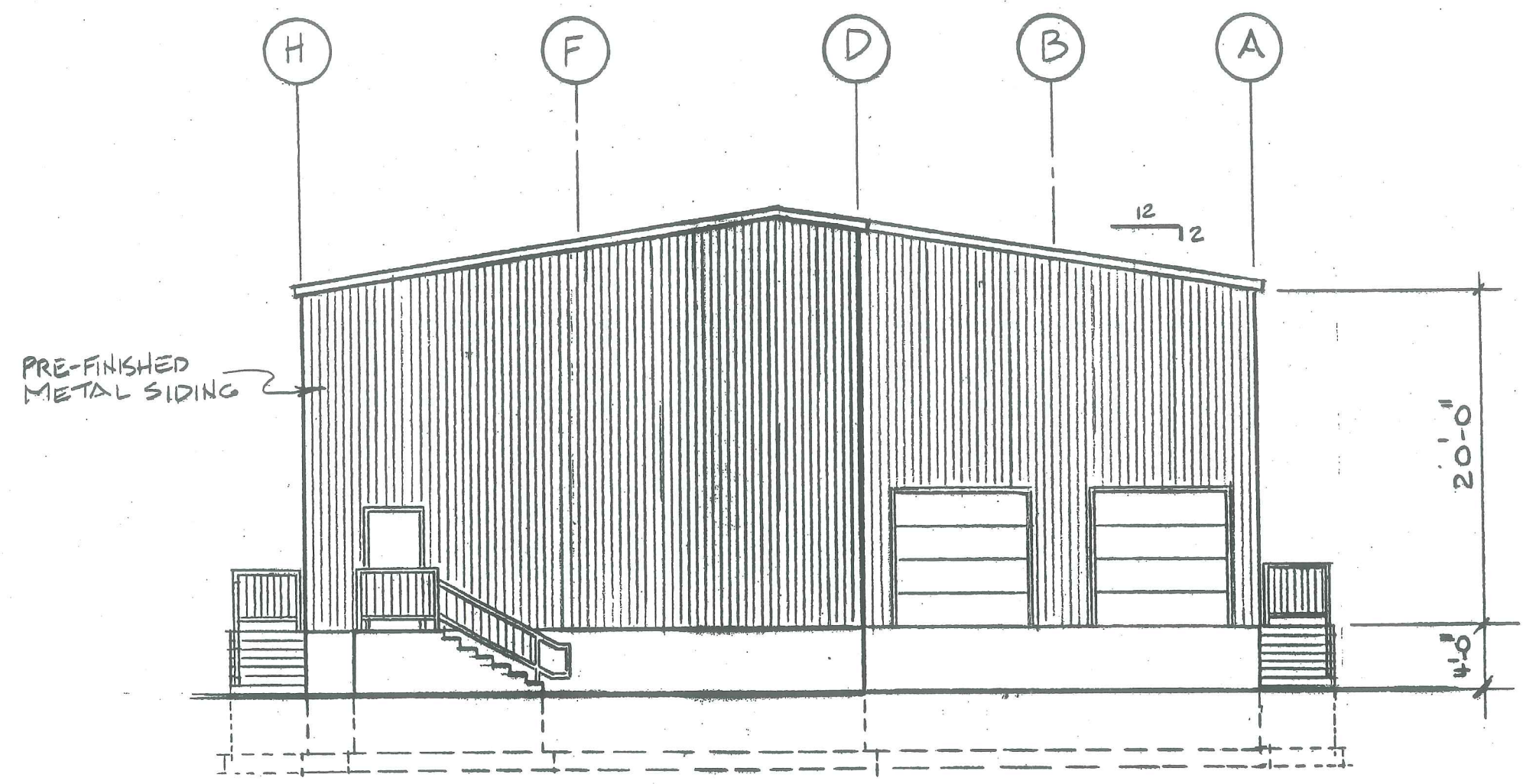
031117



PRE-FINISHED METAL

236

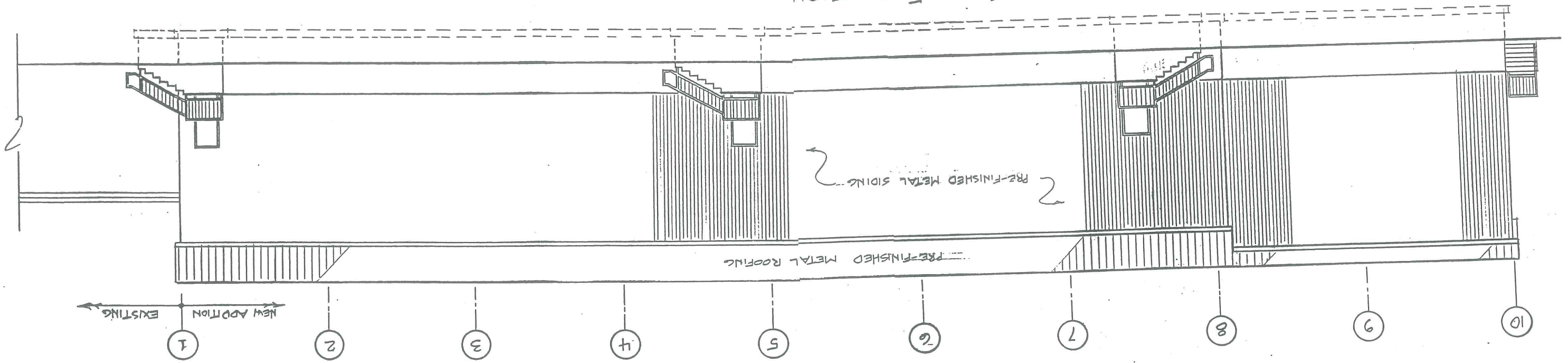
23C



REAR ELEVATION

1/8" = 1'-0"

LEFT SIDE ELEVATION
1/8" = 1'-0"



AH. 23



REV.	BY	DATE	STATUS
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW

CAD NO.	
818_C100	
818_a_C100	

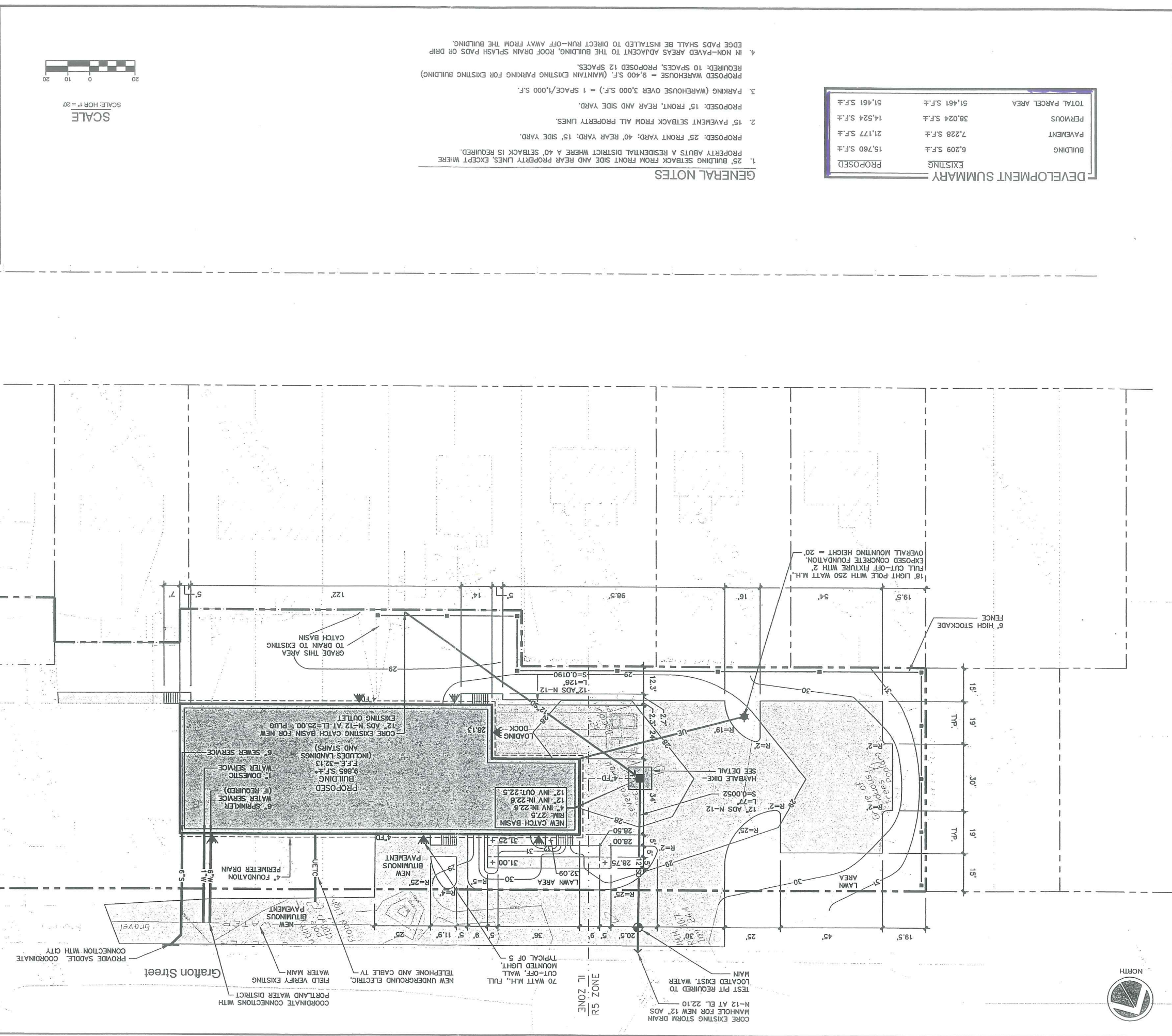
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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
SITE LAYOUT, UTILITY, GRADING
AND EROSION CONTROL PLAN

DESIGN BY: SJB
DRAWN BY: JMR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
SHEET 1 OF 3

222 St. John Street, Suite 314 Portland, Maine 04102
EER Engineering & Regulators, Inc.

STATE OF MAINE
PROFESSIONAL ENGINEER
STEPHEN A. BRADSTREET
#5740



- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
 - 25' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 - PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 - PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING) REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.

DEVELOPMENT SUMMARY

EXISTING	PROPOSED
BUILDING	15,760 S.F.±
PAVEMENT	7,228 S.F.±
PREVIOUS	38,024 S.F.±
TOTAL PARCEL AREA	51,461 S.F.±

Att. 22

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
LANDSCAPING, STRIPING
AND SIGNAGE PLAN

DESIGN BY: SJB
 DRAWN BY: JMB
 CHECKED BY: SJB
 DATE: 03-24-03
 JOB NO.: 818
 SCALE: 1" = 20'
 SHEET 2 OF 3

156 Wilbury Avenue, Portland, Maine 04102
 BARRY J. HOSMER, A.S.L.A.
 Landscape Architect

222 S. Main Street, Suite 314 Portland, Maine 04102
EER
 Environmental
 Remediation &
 Restoration, Inc.

STATE OF MAINE
 PROFESSIONAL LANDSCAPE ARCHITECT
 No. 79
 BARRY J. HOSMER
 No. 79

REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_C-100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_B-C100

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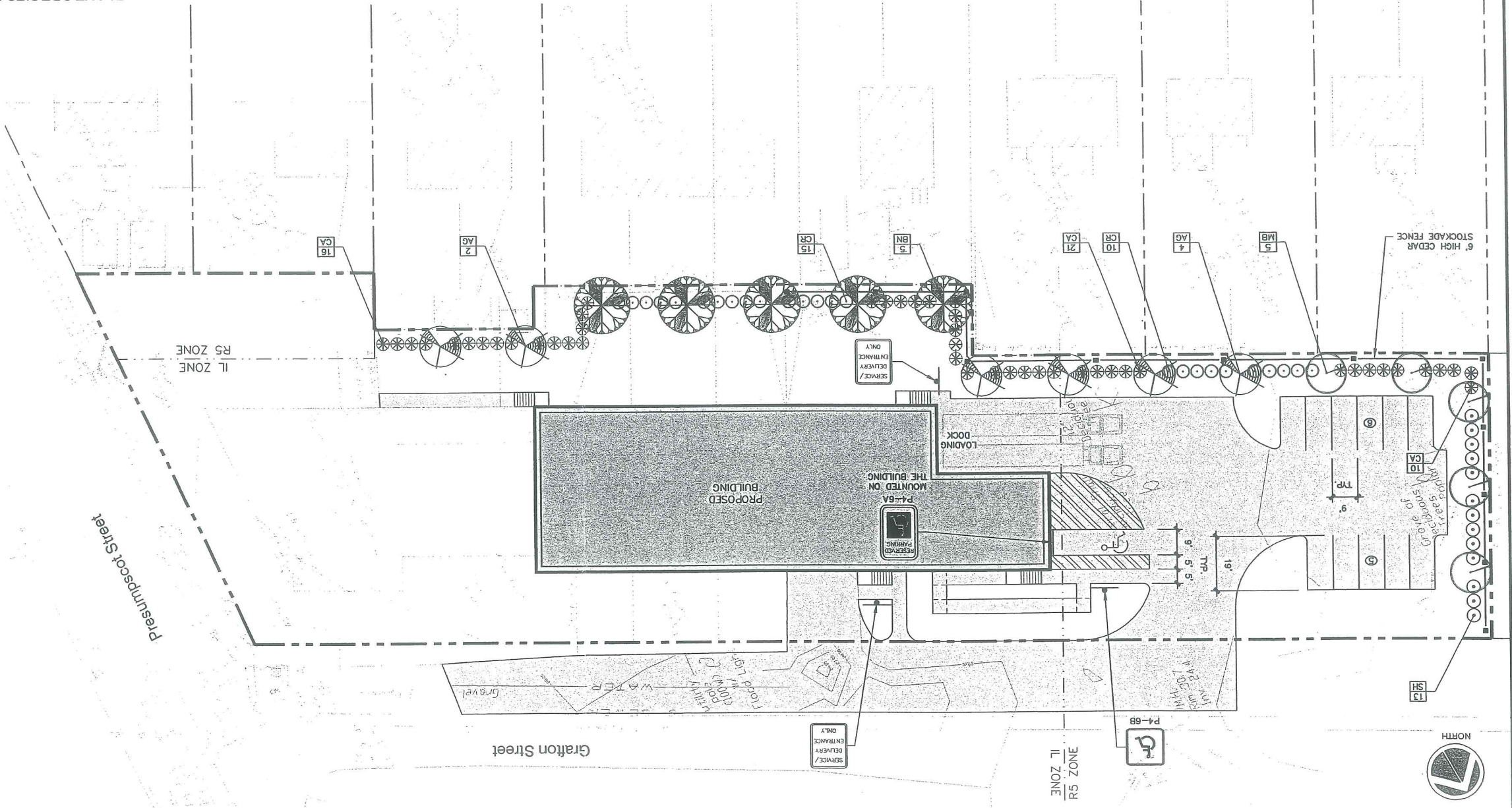
STATE OF MAINE
 PROFESSIONAL LANDSCAPE ARCHITECT
 No. 79
 BARRY J. HOSMER
 No. 79

SCALE
 SCALE: HOR 1" = 20'

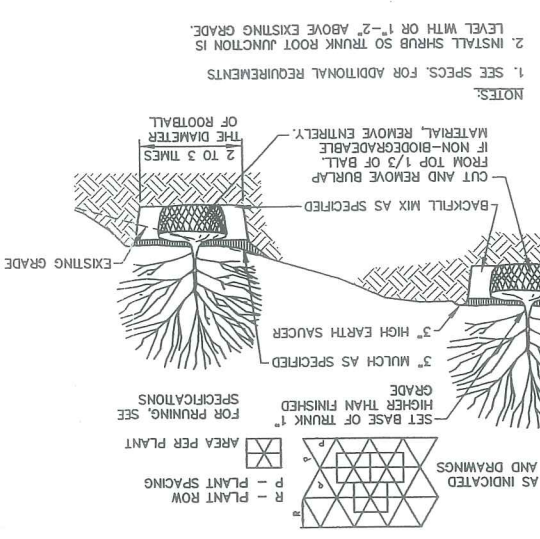
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AG	6	AMELANCHIER X GRANIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5'-3" CAL. 30" O.C., B&B	
BN	5	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5'-3" CAL. 30" O.C., B&B	
CR	25	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5'-3" 5" O.C.	
CA	47	CORNUS ALBA "IVORY HALO"	IVORY HALO RED TWIG DOGWOOD	2.5'-3" 5" O.C.	
MB	5	MALUS BACCATA "WALTERS"	WALTERS' COLUMNAR SIBERIAN CRAB	2.5'-3" CAL. 30" O.C., B&B	
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	POCAHONTAS LILAC	2.5'-3" 5" O.C.	

PLANT SPECIES LIST

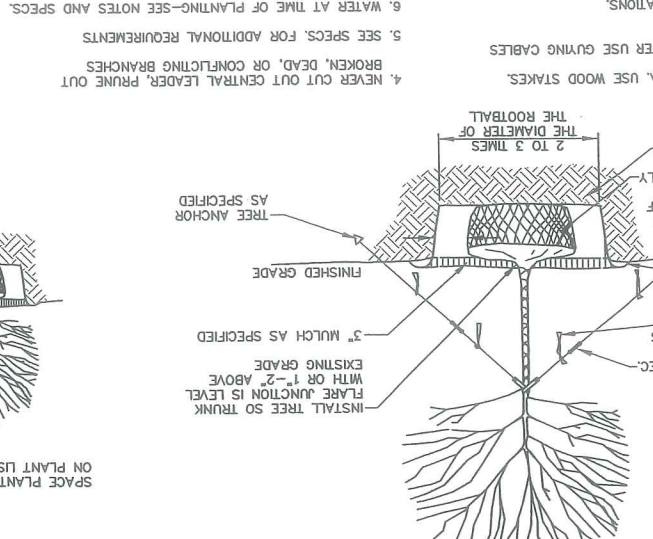
1. LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z601-UNIVERSITY STOCK. LATEST REVISION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT LATER WOULD GROUND THE PLANT SHALL BE STRIPPED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20 LOAM/FEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS INSTALLED. TABLETS SHALL BE APPLIED AT 21 GRAMS PLANTING TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-2 OZS./PLANT; WOODY SHRUBS TO 10' AND ABOVE-4 GAL./PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF PLANTS WITH "ROOTS" OR AN APPROVED EQUAL. MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 OZS./PLANT; WOODY SHRUBS TO 10' AND ABOVE-4 GAL./PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF MEDIUM SHREDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A 25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF ACCEPTANCE. ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LAWN SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN SHALL BE SEEDS WITH TOP-TOP-FLUX GENERAL OR APPROVED EQUAL, AND STRAW MULCH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE SPECIES LIST AND THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTITL THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.



TYPICAL SHRUB PLANTING DETAIL



TYPICAL TREE PLANTING DETAIL



NOTES:
 1. ON TREES LESS THAN 4" CA. USE WOOD STAKES.
 2. ON TREES 3" CA. OR GREATER USE GUYING CABLES.
 3. FOR PRUNING, SEE SPECIFICATIONS.
 4. NEVER CUT OUT CENTRAL LEADER, BRANCHES OUT BROKEN, DEAD, OR CONFLICTING BRANCHES.
 5. SEE SPECS. FOR ADDITIONAL REQUIREMENTS.
 6. WATER AT TIME OF PLANTING-SEE NOTES AND SPECS.

NOT TO SCALE

DESIGN BY: SJB	DATE: 03-24-03	JOB NO: B18	C-102
DRAWN BY: JAN	CHECKED BY: SJB	SCALE: 1" = 20'	SHEET 3 OF 3
222 St. John Street, Suite 314 Portland, Maine 04102			
EER Environmental Engineering & Remediation, Inc.			

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

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STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
STEPHEN A. BRADSTREET
#5740

CONSTRUCTION DETAILS

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
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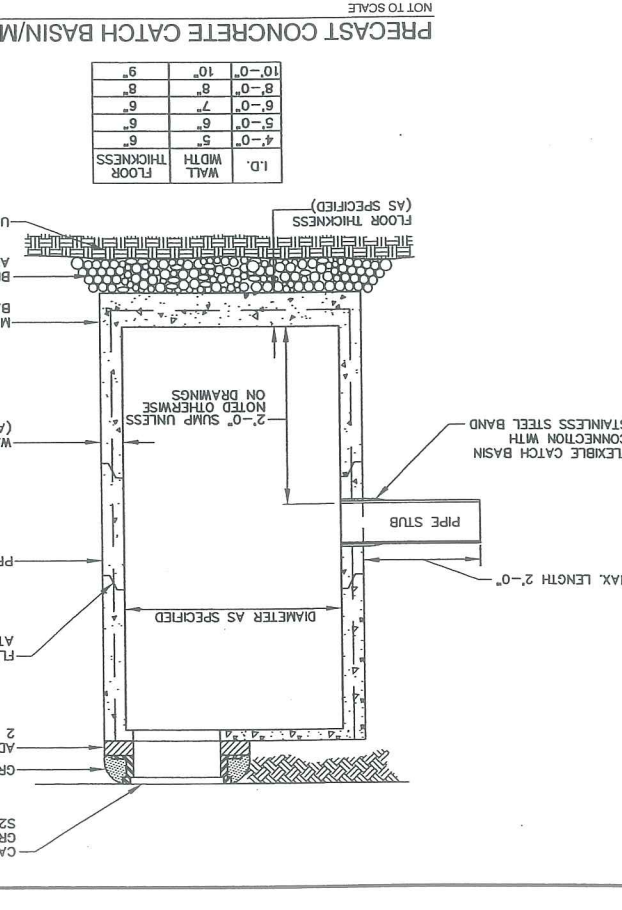
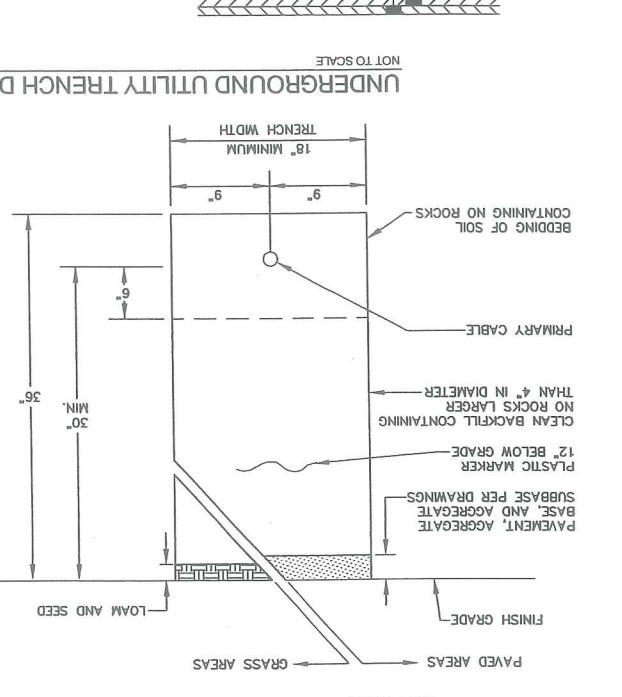
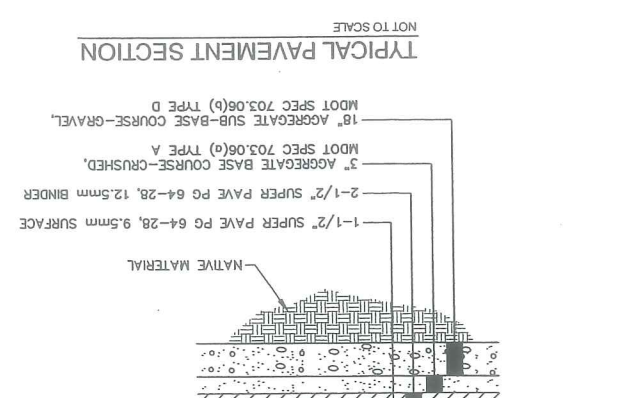
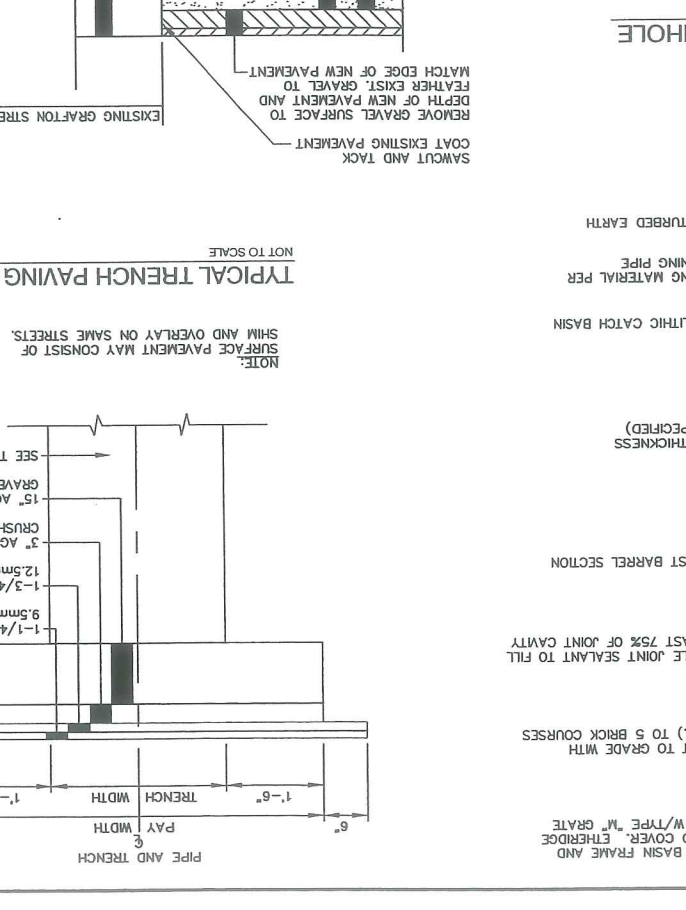
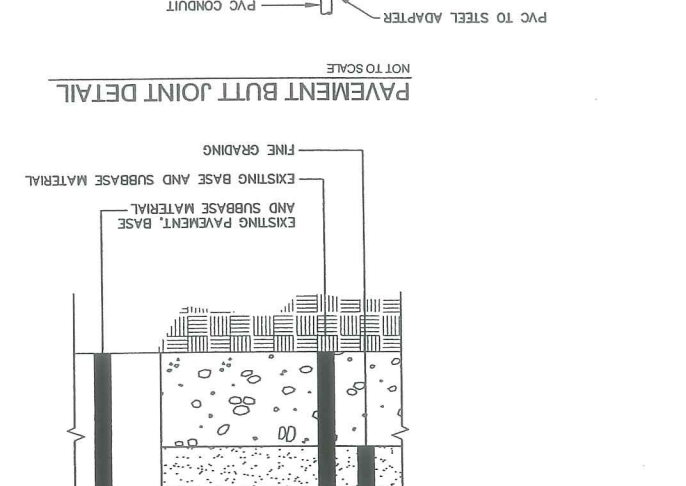
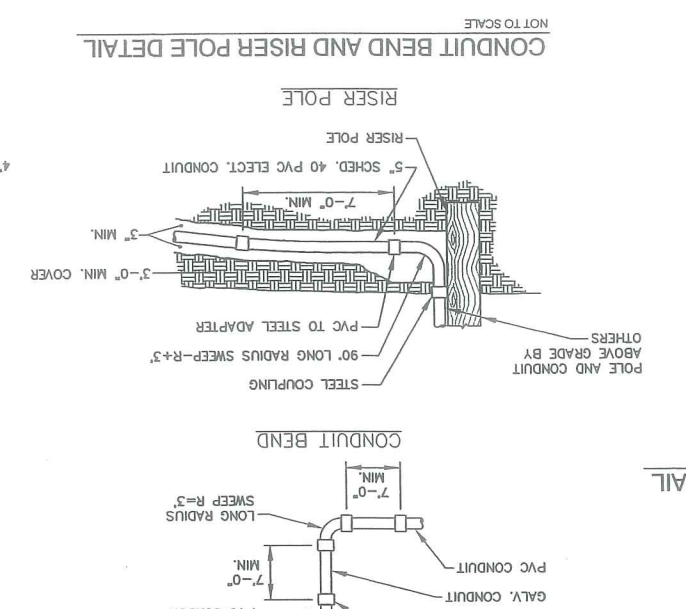
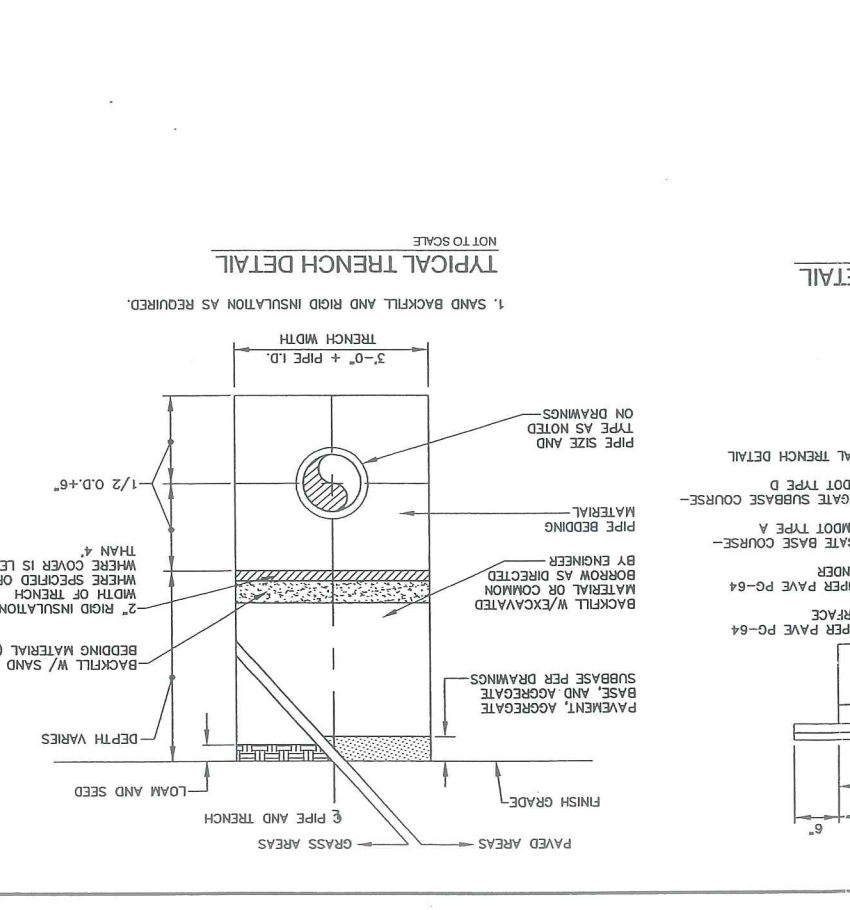
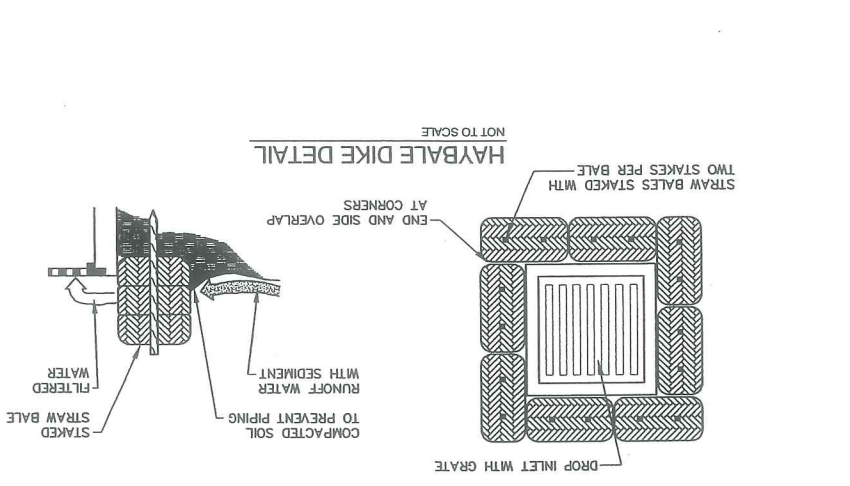
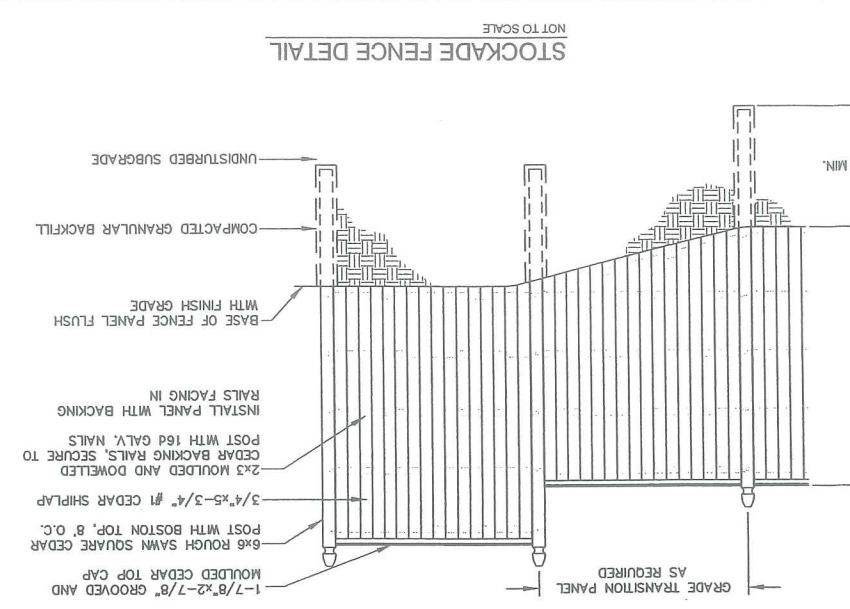
STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
STEPHEN A. BRADSTREET
#5740

CONSTRUCTION DETAILS

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

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EROSION CONTROL NOTES

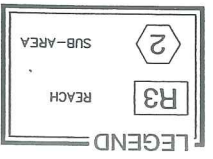
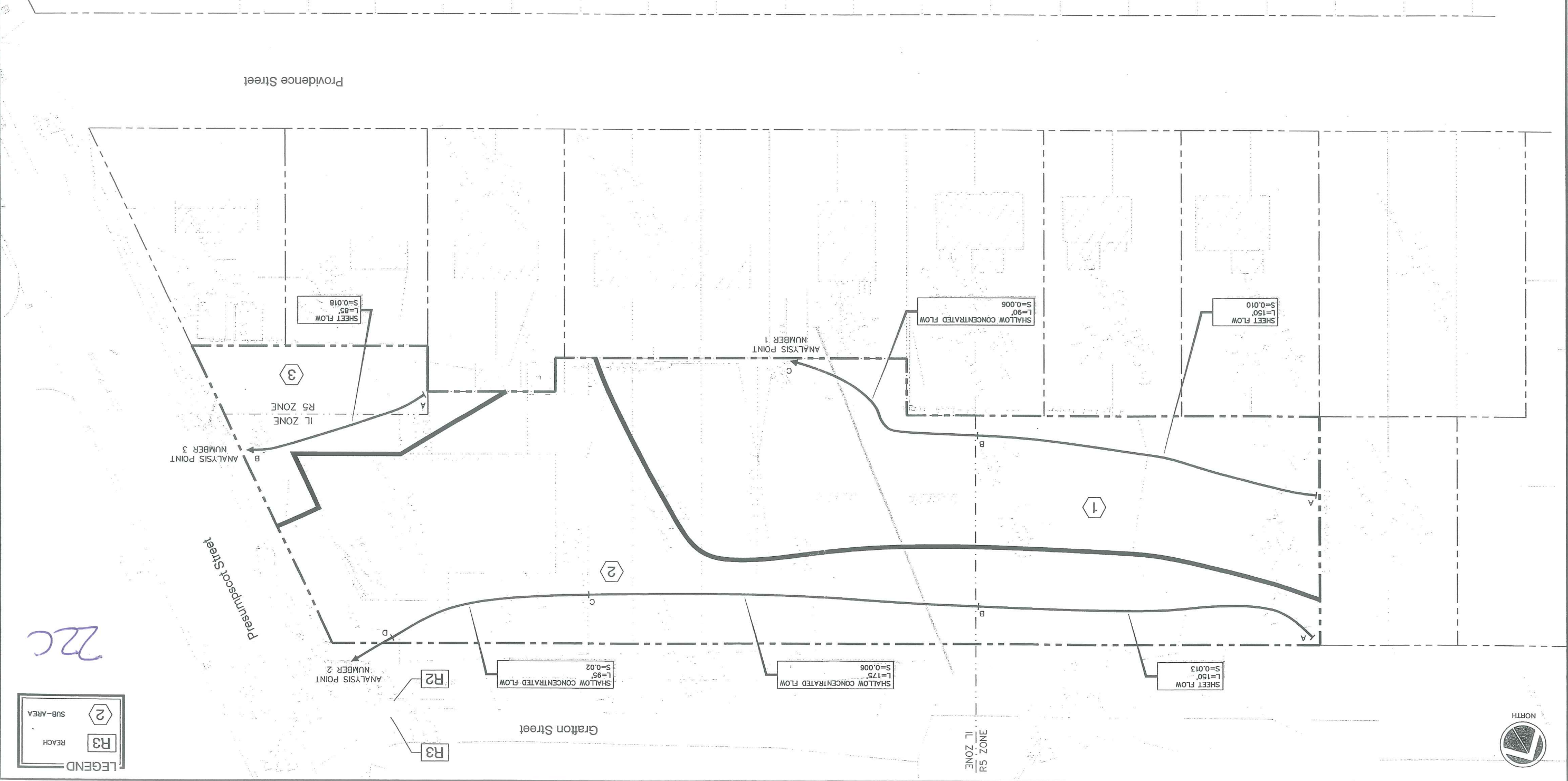
1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:
 - BIRDFOOT TREFOIL
 - CROWNVEITCH
 - GREeping RED FESCUE OR TALL FESCUE
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
 - SEEDING RECOMMENDED
 - LB/1,000 SO. FT.
 - DEPTH
 - SEEDING DATES
6. FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY, AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RE-SEEDED AND RE-MULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
 - STEPHEN A. BRADSTREET, P.E.
 - 222 ST. JOHN STREET SUITE 314
 - (207) 828-1272
15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - b) CONSTRUCT THE BUILDING.
 - c) CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - d) RELIEVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - e) INSTALL PERMANENT EROSION CONTROL MEASURES.

DESIGN BY: SJB			MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION PRE-DEVELOPMENT DRAINAGE PLAN
DRAWN BY: JWR			
CHECKED BY: SJB			
DATE: 05-15-03			
JOB NO: 818			
SCALE: 1" = 20'		222 St. John Street, Suite 314 Portland, Maine 04102 EER Environmental Engineering & Remediation, Inc.	
H-100 SHEET 1 OF 2			



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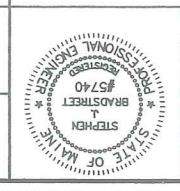
22c



SHEET 2 OF 2
 H-101
 SCALE: 1" = 20'
 JOB NO: 818
 DATE: 05-13-03
 CHECKED BY: SJB
 DRAWN BY: JAF
 DESIGN BY: SJB

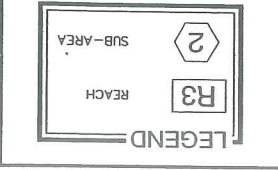
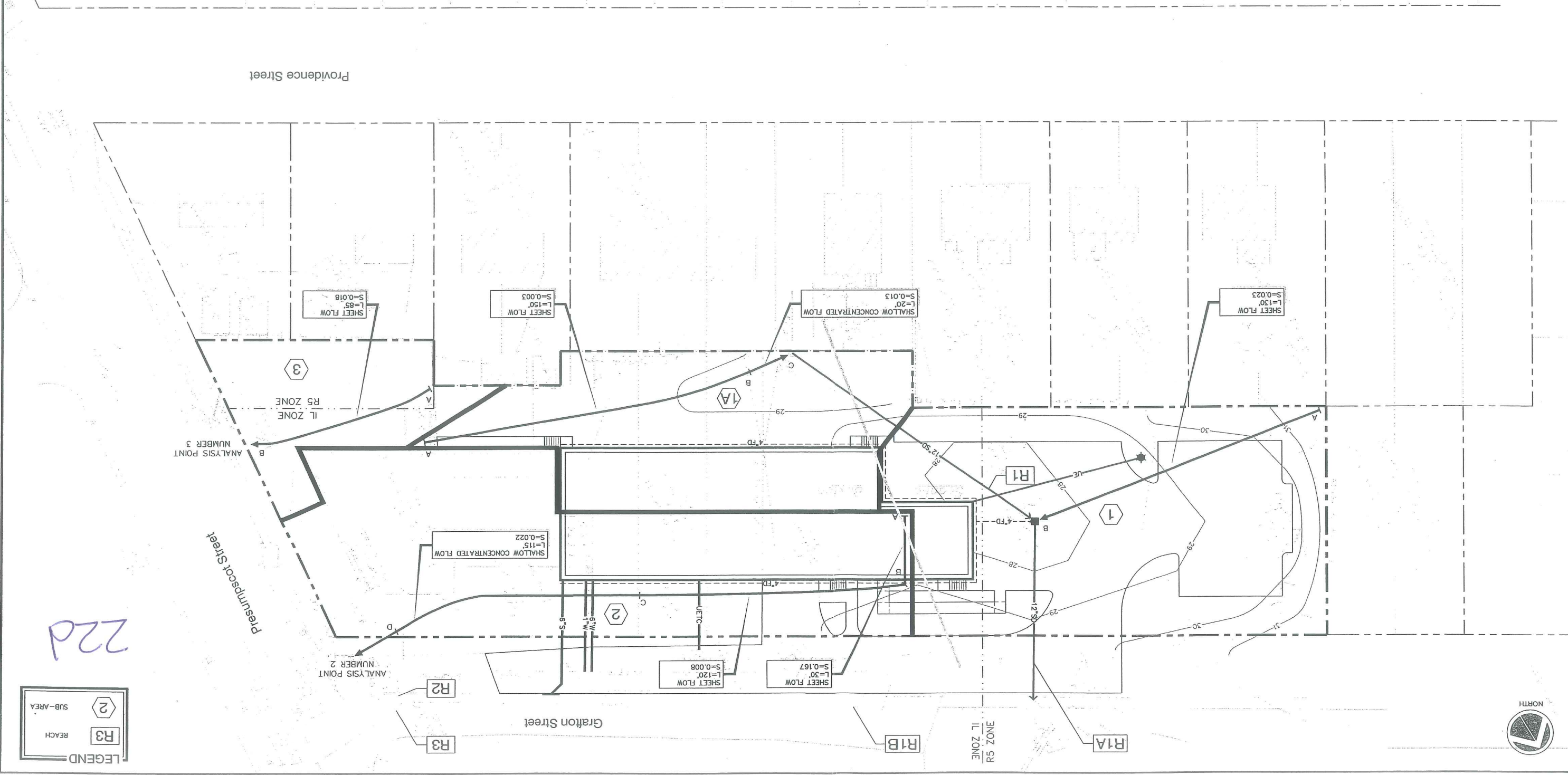
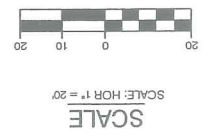
222 St. John Street, Suite 314
 Portland, Maine 04102
EER
 Environmental
 Engineering &
 Remediation, Inc.

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 POST-DEVELOPMENT
 DRAINAGE PLAN



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22d

BOUNDARY SURVEY
 142 Presumpscot Street
 for
 Warehouse Addition
BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 199 John Small Road, Chebeague Island, Maine 046-663 846-664(F)
 Date: 03/12/03 Job: 03002
 Drawn By: JRB
 Scale: 1"=30'

REFERENCES

- 1 Washington Avenue Gardens
 Portland Cumberland County, Maine
 owned by Everett C. Walls
 recorded CCRD Planbook 14 Page 46
- 2 Washington Avenue Gardens Annex
 Portland Cumberland County, Maine
 owned by Everett C. Walls
 recorded CCRD Planbook 14 Page 49
- 3 Standard Boundary Survey
 132-134 Providence Street
 Portland, Maine
 For Lester Card
 dated December 30, 1997
 CCRD Deed Book 13525/161
- 4 City of Portland Engineering Plan
 Presumpscot Street
 Portland, Maine
 Sewer Lines and Profile
 File 496/7

I HEREBY CERTIFY that this survey conforms to the
 Maine Board of Licensure for Professional Land Surveyors,
 Category I, Condition II
 Except No Report Submitted
 No Deeds Written

[Signature]
 Bruce R. Bowman PLS #1313

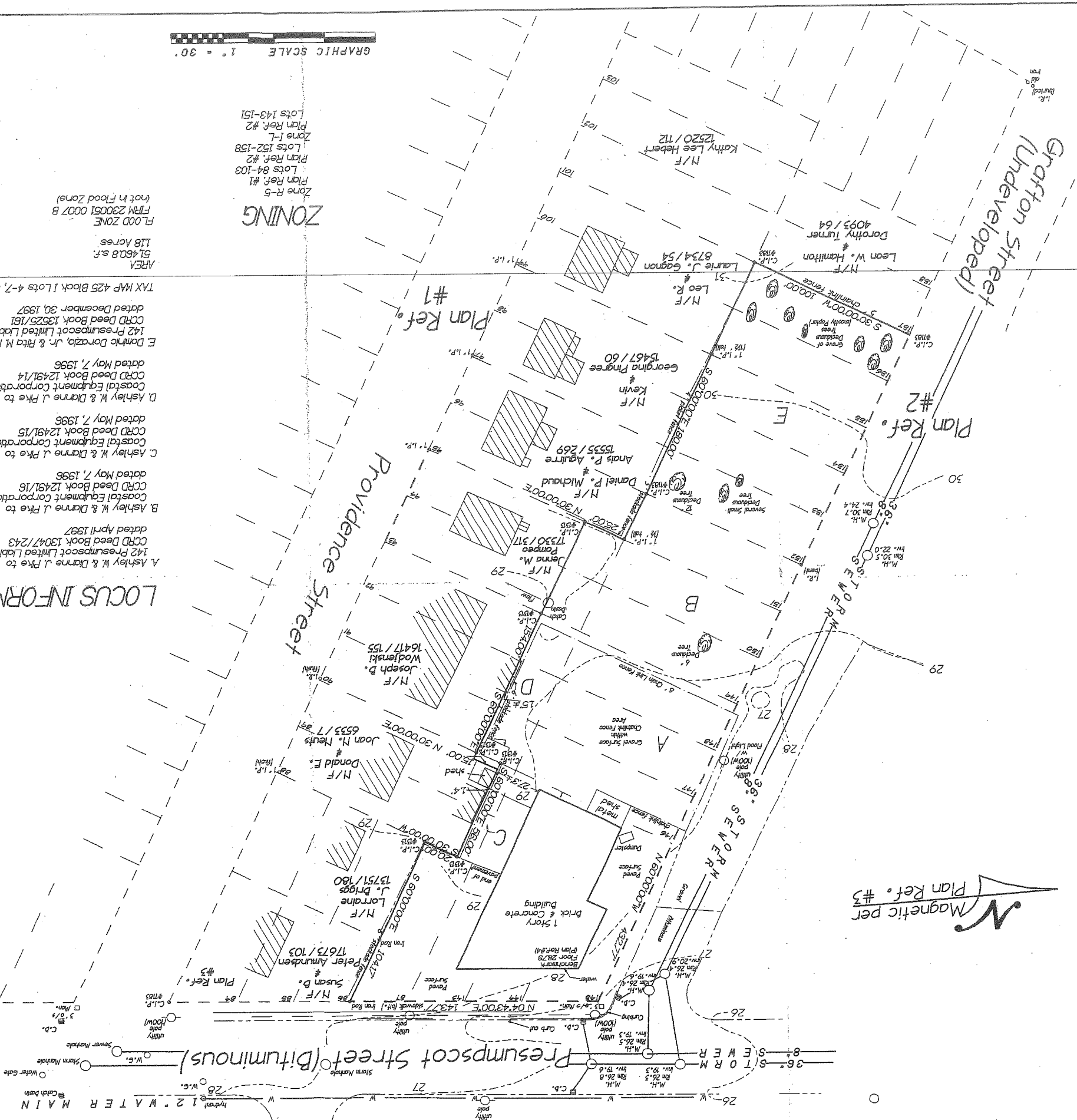
LOCUS INFORMATION

- A Ashley W. & Diane J. Pike to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13047/243
 dated April 1997
 - B Ashley W. & Diane J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/16
 dated May 7, 1996
 - C Ashley W. & Diane J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - D Ashley W. & Diane J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/14
 dated May 7, 1996
 - E Donnie Dorazio, Jr. & Rita M. Pranks to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13525/161
 dated December 30, 1997
- TAX MAP 425 Block Lots 4-7, 33-43, p.a. 8-12
 AREA
 51,460.8 s.f.
 118 Acres
 FLOOD ZONE
 FRM 230051 0007 B
 (not in Flood Zone)

ZONING

Zone R-5
 Plan Ref. #1
 Lots 84-108
 Plan Ref. #2
 Lots 152-158
 Zone L-L
 Plan Ref. #2
 Lots 143-151

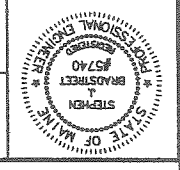
GRAPHIC SCALE 1" = 30'



Magnetic per
 Plan Ref. #3

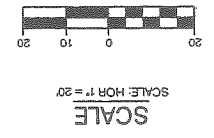
DESIGN BY: SJB
 DRAWN BY: JAM
 CHECKED BY: SJB
 DATE: 03-24-03
 JOB NO: 818
 SCALE: 1" = 20'
 SHEET 1 OF 3

MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 SITE LAYOUT, UTILITY, GRADING
 AND EROSION CONTROL PLAN



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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-10-04	ISSUED FOR: CTRY COMMENTS	818_C.C100
B	SJB	05-19-00	ISSUED FOR: PLANNING STAFF REVIEW	818_B.C100

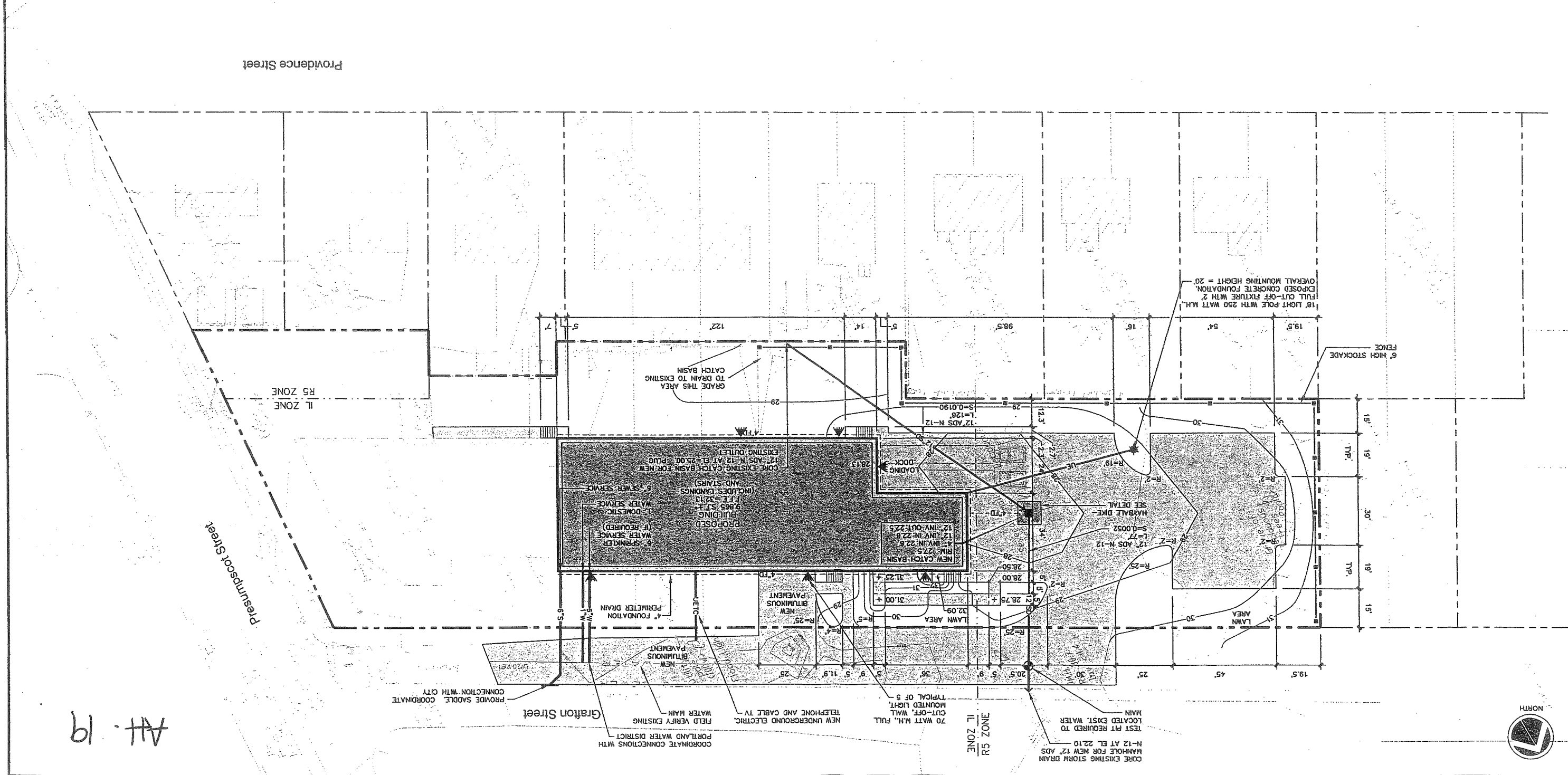


- GENERAL NOTES**
- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
 - PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
 - 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
 - PROPOSED: 15' FRONT, REAR AND SIDE YARD.
 - PARKING (WAREHOUSE OVER 3,000 S.F.) = 1 SPACE/1,000 S.F.
 PROPOSED WAREHOUSE = 9,400 S.F. (MAINTAIN EXISTING PARKING FOR EXISTING BUILDING)
 REQUIRED: 10 SPACES, PROPOSED 12 SPACES.
 - IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.

DEVELOPMENT SUMMARY

EXISTING	PROPOSED
15,760 S.F.F.	6,209 S.F.F.
21,177 S.F.F.	7,228 S.F.F.
14,524 S.F.F.	38,024 S.F.F.
51,461 S.F.F.	51,461 S.F.F.

TOTAL PARCEL AREA



Att. 19



DESIGN BY: SJB
DRAWN BY: JMT
CHECKED BY: SJB
DATE: 03-26-03
JOB NO: 818
SCALE: 1" = 20'
C-102
SHEET 3 OF 3

222 St. John Street, Suite 314
Poulsbo, WA 98147
BER Engineering & Remediation, Inc.

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

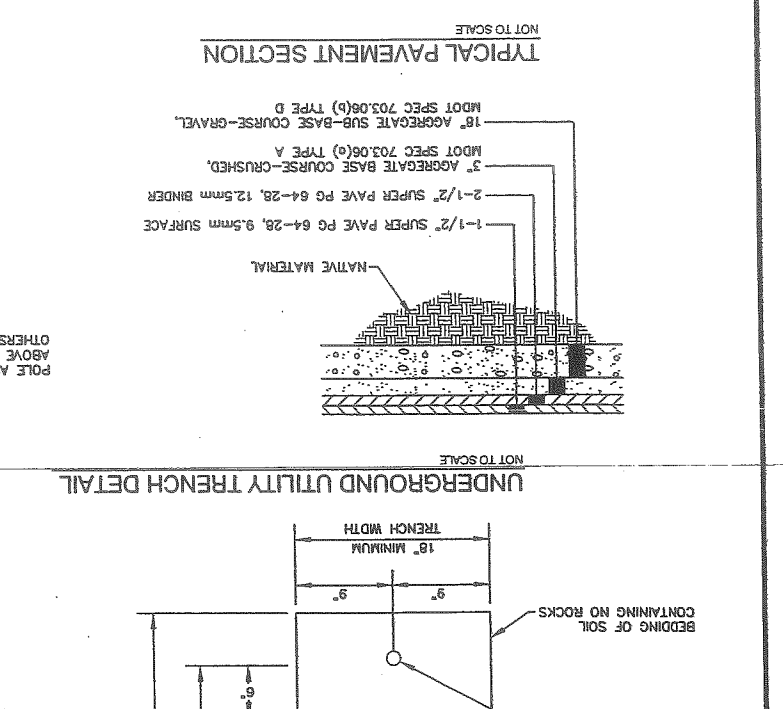
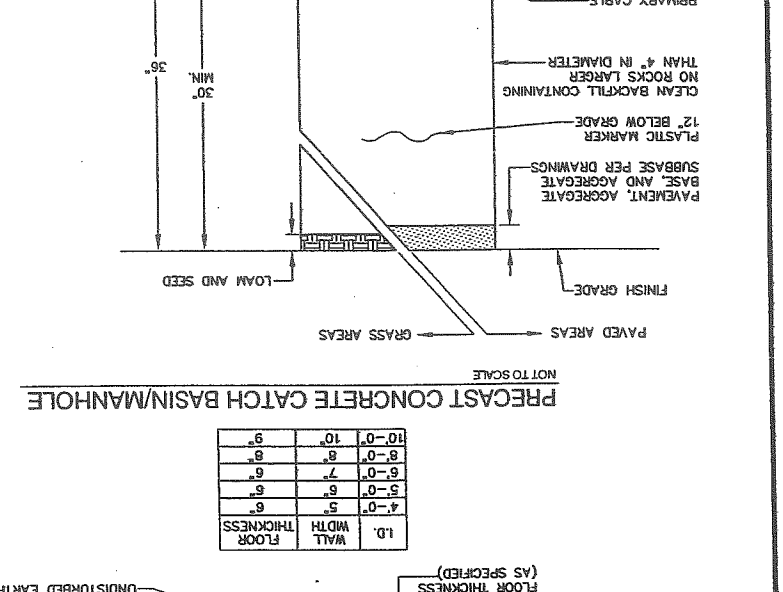
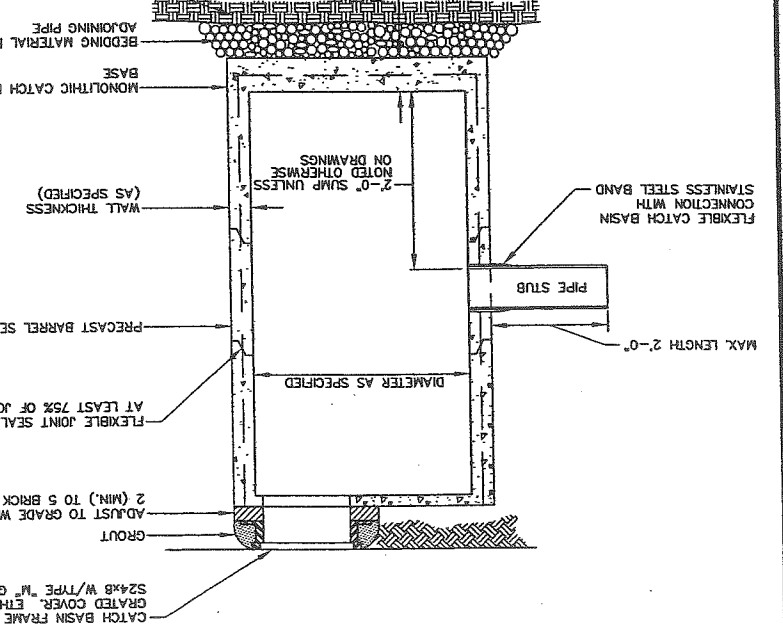
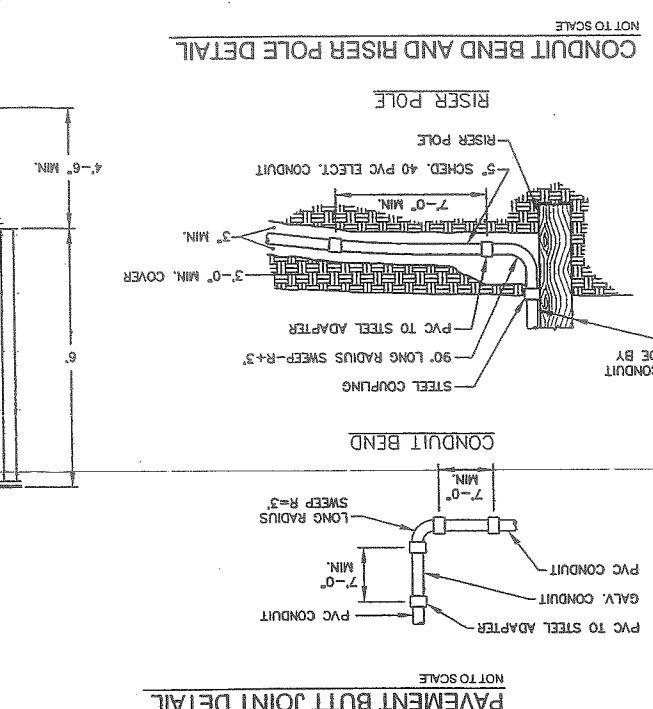
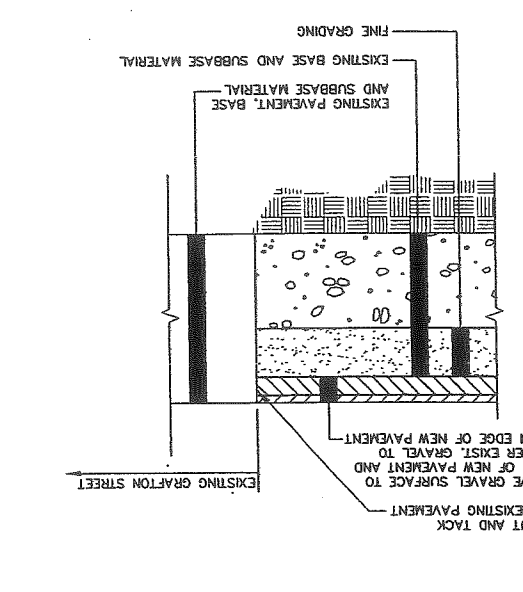
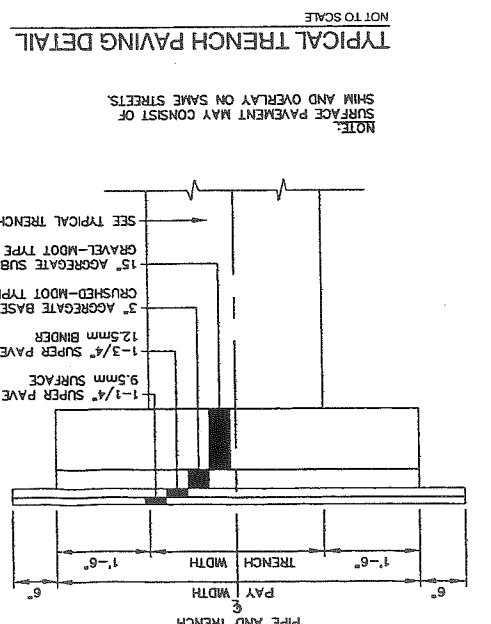
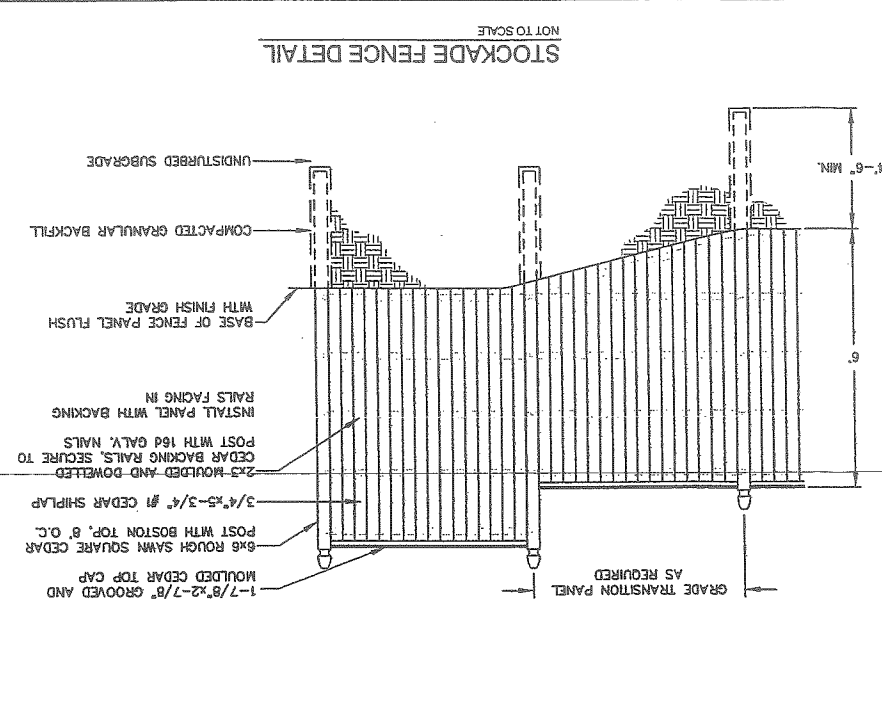
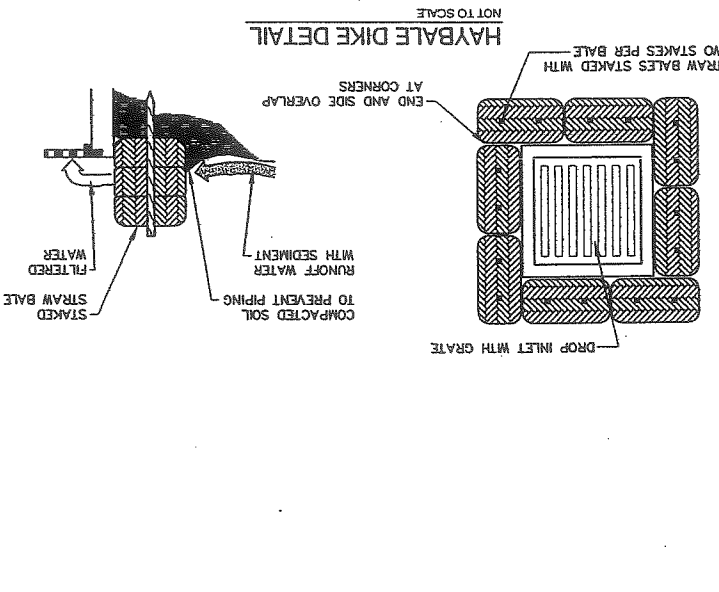
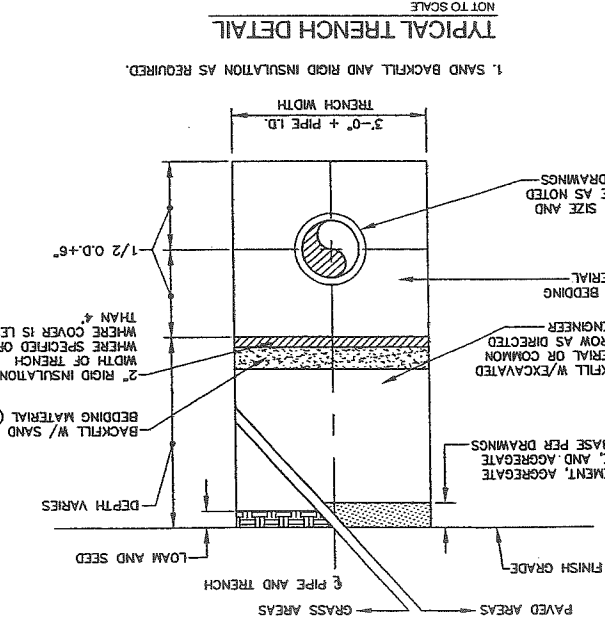
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
STEPHEN J. BRADSTREET
#5740

REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_c_c100
B	SJB	05-13-03	ISSUED FOR: CLIENT REVIEW	818_c_c100

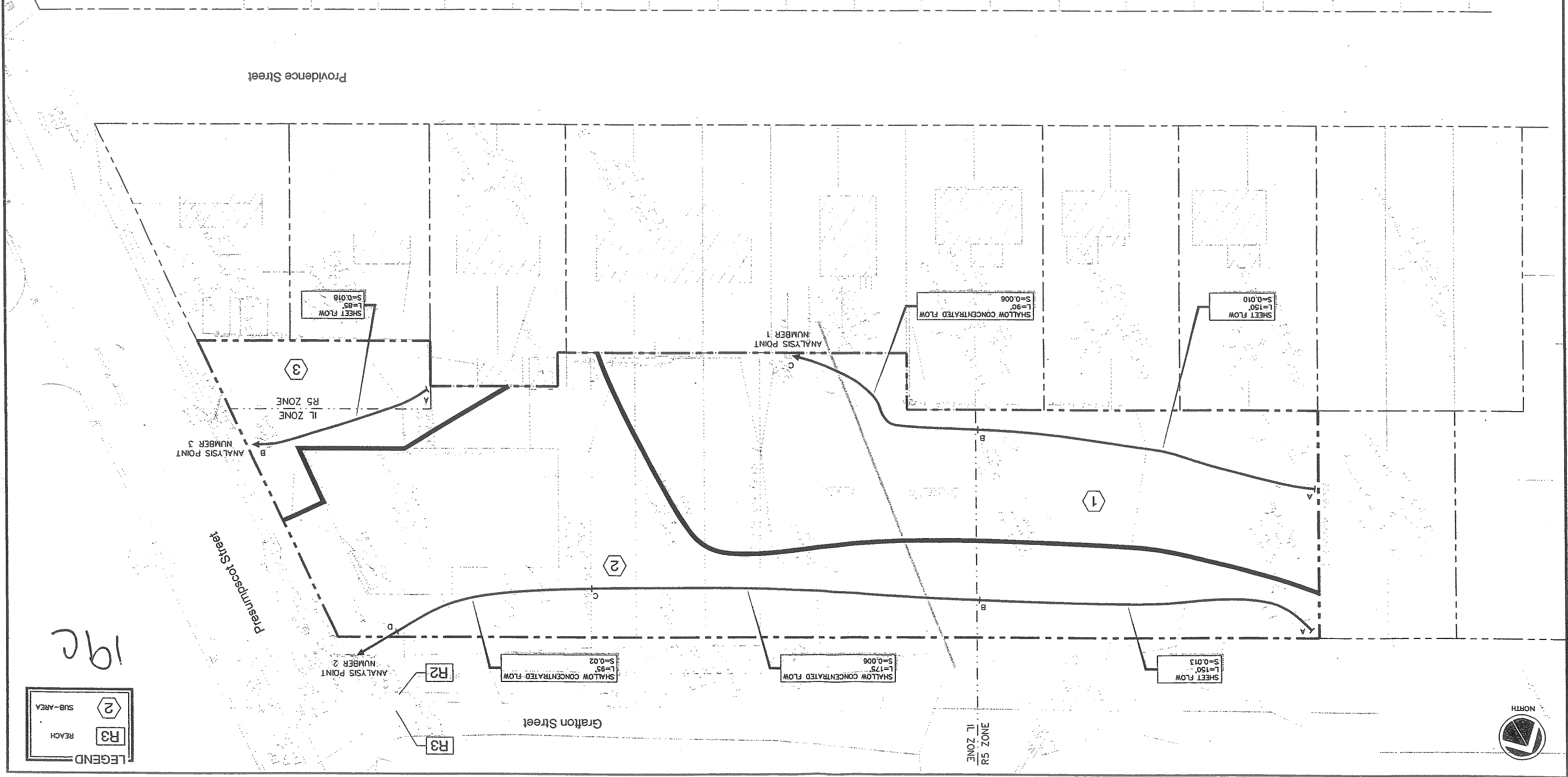
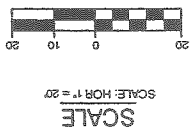
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1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT HANDBOOK FOR CONSTRUCTION; BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
4. PERMANENT SEEDING SHALL BE:
BIRDFOOT TREFOIL
CREEPING RED FESCUE OR TALL FESCUE
LBS/1,000 S.F. 18
SEEDING RECOMMENDED
SO. FT. DEPTH
WINTER RYE 2.6 1-1.5" 8/15-10/1
OATS 1.8 1-1.5" 8/15-9/15
ANNUAL RYEGRASS 0.9 .25" 4/1-7/1
SUDANGRASS 0.9 .5-1" 5/15-8/15
PERENNIAL 0.9 .25" 8/15-9/15
5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
CREEPING RED FESCUE OR TALL FESCUE
LBS/1,000 S.F. 18
SEEDING RECOMMENDED
SO. FT. DEPTH
WINTER RYE 2.6 1-1.5" 8/15-10/1
OATS 1.8 1-1.5" 8/15-9/15
ANNUAL RYEGRASS 0.9 .25" 4/1-7/1
SUDANGRASS 0.9 .5-1" 5/15-8/15
PERENNIAL 0.9 .25" 8/15-9/15
6. FERTILIZER SHALL BE 10-20-20 GRAVULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY AFTER RAINSTORMS AND DURING RUNOFF EVENTS. ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE REFERUTLIZED, RESEDED AND REAULCHED.
12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
STEPHEN J. BRADSTREET, P.E.
ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC.
222 ST. JOHN STREET SUITE 314
(207) 828-1272
15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
b) CONSTRUCT THE BUILDING.
c) CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
d) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
e) INSTALL PERMANENT EROSION CONTROL MEASURES.

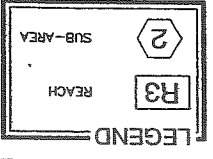
EROSION CONTROL NOTES



H-100 SHEET 1 OF 2				
SCALE: 1" = 20'				
JOB NO.: 818				
DATE: 05-13-03				
CHECKED BY: SJB	222 St. John Street, Suite 314 Providence, Rhode Island 04102			
DRAWN BY: JAN	EER Environmental Engineering & Remediation, Inc.			
DESIGN BY: SJB				
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION PRE-DEVELOPMENT DRAINAGE PLAN				
<small>THIS ELECTRONIC FILE IS THE PROPERTY OF ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. AND IS TO BE USED ONLY FOR THE SPECIFIC PROJECT IDENTIFIED ON THE DRAWING. NO REPRODUCTION OR COPIES IN PART OR WHOLE, SHALL BE MADE WITHOUT THE EXPRESS WRITTEN CONSENT OF ENVIRONMENTAL ENGINEERING & REMEDIATION, INC. ANY REPRODUCTION, AUTHORIZED OR UNAUTHORIZED, SHALL BE AT THE USER'S RISK AND WITHOUT LIABILITY TO ENVIRONMENTAL ENGINEERING & REMEDIATION, INC.</small>				
REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_C_H100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_B_H100



19c



SHEET 2 OF 2
 H-101
 SCALE: 1" = 20'
 JOB NO. 818
 DATE: 05-13-03
 CHECKED BY: SJB
 DRAWN BY: JAR
 DESIGN BY: SJB

FERR
 Environmental
 Engineering &
 Remediation, Inc.
 222 St. John Street, Suite 214, Portland, Maine 04102

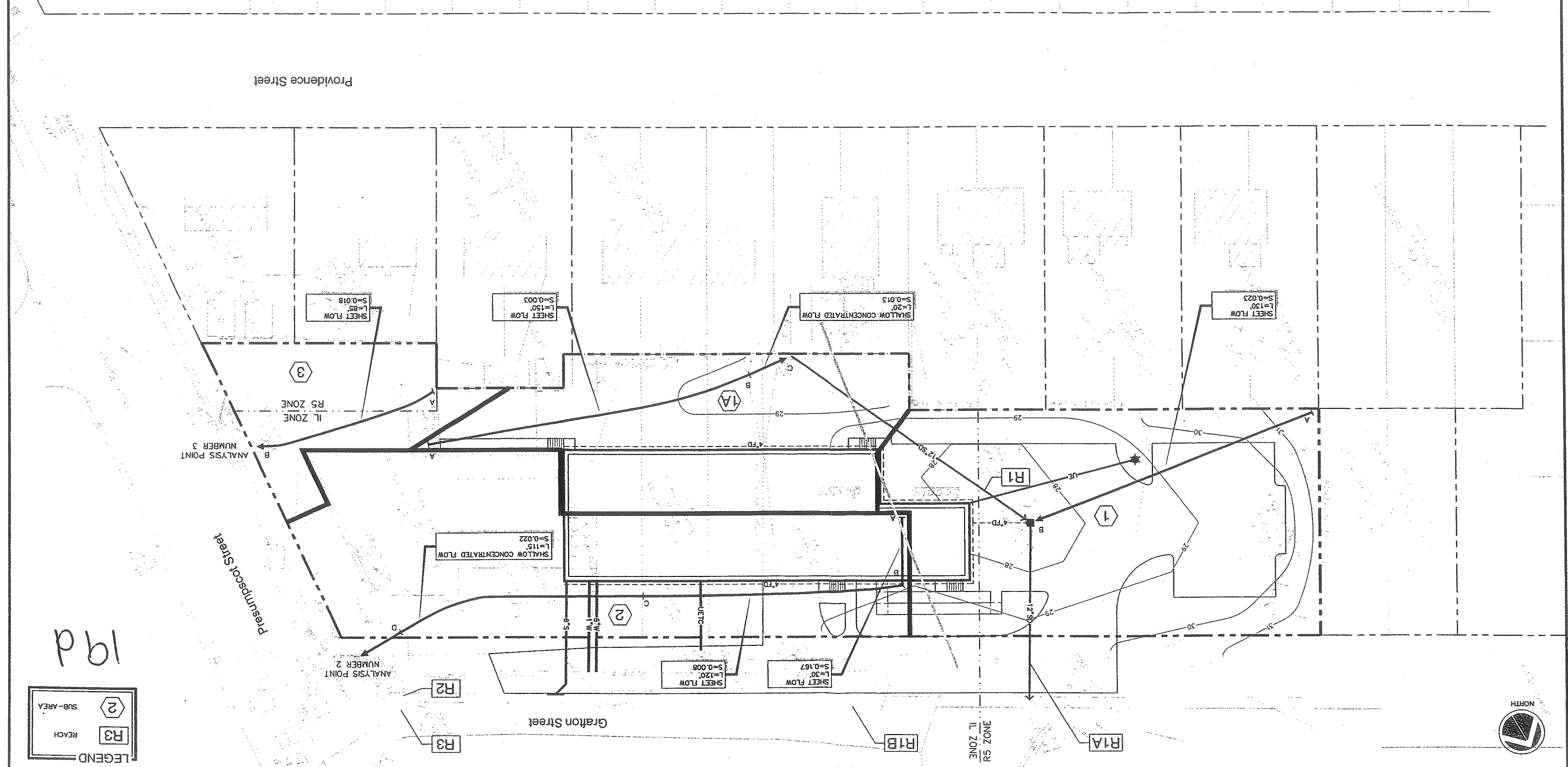
MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 POST-DEVELOPMENT
 DRAINAGE PLAN

STATE OF MAINE
 PROFESSIONAL ENGINEER
 #5740
 STEPHEN
 BRAASTRUP

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REV.	BY	DATE	STATUS
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW

CAD NO. 818_c_H101
 818_a_H101

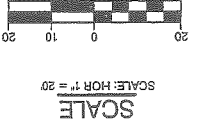




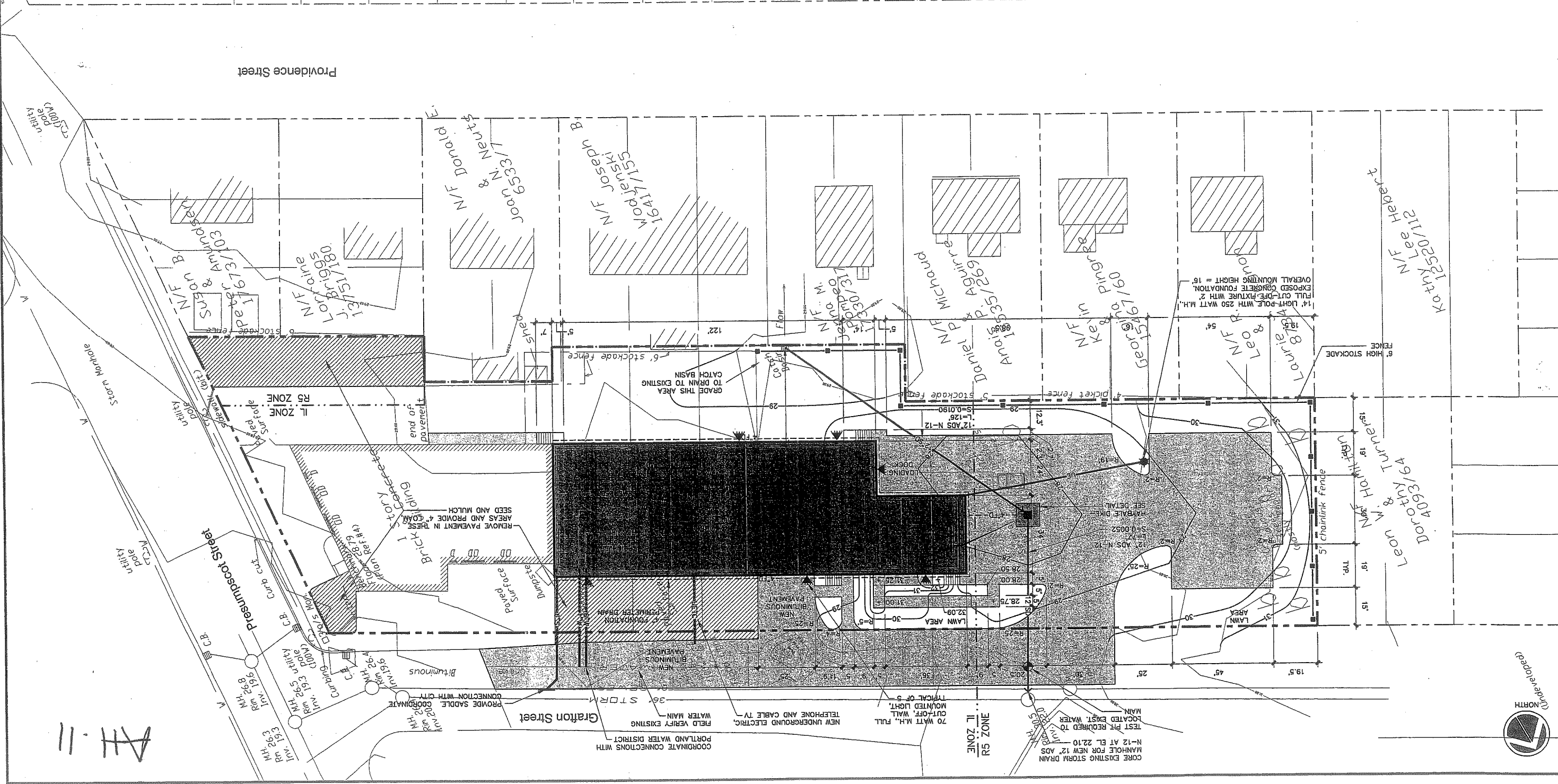
DEVELOPMENT SUMMARY	
EXISTING	PROPOSED
BUILDING	19,760 S.F.
PAVEMENT	7,228 S.F.
PERVIOUS	38,024 S.F.
TOTAL PARCEL AREA	51,461 S.F.

GENERAL NOTES

1. PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
2. PROPOSED: 25' FRONT YARD; 40' REAR YARD; 15' SIDE YARD.
3. PROPOSED: 15' PAVEMENT SETBACK FROM ALL PROPERTY LINES.
4. IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.
5. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES TO VERIFY THAT CONNECTIONS TO 8" SANITARY AND 36" STORM WATER WILL BE PROVIDED WITH ADEQUATE GROUND COVER.
6. A GEOTECHNICAL REPORT HAS BEEN PROVIDED TO THE CITY'S DEVELOPMENT REVIEW COORDINATOR. THE SITE IS SITTING ON SOFT SATURATED CLAY THAT MAY BE SUBJECT TO SETTLEMENT OR FROST ACTION. THE CONTRACTOR SHALL BE AWARE OF SUBSURFACE SOIL CONDITIONS PRIOR TO CONSTRUCTION.
7. REVIEW AND APPROVAL.
8. THE LIGHTING PLAN TO BE TURNED OFF AT 9:00 P.M. THE APPLICANT MAY SUBMIT A SECURITY LIGHTING PLAN TO PLANNING STAFF. SHOULD VANDALISM OR OTHER SECURITY ISSUES ARISE THAT NEED TO BE ADDRESSED.
9. THE APPLICANT SHALL COORDINATE WITH CENTRAL MAINE POWER TO RELOCATE THE UTILITY POLE WITHIN THE PROPOSED PAVING AREA ON GRATON STREET.
10. SERVICE TRUCKS OR DELIVERIES SHALL BE PROHIBITED FROM 8:00 P.M. TO 7:00 A.M. AND TRUCKS SHALL NOT BE ALLOWED TO IDLE.
11. PLANNING STAFF SHALL SECURE FINAL APPROVAL OF THE LANDSCAPING PLAN FROM THE CITY ARBORIST.



MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION WAREHOUSE ADDITION AND EROSION CONTROL PLAN	
EBR Environmental Remediation & Restoration, Inc. 222 St. John Street, Suite 314 Portland, Maine 04102	DATE: 03-24-03 JOB NO: 818 SCALE: 1" = 20' SHEET 1 OF 3
DESIGN BY: SJB DRAWN BY: JAR CHECKED BY: SJB	STATE OF MAINE PROFESSIONAL ENGINEER #5740 STEPHEN J. BRADSHAW



REV.	BY	DATE	STATUS
D	SJB	08-03-04	ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
			CAD NO. 818.C.0100

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MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

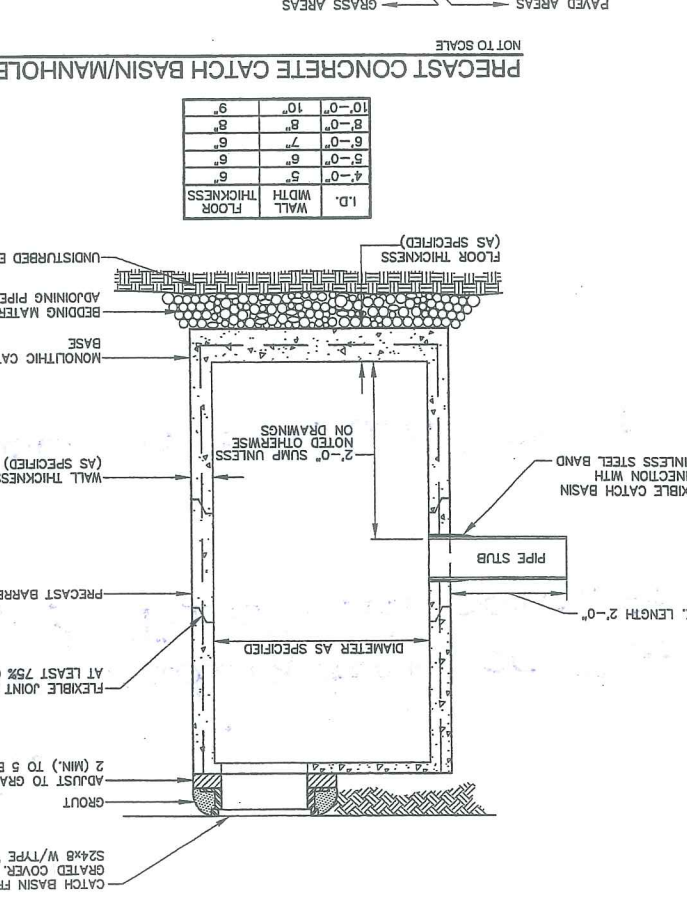
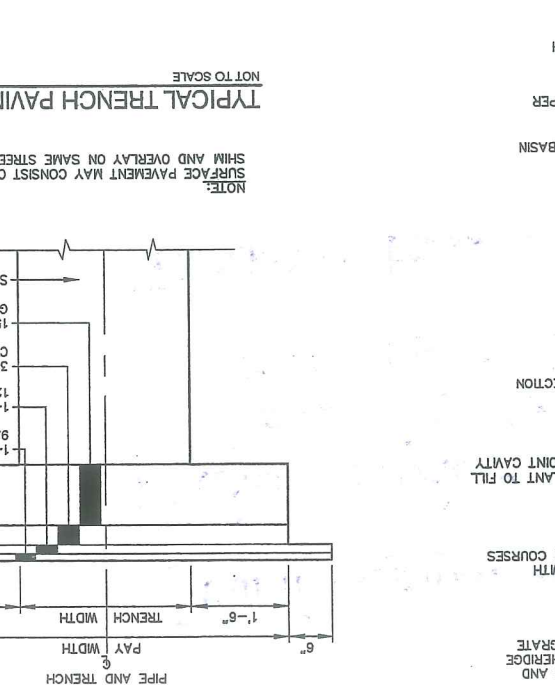
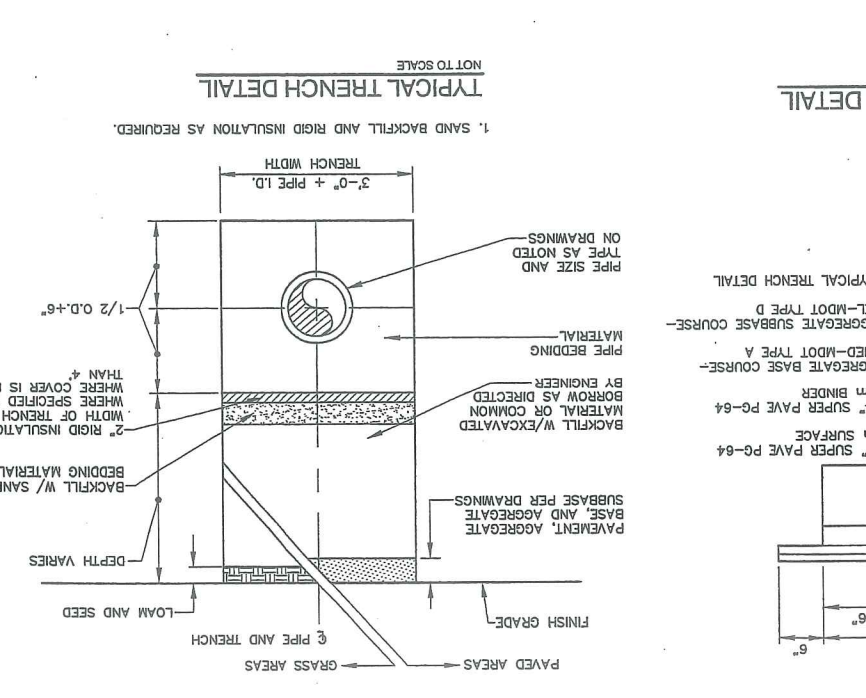
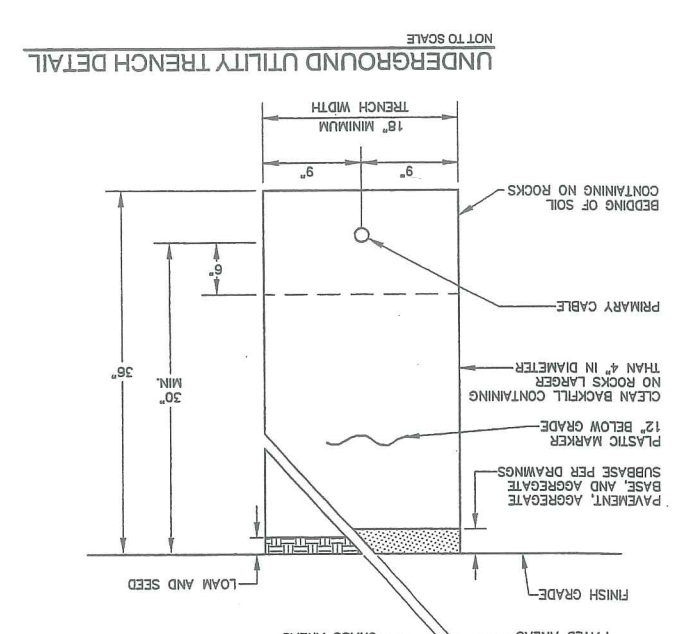
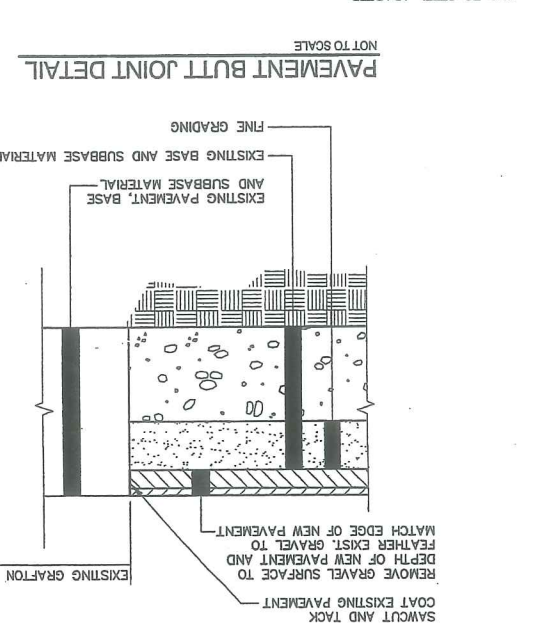
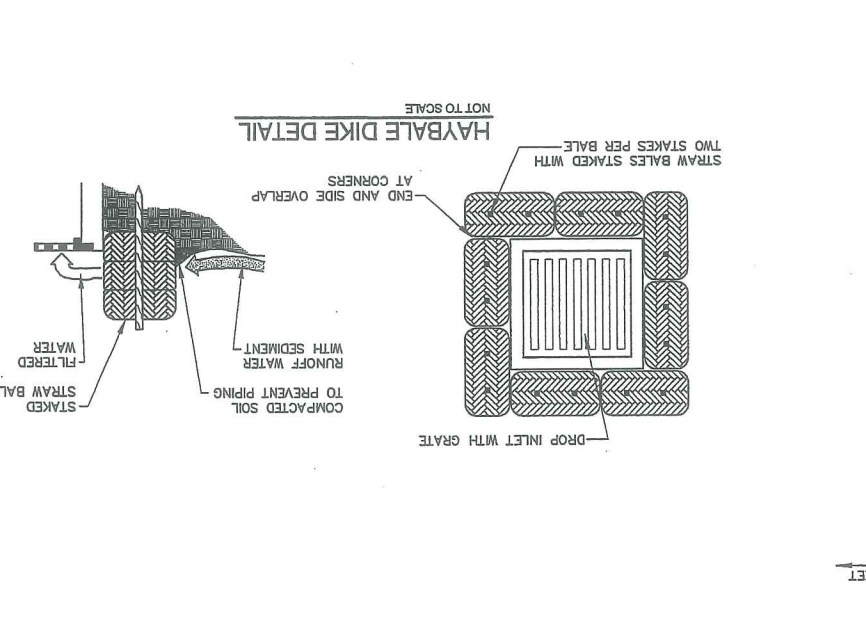
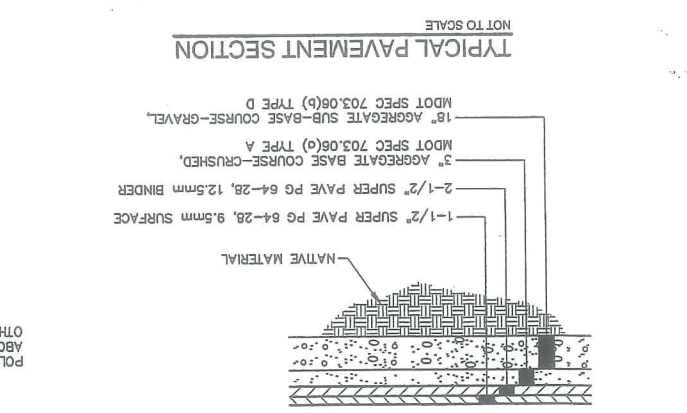
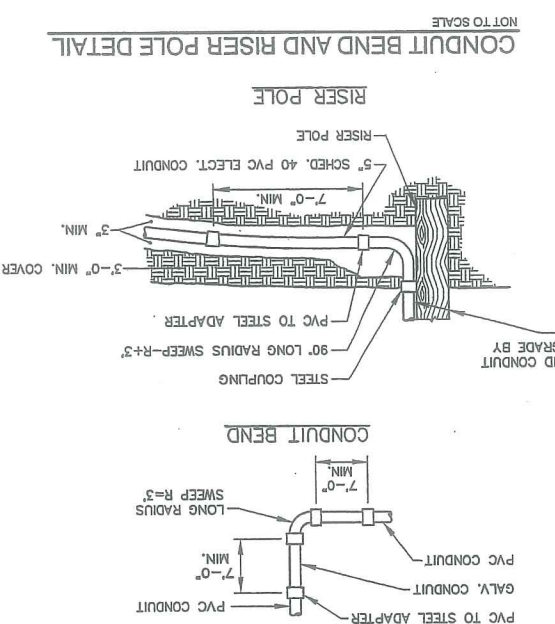
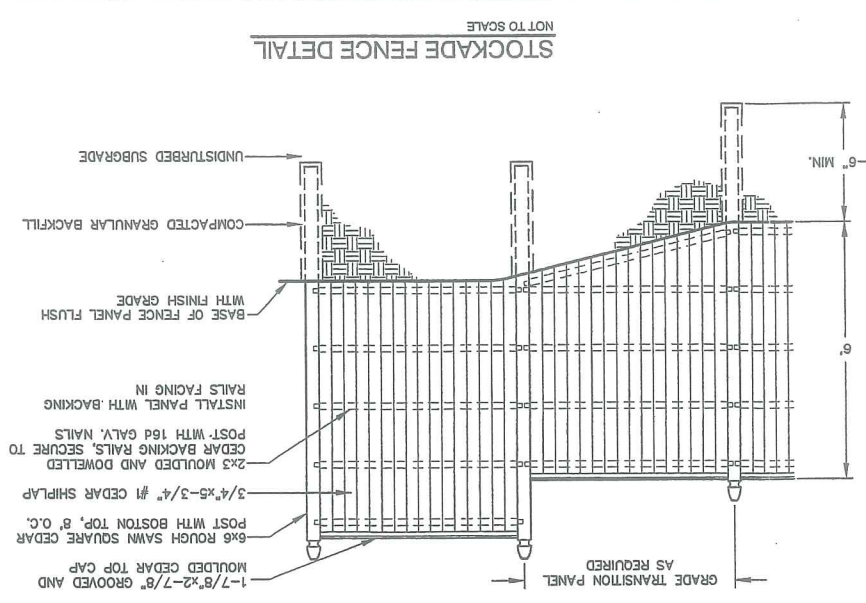
DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 02-24-03
JOB NO.: 818
SCALE: 1" = 20'
C-102
SHEET 3 OF 3

222 St. John Street, Suite 314, Portland, Maine 04102
EER Environmental Engineering & Remediation, Inc.

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
#5740
STEPHEN J. BRADSTREET, P.E.

REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818_C-100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_C-100

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- EROSION CONTROL NOTES
- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION, BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
 - SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
 - PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
 - PERMANENT SEEDING SHALL BE:
BIRDSFOOT TREFOLI 1.8
CROWWEATCH 2.4
GREENING RED FESCUE OR TALL RESCUE .46
LBS/1,000 S.F.
 - TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF PERMANENT SEEDING IS NOT APPLIED, TEMPORARY SEEDING SHALL BE:
SEED 1.8/1,000 SQ. FT. SEEDING RECOMMENDED
WINTER RYE 2.6
OATS 1.8
ANNUAL RYEGRASS 0.9
SUDBANGRASS 0.9
PERENNIAL 0.9
8/15-9/15
4/1-7/1
8/15-9/15
4/1-7/1
1-1.5
8/15-10/1
 - FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
 - LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
 - MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
 - WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
 - ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY. AFTER RAINSTORMS AND DURING RUNOFF EVENTS, ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
 - SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISHED THE CONDITION AND GRADE OF THE SOIL. PRIOR TO SEEDING AND SHALL THEN BE REFERIALIZED, RESEEDED AND REMULCHED.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
STEPHEN J. BRADSTREET, P.E.
222 ST. JOHN STREET SUITE 314
(207) 828-1272
 - EROSION CONTROL AND CONSTRUCTION SEQUENCE:
a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
b) CONSTRUCT THE BUILDING.
c) CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
d) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
e) INSTALL PERMANENT EROSION CONTROL MEASURES.

Att: 21

BOUNDARY SURVEY
 for
 142 Presumpscot, LLC
 Warehouse Addition
 BRUCE R. BOWMAN, Inc.
 Professional Land Surveyor
 199 John Small Road, Chebeague Island, Maine 846-6663 846-6647(F)

Date: 03/12/03 Job #: 03002
 Drawn By: *BR* Scale: 1"=30'

REFERENCES

- 1 Washington Avenue Gardens owned by Everett C. Wells
 Recorded CCRD Plankbook 14 Page 46
 Coastal Equipment Corporation
 CCRD Deed Book 12491/16
 dated May 7, 1996
 - 2 Washington Avenue Gardens Annex owned by Everett C. Wells
 Recorded CCRD Plankbook 14 Page 49
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - 3 Standard Boundary Survey
 132-134 Providence Street
 Portland, Maine
 For Lester Card
 by Daniel T. LaPoint PLS #1183
 not recorded
 - 4 City of Portland Engineering Plan
 Presumpscot Street
 Portland, Maine
 Sewer Lines and Profile
 File 496/7
- AREA
 51,460.8 s.f.
 11.8 Acres
 FLOOD ZONE
 FRM 230051 0007 B
 (not in Flood Zone)
- I HEREBY CERTIFY that this survey conforms to the
 Maine Board of Licensure for Professional Land Surveyors,
 Category I, Condition II
 Except No Report Submitted
 No Deeds Written
- BR*
 Bruce R. Bowman PLS #1313

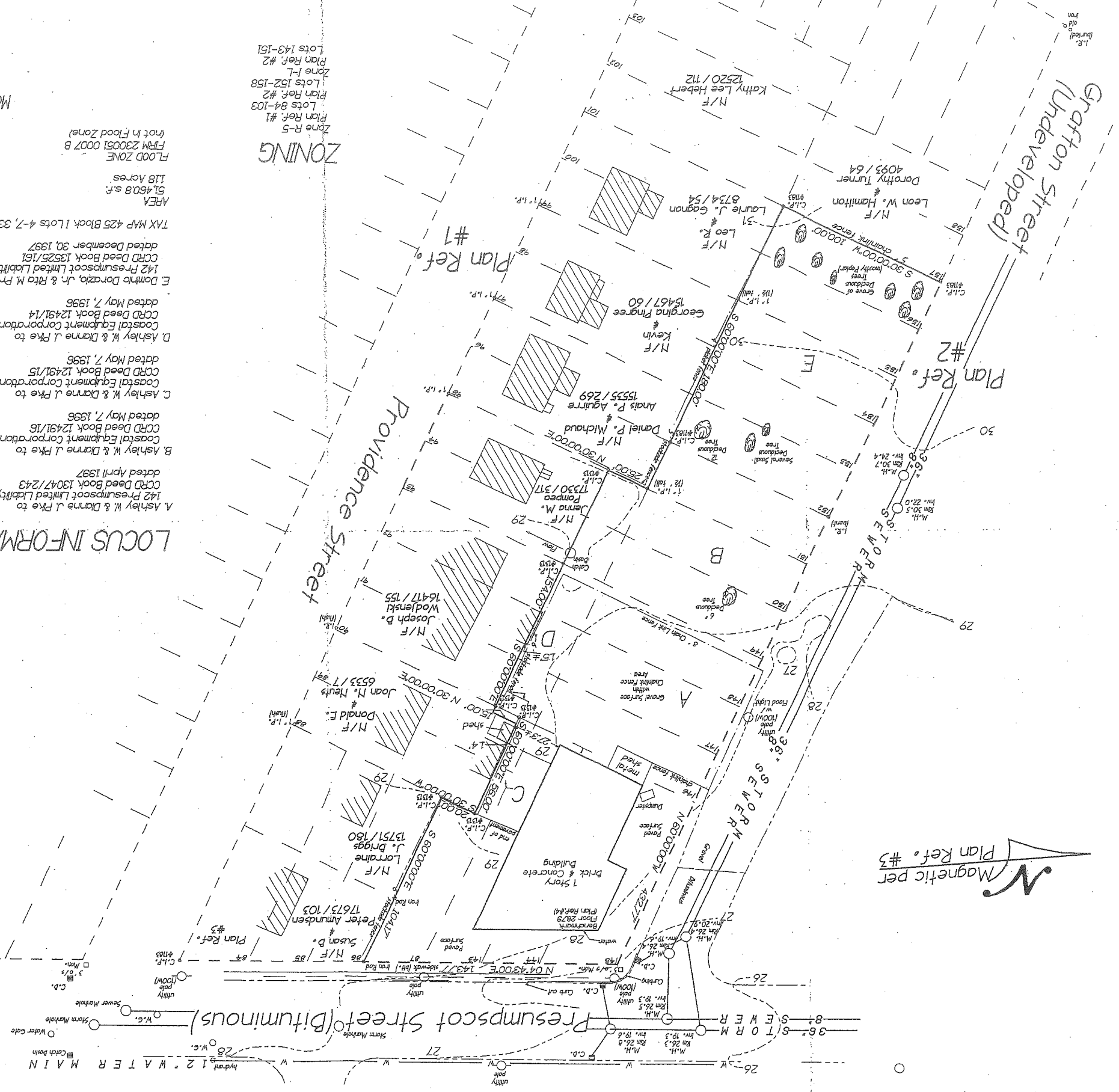
LOCUS INFORMATION

- A. Ashley W. & Dianne J. Pike to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13047/243
 dated April 1997
 - B. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/16
 dated May 7, 1996
 - C. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/15
 dated May 7, 1996
 - D. Ashley W. & Dianne J. Pike to
 Coastal Equipment Corporation
 CCRD Deed Book 12491/14
 dated May 7, 1996
 - E. Doniko Dorazio, Jr. & Rita M. Pranis to
 142 Presumpscot Limited Liability Company
 CCRD Deed Book 13525/161
 dated December 30, 1997
- TAX MAP 425 Block 1 Lots 4-7, 33-43, p.a. 8-12

ZONING

- Zone R-5
 Plan Ref. #1
 Lots 84-103
- Zone I-L
 Plan Ref. #2
 Lots 152-158
- Zone I-L
 Plan Ref. #2
 Lots 143-151

GRAPHIC SCALE 1" = 30'



Magnetic per
 Plan Ref. #3

196 Wilbury Avenue, Portland, Maine 04102
 Landscape Architect
 Barry J. Hosmer, A.S.L.A.
 BARRY J. HOSMER
 LANDSCAPE ARCHITECT
 No. 78
 STATE OF MAINE
 PROFESSIONAL LANDSCAPE ARCHITECT

222 St. John Street, Suite 314 Portland, Maine 04102
 EBR
 Engineering & Building
 Inc.
 Checked By: SJB
 Date: 03-24-03
 Job No: B18
 Scale: 1" = 30'
 SHEET 2 OF 3

REV.	BY	DATE	STATUS
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS
B	SJB	05-12-03	ISSUED FOR PLANNING STAFF REVIEW
A	SJB	01-16-03	ISSUED FOR PLANNING STAFF REVIEW

CAD NO: B18-C100
 B18-C100

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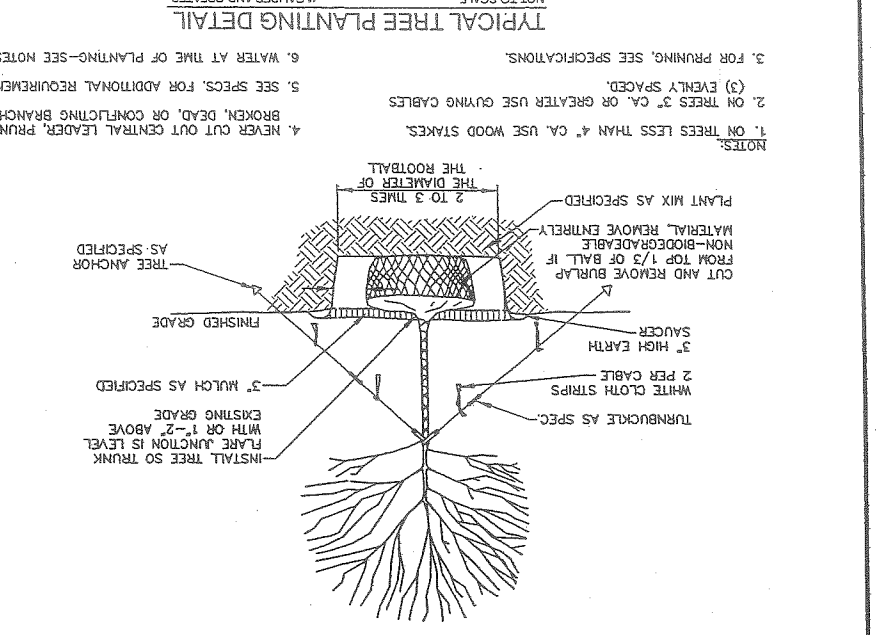
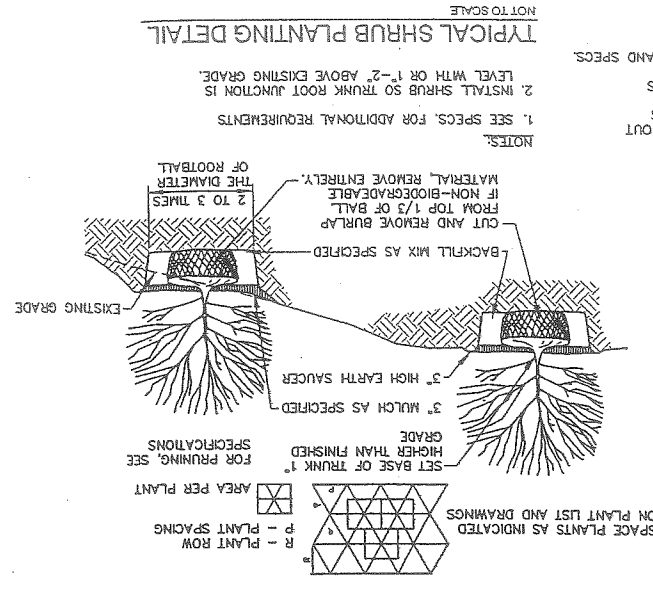
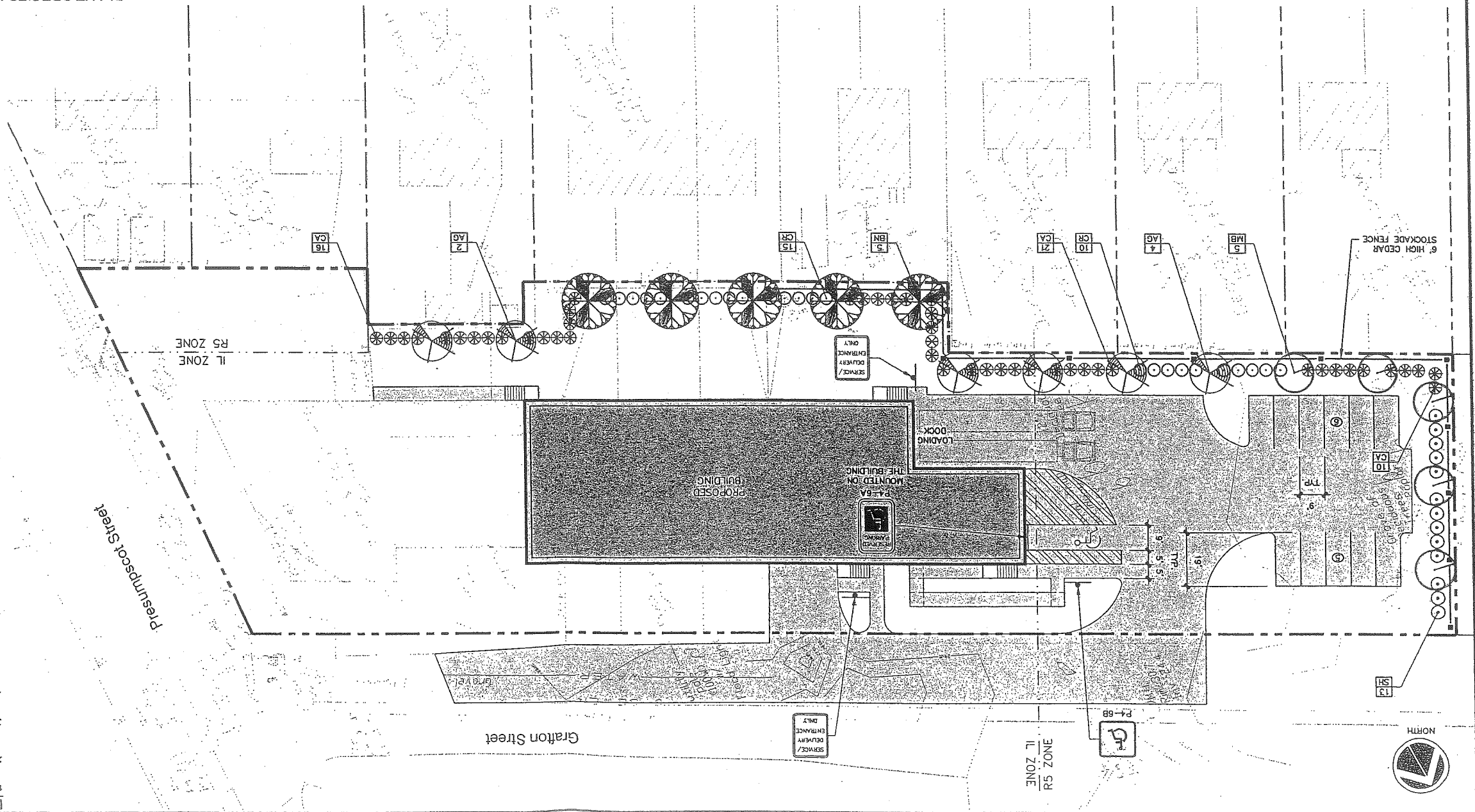
MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 LANDSCAPING, STRIPING
 AND SIGNAGE PLAN

SCALE
 SCALE HOR 1" = 20'

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AG	6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5-3" CAL. 30" O.C. BAB	
BN	5	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5-3" CAL. 30" O.C. BAB	
CR	25	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5-3" 5" O.C.	
CA	47	CORNUS ALBA "VORY HALO"	IVORY HALO RED TINE DOGWOOD	2.5-3" 5" O.C.	
MB	5	MALUS BACCATA "WALTERS"	WALTERS' COLUMNAR SIBERIAN CRAB	2.5-3" CAL. 30" O.C. BAB	
SH	13	SYRINGA X HYACINTHIFLORA "POACHONTAS"	POACHONTAS LILAC	2.5-3" 5" O.C.	

LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PLANTING OF TREES AND SHRUBS SHALL OCCUR UNTIL ALL GRADING AND PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND, HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO THE MEASUREMENTS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK. LATEST REVISION. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFORMATION OF ALL PLANT SPECIES, CULTIVARS, VARIETIES, SIZES AND QUANTITIES THAT THEY PROPOSE TO INSTALL WITH THE MAKE, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCUING ROOTS OR ROOTS THAT LATER WOULD GROUPE THE PLANT SHALL BE STRAIGHTENED, CUT OR THE ROOT BALL SHALL BE CUT UTILIZING THE "BUTTERFLY METHOD". TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20 LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE COMPACTED TO THREE TIMES THE DIAMETER AND TO THE DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE FIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER FIRST BACKFILL LIFT. SETTING THE TREE/SHRUB: EACH TREE/SHRUB SHALL BE PLANTED SUCH THAT THE TRUNK FLARE JUNCTION IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE TRUNK/SHRUB SHALL BE PLANTED TO A DEPTH OF 3" AFTER NORMAL SETTING. MULCH SHALL BE MEDIUM SHREDED HEMLOCK BARK, DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A 25 GIBB FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEEDD WITH "TRI-FLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE. MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE SPECIES LIST DO NOT CORRELATE WITH THE PLANTINGS INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTITLED THE LANDSCAPE CONTRACTOR TO ADDITIONAL REMUNERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.



MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

DESIGN BY: SJB
DRAWN BY: JAR
CHECKED BY: SJB
DATE: 03-24-03
JOB NO.: 818
SCALE: 1" = 20'
C-102
SHEET 3 OF 3

222 St. John Street, Suite 314, Portsmouth, Maine 04102
EER Environmental Engineering & Remediation, Inc.

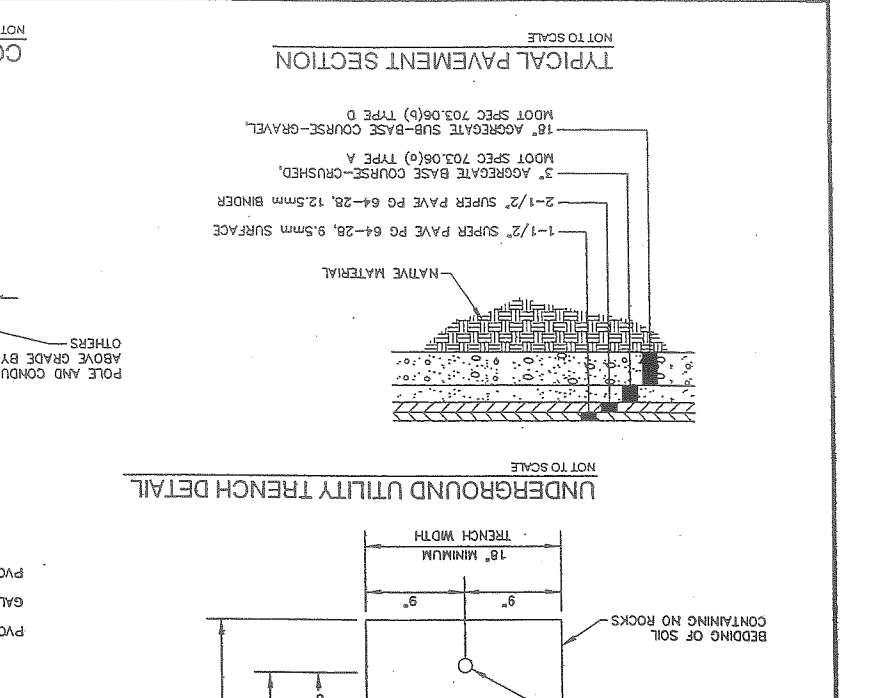
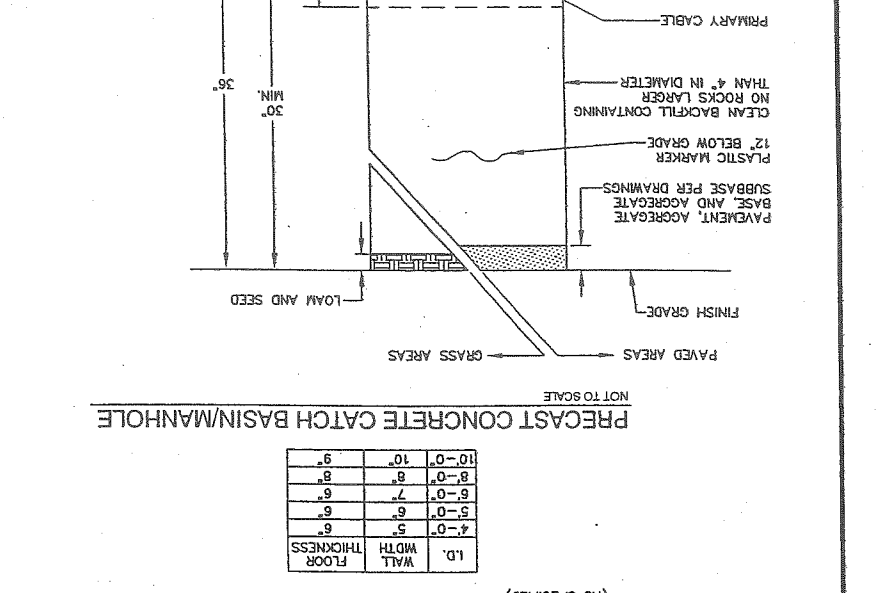
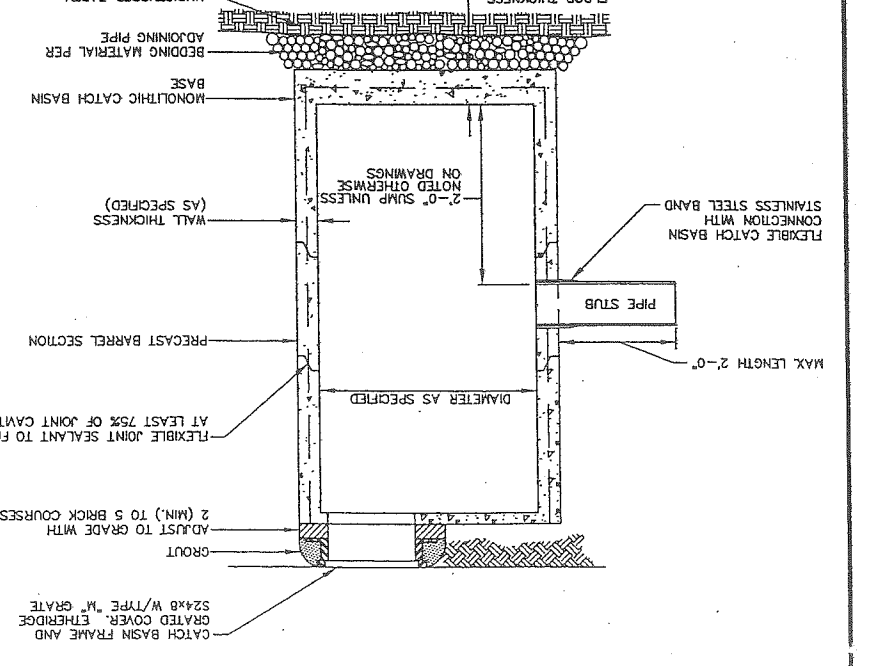
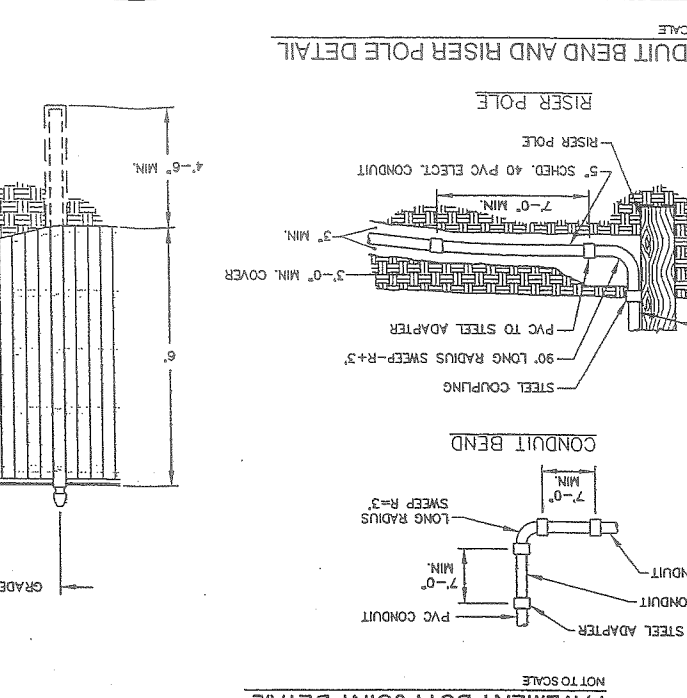
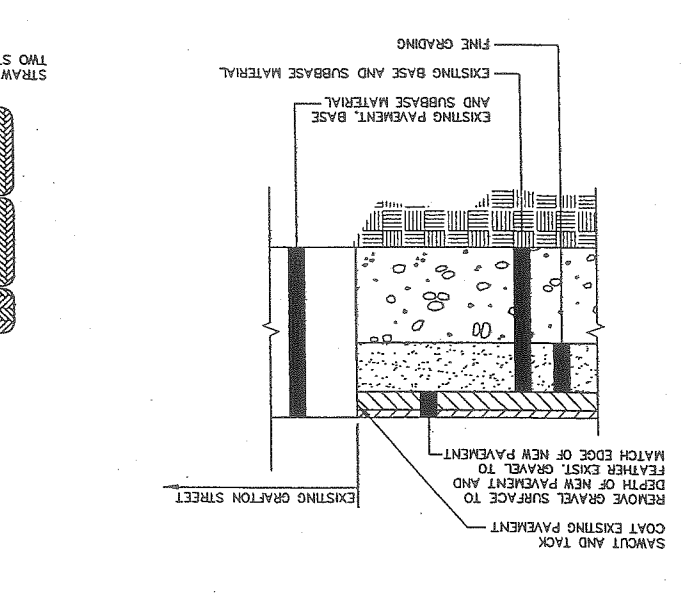
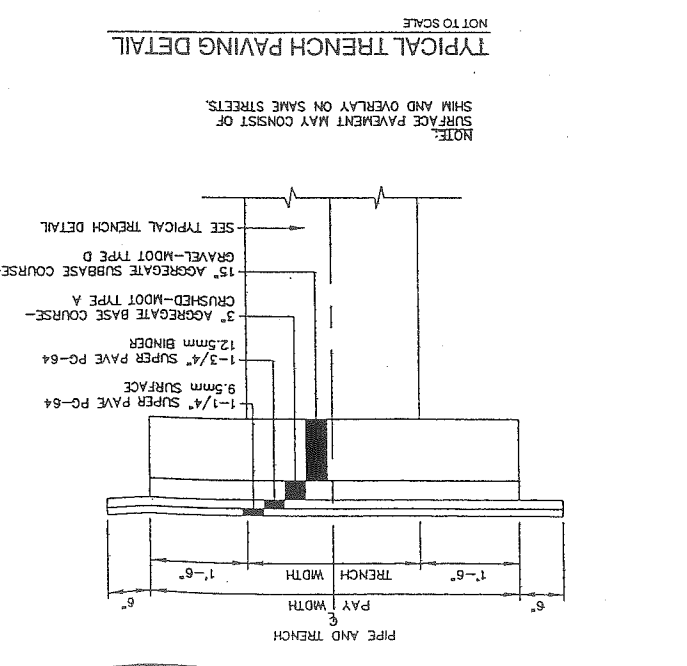
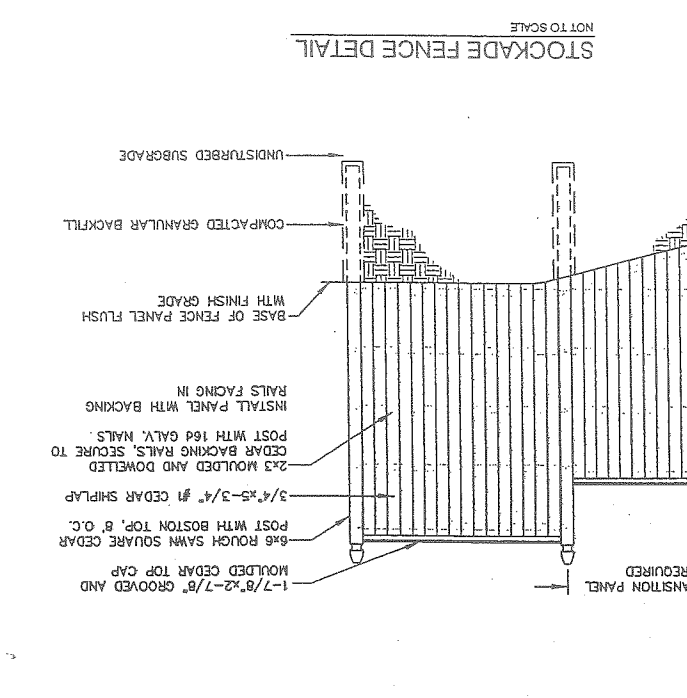
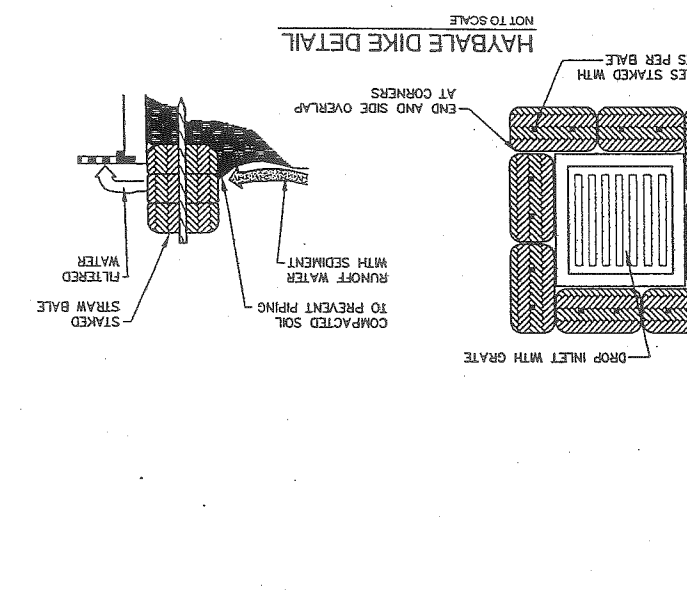
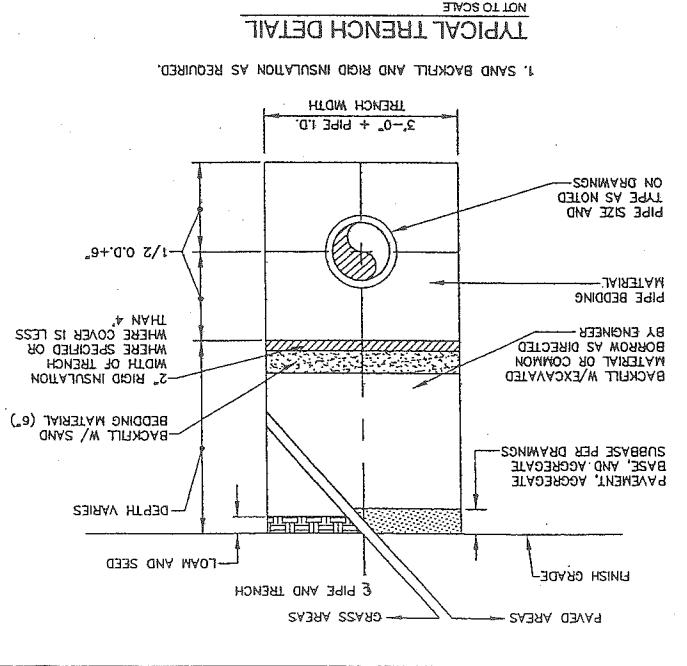
STATE OF MAINE
STEPHEN A. BRADSTREET
REGISTERED PROFESSIONAL ENGINEER
NO. 5740

REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-16-04	ISSUED FOR CITY COMMENTS	818-C100
B	SJB	05-13-03	ISSUED FOR CLIENT REVIEW	818-C100

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- EROSION CONTROL NOTES**
- APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
 - SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
 - PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
 - PERMANENT SEEDING SHALL BE:
 - BACKFILL W/ SAND
 - BIRDROOT TREFOL
 - GRASS SEED
 - TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
 - GRASS SEED
 - BIRDROOT TREFOL
 - GRASS SEED
 - FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.

SEED	SO. FT.	DEPTH	SEEDING DATES
WINTER RYE	2.6	1-1.5"	8/15-10/1
OATS	1.8	1-1.5"	8/15-9/15
ANNULAR RYEGRASS	0.9	4/1-7/1	8/15-9/15
SUDANGRASS	0.9	5/15-8/15	8/15-9/15
PERENNIAL	0.9	8/15-9/15	8/15-9/15
 - LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
 - MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
 - WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
 - ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY. AFTER RAINSTORMS AND DURING RUNOFF EVENTS, ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
 - SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL. PRIOR TO SEEDING AND SHALL THEN BE REFERENCED, RESEDED AND REMULCHED.
 - TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
 - EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
 - ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC.
 - STEPHEN A. BRADSTREET, P.E.
 - 222 ST. JOHN STREET SUITE 314
 - (207) 828-1272
 - INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND BMP'S.
 - CONSTRUCT THE BUILDING.
 - CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - INSTALL PERMANENT EROSION CONTROL MEASURES.



DESIGN BY: SJB	ENVIRONMENTAL ENGINEERING & RESEARCH, INC.
DRAWN BY: JAR	
CHECKED BY: SJB	
DATE: 06-13-03	222 St. John Street, Suite 314 Portland, Maine 04102
JOB NO: 818	
SCALE: 1" = 20'	
H-100	
SHEET 1 OF 2	

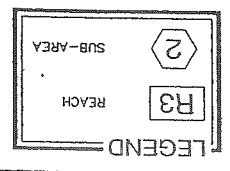
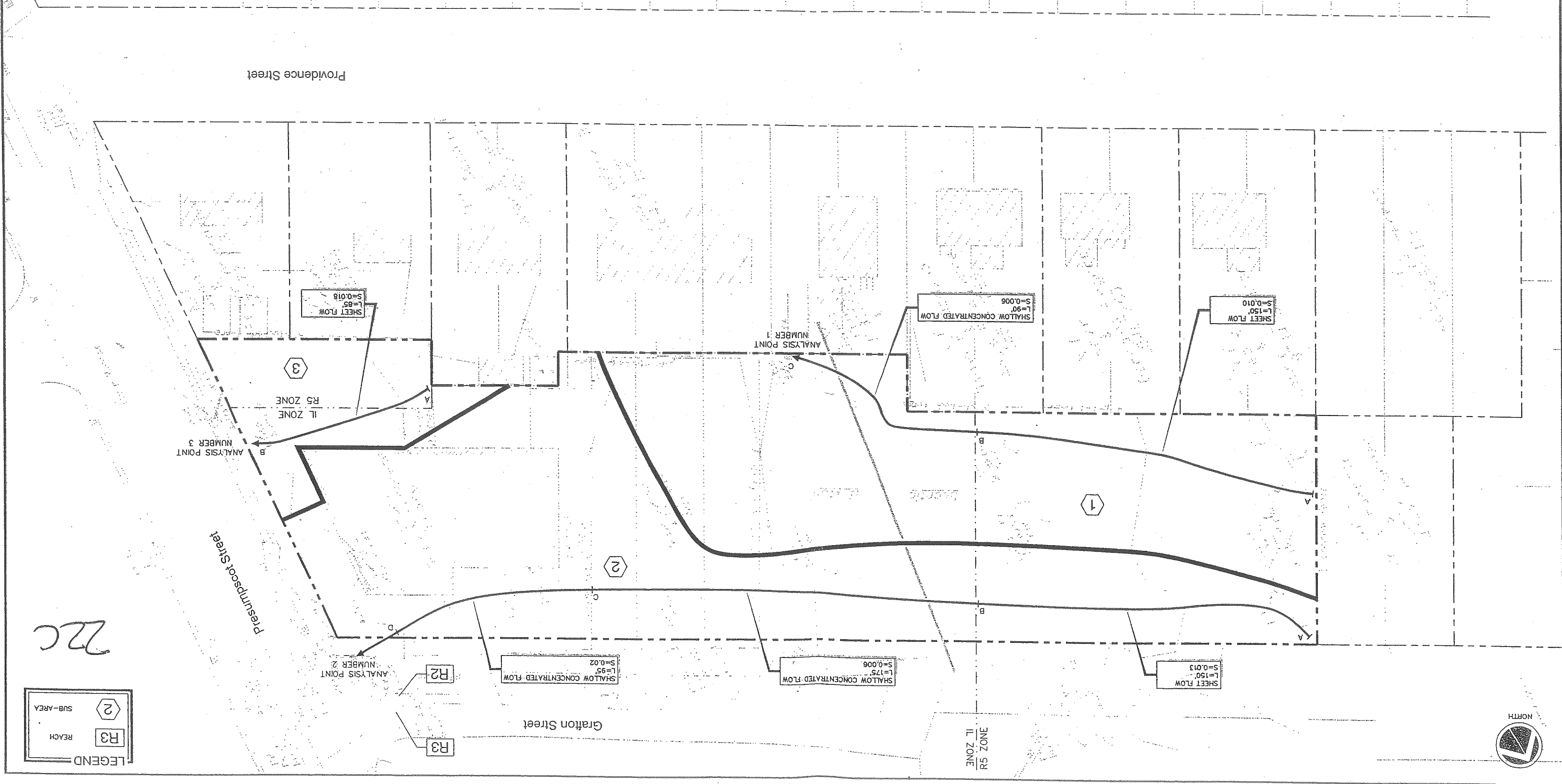


MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 PRE-DEVELOPMENT
 DRAINAGE PLAN



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REV.	BY	DATE	STATUS	CD NO.
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818_C-1100
B	SJB	05-13-03	ISSUED FOR: PLANNING STAFF REVIEW	818_B-1100



22C

DESIGN BY: SJB
 DRAWN BY: JAR
 CHECKED BY: SJB
 DATE: 05-13-03
 JOB NO: B18
 SCALE: 1" = 20'
 H-101
 SHEET 2 OF 2

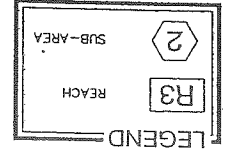
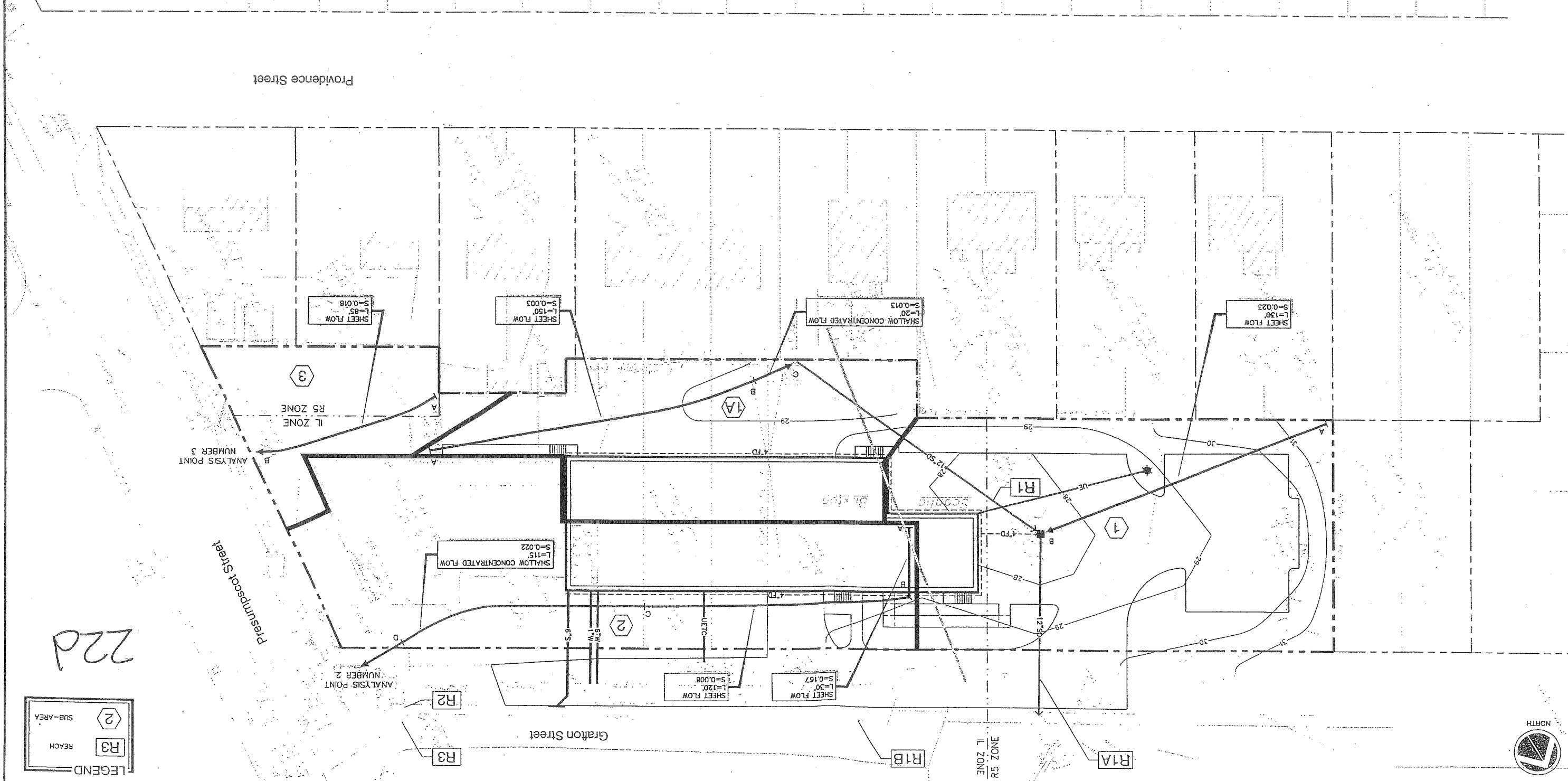
222 St. John Street, Suite 314, Portland, Maine 04102
EER
 Environmental
 Engineering &
 Architecture, Inc.

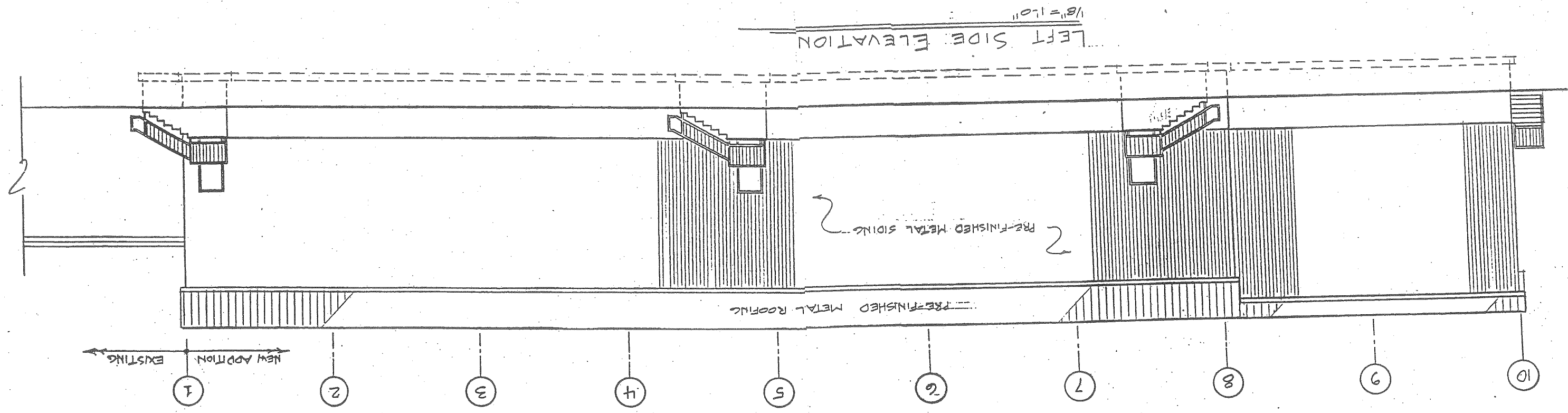
MARK GOLDSTEIN
 COASTAL EQUIPMENT CORPORATION
 WAREHOUSE ADDITION
 POST-DEVELOPMENT
 DRAINAGE PLAN



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REV.	BY	DATE	STATUS	CAD NO.
C	SJB	01-14-04	ISSUED FOR CITY COMMENTS	B18_C_H101
B	SJB	05-13-03	ISSUED FOR PLANNING STAFF REVIEW	B18_B_H101





AH. 23

RIGHT SIDE ELEVATION
Scale: 1/8" = 1'-0"

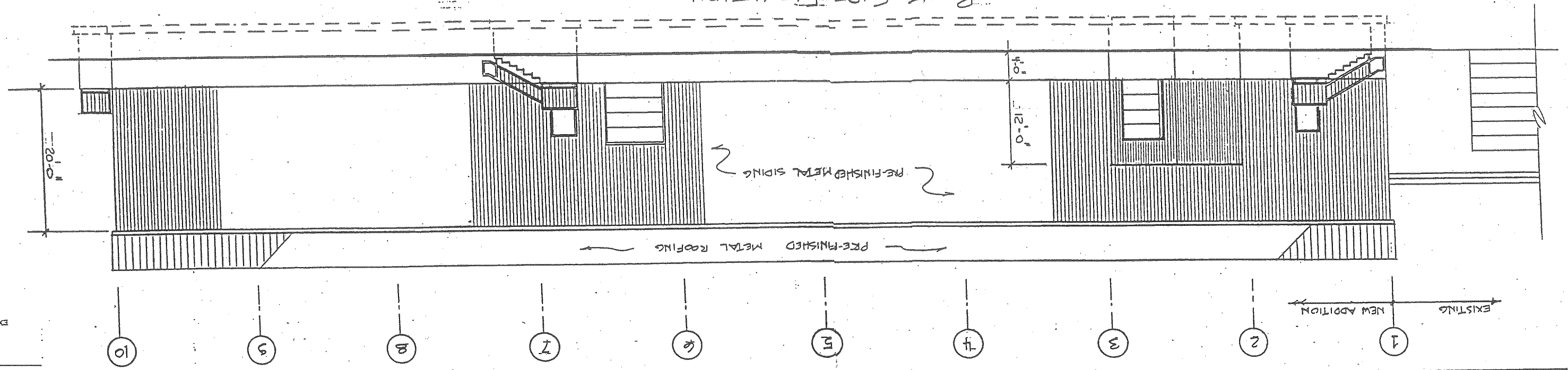
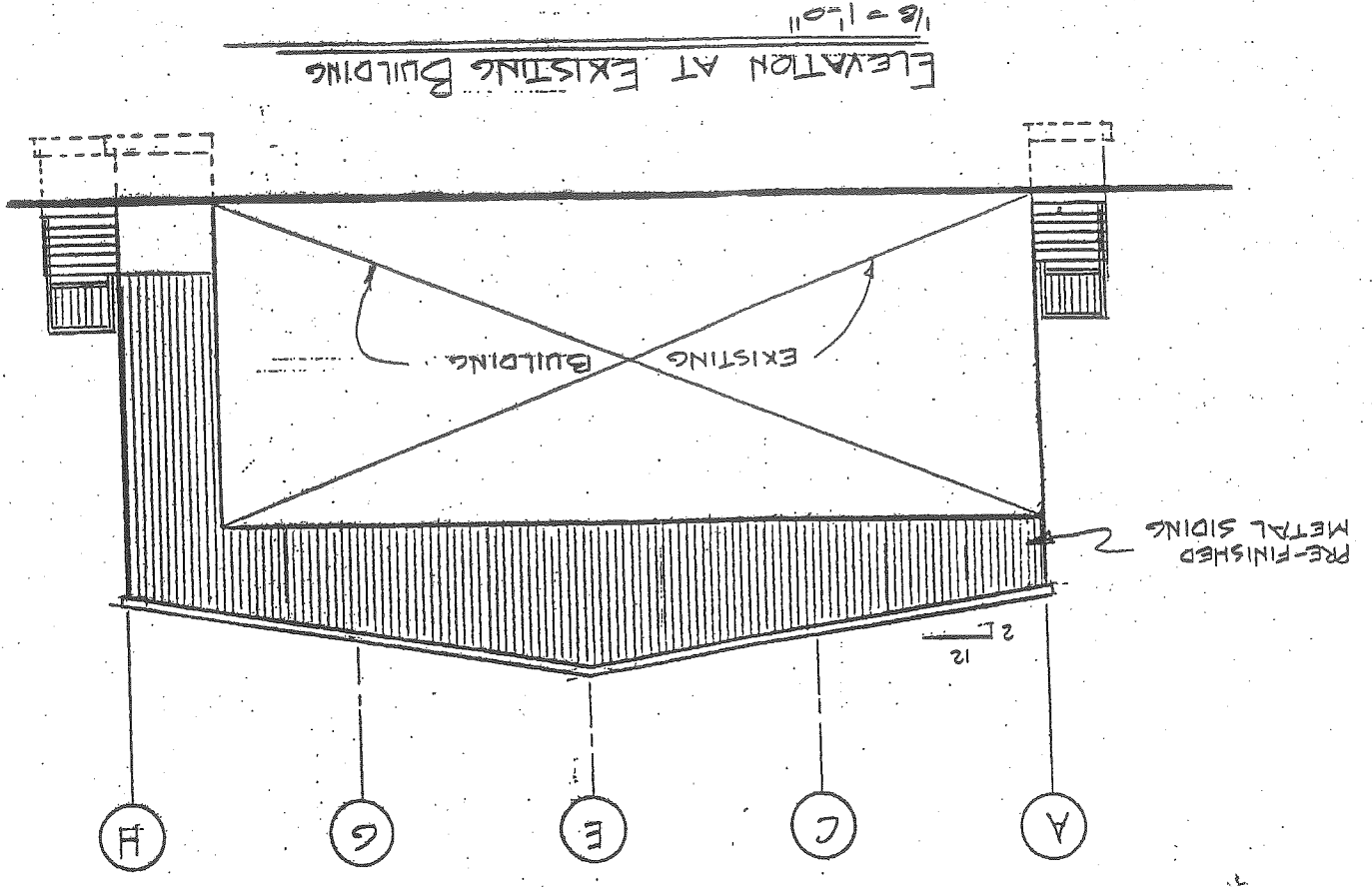


EXHIBIT H-2

230A

021113



ELEVATION AT EXISTING BUILDING
1/8" = 1'-0"

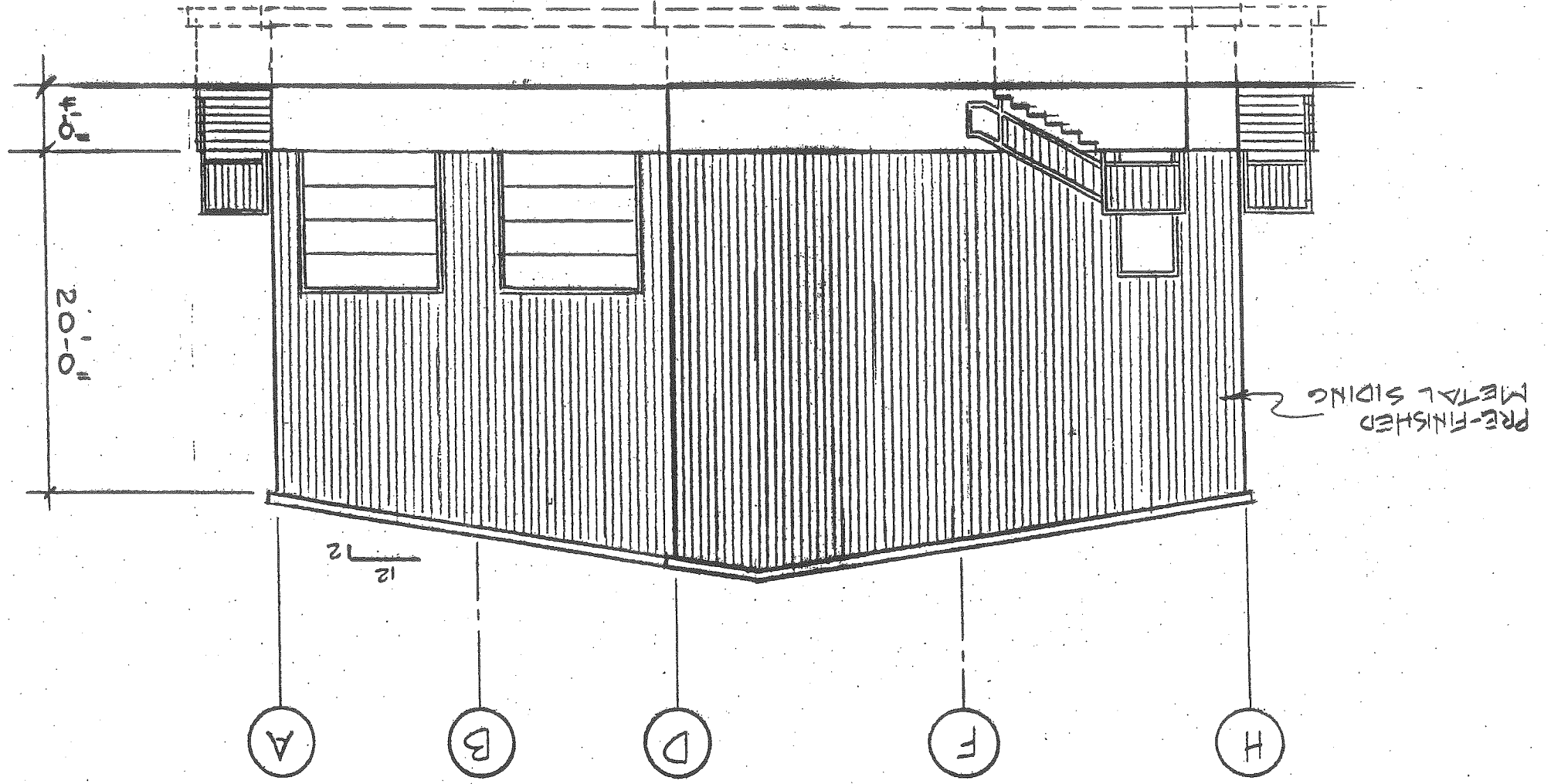
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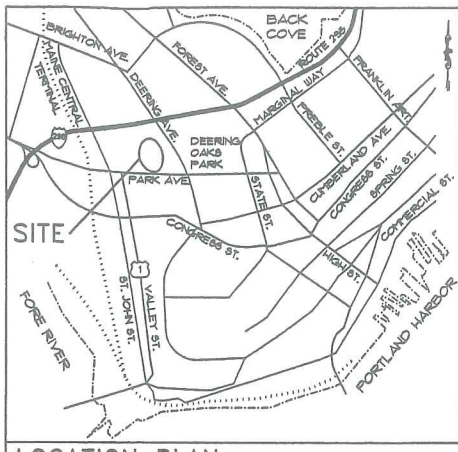
PRE-FIN METAL

236

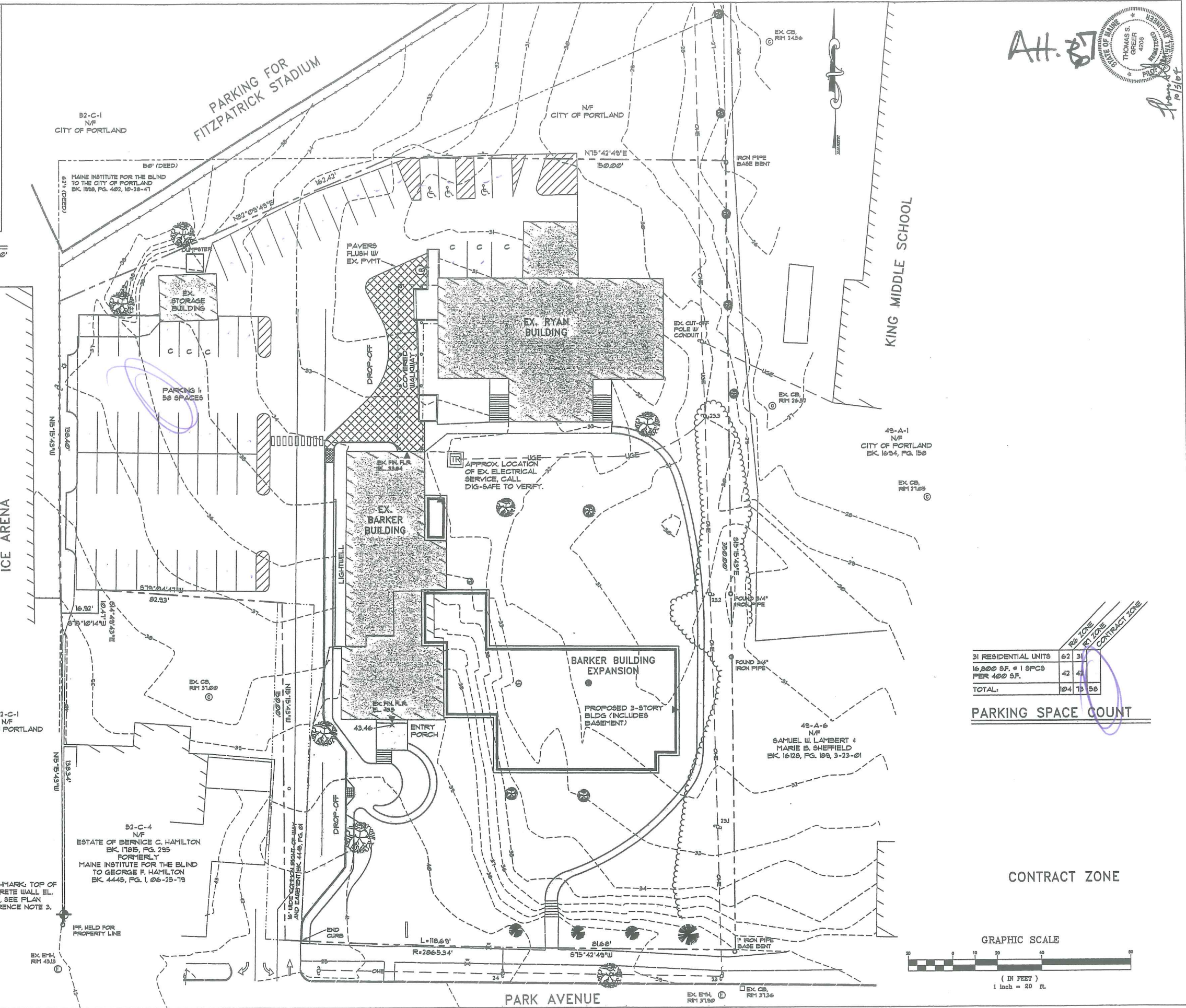
REAR ELEVATION

1/8" = 1'-0"



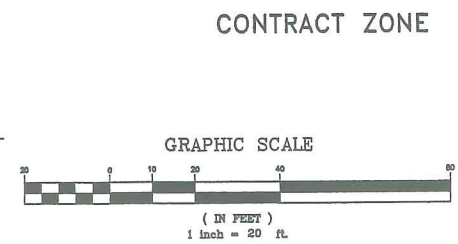


LOCATION PLAN
SCALE: 1"=200'



PARKING SPACE COUNT

	RE ZONE	KEY ZONE	CONTRACT ZONE
31 RESIDENTIAL UNITS	62	31	
16,200 SF. @ 19PCS PER 400 SF.	42	41	
TOTAL:	104	72	58



THOMAS S. GREER
4208
ARCHITECT
10/15/04

ARCHITECT: **SEMPLE & DRANE ARCHITECTS**
496 CONGRESS STREET
PORTLAND, MAINE
(603) 754-4231
asemple@maine.net

OWNER: **IRIS NETWORK**
PORTLAND, ME 04101

PROJECT: **IRIS NETWORK RENOVATION & ADDITIONS**
PORTLAND, ME 04101

DRAWING: **CONTRACT ZONE LAYOUT**
SCALE: AS SHOWN
DATE: AUGUST 3, 2004

REVISIONS:
10/15/04, REV'D ABUTTER

SHEET: **01**



DEVELOPMENT SUMMARY		
	EXISTING	PROPOSED
BUILDING	6,209 S.F.	15,760 S.F.
PAVEMENT	7,228 S.F.	16,388 S.F.
PERVIOUS	38,024 S.F.	19,316 S.F.
TOTAL PARCEL AREA	51,461 S.F.	51,461 S.F.

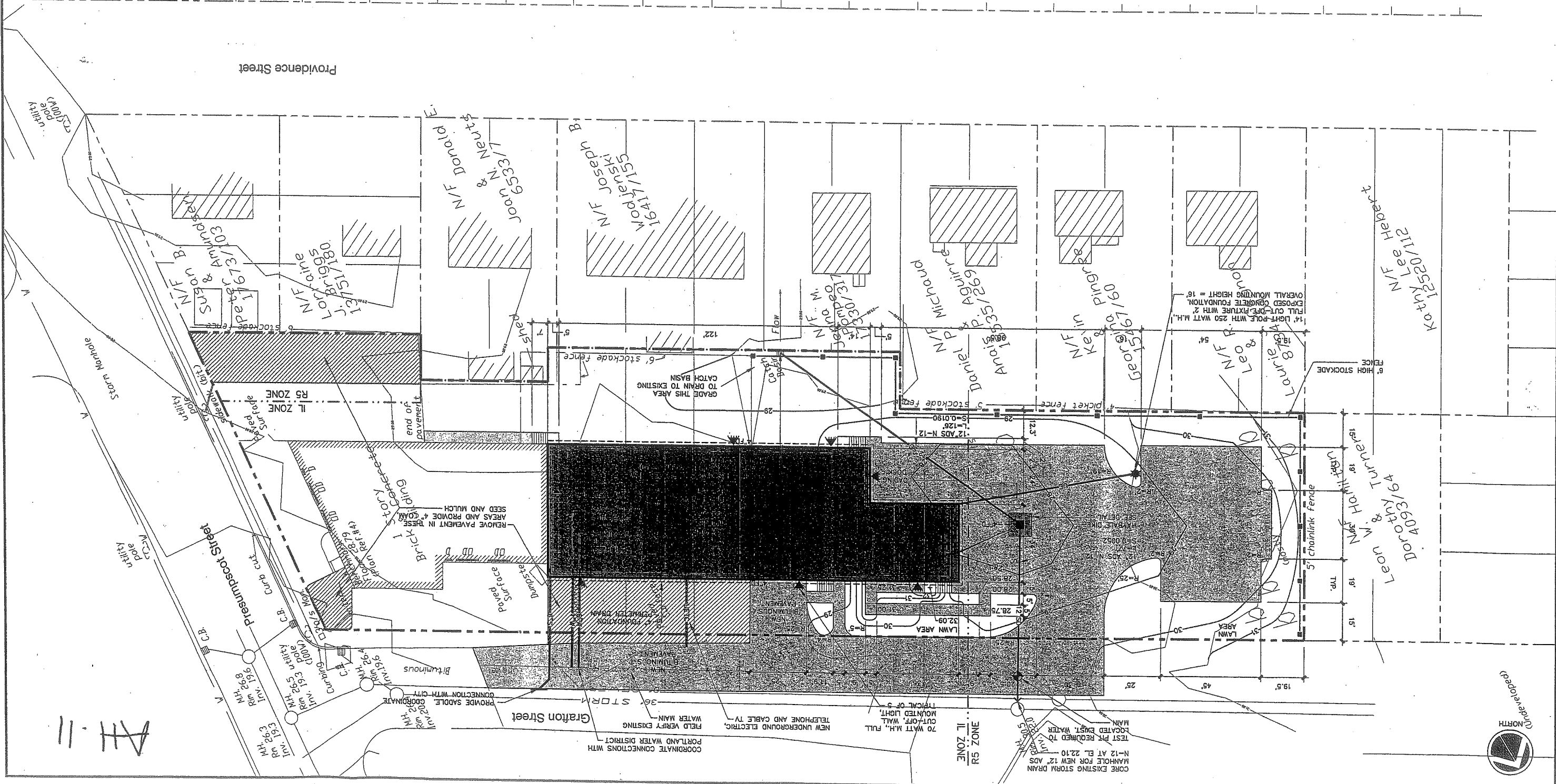
GENERAL NOTES

- 25' BUILDING SETBACK FROM FRONT SIDE AND REAR PROPERTY LINES, EXCEPT WHERE PROPERTY ABUTS A RESIDENTIAL DISTRICT WHERE A 40' SETBACK IS REQUIRED.
- PROPOSED: 25' FRONT YARD, 40' REAR YARD, 15' SIDE YARD.
- PROPOSED: 15' FRONT, REAR AND SIDE YARD.
- IN NON-PAVED AREAS ADJACENT TO THE BUILDING, ROOF DRAIN SPLASH PADS OR DRIP EDGE PADS SHALL BE INSTALLED TO DIRECT RUN-OFF AWAY FROM THE BUILDING.
- THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANIES TO VERIFY THAT CONNECTIONS TO 8" SANITARY AND 36" STORM WATER WILL BE PROVIDED WITH ADEQUATE GROUND COVER.
- A GEOTECHNICAL REPORT HAS BEEN PROVIDED TO THE CITY'S DEVELOPMENT REVIEW COORDINATOR. THE SITE IS SITTING ON SOFT SATURATED CLAY THAT MAY BE SUBJECT TO SETTLEMENT OR FROST ACTION. THE CONTRACTOR SHALL BE AWARE OF SUBSURFACE SOIL CONDITIONS PRIOR TO CONSTRUCTION.
- THE LOADING DOCK DIMENSIONS HAVE BEEN PROVIDED TO THE ZONING ADMINISTRATOR FOR REVIEW AND APPROVAL.
- THE LIGHTS SHALL BE TURNED OFF AT 9:00 P.M. THE APPLICANT MAY SUBMIT A SECURITY LIGHTING PLAN TO PLANNING STAFF, SHOULD VANDALISM OR OTHER SECURITY ISSUES ARISE THAT NEED TO BE ADDRESSED.
- THE APPLICANT SHALL COORDINATE WITH CENTRAL MAINE POWER TO RELOCATE THE UTILITY POLE WITHIN THE PROPOSED PAVING AREA ON GRAFTON STREET.
- SERVICES TRUCKS OR DELIVERIES SHALL BE PROHIBITED FROM 8:00 P.M. TO 7:00 A.M. AND TRUCKS SHALL NOT BE ALLOWED TO IDLE.
- PLANNING STAFF SHALL SECURE FINAL APPROVAL OF THE LANDSCAPING PLAN FROM THE CITY ARBORIST.



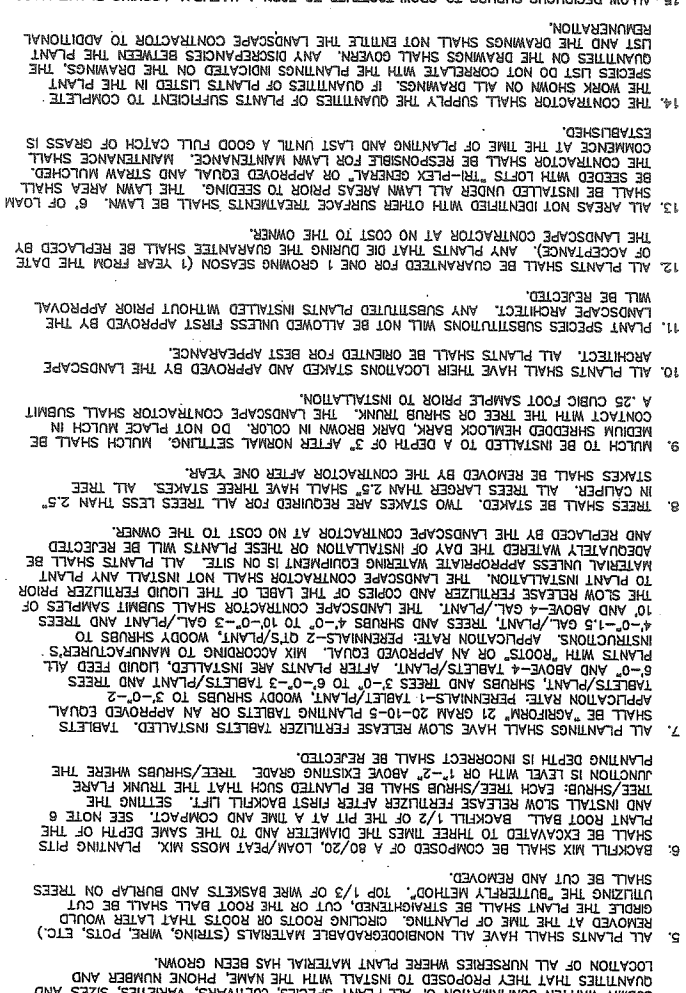
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION SITE LAYOUT, UTILITY, GRADING AND EROSION CONTROL PLAN		
222 St. John Street, Suite 314 Portland, Maine 04102 EER Environmental Engineering & Remediation, Inc. ENGINEERS & REMEDIATION, INC.		
DESIGN BY: SJB	DRAWN BY: JAR	CHECKED BY: SJB
DATE: 03-24-03	JOB NO: 818	SCALE: 1" = 20'
SHEET 1 OF 3		

REV.	BY	DATE	STATUS
D	SJB	08-03-04	ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
			ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL



LANDSCAPING NOTES

1. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE EXISTENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
2. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES, WALKS, PAVING, CURBING, ETC. DAMAGED IN THE PERFORMANCE OF THIS JOB AT NO COST TO THE OWNER.
3. PAVING IS COMPLETED.
4. ALL PLANTS SHALL HAVE A NORMAL HABIT OF GROWTH FOR THE SPECIES AND SHALL BE SOUND HEALTHY AND FREE OF DISEASE AND INSECTS. THEY SHALL CONFORM TO ANSI Z60.1-NURSERY RECOMMENDATIONS ON THE PLANT LIST AND SHALL CONFORM TO ANSI Z60.1-NURSERY STOCK LABELS REVISION. PRIOR TO INSTALLATION THE LANDSCAPE CONTRACTOR SHALL SUBMIT WRITTEN CONFIRMATION OF ALL PLANT SPECIES CULTIVARS, VARIETALS, SIZES AND QUANTITIES THAT THEY PROPOSED TO INSTALL WITH THE NAME, PHONE NUMBER AND LOCATION OF ALL NURSERIES WHERE PLANT MATERIAL HAS BEEN GROWN.
5. ALL PLANTS SHALL HAVE ALL NONBIODEGRADABLE MATERIALS (STRING, WIRE, POTS, ETC.) REMOVED AT THE TIME OF PLANTING. CIRCLING ROOTS OR ROOTS THAT LATER WOULD UTILIZE THE "BUTTERFLY METHOD", TOP 1/3 OF WIRE BASKETS AND BURLAP ON TREES SHALL BE CUT AND REMOVED.
6. BACKFILL MIX SHALL BE COMPOSED OF A 80/20 LOAM/PEAT MOSS MIX. PLANTING PITS SHALL BE EXCAVATED TO THREE TIMES THE DIAMETER AND TO THE SAME DEPTH OF THE PLANT ROOT BALL. BACKFILL 1/2 OF THE PIT AT A TIME AND COMPACT. SEE NOTE 6 AND INSTALL SLOW RELEASE FERTILIZER AFTER PLANTING SUCH THAT THE TRUNK FLARE UNIFORM IS LEVEL WITH OR 1"-2" ABOVE EXISTING GRADE. TREE/SHRUBS WHERE THE PLANTING DEPTH IS INCORRECT SHALL BE REJECTED.
7. ALL PLANTINGS SHALL HAVE SLOW RELEASE FERTILIZER TABLETS OR AN APPROVED EQUAL. APPLICATION RATE: PERENNIALS-1 TABLET/PLANT; WOODY SHRUBS TO 3"-0"-2" SHALL BE "AIFORM" 21 GRAM 20-10-5 PLANTING TABLETS OR AN APPROVED EQUAL. TABLETS/PLANT; SHRUBS AND TREES 3"-0" TO 6"-0"-3" TABLETS/PLANT AND TREES 6"-0" AND ABOVE-4 TABLETS/PLANT. AFTER PLANTS ARE INSTALLED, LIQUID FEED ALL PLANTS WITH ROOTS OR AN APPROVED EQUAL MIX ACCORDING TO MANUFACTURER'S INSTRUCTIONS. APPLICATION RATE: PERENNIALS-2 QTS/PLANT; WOODY SHRUBS TO 4"-0"-15 GAL./PLANT; TREES 4"-0" TO 10"-0" GAL./PLANT; WOODY SHRUBS TO 10" AND ABOVE-4 GAL./PLANT. THE LANDSCAPE CONTRACTOR SHALL SUBMIT SAMPLES OF SLOW RELEASE FERTILIZER AND COPIES OF THE LABEL OF THE LIQUID FERTILIZER PRIOR TO PLANT INSTALLATION. THE LANDSCAPE CONTRACTOR SHALL NOT INSTALL ANY PLANT MATERIAL UNLESS APPROPRIATE WATERING EQUIPMENT IS ON SITE. ALL PLANTS SHALL BE ADOPTIVELY WATERED THE DAY OF INSTALLATION OR THESE PLANTS WILL BE REJECTED AND REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
8. TREES SHALL BE STAKED. TWO STAKES ARE REQUIRED FOR ALL TREES LESS THAN 2.5" IN CALIPER. ALL TREES LARGER THAN 2.5" SHALL HAVE THREE STAKES. ALL TREE STAKES SHALL BE REMOVED BY THE CONTRACTOR AFTER ONE YEAR.
9. MULCH TO BE INSTALLED TO A DEPTH OF 3" AFTER NORMAL SETTLING. MULCH SHALL BE MEDIUM SHREDDED HEMLOCK BARK DARK BROWN IN COLOR. DO NOT PLACE MULCH IN CONTACT WITH THE TREE OR SHRUB TRUNK. THE LANDSCAPE CONTRACTOR SHALL SUBMIT A .25 CUBIC FOOT SAMPLE PRIOR TO INSTALLATION.
10. ALL PLANTS SHALL HAVE THEIR LOCATIONS STAKED AND APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS SHALL BE OMBENTED FOR BEST APPEARANCE.
11. PLANT SPECIES SUBSTITUTIONS WILL NOT BE ALLOWED UNLESS FIRST APPROVED BY THE LANDSCAPE ARCHITECT. ANY SUBSTITUTED PLANTS INSTALLED WITHOUT PRIOR APPROVAL WILL BE REJECTED.
12. ALL PLANTS SHALL BE GUARANTEED FOR ONE (1) GROWING SEASON (1 YEAR FROM THE DATE OF ACCEPTANCE). ANY PLANTS THAT DIE DURING THE GUARANTEE SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE OWNER.
13. ALL AREAS NOT IDENTIFIED WITH OTHER SURFACE TREATMENTS SHALL BE LAWN. 6" OF LOAM SHALL BE INSTALLED UNDER ALL LAWN AREAS PRIOR TO SEEDING. THE LAWN AREA SHALL BE SEEDED WITH LOFTS "TRI-FLEX GENERAL" OR APPROVED EQUAL AND STRAW MULCHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAWN MAINTENANCE, MAINTENANCE SHALL COMMENCE AT THE TIME OF PLANTING AND LAST UNTIL A GOOD FULL CATCH OF GRASS IS ESTABLISHED.
14. THE CONTRACTOR SHALL SUPPLY THE QUANTITIES OF PLANTS SUFFICIENT TO COMPLETE THE WORK SHOWN ON ALL DRAWINGS. IF QUANTITIES OF PLANTS LISTED IN THE PLANT SPECIES LIST DO NOT CORRELATE WITH THE PLANTING INDICATED ON THE DRAWINGS, THE QUANTITIES ON THE DRAWINGS SHALL GOVERN. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWINGS SHALL NOT ENTIRE THE LANDSCAPE CONTRACTOR TO ADDITIONAL REGENERATION.
15. ALLOW DECIDUOUS SHRUBS TO GROW TOGETHER TO FORM A NATURAL LOOKING PLANT MASS.



PLANT SPECIES LIST

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AR	3	ACER RUBRUM "AUTUMN FLAME"	AUTUMN FLAME MAPLE	2.5'-3" CAL. 30" O.C., B&B	
AG	6	AMELANCHIER X GRANDIFLORA "ROBIN HILL"	ROBIN HILL SERVICEBERRY	2.5'-3" CAL. 30" O.C., B&B	
BN	8	BETULA NIGRA "HERITAGE"	HERITAGE RIVER BIRCH	2.5'-3" CAL. 30" O.C., B&B	
CR	35	CLETHRA ALNIFOLIA "RUBY SPICE"	RUBY SPICE SUMMERSWEET	2.5'-3" 5" O.C.	
CA	57	CORNUS ALBA "IVORY HALO"	IVORY HALO RED TWIG DOGWOOD	2.5'-3" 5" O.C.	
MB	2	MALUS BACCATA "WALTERS"	WALTERS' COLUMNAR SIBIRIAN CRAB	2.5'-3" CAL. 30" O.C., B&B	
SH	13	SYRINGA X HYACINTHIFLORA "POCAHONTAS"	POCAHONTAS YLAC	2.5'-3" 5" O.C.	

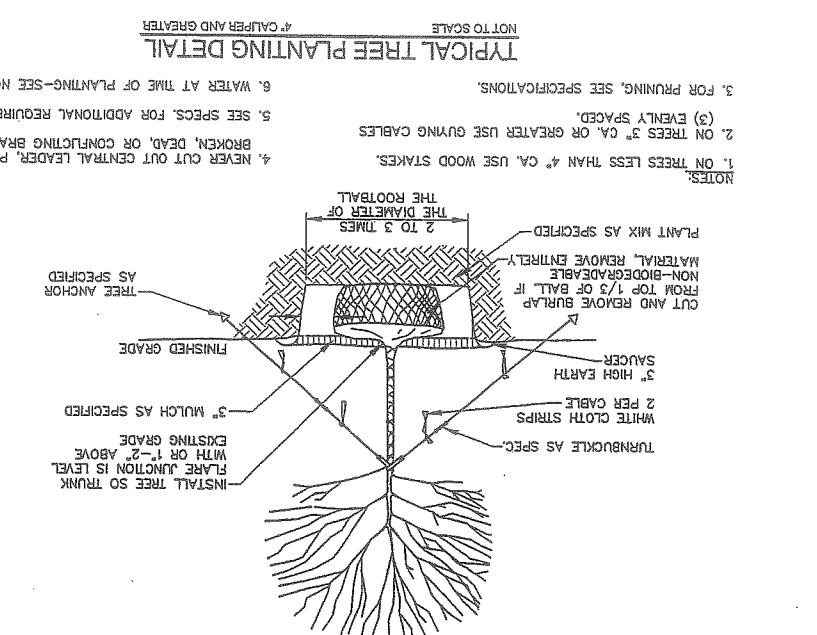
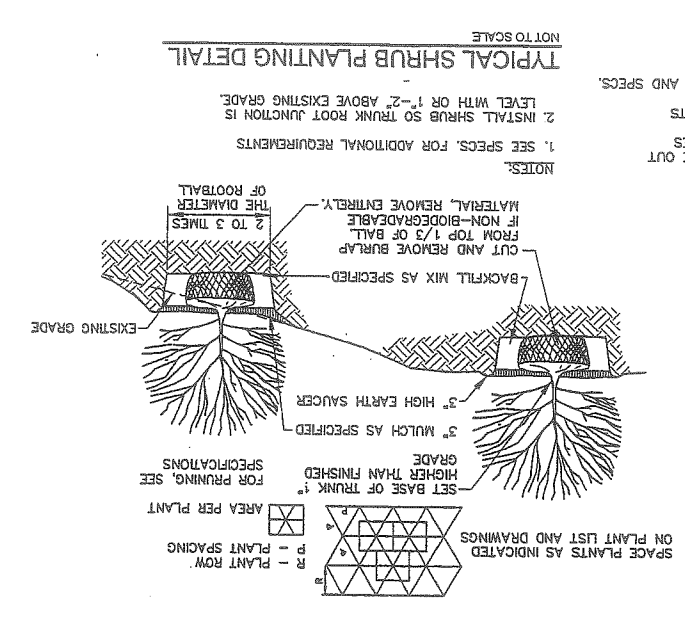
MARK GOLDSTEIN COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION AND SIGNAGE PLAN

DESIGN BY: SJB
 CHECKED BY: SJB
 DATE: 03-24-03
 JOB NO.: 618
 SCALE: 1" = 20'
 SHEET 2 OF 3

185 Withney Avenue, Portland, Maine 04102
 Barry L. Hosmer, ASLA
 Landscape Architect
 BARRY L. HOSMER No. 79
 STATE OF MAINE LANDSCAPE ARCHITECT REG. NO. 85740

REV.	BY	DATE	STATUS	CAD NO.
D	SJB	08-03-04	ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL	818-C-C100
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS	818-C-C100

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ENVIRONMENTAL ENGINEERING & REHABILITATION, INC.
 185 WITHNEY AVENUE, PORTLAND, MAINE 04102
 BARRY L. HOSMER, ASLA
 LANDSCAPE ARCHITECT

DESIGN BY: SJB
DRAWN BY: JAB
CHECKED BY: SJB
DATE: 03-24-03
JOB NO: 818
SCALE: 1" = 20'
C-102
SHEET 3 OF 3

222 St. John Street, Suite 314 Portland, Maine 04102
EER
Engineering & Remediation, Inc.

MARK GOLDSTEIN
COASTAL EQUIPMENT CORPORATION
WAREHOUSE ADDITION
CONSTRUCTION DETAILS

STATE OF MAINE
REGISTERED PROFESSIONAL ENGINEER
BRADSTREET #5740
EXPIRES 12/31/04

REV.	BY	DATE	STATUS
D	SJB	08-03-04	ISSUED FOR: 08/22/04 PLANNING BOARD CONDITIONS OF APPROVAL
C	SJB	01-16-04	ISSUED FOR: CITY COMMENTS
O	SJB	01-16-04	ISSUED FOR: CITY COMMENTS

CAD NO. 818.C.100

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- EROSION CONTROL NOTES**
1. APPLICATION OF TEMPORARY AND PERMANENT EROSION CONTROL MEASURES FOR THE PROJECT SHALL BE IN ACCORDANCE WITH PROCEDURES AND SPECIFICATIONS OF THE "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES," MARCH 1991 (BMP HANDBOOK).
 2. SILTATION FENCE SHALL BE INSTALLED BEFORE GRUBBING OR EARTH MOVING OPERATIONS.
 3. PERMANENT SEEDING SHALL BE APPLIED WITHIN 15 DAYS OF FINAL GRADING FROM APRIL 15 TO SEPTEMBER 1.
 4. PERMANENT SEEDING SHALL BE:
 - SEEDING RECOMMENDED SQ. FT. DEPTH SEEDING DATES
 - WINTER RYE 2.6 1-1.5" 8/15-10/1
 - OATS 1.8 1-1.5" 4/1-7/1
 - ANNUAL RYEGRASS 0.9 2.5" 4/1-7/1
 - SUDANGRASS 0.9 5-1" 5/15-8/15
 - PERENNIAL 0.9 2.5" 8/15-9/15
 5. TEMPORARY SEEDING SHALL BE APPLIED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL IF PERMANENT SEEDING IS NOT APPLIED. TEMPORARY SEEDING SHALL BE:
 - BIRDFOOT TREFOIL 1.8 3.4
 - CROWNLET 1.8
 - GREENING RED FESCUE OR TALL FESCUE .46
 6. FERTILIZER SHALL BE 10-20-20 GRANULAR GARDEN FERTILIZER AND APPLIED AT 18.4 LBS/1,000 S.F.
 7. LIMESTONE SHALL BE GROUND WITH 50% CALCIUM PLUS MAGNESIUM OXIDE AND APPLIED AT 138 LBS/1,000 S.F.
 8. MULCH SHALL BE HAY OR STRAW APPLIED AT 70-90 LBS/1,000 S.F.
 9. WINTER MULCH SHALL BE APPLIED BETWEEN OCTOBER 1 AND APRIL 1 AND SHALL BE HAY OR STRAW APPLIED AT 300 LBS/1,000 S.F.
 10. ALL EROSION CONTROL MEASURES, SEEDING AND MULCHING SHALL BE INSPECTED WEEKLY. AFTER RAINSTORMS AND DURING RUNOFF EVENTS, ALL MEASURES SHALL BE REPAIRED OR REPLACED WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DAMAGE.
 11. SEEDED AND MULCHED AREAS SHALL BE MAINTAINED UNTIL FINAL ACCEPTANCE OF THE WORK. SEED CATCH SHALL BE ACCEPTABLE WHEN 75 PERCENT CATCH IS ESTABLISHED. MAINTENANCE SHALL CONSIST OF PROVIDING PROTECTION AGAINST TRAFFIC AND REPAIRING ANY AREAS TO RE-ESTABLISH THE CONDITION AND GRADE OF THE SOIL PRIOR TO SEEDING AND SHALL THEN BE RE-FERTILIZED, RESEEDED AND REMULCHED.
 12. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED UPON COMPLETION OF GRADING OPERATIONS AND ESTABLISHMENT OF A 75 PERCENT CATCH OF GRASS.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EROSION CONTROL MEASURES DURING CONSTRUCTION.
 14. EROSION CONTROL INSPECTION SHALL BE PERFORMED BY:
 - STEPHEN J. BRADSTREET, P.E.
 - ENVIRONMENTAL ENGINEERING AND REMEDIATION, INC.
 - 222 ST. JOHN STREET SUITE 314
 - (207) 828-1272
 15. EROSION CONTROL AND CONSTRUCTION SEQUENCE:
 - a) INSTALL ALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLAN SHEET IN ACCORDANCE WITH THE DETAILS AND B.M.S.
 - b) CONSTRUCT THE BUILDING.
 - c) CONSTRUCT THE PARKING LOT AND STORM DRAINAGE SYSTEM.
 - d) REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE IMPROVEMENTS ARE COMPLETE AND THERE IS 75% CATCH OF GRASS.
 - e) INSTALL PERMANENT EROSION CONTROL MEASURES.

