

425-A-15

2001-0075

165-189 Presumpscot St.

Storage Shed

Geo McQuesten Co.

on Spreadsheet

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy**

2001-0075
Application I. D. Number

04/30/2001
Application Date

storage shed 9,600 s.f.
Project Name/Description

Geo Mcquesten Co Inc
Applicant
600 Iron Horse Park, North Billerica, MA 01862
Applicant's Mailing Address
Richard Potvin/Steve Patterson
Consultant/Agent
Agent Ph: (207)294-3225 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

165 - 189 Presumpscot St R, Portland, Maine
Address of Proposed Site
425 A015001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) **storage shed**

9,600 s.f. Proposed Building square Feet or # of Units Acreage of Site **IM** Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$400.00** Subdivision _____ Engineer Review _____ Date **05/01/2001**

Planning Approval Status:

Reviewer **Kandi Talbot**

- Approved** **Approved w/Conditions** See Attached **Denied**

Approval Date **05/17/2001** Approval Expiration **05/17/2002** Extension to _____ Additional Sheets Attached

OK to Issue Building Permit **Kandi Talbot** signature **05/17/2001** date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____ date _____	_____ amount _____	_____ expiration date
<input type="checkbox"/> Inspection Fee Paid	_____ date _____	_____ amount _____	
<input type="checkbox"/> Building Permit Issue	_____ date _____		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date _____	_____ remaining balance _____	_____ signature _____
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date _____	<input type="checkbox"/> Conditions (See Attached)	_____ expiration date _____
<input type="checkbox"/> Final Inspection	_____ date _____	_____ signature _____	
<input type="checkbox"/> Certificate Of Occupancy	_____ date _____		
<input type="checkbox"/> Performance Guarantee Released	_____ date _____	_____ signature _____	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date _____	_____ amount _____	_____ expiration date _____
<input type="checkbox"/> Defect Guarantee Released	_____ date _____	_____ signature _____	



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life www.portlandmaine.gov

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

January 18th, 2006

copy
Walter E. Watson
Sprague Energy Corporation
92 Cassidy Point Drive
Portland, ME 04102

Dear Mr. Watson,

**Re: Site Plan Review: 189 Presumpscot Street, Sprague Energy Corp.
(St Lawrence Cement facility)**

I am writing to confirm the receipt and registration of the Site Plan Application submitted on behalf of Sprague Energy Corporation, and to confirm that it will be subject to Minor Site Plan Review.

As mentioned in my telephone conversation with you of December 22nd, 2005 and e-mail of December 23rd, 2005, we need further information in order to complete the Review. Please submit:

1. A Standard Boundary Survey showing the boundaries of the overall site (St Lawrence Cement facility), the land area of the site, and topography (the topography can be on a separate plan). The plan should also include the name and address of applicant, name of proposed development, and scale and north points.
2. A plan showing the proposed internal road link in the context of the existing site, including the connection to Presumpscot Street, how vehicles get into and out of the site and onto the public street, other paved areas, and all existing buildings (including large storage structures) on and abutting the site.
3. A letter outlining more details about the proposal including the area of the new paving, drainage, any lighting, and whether there is any change in the number and type of trucks/trailers accessing the site as a result of this proposal to transload forest products from rail to trailers.

S.R.M. LLC
256 Elm Street
Biddeford, ME 04005
207/294-3225

Fax: 207/294-3225

April 27, 2001

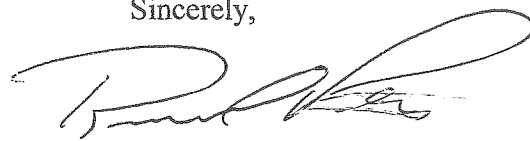
Re: 165 Presumpscot Street, Portland
Richardson and Dana

To: Planning Department

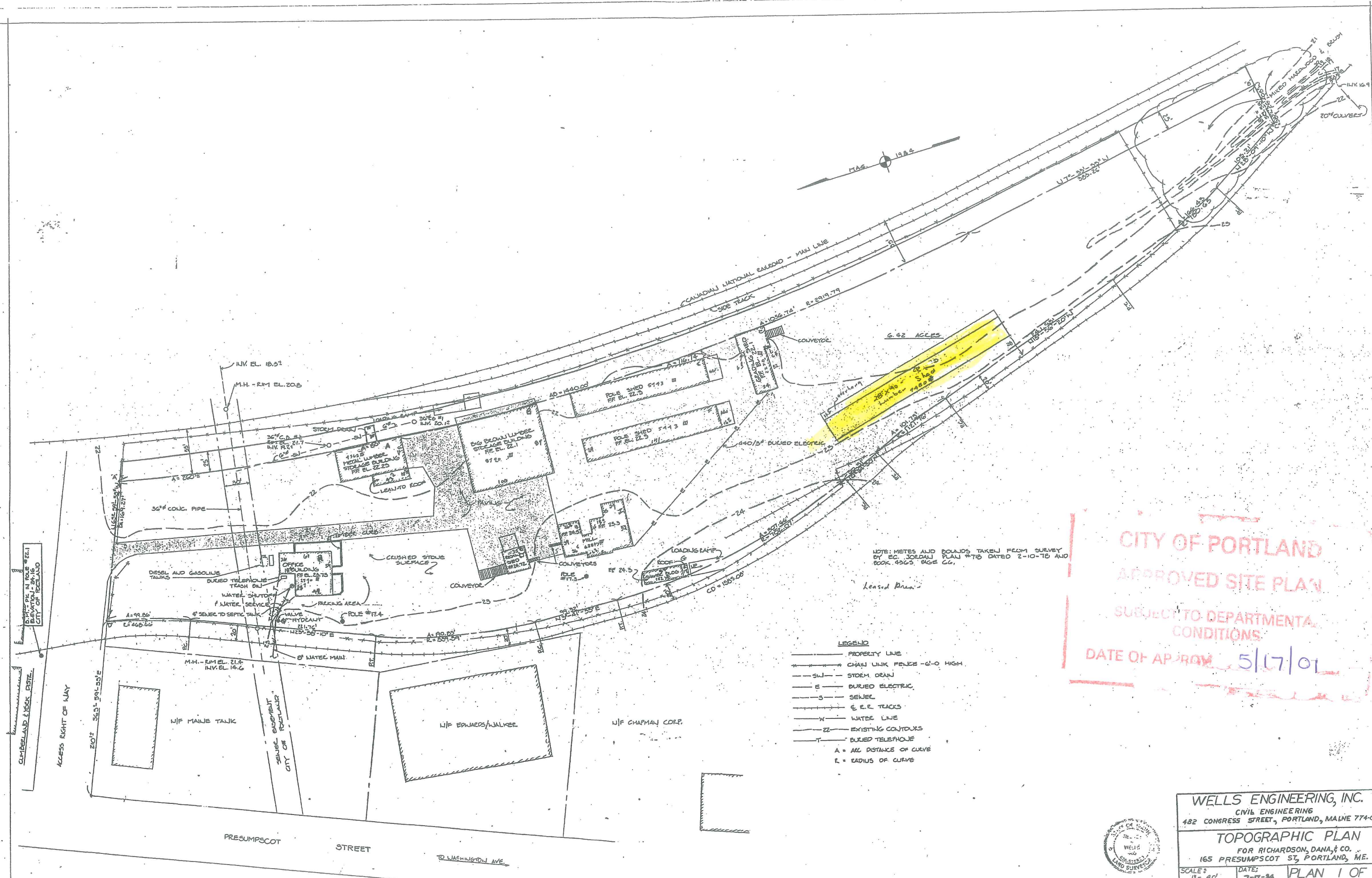
The purpose of this project is to rebuild an existing shed which was demolished by snow damage. We are using the same foot print as the old one. Enclosed are engineered plans and specs of the new shed.

Please keep in mind these are sheds which store lumber materials. There are no doors, windows, plumbing, or electricity to this building. Currently, most of the lumber is being stored outside and is open to the weather. The lumber company has asked us to build this as soon as possible so they don't lose their product. We ask, because of the simplicity and the need for Richardson and Dana to get back to their normal business operations, that this application be processed as soon as possible.

Sincerely,

A handwritten signature in black ink, appearing to read 'Richard Potvin', with a large, sweeping flourish at the end.

Richard Potvin



NOTE: METES AND BOUNDS TAKEN FROM SURVEY BY EC JORDAN PLAN #718 DATED 2-10-78 AND BOOK 4563 PAGE 66.

Leased Area

- LEGEND**
- PROPERTY LINE
 - CHAIN LINK FENCE - 6'-0" HIGH
 - SW - STORM DRAIN
 - E - BURIED ELECTRIC
 - S - SEWER
 - E, E, R - TRACKS
 - W - WATER LINE
 - ZZ - EXISTING CONTOURS
 - T - BURIED TELEPHONE
 - A = ARC DISTANCE OF CURVE
 - R = RADIUS OF CURVE

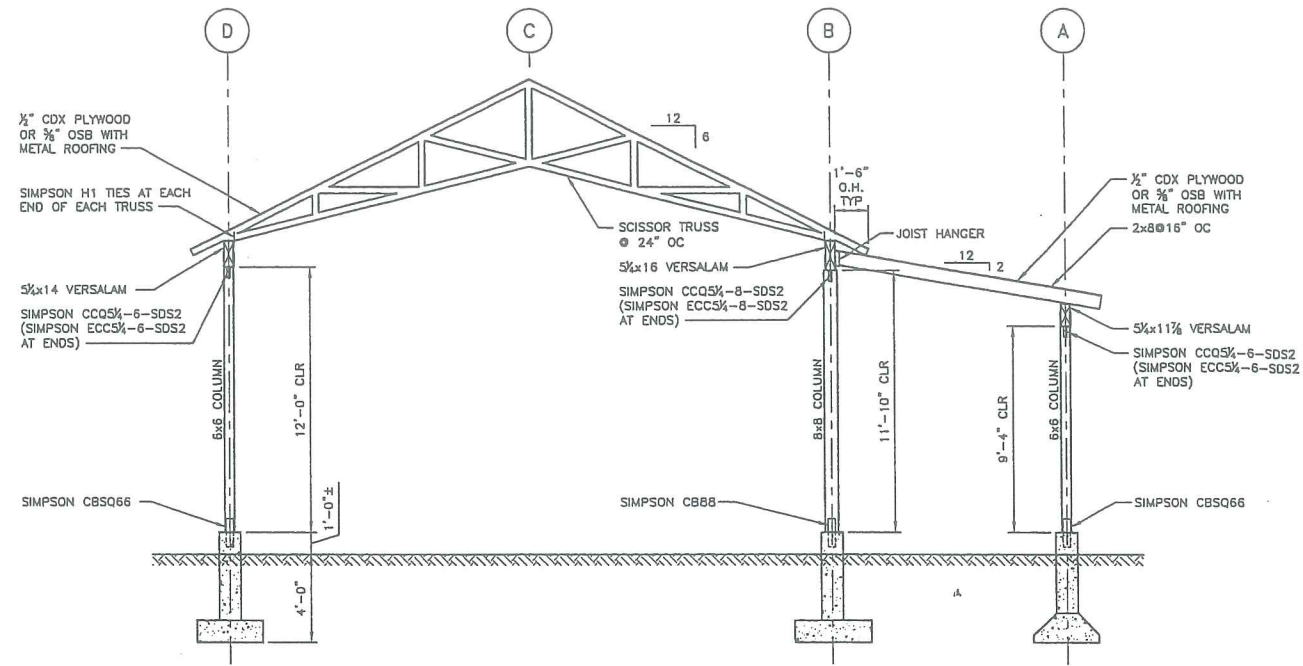
CITY OF PORTLAND
 APPROVED SITE PLAN
 SUBJECT TO DEPARTMENTAL
 CONDITIONS
 DATE OF APPROVAL 5/17/01

WELLS ENGINEERING, INC.
 CIVIL ENGINEERING
 482 CONGRESS STREET, PORTLAND, MAINE 774-0056

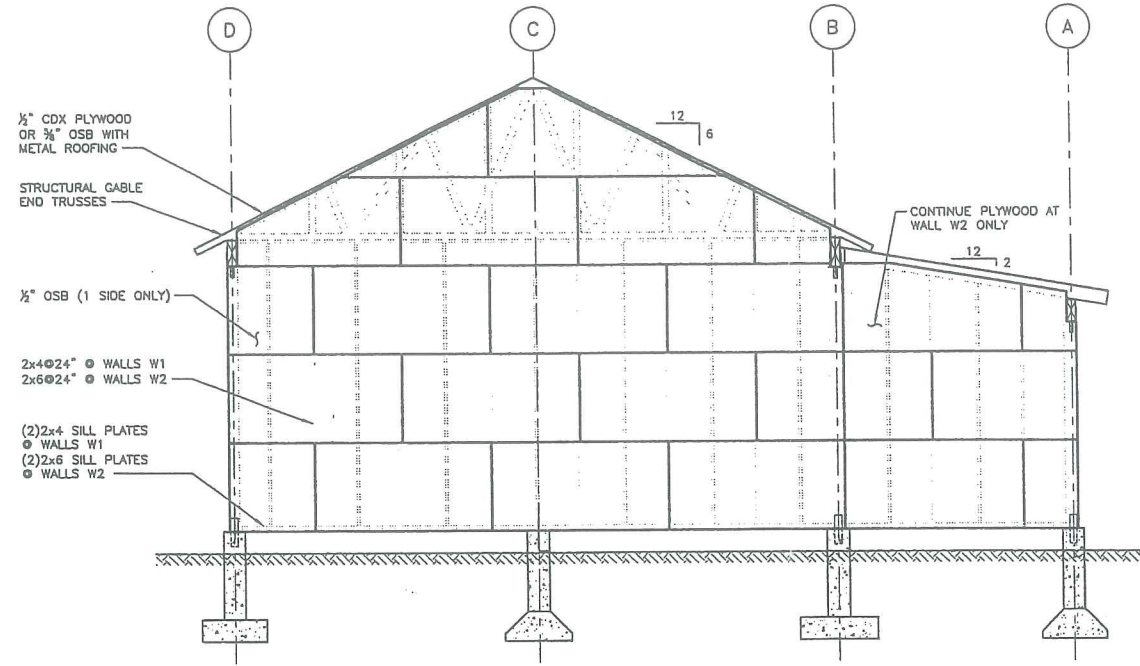
TOPOGRAPHIC PLAN
 FOR RICHARDSON, DANA, & CO.
 165 PRESUMPCOT ST, PORTLAND, ME.

SCALE: 1" = 40' DATE: 7-17-01 PLAN 1 OF 1

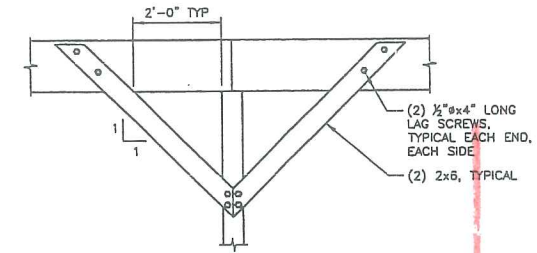




SECTION 1
SCALE: 1/4"=1'-0"



SECTION 2
SCALE: 1/4"=1'-0"

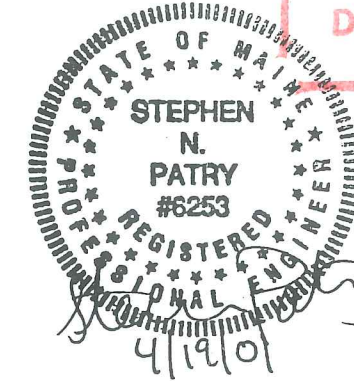


TYPICAL KNEE BRACE CONNECTION DETAIL
SCALE: 1/2" = 1'-0"

CITY OF PORTLAND
APPROVED SITE PLAN

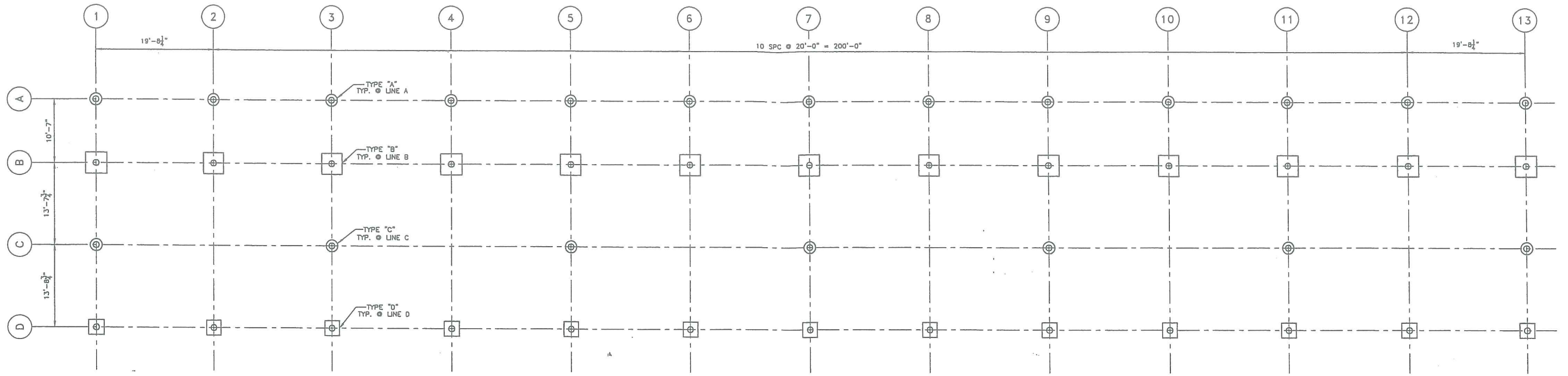
SUBJECT TO DEPARTMENTAL
CONDITIONS

DATE OF APPROV 5/17/01

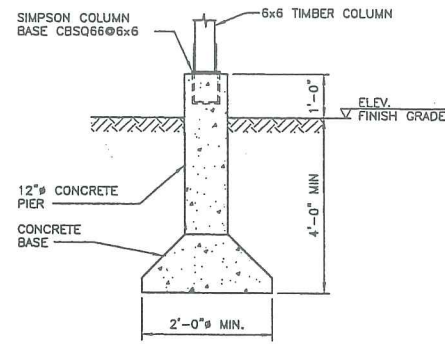


MOHLIN & COMPANY <small>CONSULTING ENGINEERS</small> 90 BEACH STREET SACO, MAINE			
M&C DRAWING NO.		2001-1491-S-102	
CLIENT		VACATION PROPERTIES INC. BIDEFORD, MAINE	
TITLE		RICHARDSON, DANA & CO. LUMBER STORAGE SHED FOUNDATION PLAN	
DATE	SCALE	CLIENT DRAWING NUMBER	REV.
04/11/01	AS NOTED		0
DOWN.	TENG.	TCHK.	

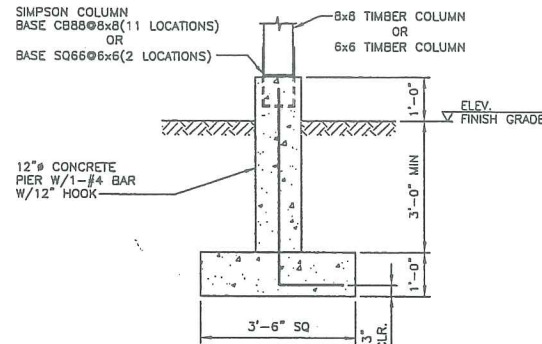
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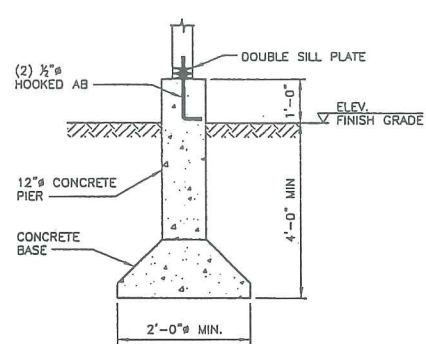
FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



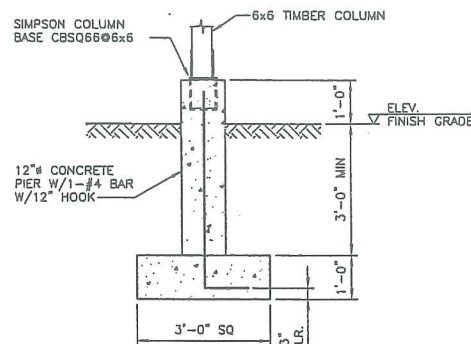
FOUNDATION DETAIL TYPE "A"
SCALE: 1/2" = 1'-0"
(13 LOCATIONS)



FOUNDATION DETAIL TYPE "B"
SCALE: 1/2" = 1'-0"
(13 LOCATIONS)



FOUNDATION DETAIL TYPE "C"
SCALE: 1/2" = 1'-0"
(7 LOCATIONS)

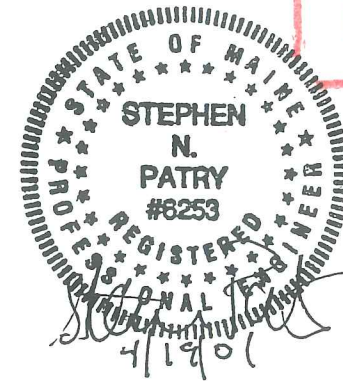


FOUNDATION DETAIL TYPE "D"
SCALE: 1/2" = 1'-0"
(13 LOCATIONS)

- STRUCTURAL DESIGN CRITERIA NOTES**
- THE DESIGN CODES AND CRITERIA ARE AS FOLLOWS:
BUILDING CODE: BOCA, 1999
 - ROOF LIVE LOADS SHALL BE AS FOLLOWS:
GROUND SNOW LOAD: 60 PSF
MINIMUM ROOF DESIGN SNOW LOAD: 42 PSF
60 PSF UNBALANCED SNOW
 - WIND LOAD CRITERIA SHALL BE AS FOLLOWS:
BASIC WIND SPEED: 90 MPH
EXPOSURE CATEGORY: B
IMPORTANCE FACTOR: 1.0
- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - THE STRUCTURE IS DESIGNED TO BE STABLE AND SELF SUPPORTING AT THE COMPLETION OF CONSTRUCTION. TEMPORARY BRACES, GUYS, TIE-DOWNS, SHORING, ETC. DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTION PROCEDURES, SEQUENCING AND FOR COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS DURING THE WORK.
- FOUNDATION NOTES**
- DESIGN OF FOUNDATIONS IS BASED ON AN ALLOWABLE SOIL BEARING PRESSURE OF 4000 POUNDS PER SQUARE FOOT.
 - ALL DELETERIOUS MATERIALS FOUND WITHIN THE LIMITS OF THE STRUCTURE SHALL BE REMOVED AND REPLACED WITH COMPACTED SELECT FILL.
 - NO FOUNDATIONS SHALL BE PLACED ON FROZEN GROUND OR IN WATER.

- CONCRETE NOTES**
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITIONS OF ACI 318 AND ACI 301.
 - ALL 3000 PSI CONCRETE SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
A. MINIMUM COMPRESSIVE STRENGTH: 3000 PSI @ 28 DAYS
B. CEMENT: ASTM C150 TYPE II
C. AGGREGATE: ASTM C33 OR C330
D. MAXIMUM AGGREGATE SIZE: 3/4 INCH
E. MAXIMUM WATER-CEMENT RATIO: 0.50
F. SLUMP: 2 TO 4 INCHES
G. AIR ENTRAINMENT: ASTM C260, 4 TO 6 PERCENT
 - REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60, DEFORMED BARS. REINFORCING BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60, DEFORMED BARS.
- TIMBER NOTES**
- ALL FRAMING LUMBER (2x4, 2x6, 2x8) SHALL BE No. 2 SPF OR BETTER.
 - ALL POSTS (6x6, 8x8) SHALL BE No. 1 OR No. 2 SOUTHERN YELLOW PINE.
 - WOOD ROOF TRUSSES SHALL BE DESIGNED BY AN ENGINEER REGISTERED IN THE STATE OF MAINE. WOOD TRUSSES SHALL BE HANDLED, BRACED AND INSTALLED PER TRUSS PLATE INSTITUTE SUMMARY SHEET HIB-91, COMMENTARY AND RECOMMENDATIONS FOR HANDLING, INSTALLING AND BRACING METAL PLATE CONNECTED WOOD TRUSSES. BOTTOM CHORD AND WEB BRACING MAY REMAIN IN PLACE AFTER ROOF SHEATHING IS INSTALLED. ROOF TRUSSES SHALL BE DESIGNED FOR AN UNBALANCED SNOW LOAD OF 0 PSF ON THE WINDWARD SIDE AND 60 PSF ON THE LEeward SIDE. ROOF TRUSSES SHALL BE DESIGNED FOR 90 MPH WINDS, OPEN STRUCTURE.

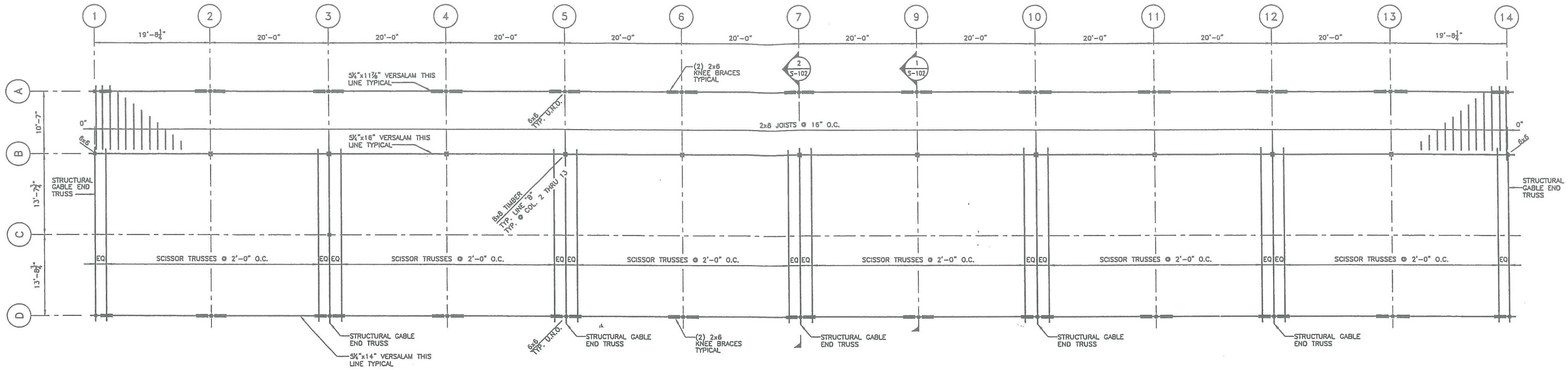
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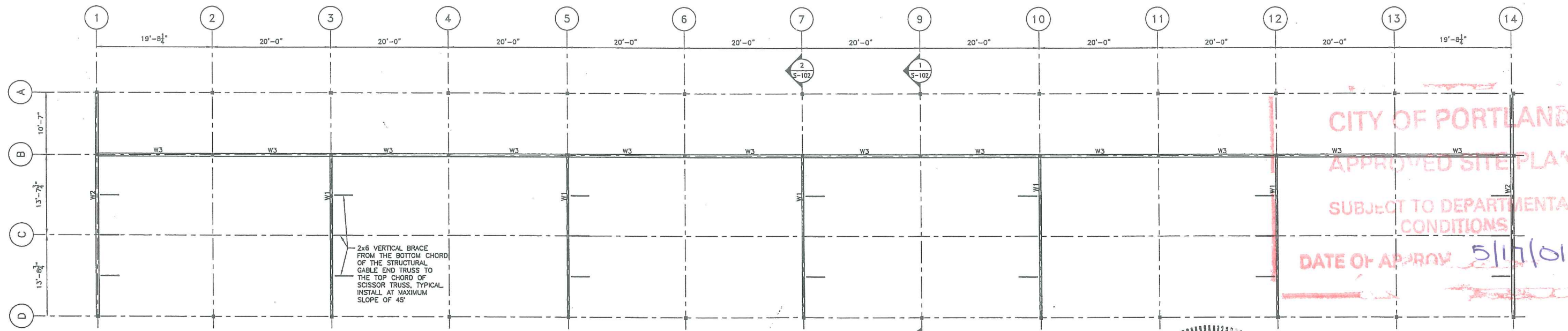
MOHLIN & COMPANY CONSULTING ENGINEERS 90 BEACH STREET SACO, MAINE			
M&C DRAWING NO.		2001-1491-S-100	
CLIENT		VACATION PROPERTIES INC. BIDDEFORD, MAINE	
TITLE RICHARDSON, DANA & CO. LUMBER STORAGE SHED FOUNDATION PLAN			
DATE 04/11/01	SCALE AS NOTED	CLIENT DRAWING NUMBER	REV. 0
DWN.	ENG.	CHK.	

0	04/18/01	ISSUED FOR CONSTRUCTION	PDR	SNP
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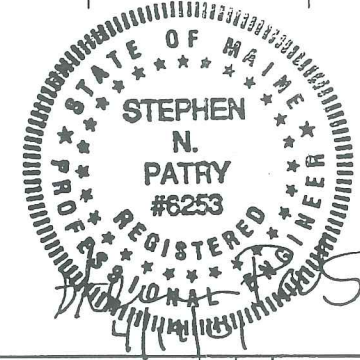


ROOF FRAMING PLAN
SCALE: 1/8" = 1'-0"



WALL FRAMING PLAN
SCALE: 1/8" = 1'-0"

WALL TABLE				
MARK	STUDS	SHEATHING	NAILING	NOTES
W1	2x4@24"	1/2" OSB	8d@6" EDGES 12" INTERMEDIATE	2-2x4 P.T. BOTTOM PLATES
W2	2x6@24"	1/2" OSB W/ SIDING OR 1/2" T-111 SIDING	8d@6" EDGES 12" INTERMEDIATE	2-2x6 P.T. BOTTOM PLATES
W3	2x6@24"	1/2" OSB	8d@6" EDGES 12" INTERMEDIATE	2-2x8 P.T. BOTTOM PLATES



CITY OF PORTLAND
APPROVED SITE PLAN
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DATE OF APPROVAL 5/17/01

MOHLIN & COMPANY CONSULTING ENGINEERS 90 BEACH STREET SACO, MAINE			
M&C DRAWING NO. 2001-1491-S-101			
CLIENT VACATION PROPERTIES INC. BIIDDEFORD, MAINE			
TITLE RICHARDSON, DANA & CO. LUMBER STORAGE SHED FOUNDATION PLAN			
DATE 04/11/01	SCALE AS NOTED	CLIENT DRAWING NUMBER	REV. 0

0	04/18/01	ISSUED FOR CONSTRUCTION	PDR	SNP
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