

# ELDRIDGE LUMBER & HARDWARE, INC.

## 165 PRESUMPCOT STREET PORTLAND, MAINE

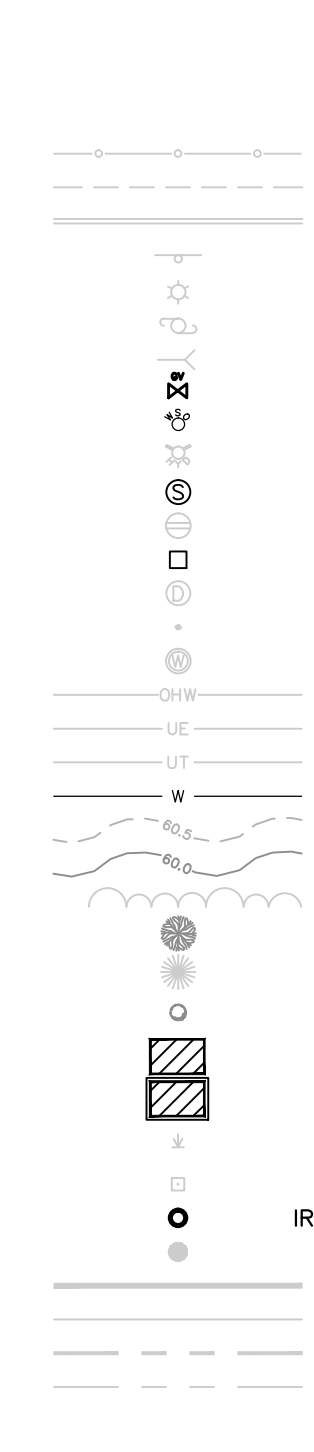
ISSUED FOR	DATE
CITY SUBMISSION	9/24/12
COMMENT RESPONSE	10/23/12
MAINE DEP-MCGP	11/22/12
BUILDING PERMIT	1/10/13

REVISION	REV. DATE

### LEGEND:

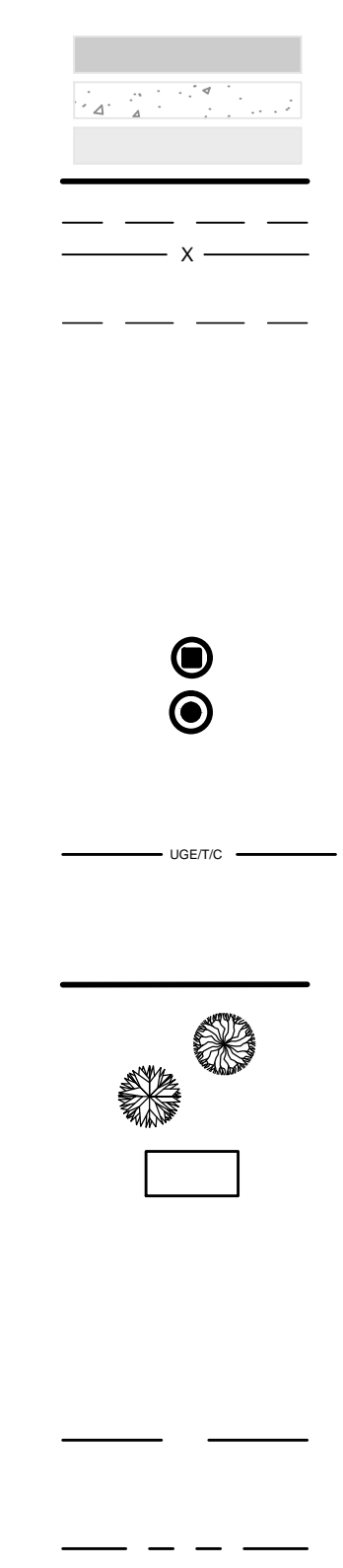
#### EXISTING

REFER TO THE EXISTING CONDITIONS PLAN FOR ADDITIONAL INFORMATION



- HEAVY DUTY PAVEMENT
- STANDARD DUTY PAVEMENT
- STORM DRAIN UNDERDRAIN
- SEDIMENTATION BARRIER
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- CURB
- SIGN
- LAMP OR LIGHT POLE
- UTILITY POLE
- GUY WIRE
- GAS VALVE
- WATER VALVE
- FIRE HYDRANT
- SEWER MANHOLE
- CATCH BASIN (ROUND)
- CATCH BASIN (SQUARE)
- DRAIN MANHOLE
- BOLLARD
- WELL
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND WATER LINE
- CONTOURS (0.5FT)
- CONTOURS (1FT)
- TREE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB/BUSH
- EXISTING BUILDING
- EXISTING BUILDING WITH ROOF OVERHANG
- WETLAND
- MONUMENT WITH DRILL HOLE UNLESS OTHERWISE NOTED
- IRON MARKER WITH CAP PLS 2009 UNLESS OTHERWISE NOTED
- IRON MARKER SET WITH CAP "TITCOMB&ASSOC. PLS 1273"
- PROPERTY LINE (LOCUS)
- PROPERTY LINE (ABUTTER)
- RIGHT OF WAY LINE
- EASEMENT LINE
- PAVING SETBACK

#### PROPOSED



### ABBREVIATIONS:

- PARTIAL LIST OF ABBREVIATIONS AND THERE CORRESPONDING MEANING. PLEASE CONTACT THE ENGINEER FOR ANY CLARIFICATION:
- EX = EXISTING
  - PROP = PROPOSED
  - PVC = POLYVINYL CHLORIDE
  - SDR = STANDARD DIMENSION RATIO
  - PE = PROFESSIONAL ENGINEER
  - PLS = PROFESSIONAL LAND SURVEYOR
  - TYP = TYPICAL
  - ELEV. = ELEVATION
  - INV. = INVERT
  - H.P. = HORSEPOWER
  - BOT. = BOTTOM
  - MAX. = MAXIMUM
  - CB = CATCH BASIN
  - MH = MANHOLE
  - S = SLOPE
  - L = LENGTH
  - ID = INNER DIMENSION
  - DIA. = DIAMETER
  - IN. = INCH
  - FT. = FEET
  - PSI = POUNDS PER SQUARE INCH
  - OHE/T/C = OVERHEAD ELECTRIC/TELEPHONE/CABLE
  - RD= ROOF DRAIN
  - UD = UNDERDRAIN
  - PERF. SD = PERFORATED STORMDRAIN

### UTILITIES

#### SEWER:

PUBLIC SERVICES ENGINEERING DEPARTMENT  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
CONTACT: DAVID MARGOLIS-PINEO, P.E.  
(207) 874-8850

#### WATER:

PORTLAND WATER DISTRICT  
225 DOUGLAS STREET  
PO BOX 3553  
PORTLAND, MAINE 04104  
ATTN: RICO SPUGNARDI, PE  
(207) 761-8310

#### ELECTRIC:

CENTRAL MAINE POWER COMPANY (CMP)  
162 CANCO ROAD  
PORTLAND, MAINE 04103  
CONTACT: JAMIE COUGH  
(207) 842-2367

#### TELEPHONE:

FAIRPOINT COMMUNICATIONS  
45 FOREST AVE  
PORTLAND MAINE 04101  
SUE SERRETTE  
(207) 797-1842

#### CABLE:

TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(877)546-0962

#### NATURAL GAS:

UNITIL SERVICE CORP  
PO BOX 3586  
PORTLAND, MAINE 04104  
CONTACT: BRIDGET MATHERS  
(207) 541-2536

### INDEX:

- C-01 COVER SHEET, GENERAL NOTES & LEGEND
- EXISTING CONDITIONS PLAN - TITCOMB ASSOCIATES
- C-10 SITE PLAN
- C-20 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C-30 SITE DETAILS
- C-31 DRAINAGE DETAILS
- C-32 UTILITY, LANDSCAPING, EROSION CONTROL DETAILS
- C-33 EROSION CONTROL DETAILS & NOTES

#### GENERAL NOTES:

- THE CONTRACTOR SHALL CALL THE APPROPRIATE UTILITY COMPANIES AND DIG SAFE AT LEAST 4 DAYS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION FOR UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO LOCATE THE UNDERGROUND ELECTRICAL CONNECTION TO THE ABOVE GROUND L.P. TANK ADJACENT TO BUILDING 1. OTHERWISE IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION OF UNDERGROUND UTILITIES AND LOCATE ANY POTENTIAL CONFLICTS WITH THE APPROVED PLANS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF ALL EROSION CONTROL MEASURES SHOWN ON THE PLAN. IF DEEMED NECESSARY BY THE OWNER OR OWNER'S REPRESENTATIVE, ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PREPARE THEIR OWN MATERIAL SCHEDULE BASED ON THE PLANS AND FIELD VERIFICATION BY THE CONTRACTOR. ALL MATERIAL SCHEDULES SHOWN WITHIN THE PLAN SET ARE FOR GENERAL INFORMATION ONLY.
- ALL CONSTRUCTION METHODS, TESTING AND MATERIALS SHALL CONFORM TO THE MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, THE CITY OF PORTLAND AND SERVICING UTILITY REQUIREMENTS, IF ANY. IN CASES WHERE THESE CONFLICT THE MOST STRINGENT SPECIFICATION SHALL APPLY AT NO ADDITIONAL COST TO THE OWNER.
- THE SITE CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS WHICH SHALL RECORD THE ACTUAL LOCATION, DIMENSIONS, ELEVATIONS, MATERIALS OF THEIR WORK, INDICATING THEREON ALL VARIATIONS FROM THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH ONE COMPLETE SET OF REPRODUCIBLE RECORD DRAWINGS STAMPED "AS-BUILT".
- THE CONTRACTOR IS RESPONSIBLE FOR PERFORMANCE OF WORK IN ACCORDANCE WITH THE FEDERAL RAILROAD ADMINISTRATION SAFETY STANDARDS, STATE OF MAINE, AND ST. LAWRENCE AND ATLANTIC RAILROAD COMPANY.
- CONSTANT COORDINATION WILL BE NECESSARY BETWEEN THE CONTRACTOR AND OWNER DURING CONSTRUCTION. SITE FEATURES THAT WILL BE RELOCATED DURING CONSTRUCTION ACTIVITIES WILL INCLUDE BUT NOT LIMITED TO EXISTING SHEDS, TRAILERS, SOLID WASTE RECEPTACLES, AND LUMBER SUPPLIES. FOLLOWING CONSTRUCTION ITEMS THAT WERE RELOCATED SHALL BE PUT BACK IN PLACE.
- THE CONTRACTOR WILL REMAIN SOLELY AND COMPLETELY RESPONSIBLE FOR ENFORCEMENT OF AND COMPLIANCE WITH 1) ALL CONTRACT PLANS AND SPECIFICATIONS AND 2) ALL SITE WORKING CONDITIONS AND SAFETY REQUIREMENTS, DAY AND NIGHT, FOR BOTH PERSONS AND PROPERTY, IN EACH CASE BOTH BY THE CONTRACTOR AND ITS SUBCONTRACTORS. THESE INCLUDE ALL OSHA, NIOSH, U.S. EPA AND ANY OTHER APPLICABLE GOVERNMENTAL REGULATIONS.
- EXISTING CONDITIONS, BOUNDARY SURVEY AND PROPOSED BOUNDARY FROM THE PLAN TITLED "PLAN OF ELDRIDGE LUMBER" BY TITCOMB ASSOCIATES PREPARED FOR ACORN ENGINEERING, INC. DATED OCTOBER 24TH, 2011 REVISED JUNE 8TH, 2012.

#### LAYOUT NOTES:

- MONUMENTS DELINEATING PROPERTY LINES OR RIGHT OF WAYS SHALL NOT BE DISTURBED DURING CONSTRUCTION OPERATIONS. IN THE CASE A MONUMENT IS DISTURBED, AT THE CONTRACTOR'S EXPENSE, THE MONUMENT SHALL BE RESET TO THEIR ORIGINAL LOCATION BY A REGISTERED LAND SURVEYOR.
- ALL DIMENSIONS ON THE FOLLOWING SHEETS TAKE PRECEDENT OVER SCALED DIMENSIONS. EACH DRAWING WITH A BAR SCALE MEANS THAT THE DRAWING/DETAIL HAS BEEN SCALED AS ACCURATELY AS POSSIBLE, AND THE BAR SCALE IS FOR GENERAL REFERENCE ONLY. IF NO BAR SCALE IS PRESENT, THEN THERE IS NO SCALE TO THAT DRAWING/DETAIL. AT NO TIME SHOULD DRAWINGS BE SCALED FROM.
- SIGNAGE, STRIPING AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

#### PERMITTING NOTES

- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF SITE PLAN - LEVEL II PERMIT FROM THE CITY OF PORTLAND.
- THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF A MAINE CONSTRUCTION GENERAL PERMIT FROM THE MAINE DEP.
- THE CONTRACTOR SHALL REVIEW THE ABOVE REFERENCED PERMITS PRIOR TO SUBMITTING A BID FOR THIS PROJECT, AND INCLUDE COSTS AS NECESSARY TO COMPLY WITH THE CONDITIONS OF THESE PERMITS.

#### GRADING AND DRAINAGE NOTES:

- TOPSOIL STRIPPED FROM THE SITE THAT IS SUITABLE FOR REUSE AS LOAM SHALL BE STOCKPILED WITHIN THE PROPOSED LIMIT OF WORK AREA. THE CONTRACTOR SHALL NOT ASSUME THAT ANY LOAM WILL BE ACCEPTABLE FOR REUSE WITH THEIR ESTIMATE.
- THE CONTRACTOR SHALL ANTICIPATE THAT GROUNDWATER WILL BE ENCOUNTERED DURING CONSTRUCTION AND SHALL INCLUDE SUFFICIENT COSTS WITHIN THEIR BID TO PROVIDE DEWATERING AS NECESSARY; NO SEPARATE PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR DEWATERING.
- THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY EASEMENT OR TEMPORARY CONSTRUCTION RIGHTS AS NECESSARY BY ADJACENT LAND OWNERS. THE CONTRACTOR SHALL NOT DISTURB ANY SOIL BEYOND THE PROPERTY LINE WITHOUT NOTIFYING AND OBTAINING SUCH EASEMENT OR TEMPORARY CONSTRUCTION RIGHT FROM THE OWNER.
- THE CONTRACTOR SHALL PROVIDE A FINISH PAVEMENT SURFACE FREE OF LOW SPOTS AND PONDING AREAS. THE MINIMUM SLOPE SHALL MEET OR EXCEED 0.5% IN ALL CASES. ALL SLOPES SHALL BE AWAY FROM BUILDINGS AND TOP OF PAVEMENT SHALL BE AT OR BELOW EXISTING FINISH FLOOR ELEVATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL GEOTECHNICAL INVESTIGATION REPORT BY SOIL METRICS, LLC.
- IF THE CONTRACTOR DURING GRADING ACTIVITIES UNCOVERS AN ARCHEOLOGICAL RESOURCE THE CONTRACTOR SHALL STOP EXCAVATION ADJACENT TO THE RESOURCE AND CONTACT THE OWNER IMMEDIATELY. THE OWNER SHALL CONTACT THE CITY HISTORIC PRESERVATION PROGRAM AND MAINE HISTORIC PRESERVATION COMMISSION. THE OWNER SHALL THEN CONTACT THE ENGINEER TO MODIFY THE LAYOUT OF THE AFFECTED INFRASTRUCTURE.

#### EROSION CONTROL NOTES:

- ALL ROUTINE MAINTENANCE ACTIVITIES SHALL BE CONDUCTED IN SUCH A WAY TO LIMIT THE AMOUNT OF DISTURBED AREA AT ONE TIME TO THE EXTENT PRACTICABLE.
- PRIOR TO THE START OF ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL APPLICABLE EROSION CONTROL DEVICES SUCH AS PERIMETER SILT FENCE, AND OTHER APPLICABLE MEASURES. IN THE EVENT THE CONTRACTOR IS NOT SURE A EROSION CONTROL MEASURE SHOULD BE IMPLEMENTED, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD TO CONFIRM IMPLEMENTATION OF ANY EROSION CONTROL DEVICES.
- ALL GROUND AREAS GRADED FOR CONSTRUCTION SHALL BE GRADED, LOAMED, SEEDED AND MULCH SHALL BE APPLIED AS SOON AS POSSIBLE WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY SOIL DISTURBANCE, AND PRIOR TO ANY STORM EVENT.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED TO THE SATISFACTION OF THE CITY. THE CONTRACTOR SHALL REFERENCE THE APPROVED EROSION AND SEDIMENTATION CONTROL REPORT FOR TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROL DEVICES IN ADDITION TO THE PLAN SET. THE CONTRACTOR SHALL ALSO REFER TO THE MAINE D.E.P.'S PERMIT CONDITIONS, FINDINGS OF FACT AND ORDER (IF ANY), AND THE CURRENT MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL FOR ADDITIONAL INFORMATION.

#### UTILITY NOTES:

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED UPON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO TEST PIT TO DETERMINE THE EXACT LOCATION AND ELEVATION OF UTILITIES TO COORDINATE WITH THE PROPOSED CONNECTIONS OR CROSSING. ANY DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR FURTHER DIRECTIONS BEFORE ANY ADDITIONAL WORK PROCEEDS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- DO NOT SCALE THESE DRAWINGS. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, SPECIFICATIONS, AND THE FIELD CONDITION SHALL BE IMMEDIATELY REPORTED TO THE CIVIL ENGINEER FOR FURTHER DIRECTIONS BEFORE ANY ADDITIONAL WORK PROCEEDS.

#### DEMOLITION NOTES:

- THE EXISTING ASPHALT SHOULD BE STRIPPED AND EITHER PROCESSED ONSITE, REMOVED FROM THE SITE OR DISPOSED OF ONSITE.
- TWO LAYERS OF PAVEMENT MAY BE PRESENT BENEATH THE EXISTING PAVED AREAS. THE CONTRACTOR SHALL REMOVE BOTH LAYERS AT NO ADDITIONAL COST TO THE OWNER. THE PAVEMENT MAY BE RECLAIMED AND USED FOR THE PROPOSED PAVEMENT BASE MATERIAL. RECLAIMED MATERIAL SHALL MEET MAINE DOT SECTION 306.
- REFER TO THE GEOTECHNICAL INVESTIGATION REPORT BY SOIL METRICS, LLC FOR BORING LOG INFORMATION.
- ALL DISPOSAL OF DEMOLITION DEBRIS OR WASTE SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS. CONTRACTORS SHALL PROVIDE OWNER WITH APPROPRIATE "BILLS OF LADING" DEMONSTRATING PROPER DISPOSAL OF ALL MATERIALS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FINAL MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION VOLUNTARY RESPONSE ACTION PROGRAM DEVELOPED BY ACADIA ENVIRONMENTAL TECHNOLOGY. PRESENTLY THE PROJECT DOES NOT PROPOSE TO REMOVE ANY MATERIAL OFFSITE.

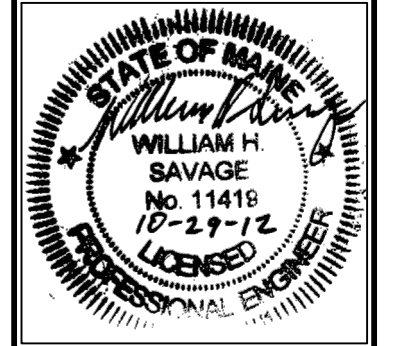
**CALL BEFORE YOU DIG**  
**1-888-DIG-SAFE**  
**1-888-344-7233**

PERMIT DRAWINGS

DRAWING NAME: COVER SHEET  
PROJECT NAME: 165 PRESUMPCOT STREET  
CLIENT: ELDRIDGE LUMBER & HARDWARE, INC.  
165 PRESUMPCOT STREET, PORTLAND, MAINE 04103

**ACORN ENGINEERING, INC.**  
REGISTERED PROFESSIONAL ENGINEER  
P.O. BOX 3372 PORTLAND, MAINE 04104  
(207) 775-2655

FILE: 1038 COVER  
DATE: 8/8/12  
JN: 1038  
SCALE: NTS  
DESIGN BY: WHS  
DRAWN BY: WHS  
CHECKED BY: HPS



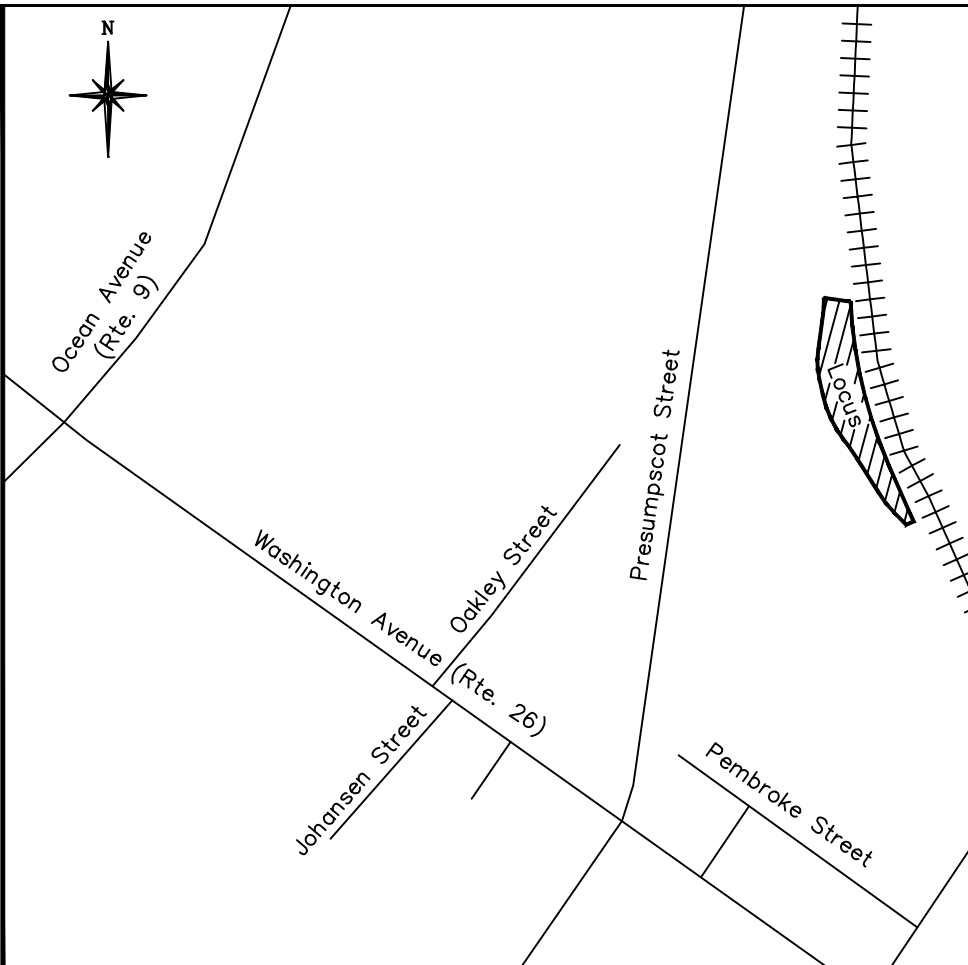
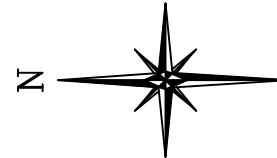
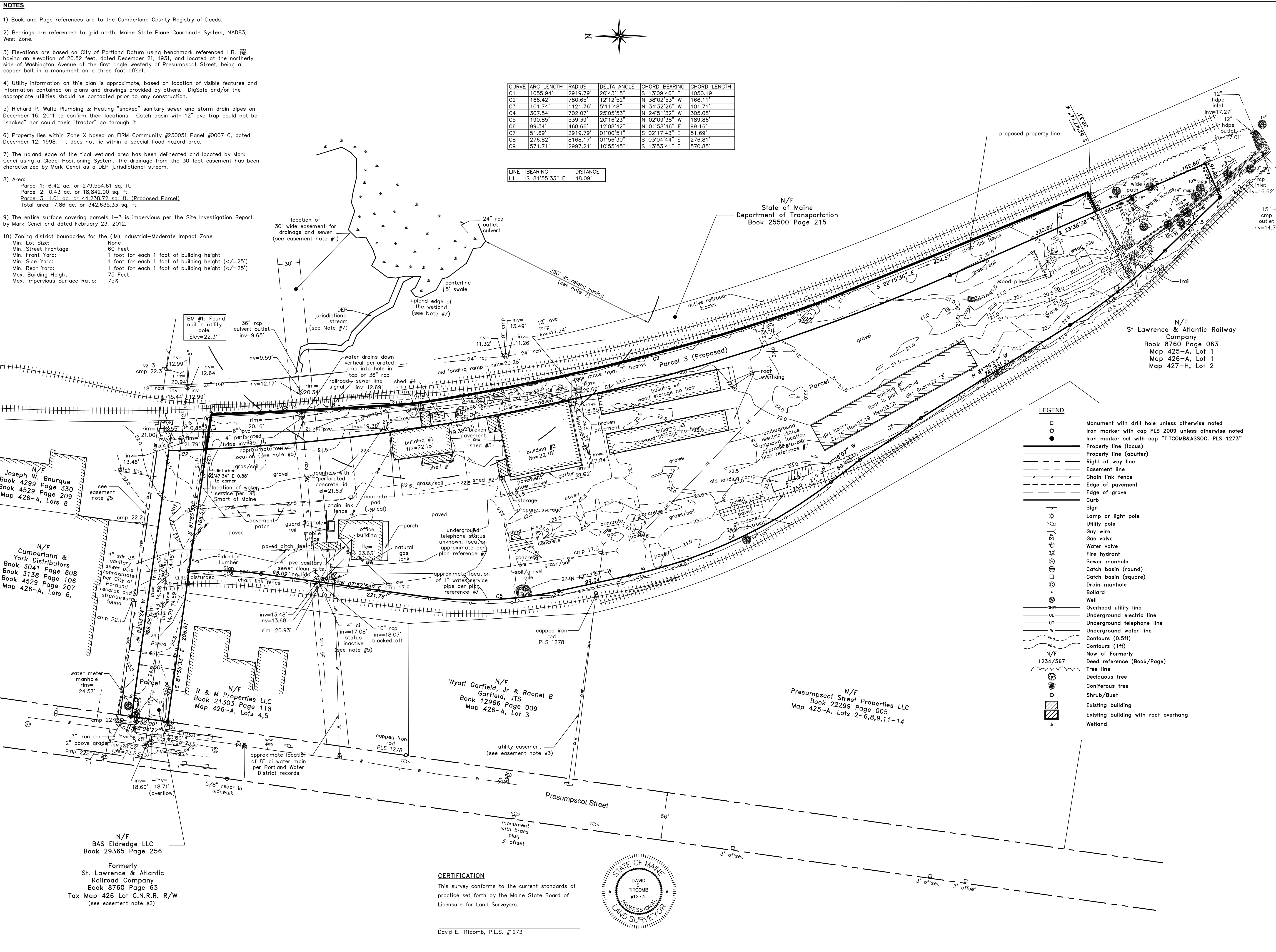
DRAWING NO.  
**C-01**

**NOTES**

- 1) Book and Page references are to the Cumberland County Registry of Deeds.
- 2) Bearings are referenced to grid north, Maine State Plane Coordinate System, NAD83, West Zone.
- 3) Elevations are based on City of Portland Datum using benchmark referenced L.B. 122, having an elevation of 20.52 feet, dated December 21, 1931, and located at the northerly side of Washington Avenue at the first angle westerly of Presumpscot Street, being a copper bolt in a monument on a three foot offset.
- 4) Utility information on this plan is approximate, based on location of visible features and information contained on plans and drawings provided by others. DigSafe and/or the appropriate utilities should be contacted prior to any construction.
- 5) Richard P. Waltz Plumbing & Heating "snaked" sanitary sewer and storm drain pipes on December 16, 2011 to confirm their locations. Catch basin with 12" pvc trap could not be "snaked" nor could their "tractor" go through it.
- 6) Property lies within Zone X based on FIRM Community #230051 Panel #0007 C, dated December 12, 1998. It does not lie within a special flood hazard area.
- 7) The upland edge of the tidal wetland area has been delineated and located by Mark Cenci using a Global Positioning System. The drainage from the 30 foot easement has been characterized by Mark Cenci as a DEP jurisdictional stream.
- 8) Area:  
 Parcel 1: 6.42 ac. or 279,554.61 sq. ft.  
 Parcel 2: 0.43 ac. or 18,842.00 sq. ft.  
 Parcel 3: 1.01 ac. or 44,238.72 sq. ft. (Proposed Parcel)  
 Total area: 7.86 ac. or 342,635.33 sq. ft.
- 9) The entire surface covering parcels 1-3 is impervious per the Site Investigation Report by Mark Cenci and dated February 23, 2012.
- 10) Zoning district boundaries for the (M) Industrial-Moderate Impact Zone:  
 Min. Lot Size: None  
 Min. Street Frontage: 60 Feet  
 Min. Front Yard: 1 foot for each 1 foot of building height  
 Min. Side Yard: 1 foot for each 1 foot of building height (<math>\leq 25'</math>)  
 Min. Rear Yard: 1 foot for each 1 foot of building height (<math>\leq 25'</math>)  
 Max. Building Height: 75 Feet  
 Max. Impervious Surface Ratio: 75%

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	1055.94'	2919.79'	20°43'15"	S 13°09'46" E	1050.19'
C2	166.42'	780.65'	12°12'52"	N 38°02'53" W	166.11'
C3	101.74'	1121.76'	5°11'48"	N 34°32'28" W	101.71'
C4	307.54'	702.07'	23°05'53"	N 24°51'32" W	305.08'
C5	190.85'	539.39'	20°18'23"	N 02°09'38" W	189.86'
C6	99.34'	468.66'	12°08'42"	N 01°58'46" E	99.16'
C7	51.69'	2919.79'	01°00'51"	S 02°17'43" E	51.69'
C8	276.82'	8168.17'	01°56'30"	S 03°04'44" E	276.81'
C9	571.71'	2997.21'	10°55'45"	S 13°53'41" E	570.85'

LINE	BEARING	DISTANCE
L1	S 81°55'33" E	48.09'



VICINITY MAP  
No Scale

**PLAN REFERENCES**

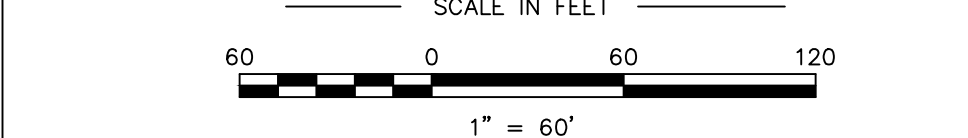
- 1) Plan entitled "Boundary & Existing Conditions Plan of Massachusetts Lumber Company, Inc.," prepared by Sebago Technics for TD Bank, dated June 30, 2010.
- 2) Plan entitled "Boundary Line Agreement Survey on Presumpscot Street in Portland," prepared by Northeast Civil Solutions, dated revised February 19, 2002.
- 3) Plan entitled "Deering Storage Yard." Preparer is illegible on plan, undated.
- 4) Plan entitled "Plan of Property in Portland, Maine, made for Richardson, Dana & Company," prepared by H. I. & E. C. Jordan, dated revised March 8, 1978. Recorded in Plan Book 122, Page 15.
- 5) Plan entitled "Land Title Survey on Presumpscot Street in Portland" prepared by Des Lauriers & Associates, Inc., dated October 13, 2000.
- 6) Plan entitled "Plan of Property in Portland, Maine, made for Cumberland & York Distributors," prepared by H. I. & E. C. Jordan, dated May 12, 1970. Recorded in Plan Book 83, Page 30.
- 7) Plan entitled "Topographic Plan, for Richardson, Dana, & Co." Prepared by Wells Engineering Inc., dated July 17, 1984.

**EASEMENTS OF RECORD**

- 1) 30' wide easement for drainage and sewer conveyed to the City of Portland, Maine, Department of Public Works, dated May 11, 1979, per plan reference #1. See Deed Book 4365, Page 66 recorded on January 5, 1979.
- 2) The Canadian National Railway Company conveyed to M. L. Properties, Inc. the "...right to use in common with the Grantor [Canadian National Railway Company] and others..." a 66' road from Presumpscot Street over land owned now or formerly by Canadian National Railway Company. See Deed Book 4365, Page 66 recorded on January 5, 1979. On September 12, 1978, the Canadian National Railway Company conveyed a portion of land to Joseph W. Bourque that included 16' of the northerly side of the 66' right of way (See Deed Book 4299, Page 330).
- 3) Utility easement conveyed to Central Maine Power Company and New England Telephone and Telegraph Company by Arthur Hahn Company Inc. and Canadian National Railway. Located over land owned now or formerly by Arthur Hahn Company Inc. and Canadian National Railway Company from Presumpscot Street. See Deed Book 3152, Page 757 recorded on October 13, 1970.
- 4) Locus property is "...subject to any and all present easements and agreements entered into between the Grantor [Canadian National Railway Company] or its predecessors in title, with any third persons, affecting in any way the use of the premises and also subject to such water lines and other utilities, including but not limited to, hydrants that may be on the above described premises for the use and benefit of the parties hereto and adjoining land owners..." See Deed Book 4365, Page 66 dated May 25, 1978.
- 5) Utility easement granted to Central Maine Power Company and New England Telephone and Telegraph Company per Deed Book 11105, Page 97 and dated September 22, 1993, beginning at pole 22.2 and extending to pole 22.3, and further over other properties. The location of the poles appear to not be completely on land formerly of St. Lawrence and Atlantic Railroad Company.

**LEGEND**

- Monument with drill hole unless otherwise noted
- Iron marker with cap PLS 2009 unless otherwise noted
- Iron marker set with cap "TITCOMB&ASSOC. PLS 1273"
- Property line (locus)
- Property line (adulter)
- Right of way line
- Easement line
- Chain link fence
- Edge of pavement
- Edge of gravel
- Curb
- Sign
- Lamp or light pole
- Utility pole
- Guy wire
- Gas valve
- Water valve
- Fire hydrant
- Sewer manhole
- Catch basin (round)
- Catch basin (square)
- Drain manhole
- Bollard
- Well
- Overhead utility line
- Underground electric line
- Underground telephone line
- Underground water line
- Contours (0.5ft)
- Contours (1ft)
- Now of Formerly
- Deed reference (Book/Page)
- Tree line
- Deciduous tree
- Coniferous tree
- Shrub/Bush
- ▨ Existing building
- ▨ Existing building with roof overhang
- ▨ Wetland



**OWNERS OF RECORD**  
 BAS Eldredge LLC  
 627 U.S. Route One  
 York, Maine 03909  
 Book 28021, Page 318

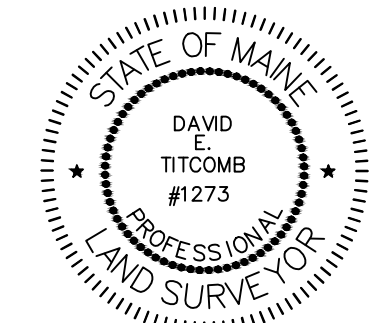
Rev. 2	06/08/2012	notes & proposed lot edits	TOB
Rev. 1	04/23/2012	shoreland zoning & proposed lot	TOB

**PLAN OF**  
**Eldredge Lumber**  
 165 Presumpscot Street  
 Portland, Maine

MADE FOR  
**Acorn Engineering, Inc.**  
 P.O. Box 3372  
 Portland, Maine

JOB #211044	DATE: October 24, 2011	SCALE: 1" = 60'
BOOK #868	Titcomb Associates 133 Gray Road Falmouth, Maine 04105 (207)797-9199	
DWG #211044		
FILE #9517		

**CERTIFICATION**  
 This survey conforms to the current standards of practice set forth by the Maine State Board of Licensure for Land Surveyors.



David E. Titcomb, P.L.S., #1273

N/F Joseph W. Bourque  
 Book 4299 Page 330  
 Book 4529 Page 209  
 Map 426-A, Lots 8

N/F Cumberland & York Distributors  
 Book 3041 Page 808  
 Book 3138 Page 106  
 Book 4529 Page 207  
 Map 426-A, Lots 6,

N/F R & M Properties LLC  
 Book 21303 Page 118  
 Map 426-A, Lots 4,5

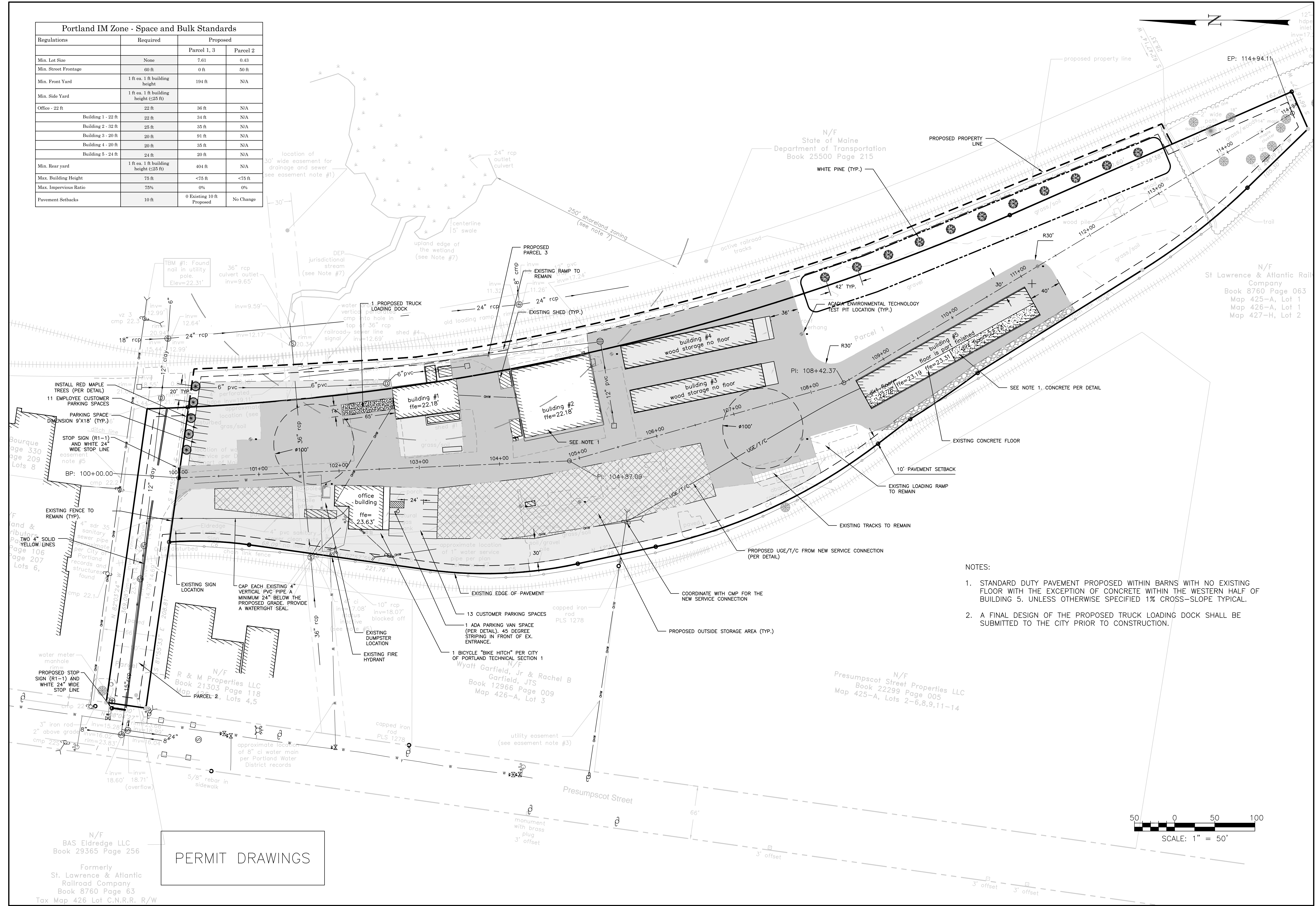
N/F Wyatt Garfield, Jr & Rachel B Garfield, JTS  
 Book 12966 Page 009  
 Map 426-A, Lot 3

N/F Presumpscot Street Properties LLC  
 Book 22299 Page 005  
 Map 425-A, Lots 2-6,8,9,11-14

N/F BAS Eldredge LLC  
 Book 29365 Page 256

Formerly  
 St. Lawrence & Atlantic  
 Railroad Company  
 Book 8760 Page 63  
 Tax Map 426 Lot C.N.R.R. R/W  
 (see easement note #2)

Portland IM Zone - Space and Bulk Standards			
Regulations	Required	Proposed	
		Parcel 1, 3	Parcel 2
Min. Lot Size	None	7.61	0.43
Min. Street Frontage	60 ft	0 ft	50 ft
Min. Front Yard	1 ft ea. 1 ft building height	194 ft	N/A
Min. Side Yard	1 ft ea. 1 ft building height (<25 ft)		
Office - 22 ft	22 ft	36 ft	N/A
Building 1 - 22 ft	22 ft	34 ft	N/A
Building 2 - 32 ft	25 ft	35 ft	N/A
Building 3 - 20 ft	20 ft	91 ft	N/A
Building 4 - 20 ft	20 ft	35 ft	N/A
Building 5 - 24 ft	24 ft	20 ft	N/A
Min. Rear yard	1 ft ea. 1 ft building height (<25 ft)	404 ft	N/A
Max. Building Height	75 ft	<75 ft	<75 ft
Max. Impervious Ratio	75%	0%	0%
Pavement Setbacks	10 ft	0 Existing 10 ft Proposed	No Change



- NOTES:
- STANDARD DUTY PAVEMENT PROPOSED WITHIN BARN WITH NO EXISTING FLOOR WITH THE EXCEPTION OF CONCRETE WITHIN THE WESTERN HALF OF BUILDING 5. UNLESS OTHERWISE SPECIFIED 1% CROSS-SLOPE TYPICAL.
  - A FINAL DESIGN OF THE PROPOSED TRUCK LOADING DOCK SHALL BE SUBMITTED TO THE CITY PRIOR TO CONSTRUCTION.

ISSUED FOR	DATE
CITY SUBMISSION	9/24/12
COMMENT RESPONSE	10/23/12
MAINE DEP-MCGP	11/27/12
BUILDING PERMIT	1/10/13

REVISION	REV. DATE

DRAWING NAME: **SITE PLAN**

PROJECT NAME: **165 PRESUMPCOT STREET**

CLIENT: **ELDRIDGE LUMBER & HARDWARE, INC.**

165 PRESUMPCOT STREET, PORTLAND, MAINE 04103

ACORN ENGINEERING, INC.

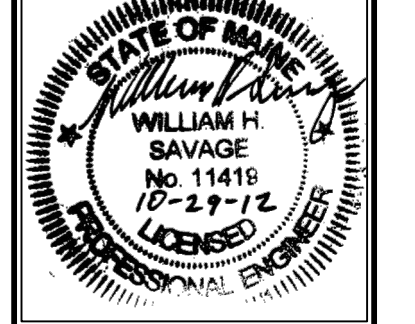
165 PRESUMPCOT STREET, PORTLAND, MAINE 04104

P.O. BOX 3372 PORTLAND, MAINE 04104

(207) 775-2655

REGISTERED PROFESSIONAL ENGINEER

FILE: CIVIL DRAWINGS
DATE: 8/8/12
JN: 1038
SCALE: 1"=50'
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DRAWN BY: WHS
CHECKED BY: HPS

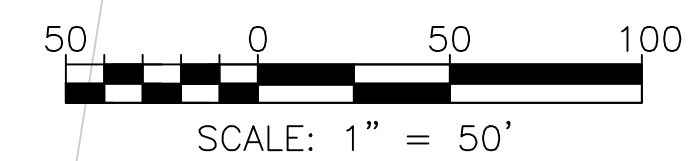


DRAWING NO. **C-10**

PERMIT DRAWINGS

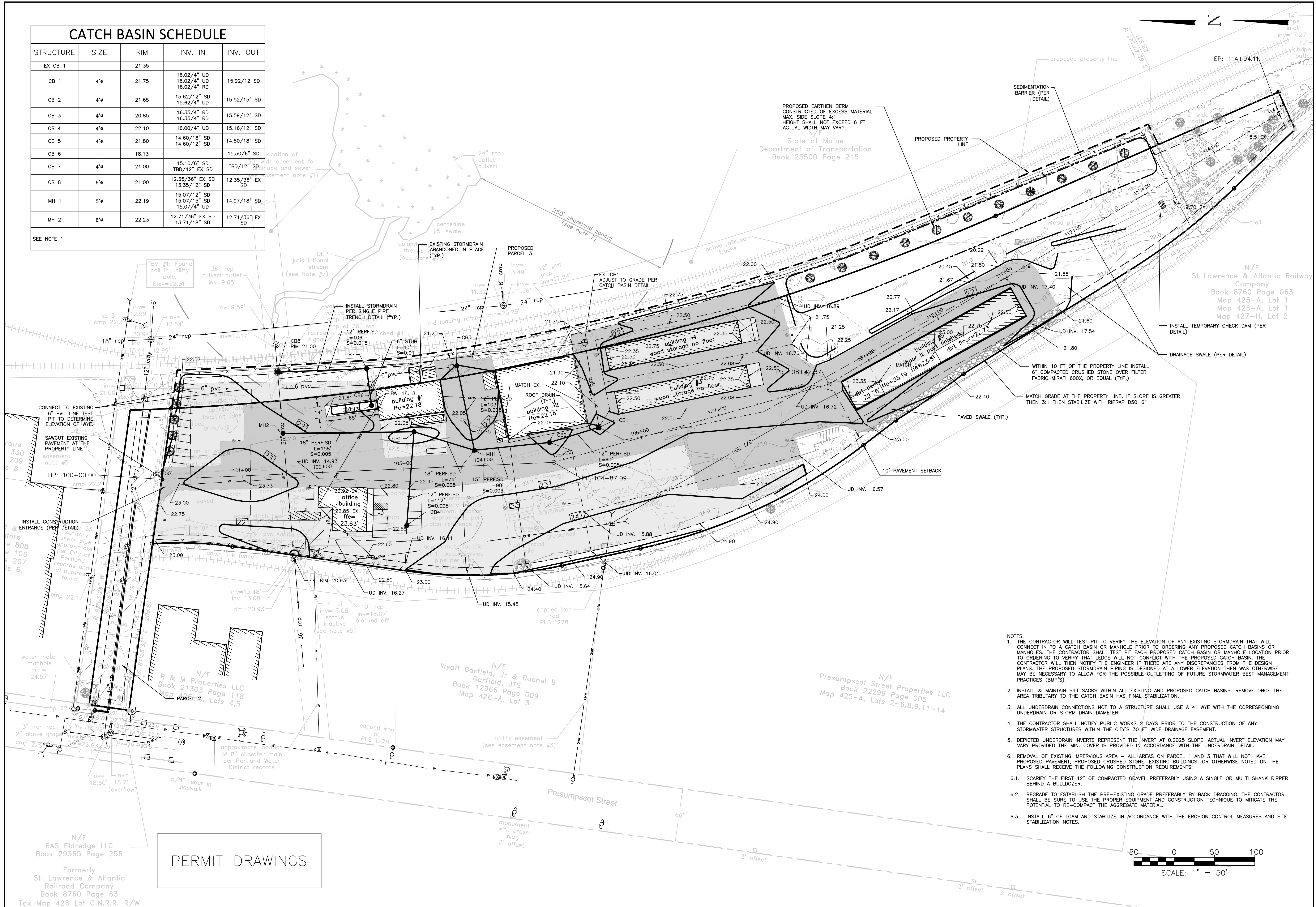
N/F  
BAS Eldredge LLC  
Book 29365 Page 256

Formerly  
St. Lawrence & Atlantic  
Railroad Company  
Book 8760 Page 63  
Tax Map 426 Lot C.N.R.R. R/W



CATCH BASIN SCHEDULE				
STRUCTURE	SIZE	RIM	INV. IN	INV. OUT
EX CB 1	--	21.35	--	--
CB 1	4'	21.75	16.02/4" UD 16.02/4" UD 16.02/4" RD	15.92/12 SD
CB 2	4'	21.65	15.62/12" SD 15.62/4" UD	15.52/15" SD
CB 3	4'	20.85	16.35/4" RD 16.35/4" RD	15.59/12" SD
CB 4	4'	22.10	16.00/4" UD	15.16/12" SD
CB 5	4'	21.80	14.60/18" SD 14.60/12" SD	14.50/18" SD
CB 6	--	18.13	--	15.50/6" SD
CB 7	4'	21.00	15.10/6" SD TBD/12" EX SD	TBD/12" SD
CB 8	6'	21.00	12.35/36" EX SD 13.35/12" SD	12.35/36" EX SD
MH 1	5'	22.19	15.07/12" SD 15.07/15" SD 15.07/4" UD	14.97/18" SD
MH 2	6'	22.23	12.71/36" EX SD 13.71/18" SD	12.71/36" EX SD

SEE NOTE 1



- NOTES:
1. THE CONTRACTOR WILL TEST PIT TO VERIFY THE ELEVATION OF ANY EXISTING STORMDRAIN THAT WILL CONNECT IN TO A CATCH BASIN OR MANHOLE PRIOR TO ORDERING ANY PROPOSED CATCH BASINS OR MANHOLES. THE CONTRACTOR SHALL TEST PIT EACH PROPOSED CATCH BASIN OR MANHOLE LOCATION PRIOR TO ORDERING TO VERIFY THAT LEDGE WILL NOT CONFLICT WITH THE PROPOSED CATCH BASIN. THE CONTRACTOR WILL THEN NOTIFY THE ENGINEER IF THERE ARE ANY DISCREPANCIES FROM THE DESIGN PLANS. THE PROPOSED STORMDRAIN PIPING IS DESIGNED AT A LOWER ELEVATION THEN WAS OTHERWISE MAY BE NECESSARY TO ALLOW FOR THE POSSIBLE OUTLETING OF FUTURE STORMWATER BEST MANAGEMENT PRACTICES (BMP'S).
  2. INSTALL & MAINTAIN SILT SACKS WITHIN ALL EXISTING AND PROPOSED CATCH BASINS. REMOVE ONCE THE AREA TRIBUTARY TO THE CATCH BASIN HAS FINAL STABILIZATION.
  3. ALL UNDERDRAIN CONNECTIONS NOT TO A STRUCTURE SHALL USE A 4" WYE WITH THE CORRESPONDING UNDERDRAIN OR STORM DRAIN DIAMETER.
  4. THE CONTRACTOR SHALL NOTIFY PUBLIC WORKS 2 DAYS PRIOR TO THE CONSTRUCTION OF ANY STORMWATER STRUCTURES WITHIN THE CITY'S 30 FT WIDE DRAINAGE EASEMENT.
  5. DEPICTED UNDERDRAIN INVERTS REPRESENT THE INVERT AT 0.0025 SLOPE. ACTUAL INVERT ELEVATION MAY VARY PROVIDED THE MIN. COVER IS PROVIDED IN ACCORDANCE WITH THE UNDERDRAIN DETAIL.
  6. REMOVAL OF EXISTING IMPERVIOUS AREA - ALL AREAS ON PARCEL 1 AND 3 THAT WILL NOT HAVE PROPOSED PAVEMENT, PROPOSED CRUSHED STONE, EXISTING BUILDINGS, OR OTHERWISE NOTED ON THE PLANS SHALL RECEIVE THE FOLLOWING CONSTRUCTION REQUIREMENTS:
    - 6.1. SCARIFY THE FIRST 12" OF COMPACTED GRAVEL PREFERABLY USING A SINGLE OR MULTI SHANK RIPPER BEHIND A BULLDOZER.
    - 6.2. REGRADE TO ESTABLISH THE PRE-EXISTING GRADE PREFERABLY BY BACK DRAGGING. THE CONTRACTOR SHALL BE SURE TO USE THE PROPER EQUIPMENT AND CONSTRUCTION TECHNIQUE TO MITIGATE THE POTENTIAL TO RE-COMPACT THE AGGREGATE MATERIAL.
    - 6.3. INSTALL 6" OF LOAM AND STABILIZE IN ACCORDANCE WITH THE EROSION CONTROL MEASURES AND SITE STABILIZATION NOTES.



PERMIT DRAWINGS

N/F  
BAS Eldredge LLC  
Book 29365 Page 256  
Formerly  
St. Lawrence & Atlantic  
Railroad Company  
Book 8760 Page 63  
Tax Map 426 Lot C.N.R.R. R/W

N/F  
R & M Properties LLC  
Book 21303 Page 118  
Map 426-A, Lots 4,5

N/F  
Wyatt Garfield, Jr & Rachel B  
Garfield, JTS  
Book 12966 Page 009  
Map 426-A, Lot 3

N/F  
Presumpscot Street Properties LLC  
Book 22299 Page 005  
Map 425-A, Lots 2-6,8,9,11-14

ISSUED FOR	DATE
CITY SUBMISSION	9/24/12
COMMENT RESPONSE	10/29/12
MAINE DEP-MCGP	11/27/12
BUILDING PERMIT	1/10/13

REVISION	REV. DATE

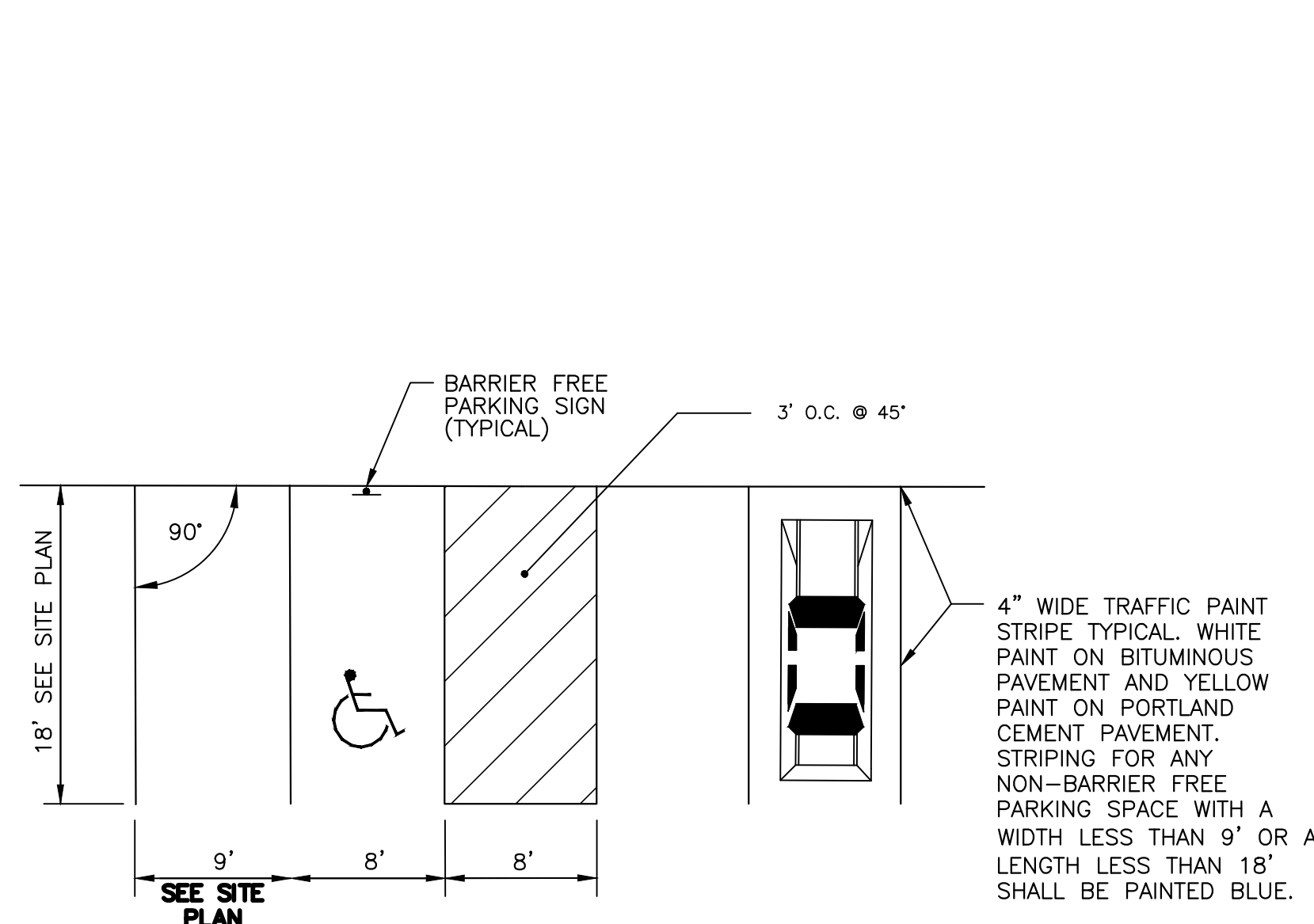
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 PROJECT NAME: **165 PRESUMPSCOT STREET**  
 CLIENT: **ELDRIDGE LUMBER & HARDWARE, INC.**  
 165 PRESUMPSCOT STREET, PORTLAND, MAINE 04103

**A C O R N**  
**ENGINEERING, INC.**  
 3372 PORTLAND, MAINE 04104  
 (207) 779-2655

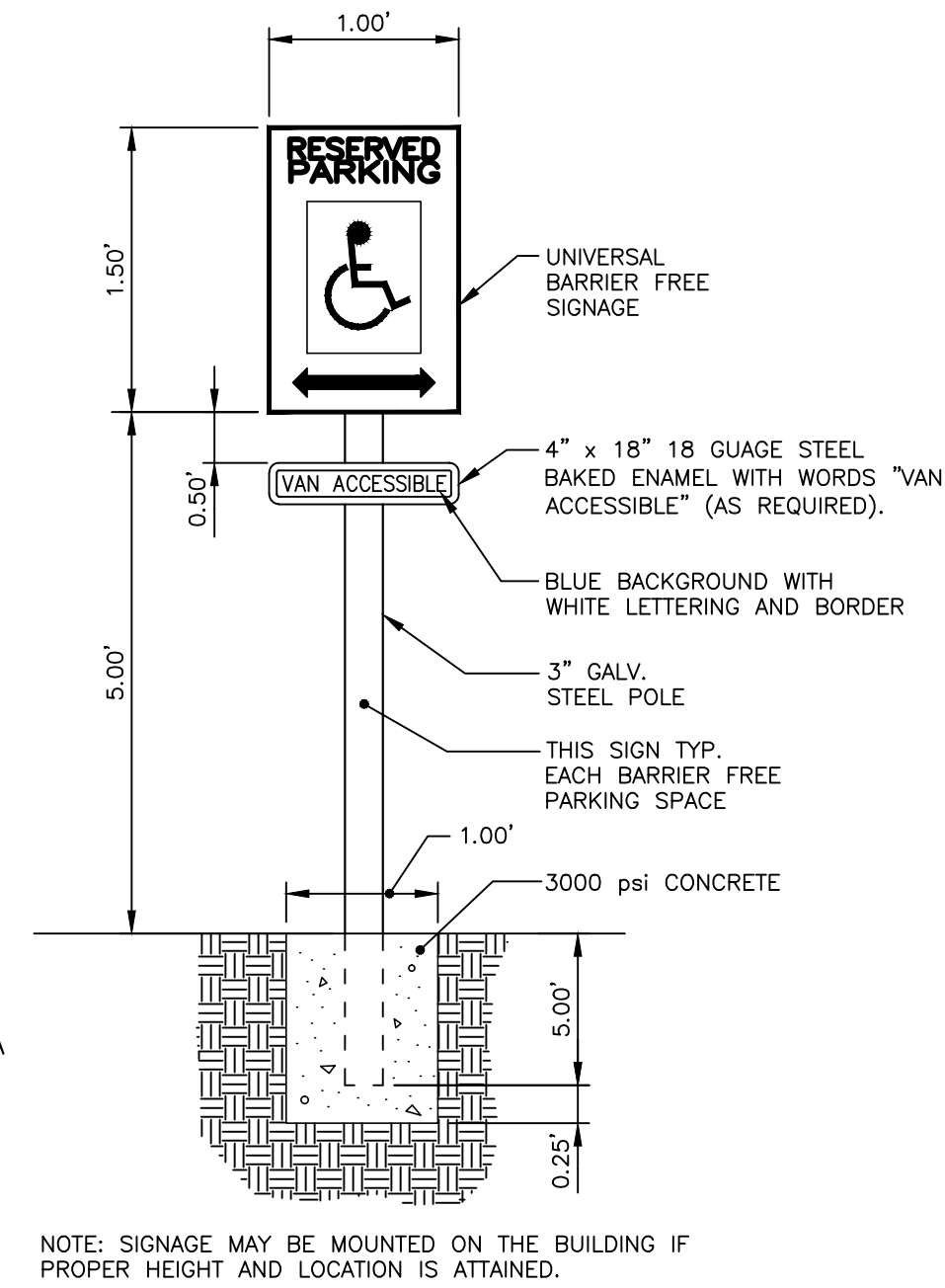
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CHECKED BY: HPS

DRAWING NO.  
**C-20**

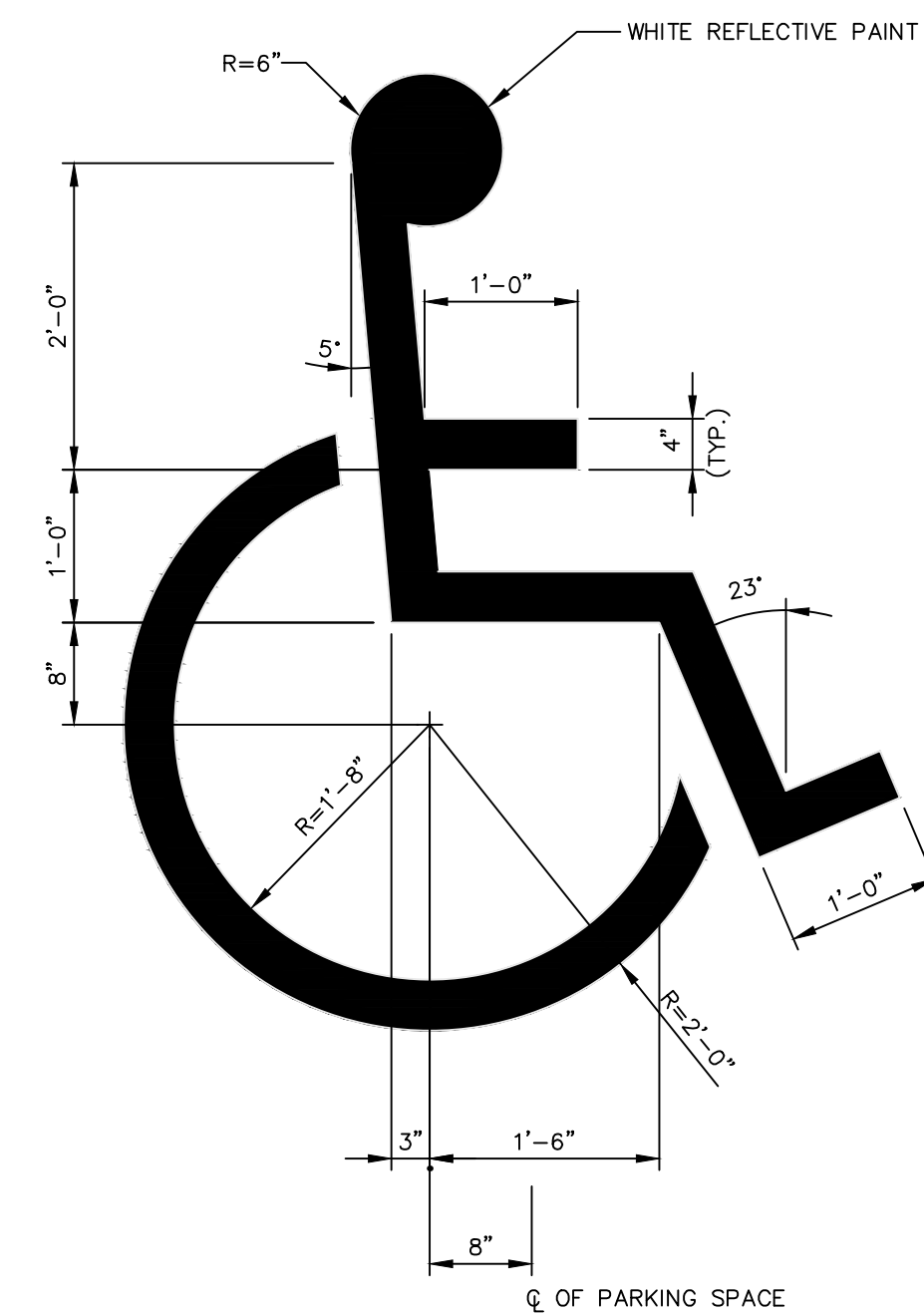
ISSUED FOR	BY
CITY SUBMISSION	WHS
COMMENT RESPONSE	10/29/12
MAINE DEP-MCGP	WHS
BUILDING PERMIT	11/27/12
	WHS
	1/10/13
REVISION	REV. DATE



**PARKING SPACE DIMENSIONS**  
NOT TO SCALE

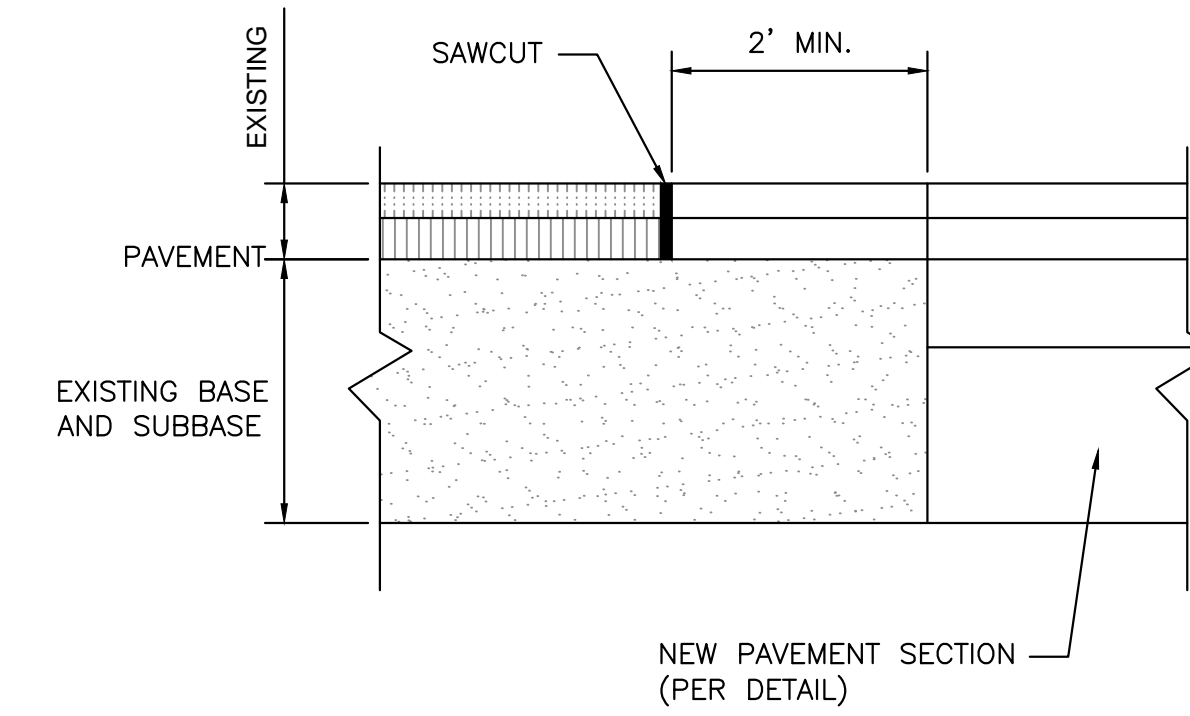


**BARRIER FREE PARKING SIGN**  
NOT TO SCALE



**INTERNATIONAL BARRIER FREE SYMBOL**  
NOT TO SCALE

- NOTES:
1. SAWCUT EXISTING PAVEMENT AND REMOVE 2' STRIP OF EXISTING PAVEMENT. APPLY BITUMINOUS TACK COAT PRIOR TO PLACEMENT OF NEW BITUMINOUS PAVEMENT.
  2. THE NEW PAVEMENT SECTION SHALL MEET THE CITY OF PORTLAND ARTERIAL BITUMINOUS PAVEMENT SECTION DETAIL AT A MINIMUM OR THE THE EXISTING PAVEMENT AND AGGREGATE BASE AND SUBBASE DEPTH WHICHEVER IS GREATER.



**PAVEMENT SAWCUT DETAIL**  
NOT TO SCALE

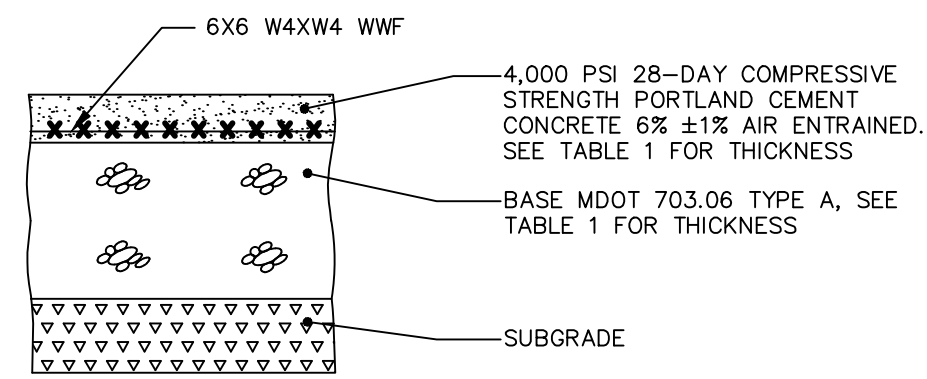
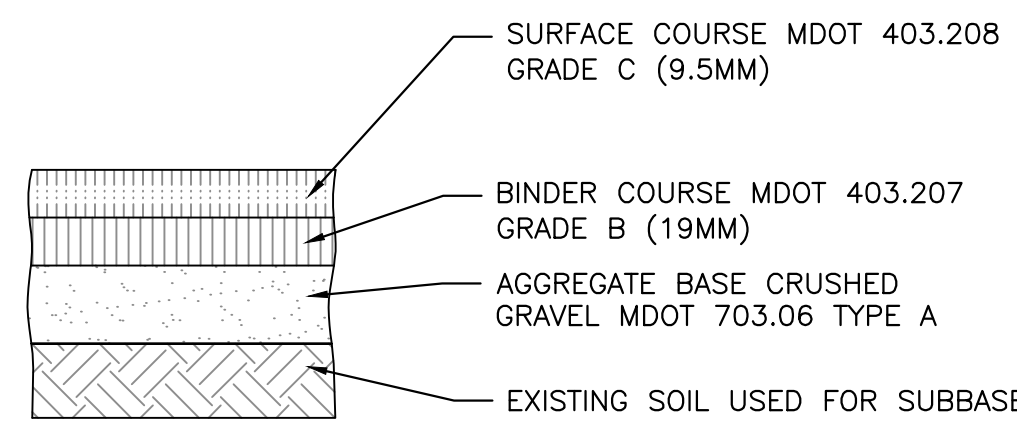


TABLE 1		
DESCRIPTION	SLAB	MDOT 703.06 AGGREGATE TYPE A
STANDARD	5"	8"

- NOTE:
1. COMPACT SUBGRADE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
  2. CONCRETE PAVEMENT SHALL BE UNDERLAIN WITH 12 INCHES OF SUBBASE (MDOT 703.06 TYPE D).
  3. CONCRETE CONTROL JOINTS SHALL BE CONSTRUCTED WITH A ZIP STRIP PLACED AT 10' (MAX.) ON-CENTER.
  4. FINISH WITH A STIFF, COARSE, FIBER BROOM.

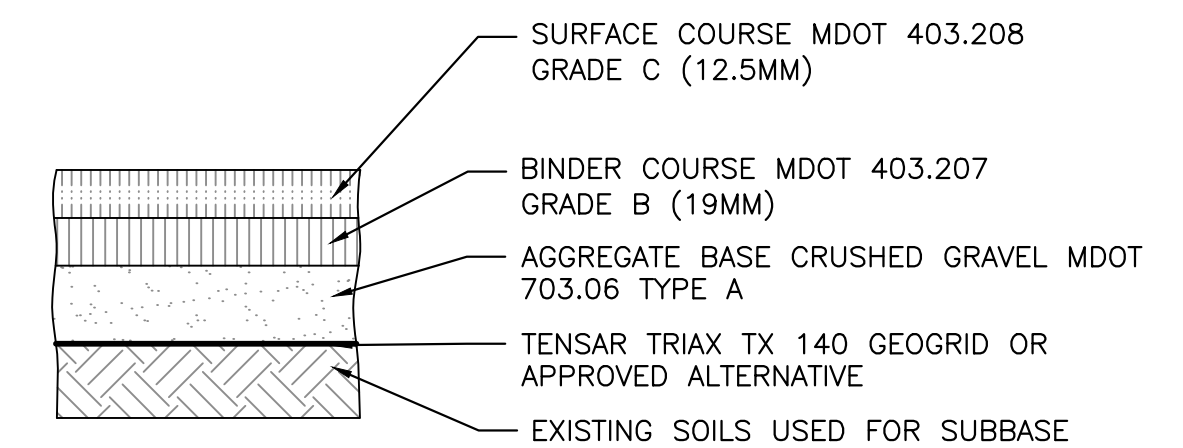
**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



- NOTE:
1. THE EXISTING LAYER(S) OF PAVEMENT SHALL BE REMOVED OR RECLAIMED. THE EXISTING SOILS SHALL BE USED AS THE SUBBASE.
  2. PROOF ROLL AND COMPACT THE SUBBASE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 AFTER THE PAVEMENT DRAINS HAVE BEEN INSTALLED AND ARE FULLY FUNCTIONING. IF PROOF ROLLING IS NOT SUCCESSFUL THEN GEGRID SHALL BE INSTALLED DIRECTLY ON THE SUBBASE SURFACE. THE DECISION TO PLACE GEGRID SHALL BE MADE WITH THE CONCURRENCE OF THE OWNER AND OWNER'S ENGINEER BASED UPON FIELD OBSERVATIONS. GEGRID SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS WITH A MIN. 1 FT OVERLAP. THE CONTRACTOR SHALL SUBMIT A SEPARATE UNIT COST FOR GEGRID.
  3. COMPACT THE AGGREGATE BASE 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557. MINIMUM 2 MODIFIED LABORATORY PROCTOR TEST AND FIELD DENSITY TESTING AT APPROXIMATELY MINIMUM SPACING OF 50 FEET ON CENTER PER LIFT.
  4. PAVING OPERATIONS SHALL BE SUBJECT TO THE MINIMUM REQUIREMENTS OF THE MAINE DOT SECTION 401.19 QUALITY CONTROL METHOD D, UNLESS WAIVED BY THE OWNER.

THICKNESS OF LAYERS	
STANDARD	LAYERS
1-1/4"	SURFACE COURSE MDOT 403.208 GRADE C (12.5mm)
2"	BINDER COURSE MDOT 403.207 GRADE B (19mm)
4"	AGGREGATE BASE CRUSHED GRAVEL MDOT 703.06 TYPE A

**STANDARD DUTY BITUMINOUS PAVEMENT PROFILE**  
NOT TO SCALE



- NOTE:
1. THE EXISTING LAYER(S) OF PAVEMENT SHALL BE REMOVED. THE EXISTING SOILS SHALL BE USED AS THE SUBBASE.
  2. PROOF ROLL THE SUBBASE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557 AFTER THE PAVEMENT DRAINS HAVE BEEN INSTALLED AND ARE FULLY FUNCTIONING. MINIMUM OF 5 MODIFIED PROCTOR TESTS ON EXISTING SUBGRADE MATERIALS, BASED UPON FIELD OBSERVATIONS OF MATERIAL GRADATION. FIELD DENSITY TESTING AT A MINIMUM OF 50 FOOT SPACING.
  3. COMPACT THE AGGREGATE BASE TO 95% MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557.
  4. PLACE GEGRID DIRECTLY ON THE SUBBASE SURFACE, IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS WITH A MINIMUM 1 FT OVERLAP. MINIMUM 2 MODIFIED LABORATORY PROCTOR TEST AND FIELD DENSITY TESTING AT APPROXIMATELY MINIMUM SPACING OF 50 FEET ON CENTER PER LIFT.
  5. PAVING OPERATIONS SHALL BE SUBJECT TO THE MINIMUM REQUIREMENTS OF THE MAINE DOT SECTION 401.19 QUALITY CONTROL METHOD D, UNLESS WAIVED BY THE OWNER.

THICKNESS OF LAYERS	
STANDARD	LAYERS
1-1/2"	SURFACE COURSE MDOT 403.208 GRADE C (12.5mm)
2-1/2"	BINDER COURSE MDOT 403.207 GRADE B (19mm)
6"	AGGREGATE BASE CRUSHED GRAVEL MDOT 703.06 TYPE A

**HEAVY DUTY BITUMINOUS PAVEMENT PROFILE**  
NOT TO SCALE

PERMIT DRAWINGS

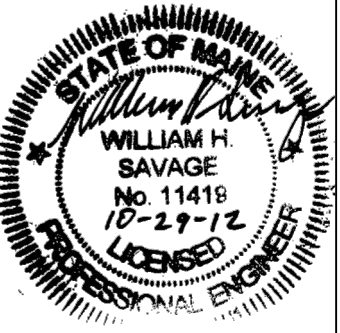
DRAWING NAME: **SITE DETAILS**  
PROJECT NAME: **165 PRESUMPCOT STREET**  
CLIENT: **ELDRIDGE LUMBER & HARDWARE, INC.**  
165 PRESUMPCOT STREET, PORTLAND, MAINE 04103

**A C C O R N**  
**ENGINEERING, INC.**

165 PRESUMPCOT STREET, PORTLAND, MAINE 04104  
P.O. BOX 3372, PORTLAND, MAINE 04104  
(207) 775-8655

REGISTERED PROFESSIONAL ENGINEER  
NO. 11416  
10-29-12

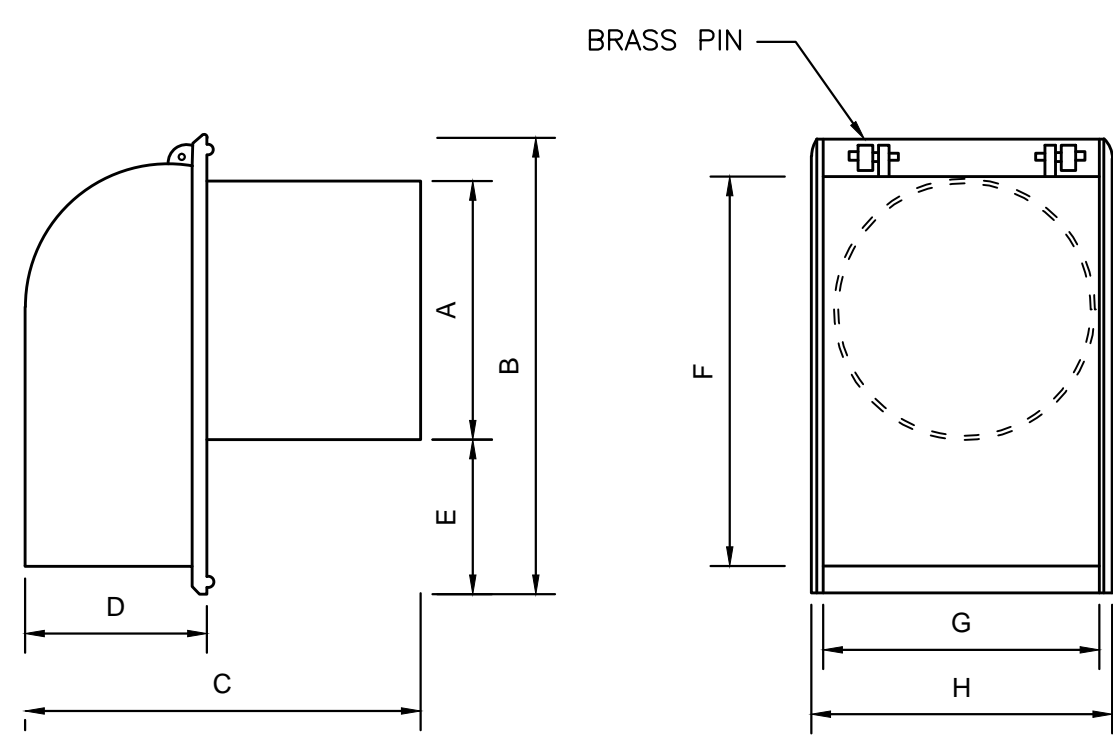
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DATE: 8/8/12  
JN: 1038  
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DRAWING NO.  
**C-30**

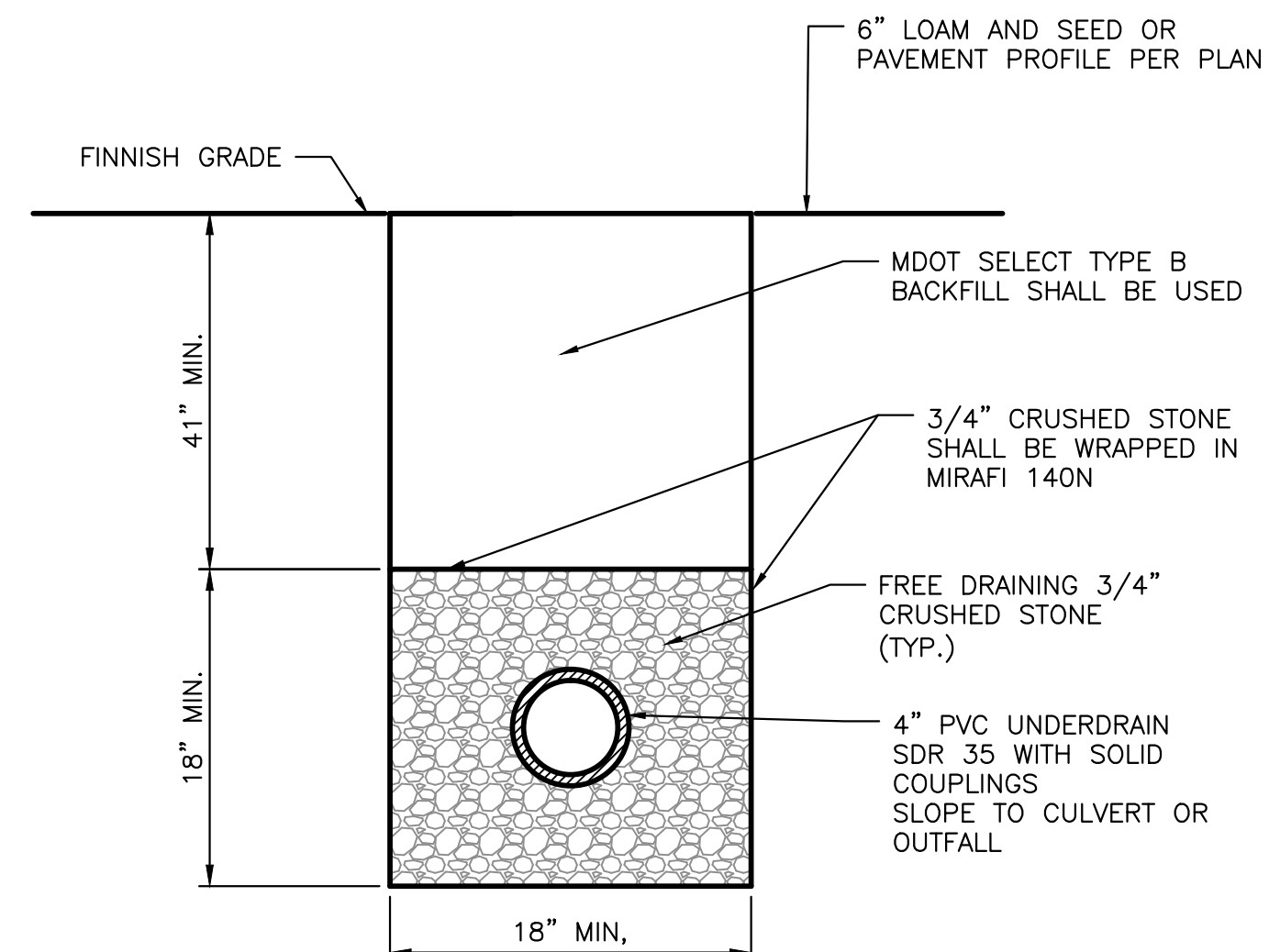
NOTES:

1. INSTALL ETHERIDGE FOUNDRY CASCO TRAP IN ALL CATCH BASINS WITH A 12" OR 15" OUTLET PIPE.
2. THE CASCO TRAP IS AN ETHERIDGE STYLE DESIGNED TO ELIMINATE CEMENTING OF THE TRAP.
3. TO INSTALL, THE CASCO TRAP IS INSERTED INTO THE SEWER PIPE WITH THE HOOD DOWN.



SIZE	A	B	C	D	E	F	G	H
6"	5 1/2	13 3/8	13 3/8	5 3/8	5 7/8	11 5/8	6 1/2	7 1/4
8"	7 1/2	15	15 3/8	5 1/2	5 3/8	13 3/4	8 3/4	9 3/8
10"	9 1/2	16	16 1/4	6	4 1/2	14 1/8	11 1/2	12 3/8
12"	11 1/2	17	22	8	3 1/2	17	12 1/2	13 3/8
15"	14 1/2	21	3/4	22 3/4	10 1/4	7	20 1/2	14 1/4

CASCO TRAP DETAIL  
NOT TO SCALE

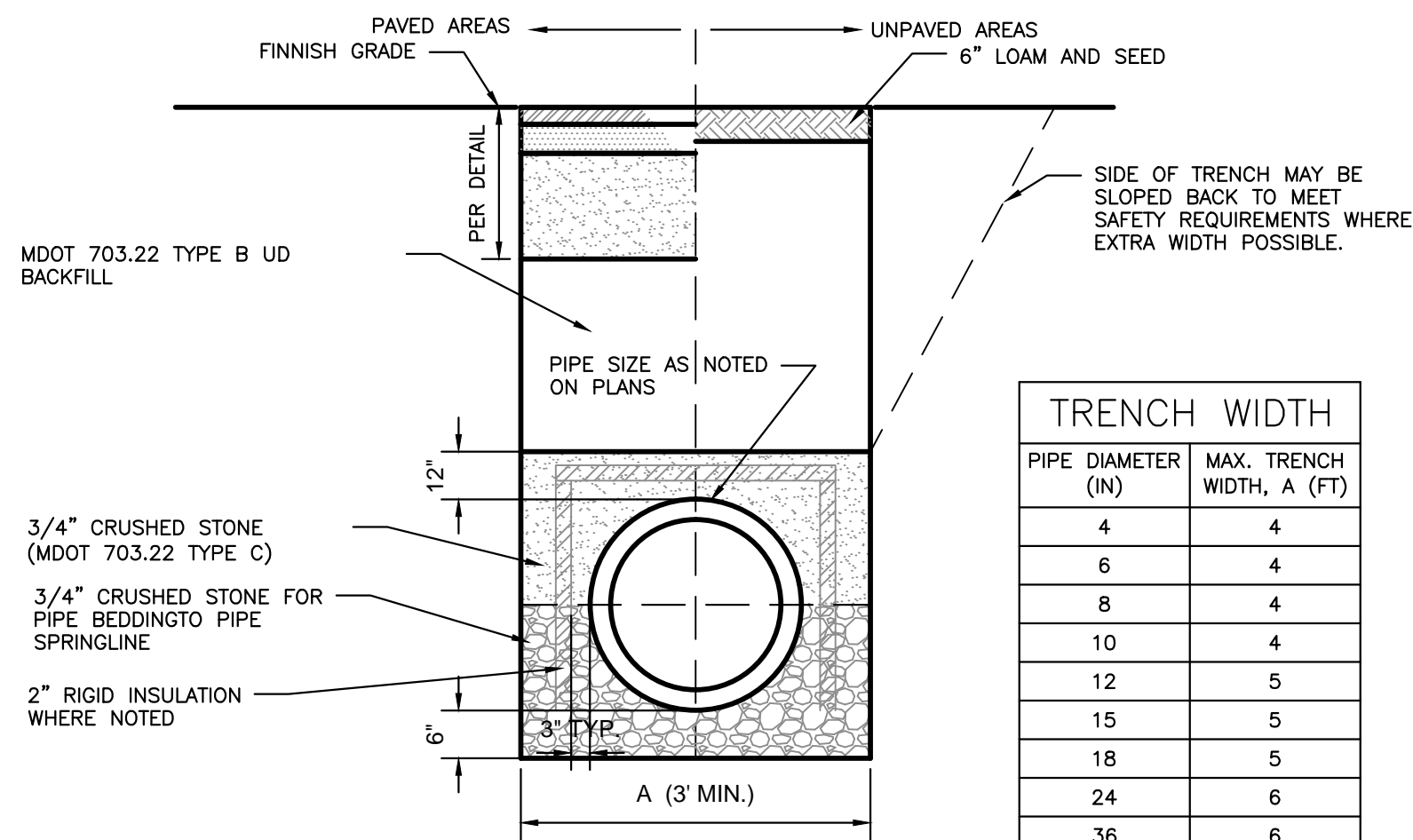


- NOTES:
1. MINIMUM UNDERDRAIN SLOPE 0.0025 (0.25%)
  2. UNDERDRAIN SPACING 75' BETWEEN DRAINS.
  3. PERFORATIONS IN UNDERDRAIN PIPE SHALL BE ORIENTED DOWN.

UNDERDRAIN DETAIL  
NOT TO SCALE

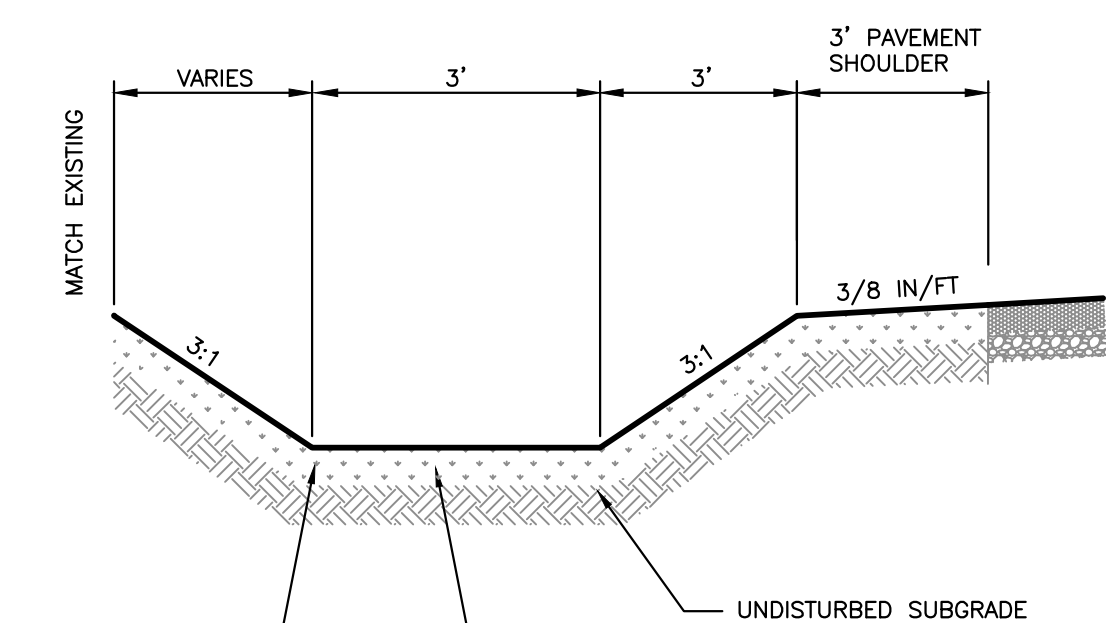
DESIGN NOTES:

1. ANY ALTERNATE TRENCHING METHODS SHALL BE APPROVED IN ADVANCE BY THE CITY.
2. ALL CONSTRUCTION METHODS SHALL CONFORM TO THE CITY OF PORTLAND TECHNICAL STANDARDS FIGURE II-12.
3. BRACING & SHEETING OR OTHER TRENCH PROTECTION TO BE PROVIDED TO MEET APPLICABLE STATE AND O.S.H.A. SAFETY STANDARDS. ALL SUCH TRENCH PROTECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. PERFORATIONS IN STORM DRAIN (PERF.SD) SHALL BE ORIENTED UP.
5. ALL PERFORATED STORM DRAIN SHALL BE PVC SDR 35 MIN PS-46 RATING OR APPROVED EQUAL.



PIPE DIAMETER (IN)	MAX. TRENCH WIDTH, A (FT)
4	4
6	4
8	4
10	4
12	5
15	5
18	5
24	6
36	6
48	7

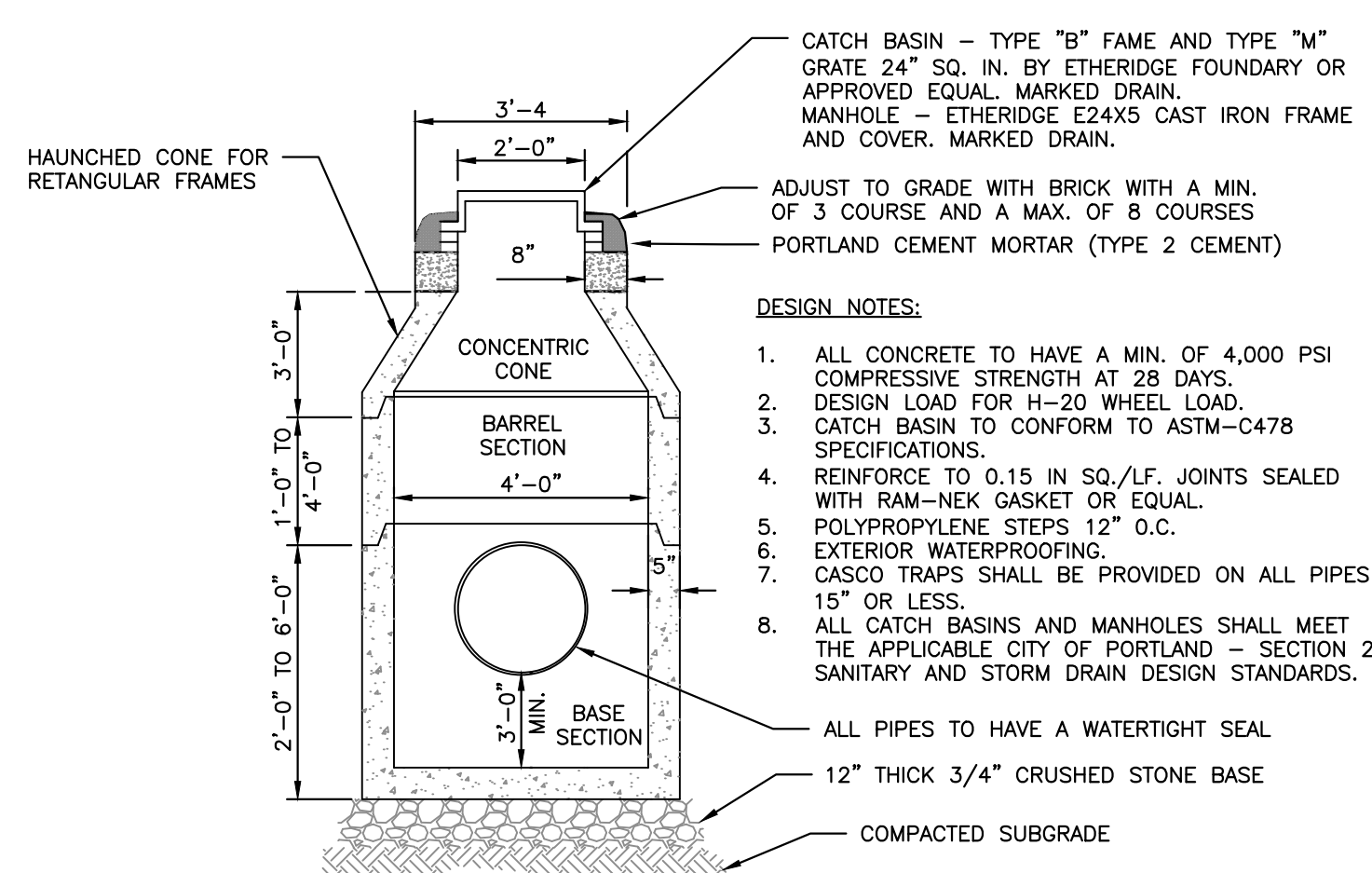
SINGLE PIPE TRENCH  
NOT TO SCALE



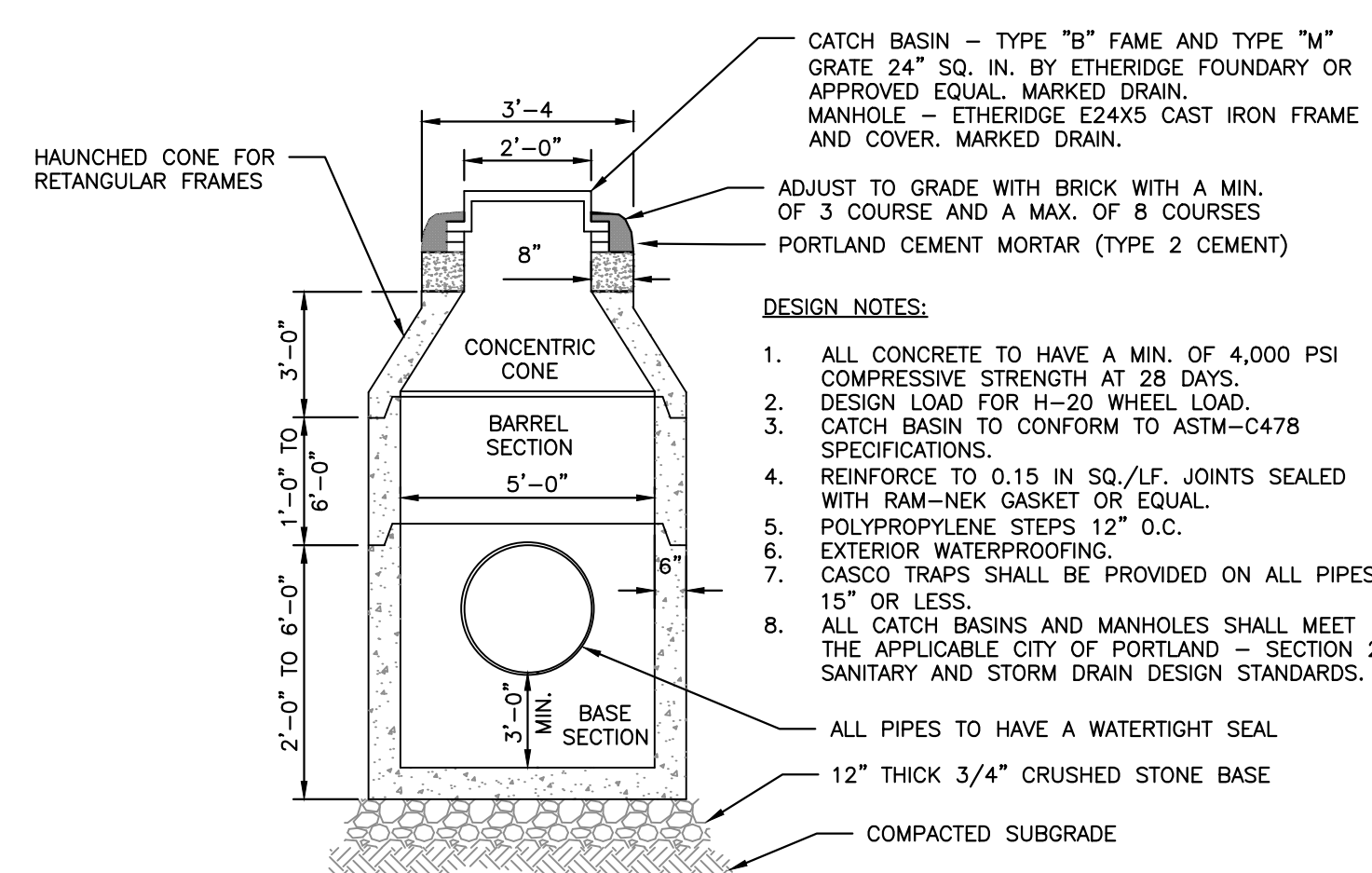
THE BOTTOM AND SIDESLOPES OF THE SWALE SHALL RECEIVE A MIN. 6" OF LOAM AND STABILIZED WITH DOUBLE NET EROSION CONTROL BLANKETS SC150BN BY NORTH AMERICAN GREEN OR APPROVED EQUAL. REFER TO THE EROSION CONTROL BLANKET CHANNEL INSTALLATION DETAIL. INSTALL THESE ITEMS PRIOR TO THE CHECK DAM INSTALLATION.

ALL DISTURBED AREAS SHALL BE GRADED, LOAMED, SEED, MULCHED AS SOON AS POSSIBLE OR WITHIN 7 DAYS FOLLOWING THE COMPLETION OF ANY DISTURBANCE AND PRIOR TO ANY STORM EVENT.

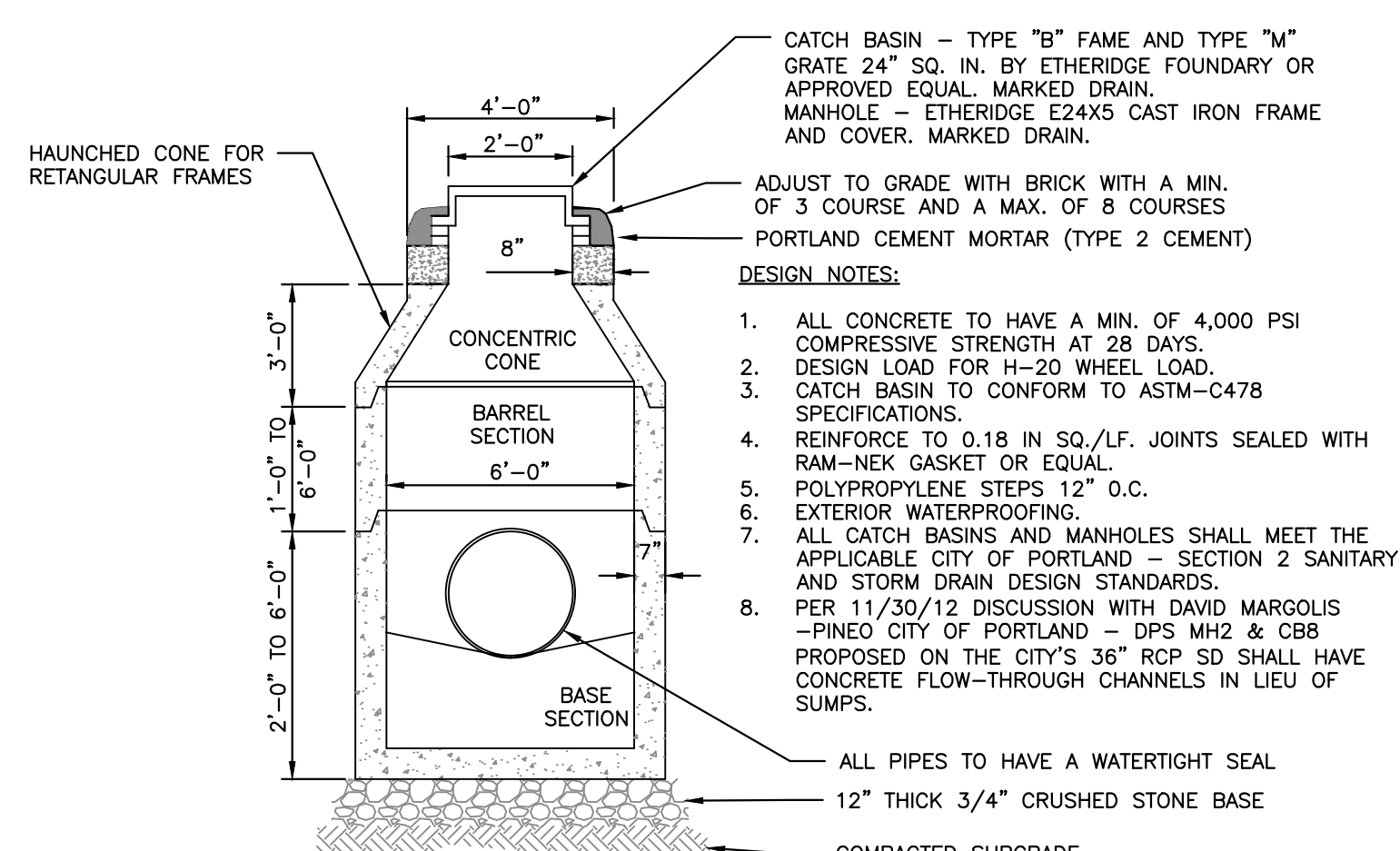
TYPICAL DRAINAGE SWALE CROSS-SECTION  
NOT TO SCALE



4'-0" PRECAST CATCH BASIN/MANHOLE  
NOT TO SCALE



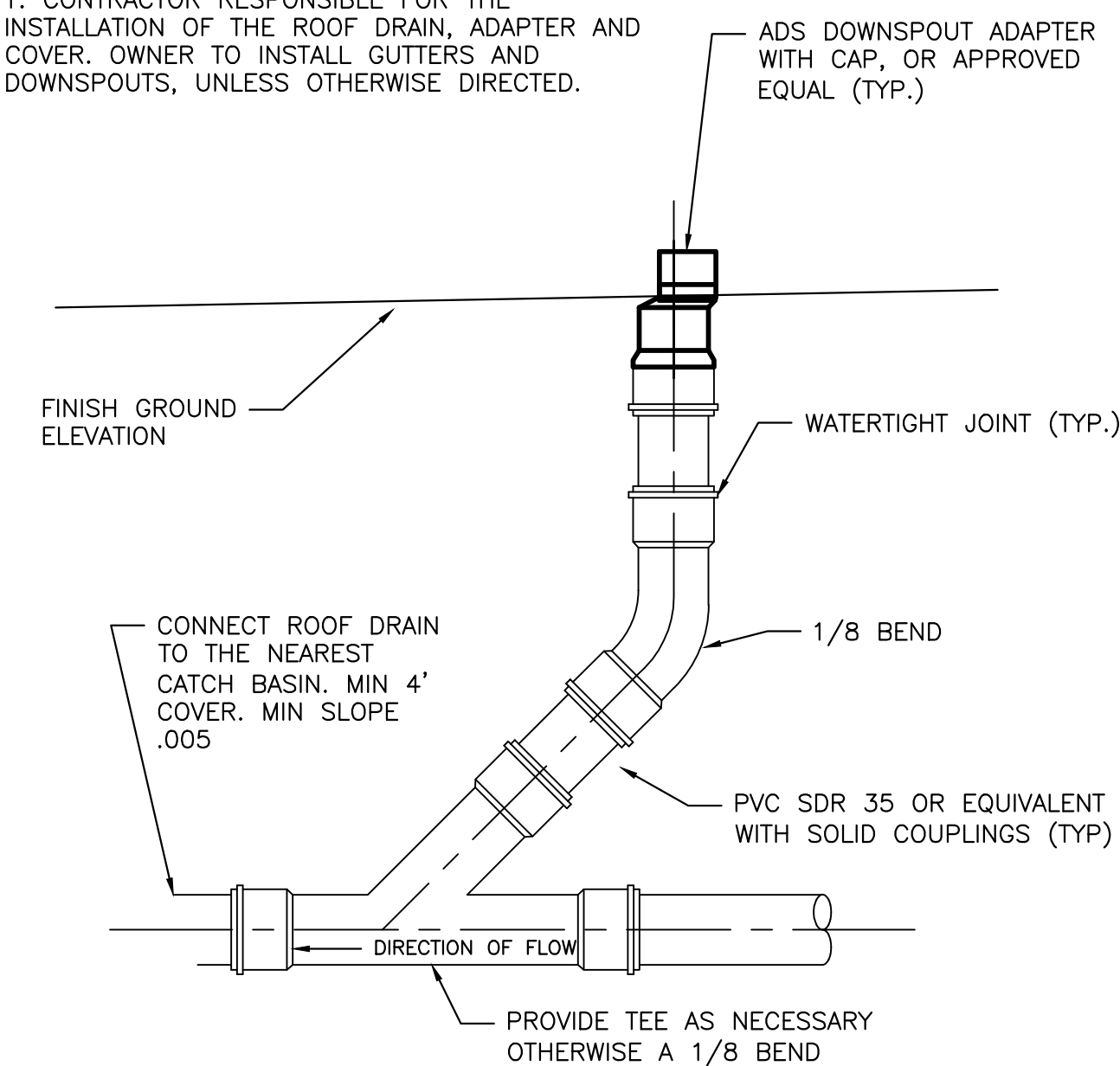
5'-0" PRECAST CATCH BASIN/MANHOLE  
NOT TO SCALE



6'-0" PRECAST CATCH BASIN/MANHOLE  
NOT TO SCALE

NOTES:

1. CONTRACTOR RESPONSIBLE FOR THE INSTALLATION OF THE ROOF DRAIN, ADAPTER AND COVER. OWNER TO INSTALL GUTTERS AND DOWNSPOUTS, UNLESS OTHERWISE DIRECTED.



ROOF DRAIN DETAIL  
NOT TO SCALE

PERMIT DRAWINGS

ISSUED FOR	BY
CITY SUBMISSION	WHS
COMMENT RESPONSE	WHS
MAINE DEP-MCGP	WHS
BUILDING PERMIT	WHS

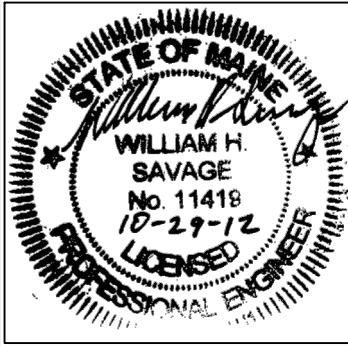
REVISION	REV. DATE
6' CB/MH REV.	11/30/12

DRAWING NAME: DRAINAGE DETAILS  
PROJECT NAME: 165 PRESUMPCOT STREET  
CLIENT: ELDRIDGE LUMBER & HARDWARE, INC.  
165 PRESUMPCOT STREET, PORTLAND, MAINE 04103

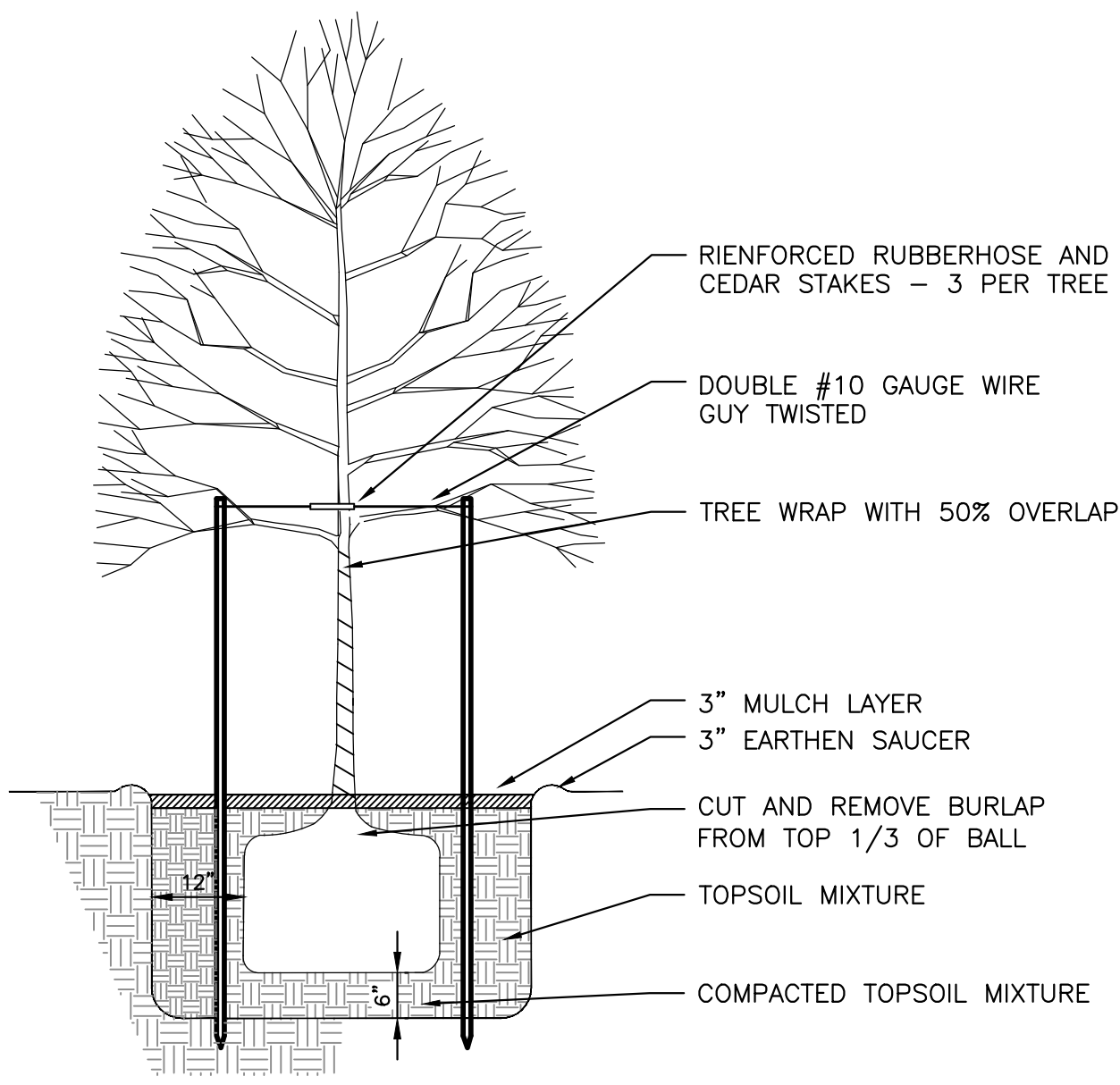
**A C O R N**  
ENGINEERING, INC.

165 PRESUMPCOT STREET, PORTLAND, MAINE 04104  
P.O. BOX 3372 PORTLAND, MAINE 04104  
(207) 775-9555

FILE: CIVIL DRAWINGS
DATE: 8/8/12
JN: 1038
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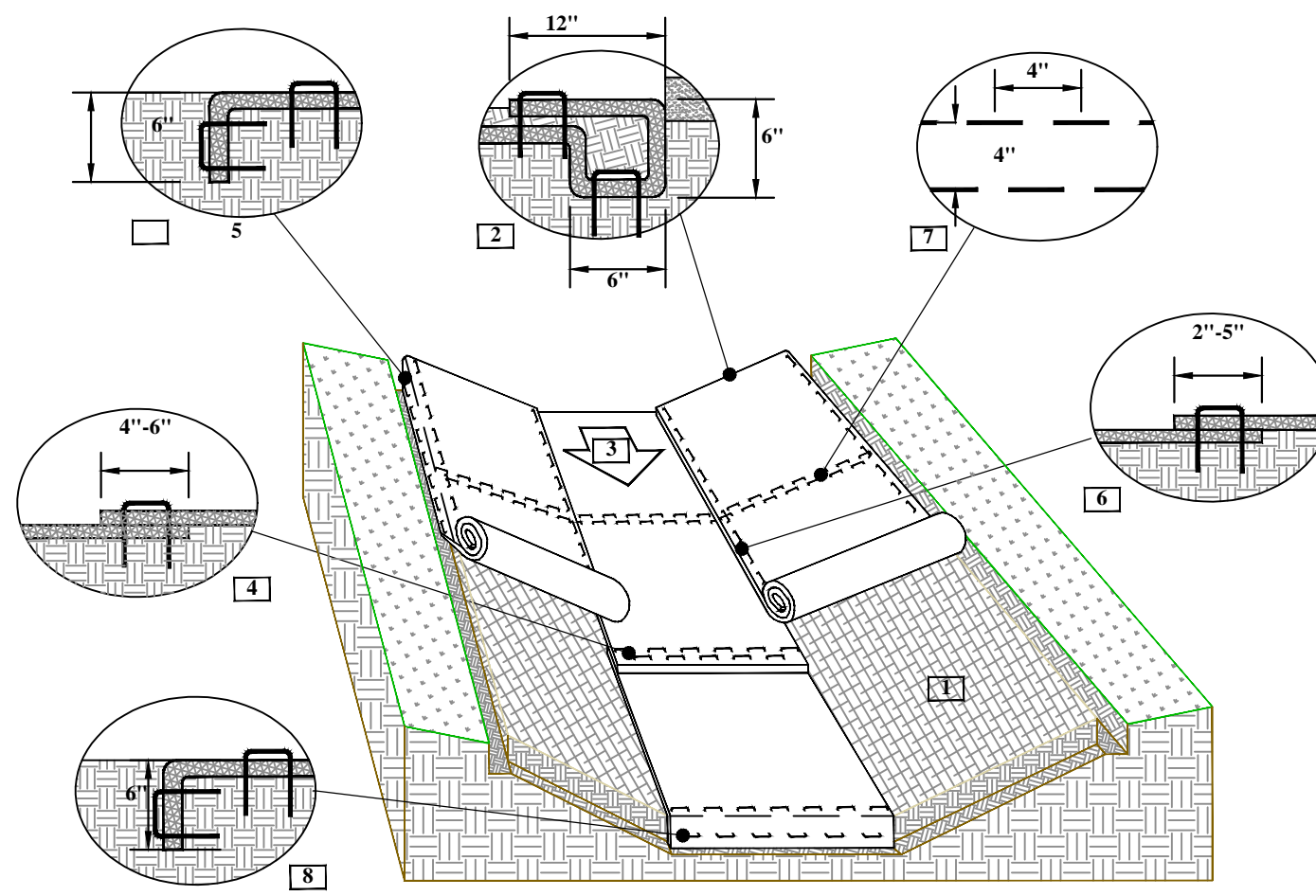
DRAWING NO.  
**C-31**



TREE PLANTING DETAIL  
NOT TO SCALE

PLANTING NOTES

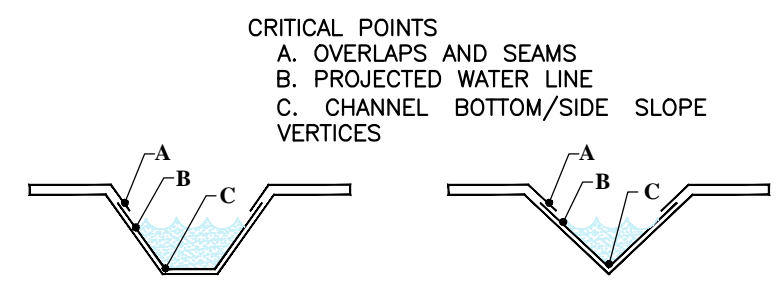
- ALL PLANT SELECTION AND INSTALLATION WILL BE IN COMPLIANCE WITH THE CITY OF PORTLAND TECHNICAL MANUAL (SECTION 4).
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN IMMEDIATE AREA.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMAN.
- CONTRACTOR SHALL GUARANTEE NEW TREE MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED TREES SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND THE PLACEMENTS SHALL BE APPROVED BY ENGINEER BEFORE THE PLANTS ARE INSTALLED.
- FOR TREE PLANTING IN LAWN AREAS, ANY DISTURBED LAWN SHALL BE LOAMED AND SEEDED AS NECESSARY.
- ALL TREES GREATER THEN 10" DIA. TO BE PROTECTED ON SITE.
- TREE INSTALLATION:
  - DIG HOLE AT LEAST 2 TIMES THE DIA. OF THE ROOT BALL AND AS DEEP AS THE ROOT BALL (NO DEEPER). SET ROOT BALL CENTERED, WITH THE TOP AT GROUND LEVEL CORRECT HOLE DEPTH AS REQUIRED.
  - TOPSOIL BACKFILL SHALL BE NATURAL FRIABLE, FERTILE, FINE LOAMY SOIL POSSESSING THE CHARACTERISTICS OF TOPSOILS IN THE VICINITY WHICH PRODUCE A HEAVY GROWTH. TOPSOIL SHALL CONTAIN NOT LESS THAN 6% NOR MORE THAN 20% ORGANIC MATTER. TOP SOIL SHALL HAVE A pH VALUE OF NOT LESS THAN 5.5 NOR MORE THAN 7.0.
  - BACKFILL THE HOLE WITH TOPSOIL TO A DEPTH NOT TO EXCEED 8" THEN WATER SUFFICIENTLY TO SETTLE TOPSOIL. REPEAT SOIL BACKFILL, WATER, DRAIN, TOPSOIL SHALL BE TAMPED UNDER EDGES OF THE BALLED PLANTS, BACKFILL TO FINISH GRADE AND CREATE AN EARTHEN SAUCER. SOAK PLANTS WITH WATER TWICE WITHIN THE FIRST TWENTY-FOUR HOURS OF PLANTING.



EROSION CONTROL BLANKET CHANNEL INSTALLATION  
NOT TO SCALE

CHANNEL INSTALLATION DETAIL

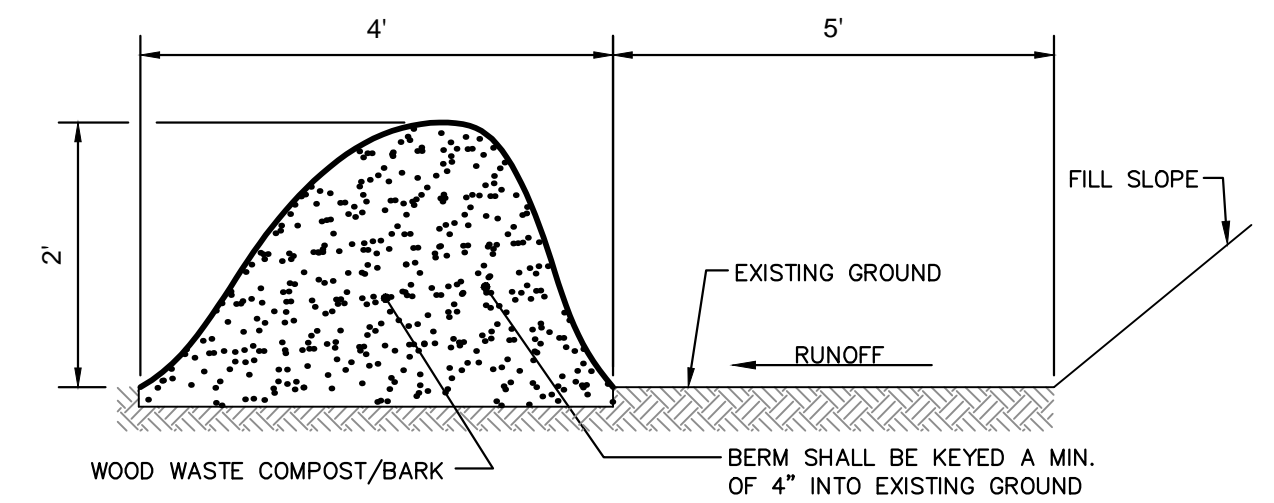
- PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL BLANKET (ECB), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
- BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE ECB IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH WITH APPROXIMATELY 12"(30CM) OF ECB EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. USE SHOREMAX MAT AT THE CHANNEL/CULVERT OUTLET AS SUPPLEMENTAL SCOUR PROTECTION AS NEEDED. ANCHOR THE ECB WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12"(30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12"(30CM) PORTION OF ECB BACK OVER THE SEED AND COMPACTED SOIL. SECURE ECB OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE ECB.
- ROLL CENTER ECB IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL. ECB WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL ECB MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
- PLACE CONSECUTIVE ECB END-OVER-END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER TO SECURE ECB. THE TOP LAYER SHALL GO OVER THE DOWNSLOPE LAYER.
- FULL LENGTH EDGE OF ECB AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12"(30CM) APART IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- ADJACENT ECB MUST BE OVERLAPPED APPROXIMATELY 2"-5" (5-12.5CM) (DEPENDING ON ECB TYPE) AND STAPLED.
- IN HIGH FLOW CHANNEL APPLICATIONS A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT (9-12M) INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4"(10CM) APART AND 4"(10CM) ON CENTER OVER ENTIRE WIDTH OF THE CHANNEL.
- THE TERMINAL END OF THE ECB MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12"(30CM) APART IN A 6"(15CM) DEEP X 6"(15CM) WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



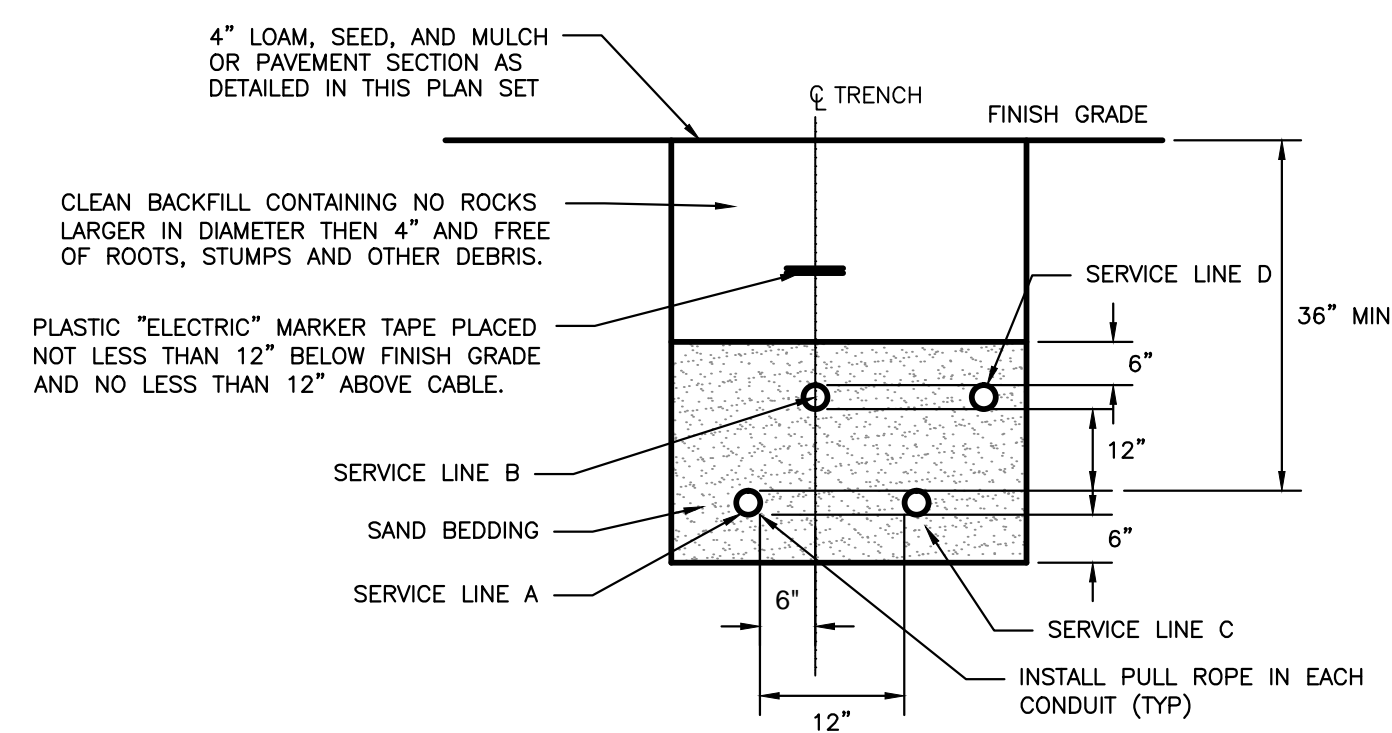
- CRITICAL POINTS  
A. OVERLAPS AND SEAMS  
B. PROJECTED WATER LINE  
C. CHANNEL BOTTOM/SIDE SLOPE VERTICES
- NOTES:  
\*HORIZONTAL STAPLE SPACING SHOULD BE ALTERED IF NECESSARY TO ALLOW STAPLES TO SECURE THE CRITICAL POINTS ALONG THE CHANNEL SURFACE.  
\*\*IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6"(15CM) MAY BE NECESSARY TO PROPERLY SECURE THE ECB

NOTES:

- THE EROSION CONTROL MIX SHALL CONFORM TO THE FOLLOWING STANDARDS AND IN ACCORDANCE WITH THE MAINE DEP'S EROSION AND SEDIMENT CONTROL BMPs SECTION B-1:
  - THE ORGANIC PORTIONS SHALL BE FIBROUS AND ELONGATED TO ALLOW FOR THE INTERLOCKING OF MATERIAL
  - pH = 5.0 - 6.0.
  - PARTICLE SIZE BY WEIGHT SHALL BE 100% PASSING A 6" SCREEN AND A MINIMUM OF 70% TO A MAXIMUM 85% PASSING A 0.75" (3/4") SCREEN.
  - THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 80 AND 100% DRY WEIGHT BASIS
  - NO STONES LARGER THAN 4" IN DIAMETER
  - LARGE PORTIONS OF SILTS, CLAYS OR FINE SANDS ARE NOT ACCEPTABLE IN THE MIX.
- THE BERM SHOULD BE PLACED, UNCOMPACTED, ALONG A RELATIVELY LEVEL CONTOUR. WHEN NECESSARY THE BERM MAY BE PLACED PERPENDICULAR TO THE SLOPE ALONG THE PROPERTY LINE TO CONTAIN THE SEDIMENT PROVIDED A BERM IS LOCATED AT THE BASE OF THE SLOPE.
- THE BERM MAY BE USED IN LIEU OF SILTATION FENCE, AT THE TOE OF SHALLOW SLOPES, ON FROZEN GROUND, LEDGE OUT CROPS, VERY ROOTED FORESTED AREA OR AT THE EDGE OF GRAVEL PARKING AREAS.
- BERMS SHALL REMAIN IN PLACE UNTIL UPSTREAM AREA IS STABILIZED OR 90% CATCH OF VEGETATION IS ATTAINED. BERMS SHALL BE REMOVED OFFSITE OR BY SPREADING SUCH THAT NATIVE EARTH CAN BE SEEN BELOW.



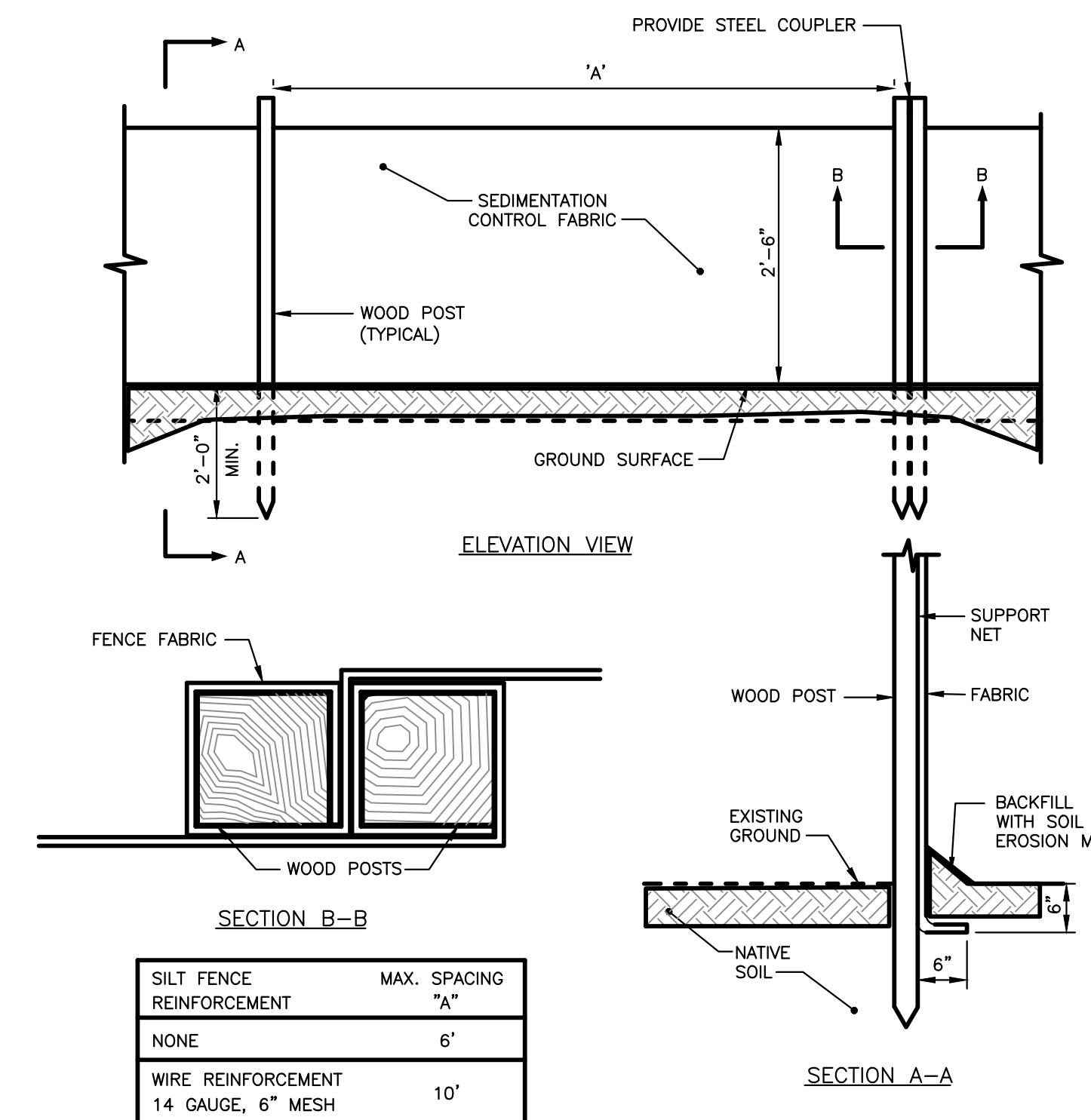
EROSION CONTROL MIX BERM DETAIL  
NOT TO SCALE



CONDUIT TYPE				
SERVICE	CONDUIT SIZE	GRASS AND PAVED AREAS	UTILITY	REMARKS
A	2-5"	SCHEDULE 40 PVC ELECTRICAL GRADE	PRIMARY POWER	SEE NOTE 1
B	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE	COMMUNICATION	-
C	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE	SPARE	IF REQUIRED
D	2-4"	SCHEDULE 40 PVC ELECTRICAL GRADE	CABLE	-

- NOTE:
- ONE CONDUIT CAPPED FOR SPARE, PROVIDE GALVANIZED STEEL LONG SWEEP AT RISER POLE AND EXTEND GALVANIZED CONDUIT TO 10" ABOVE GRADE AT POLE WITH STAND-OFF BRACKETS.
  - MINIMUM SEPARATION OF 24 INCHES BETWEEN PRIMARY CABLE/CONDUIT AND GAS LINES SHALL BE MAINTAINED.

UTILITY TRENCH - PRIMARY AND SECONDARY POWER, TELEPHONE, AND CABLE  
NOT TO SCALE



SILT FENCE REINFORCEMENT	MAX. SPACING
NONE	6"
WIRE REINFORCEMENT	10"

SILTATION FENCE DETAIL  
NOT TO SCALE

PERMIT DRAWINGS

ISSUED FOR	BY
CITY SUBMISSION	WHS
COMMENT RESPONSE	WHS
MAINE DEP-MCGP	WHS
BUILDING PERMIT	WHS

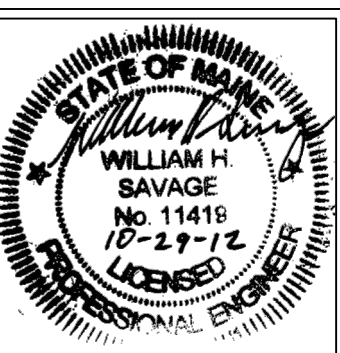
REVISION	REV. DATE

DRAWING NAME: UTILITY, LANDSCAPING, EROSION CONTROL DETAILS  
PROJECT NAME: 165 PRESUMPSHOT STREET  
CLIENT: ELDRIDGE LUMBER & HARDWARE, INC.  
165 PRESUMPSHOT STREET, PORTLAND, MAINE 04103

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ENGINEERING, INC.

FILE: CIVIL DRAWINGS  
DATE: 8/8/12  
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C-32

