

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 101267
PERMIT ISSUED

OCT 14

CPD 425 A015001

Please Read Application And Notes, If Any, Attached

This is to certify that BAS ELDREDGE LLC / Eldredge Lumber are
has permission to replace asphalt floor in storage area with concrete
AT 165 PRESUMPCOT ST CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Samuel... 10/14/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1267	Issue Date: 10/14/2010	CBL: 425 A015001
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Location of Construction: 165 PRESUMPCOT ST	Owner Name: BAS ELDREDGE LLC	Owner Address: 627 US ROUTE ONE	Phone: 363-2004
Business Name:	Contractor Name: Eldredge Lumber & Hardware	Contractor Address: 627 Route 1 York	Phone: 2073632006
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: I-M

Past Use: Commercial Lumber and Building Supply	Proposed Use: Commercial Lumber and Building Supply replace asphalt floor in storage barn with concrete	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: F-1 Type: SB FBC-2003	

Proposed Project Description: replace asphalt floor in storage barn with concrete	Signature:	Signature: JMB 10/14/10
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: jmb	Date Applied For: 10/12/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>OK with conditions JMB 10/14/10</i>	Date:	Date:

PERMIT ISSUED

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City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

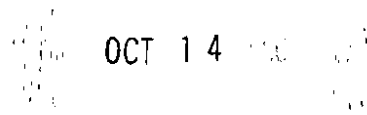
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1267	Date Applied For: 10/12/2010	CBL: 425 A015001
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Location of Construction: 165 PRESUMPCOT ST	Owner Name: BAS ELDREDGE LLC	Owner Address: 627 US ROUTE ONE	Phone: () 363-2004
Business Name:	Contractor Name: Eldredge Lumber & Hardware	Contractor Address: 627 Route 1 York	Phone: (207) 363-2006
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial Lumber and Building Supply replace asphalt floor in storage barn with concrete	Proposed Project Description: replace asphalt floor in storage barn with concrete
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/14/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) It is understood that the floor replacement is within the existing footprint.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 10/14/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

PERMIT ISSUED

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Inspection of form and reinforcement prior to pour**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

OCT 14

City of Portland



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

Oct 18 2010

Received from Ed Lodge - Lumber + Hardware

Location of Work 105 Brunswick

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 70.00

Building (1L) _____ Plumbing (1S) _____ Electrical (1Z) _____ Site Plan (U2) _____

Other _____

CDL: 435 A012

Check #: 003764 Total Collected \$ 70.00

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>165 PRESUMSLOT ST</u>		
Total Square Footage of Proposed Structure/Area <u>NO CHANGE</u>		Square Footage of Lot <u>270,000 ±</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>425 A 015</u>	Applicant *must be owner, Lessee or Buyer* Name <u>BAS ELDREDGE LLC</u> Address <u>627 RT 1</u> City, State & Zip <u>YORK ME 03909</u>	Telephone: <u>207</u> <u>363</u> <u>2004</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5000.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>70.00</u>
Current legal use (i.e. single family) <u>LUMBER + BUILDING MATERIAL SUPPLY</u> If vacant, what was the previous use? <u>LUMBER + BUILDING MATERIAL SUPPLY</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>REPLACE PAVED BATH FLOOR WITH CONCRETE.</u> <u>ELDERIDGE LUMBER + HARDWARE CO. INC.</u>		
Contractor's name: <u>ELDERIDGE LUMBER + HARDWARE CO. INC.</u> Address: <u>627 RT 1</u> City, State & Zip: <u>YORK ME 03909</u> Telephone: <u>207 363-2004</u> Who should we contact when the permit is ready: <u>DAN REMICK</u> Telephone: <u>SAME</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10/12/2010

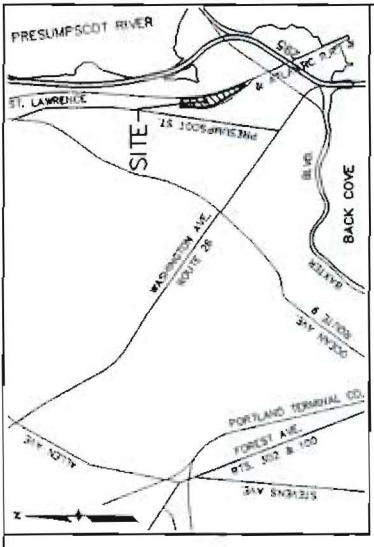
This is not a permit; you may not commence ANY work until the permit is issue

REV.	BY	DATE	STATUS

THIS PLAN SHALL NOT BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS AUTHORIZED OR OTHERWISE SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

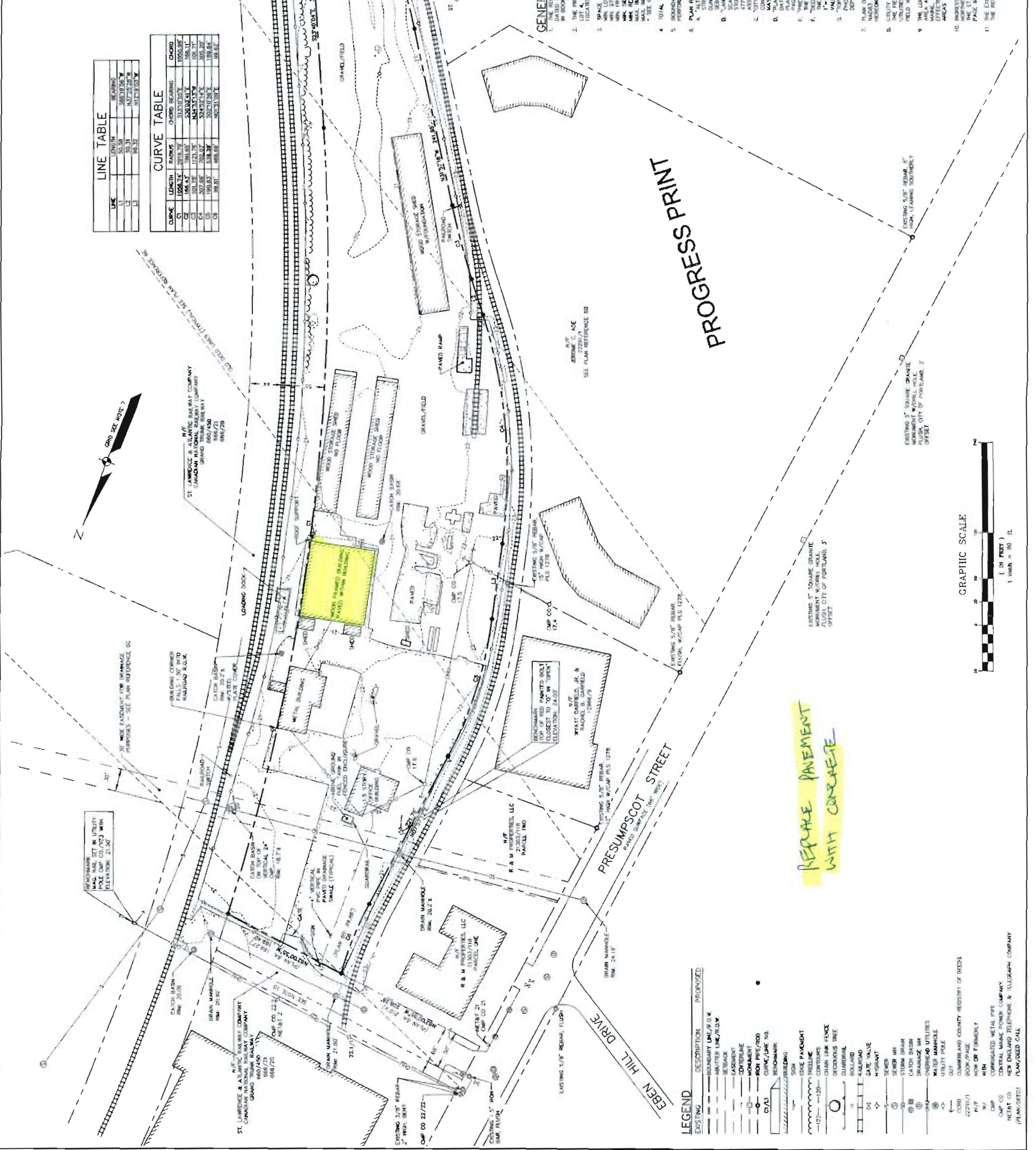
Sebago Technics
Building Engineering You Can Build On
200 Exchange St., Suite 2
Portland, ME 04101
Tel: (207) 888-0277
www.sebagotechnics.com

PROJECT NO. FIELD BOOK DESIGN CHAD DRAWN
DATE: 06/30/2010
SCALE: 1"=60'



LINE	LENGTH	BEARING
L1	50.58	S80.10S67.7W
L2	50.31	N47.27S28.7E
L3	69.32	S72.93S33.3E

CURVE	LENGTH	PIVOT	CHORD BEARING	CHORD
C1	108.24	270.00	S33.07S33.0E	100.00
C2	166.47	180.00	S88.56S31.1E	166.11
C3	301.72	172.17	N42.51S77.9W	102.77
C4	302.00	170.00	S42.72S33.3E	100.00
C5	301.72	172.17	N42.51S77.9W	102.77
C6	166.47	180.00	S88.56S31.1E	166.11
C7	108.24	270.00	S33.07S33.0E	100.00

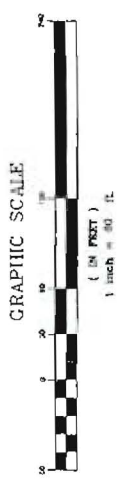


GENERAL NOTES

- THE RECORD OWNER OF THE PARCEL IS MASSACHUSETTS LUMBER COMPANY, INC. BY DEED DATED SEPTEMBER 10, 1982 AND RECORDED AT THE CAMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 3025 PAGE 10.
- THE PROPERTY IS SHOWN AS LOT 15, BLOCK A, MAP 425, LOT 7, BLOCK A, MAP 425 AND LOT 4, BLOCK B, MAP 427 ON THE CITY OF PORTLAND TAX ASSESSOR'S RECORDS AND IS LOCATED IN THE I-4 INDUSTRIAL ZONE.
- SPACE AND DATA CRITERIA FOR THE I-4 INDUSTRIAL ZONE ARE AS FOLLOWS:
MIN. LOT SIZE: 10,000 SQ. FT.
MIN. FRONT YARD: 10 FT.
MIN. SIDE YARD: 1 FOOT FOR EACH 1 FOOT OF BUILDING HEIGHT (C/F=27)
MIN. REAR YARD: 1 FOOT FOR EACH 1 FOOT OF BUILDING HEIGHT (C/F=27)
MAX. BUILDING SURFACE RATIO: 70%
* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION
- TOTAL AREA OF PARCEL IS APPROXIMATELY 6.41 ACRES.
- BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHNICS, INC. IN JUNE 2010.
- PLAN REFERENCES:
A. "ALTA/ACORN LAND TITLE SURVEY OF ST. LAWRENCE HEIGHT INC., 185 PRESUMPSCOT STREET, PORTLAND, MAINE FOR H.O.M. INC., 6211 ANNE ARBOR ROAD, P.O. BOX 122, PORTLAND, MAINE 04101, DATED FEBRUARY 10, 1978 AND LAST REVISED JANUARY 22, 2008 BY SEBAGO TECHNICS, INC. PROJECT NO. 08-0242"
B. "LAND TITLE SURVEY ON PRESUMPSCOT STREET IN PORTLAND, CAMBERLAND COUNTY, MAINE, SCALE: 1"=40', DATED OCTOBER 13, 2000, OWNER: 185 223 PRESUMPSCOT STREET, LLC, 16 STORHURST ROAD, CAPE ELIZABETH, MAINE 04107, PREPARED FOR: JEWELL & DODDIN, P.A., ASSOCIATES, INC., STREET, 307E STA. PORTLAND, MAINE 04101, BY DECLARATIONS & ASSOCIATES, INC."
C. "CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, PRESUMPSCOT STREET CONNECTOR, GRAVITY CONNECTOR SEWER & FUTURE STORM DRAIN RIGHT-OF-WAY, DATED MAY 11, 2007, PORTLAND, MAINE, MAINE, DEPARTMENT OF PUBLIC WORKS, DATA & COMPANY."
D. "MAY 11, 2007, PORTLAND, MAINE, MAINE, DEPARTMENT OF PUBLIC WORKS, DATA & COMPANY, DATED FEBRUARY 10, 1978 AND REVISED MARCH 3, 1978 BY H.L. & C.C. JORDAN. THIS PLAN IS RECORDED AT THE CAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 122."
E. "PAGE 15 IS A COPY OF THE CITY OF PORTLAND, MAINE, DEPARTMENT OF PUBLIC WORKS, PRESUMPSCOT STREET CONNECTOR, GRAVITY CONNECTOR SEWER & FUTURE STORM DRAIN RIGHT-OF-WAY, DATED MAY 11, 2007, PORTLAND, MAINE, MAINE, DEPARTMENT OF PUBLIC WORKS, DATA & COMPANY."
F. "BUILDING - RIGHT OF WAY & TRACK MAP, ATLANTIC & ST. LAWRENCE R.R., OPERATED BY THE GRAND TRUNK BY CO. OF CANADA, STATION 8075+40 TO STATION 8610+00, SCALE: 1"=40', DATED FEBRUARY 10, 1978 AND REVISED MARCH 3, 1978 BY H.L. & C.C. JORDAN. THIS PLAN IS RECORDED AT THE CAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 122."
G. "PHOTOGRAPHIC/AERIAL MAPPING OF THE 'SANDAL STREET WATERSHED FROM AERIAL PHOTOGRAPHY CAPTURED IN THE SPRING OF 2007', ON FILE WITH THE CITY OF PORTLAND, DEPARTMENT OF PUBLIC SERVICES, ENGINEERING SECTION
- PLAN ORIENTATION IS BASED ON THE MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE, HORSFORD AS DETERMINED FROM DUAL FREQUENCY GPS OBSERVATIONS. ELEVATIONS DEPICTED HEREON ARE NAVIGAS AS DETERMINED BY DUAL FREQUENCY GPS OBSERVATIONS.
- UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS NEED TO CONTACT ONE-CALL SYSTEMS, INC. (1-888-ONE-CALL) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- THE LOCUS PROPERTY AS DEPICTED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AS DELINEATED ON THE FLOOD INSURANCE RATE MAP FOR THE CITY OF PORTLAND, MAINE, DATED JULY 17, 1998. THE LOCUS FALLS WITHIN AN AREA ENTERED AS ZONE G, AREAS OF MINIMAL FLOODING, NO SHADING.
- THE LOCUS PROPERTY IS UNDER THE 60' WIDE RAMPED WAY LEUNG HIGHWAYS AND BRIDGE TO THE LOCUS PROPERTY. THIS STRIP OF LAND IS OWNED BY THE ST. LAWRENCE & ATLANTIC RAILWAY COMPANY. REFERENCE IS MADE TO CORP BOOK 4245, PAGE 96.
- THE EXISTING CHAIN LINK FENCE ENVELOPING THE LOCUS PROPERTY FALLS MOSTLY OUTSIDE OF THE RECORD BOUNDARIES.

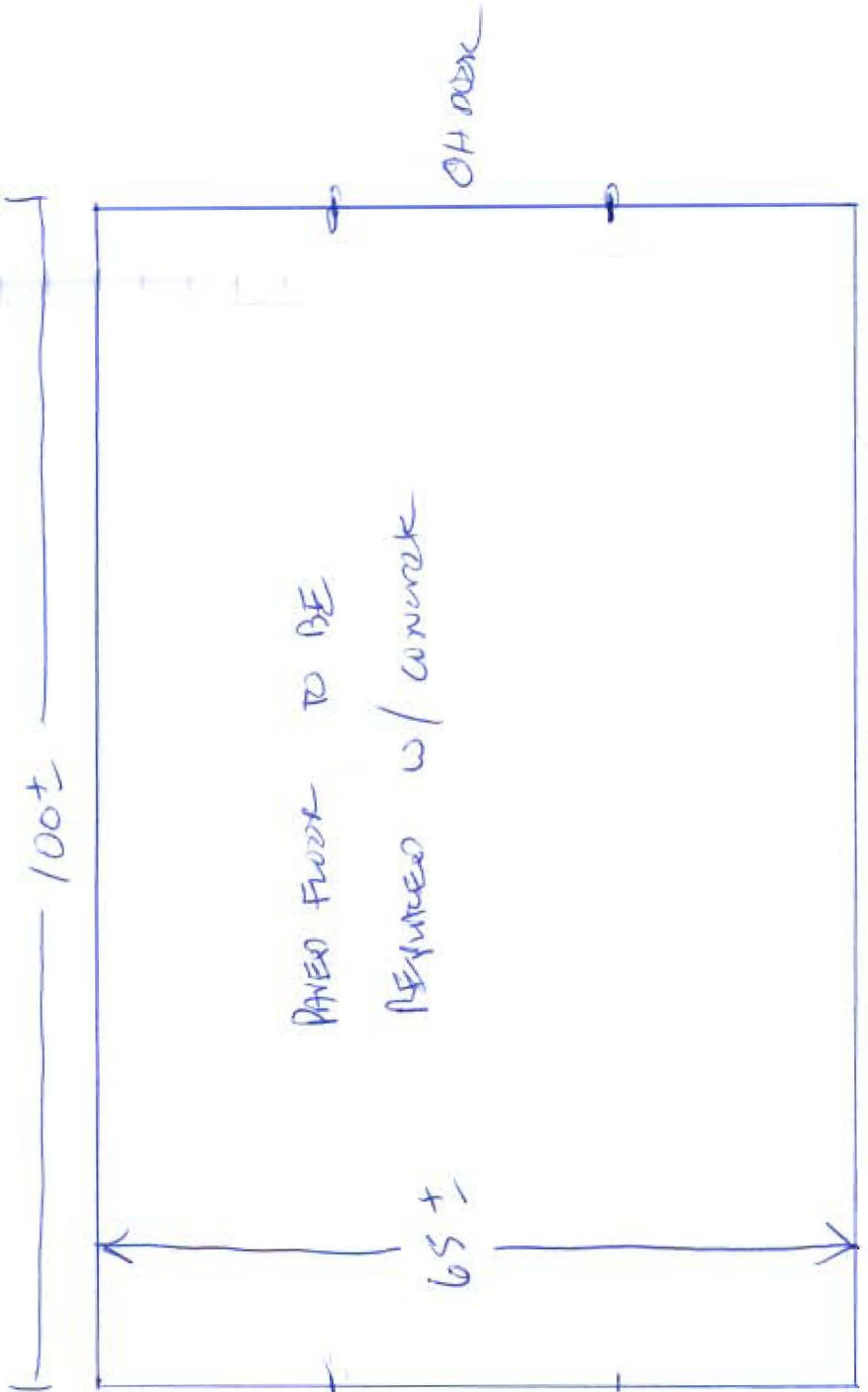
PROGRESS PRINT

REFRASE PAVEMENT WITH CONCRETE



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	BOUNDARY LINE (R.O.W.)	---
---	UTILITY LINE (R.O.W.)	---
---	SETBACK	---
---	SEWAGE	---
---	CONCRETE	---
---	MORNING	---
---	IRON PIPE/POD	---
---	CHIMNEY/CH. NO.	---
---	REINFORCING	---
---	CONCRETE	---
---	DOE PAWPRINT	---
---	PRELIM	---
---	CONTIGUOUS	---
---	CHAIN LINK FENCE	---
---	CONCRETE	---
---	ROAD	---
---	GATE VALVE	---
---	HYDRANT	---
---	SEWER	---
---	SEWER	---
---	CATCH BASIN	---
---	DRAINAGE	---
---	CHIMNEY	---
---	UTILITY POLE	---
---	UTILITY POLE	---
---	CUT	---
---	CHAMBERLAND COUNTY REGISTRY OF DEEDS	---
---	BOOK/PAGE	---
---	N/T	---
---	N/T	---
---	CONCRETE	---
---	NEW OR FURNISH	---
---	WITH	---
---	CORRUGATED METAL PIPE	---
---	CENTRAL MAINE POWER COMPANY	---
---	REPEAT CO.	---
---	NEW ENGLAND TELEPHONE & TELEGRAPH COMPANY	---
---	PLAN/DEED CALL	---



TYPICAL FLOOR SECTION

