

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080948

This is to certify that PRESUMPCOT STREET PROPERTIES LLC/Regan & Company

has permission to Add second floor within existing space of future tenant

AT 125 PRESUMPCOT ST

425 A002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Deanne Burke 8/29/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

AUG 29 2008

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

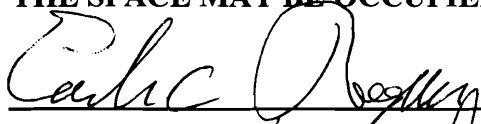
 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Underground electrical inspection prior to pouring concrete

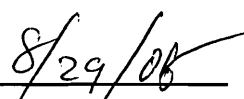
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

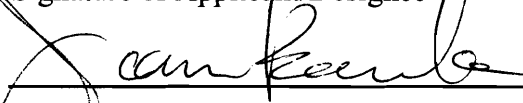
CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



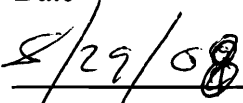
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0948	Issue Date:	CBL: 425 A002001
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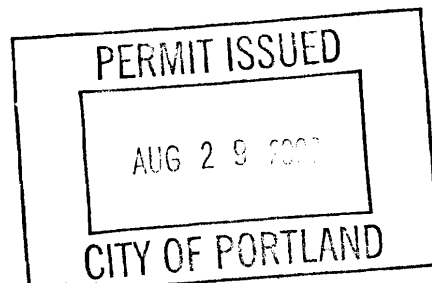
Location of Construction: 125 PRESUMPCOT ST	Owner Name: PRESUMPCOT STREET PROPE	Owner Address: PO BOX 403	Phone:
Business Name:	Contractor Name: Regan & Company	Contractor Address: 106 Merrill Road Gray	Phone: 2073293441
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	Zone: I-m

Past Use: Commercial	Proposed Use: Commercial - Add second floor within existing space for future tenant	Permit Fee: \$440.00	Cost of Work: \$41,500.00	CEO District: 4	Primary zone
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 3 IBC-2003		

Proposed Project Description: Add second floor within existing space for future tenant	Signature: <i>Cecilia Cass</i>	Signature: <i>JMB 8/29/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 08/01/2008	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>8/14/08</i>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<p><i>ok with conditions</i></p>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0948	Date Applied For: 08/01/2008	CBL: 425 A002001
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Location of Construction: 125 PRESUMPCOT ST	Owner Name: PRESUMPCOT STREET PROPE	Owner Address: PO BOX 403	Phone:
Business Name:	Contractor Name: Regan & Company	Contractor Address: 106 Merrill Road Gray	Phone (207) 329-3441
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Commercial	

Proposed Use: Commercial - Add second floor within existing space for future tenant	Proposed Project Description: Add second floor within existing space for future tenant
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/14/2005

Note: **Ok to Issue:**

- 1) Separate permits shall be required for the new tenant PRIOR to complete fit-up or occupancy to determine compliance with the I-M zone allowable uses.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 08/29/2008

Note: **Ok to Issue:**

- 1) Separate permits required for the new tenant fit up

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 08/14/2008

Note: **Ok to Issue:**

- 1) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 2) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance

Comments:

8/28/2008-jmb: Left voicemail with Earle R. To verify scope of work and future fit up

8/29/2008-jmb: Earle R. Came in to clarify that this is just prep for the future tenant that will occupy both floors. No interior walls will be built at this time, except the bathrooms. Plumbing will be roughed in but not electrical.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>125 Presumpscot St. ^{Buildg 1} 1907 Building</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>425 A 2</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Reagan & Company</u> Address <u>106 Merrill Rd</u> City, State & Zip <u>Gray ME 04039</u>	Telephone: <u>207 329 3441</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>ADK Management</u> Address <u>4 City Center 3 Floor</u> City, State & Zip <u>Portland ME</u>	Cost Of Work: \$ <u>41,500</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Office + Shop</u>	If vacant, what was the previous use? _____	
Proposed Specific use: <u>Office</u>	Is property part of a subdivision? _____ If yes, please name _____	
Project description: <u>Add sec 8/10/11 for future Tenants.</u>	<u>440.00/100</u> <u>NO COO AT THIS TIME</u>	
Contractor's name: <u>Condo Reagan & Company</u>		
Address: <u>106 Merrill Rd</u>		
City, State & Zip: <u>Gray ME 04039</u>		Telephone: <u>207-329-3441</u>
Who should we contact when the permit is ready: <u>Paula 329-3441</u>		Telephone: <u>207 329 3441</u>
Mailing address: <u>106 Merrill Rd Gray, ME 04039</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Eric Reagan Date: 8/1/08

This is not a permit; you may not commence ANY work until the permit is issue



Certificate of Design Application

From Designer: Lincoln / Haney Engineering Associates
Date: 07/24/08
Job Name: 1901 Building Alterations
Address of Construction: 125 Presumpscot St. Portland, ME

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2006 Use Group Classification (s) Occupancy Group B, professional
Type of Construction Type III
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC Yes
Is the Structure mixed use? No If yes, separated or non separated or non separated (section 302.3) _____
Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>2nd floor offices</u>	<u>50 PSF</u>
<u>2nd floor corridor</u>	<u>80 PSF</u>
<u>Partition allowance</u>	<u>25 PSF</u>
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
_____ Basic wind speed (1809.3)
_____ Building category and wind importance Factor, w
table 1604.5, 1609.5)
_____ Wind exposure category (1609.4)
_____ Internal pressure coefficient (ASCE 7)
_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
_____ Seismic use group ("Category")
_____ Spectral response coefficients, S_D & S_I (1615.1)
_____ Site class (1615.1.5)

_____ Live load reduction
_____ Roof live loads (1603.1.2, 1607.11)
_____ Roof snow loads (1603.7.3, 1608)
_____ Ground snow load, P_g (1608.2)
_____ If $P_g > 10$ psf, flat-roof snow load P_f
_____ If $P_g > 10$ psf, snow exposure factor, C_e
_____ If $P_g > 10$ psf, snow load importance factor, I_s
_____ Roof thermal factor, C_t (1608.4)
_____ Sloped roof snowload, P_s (1608.4)
_____ Seismic design category (1616.3)
_____ Basic seismic force resisting system (1617.6.2)
_____ Response modification coefficient, R and
deflection amplification factor, C_d (1617.6.2)
_____ Analysis procedure (1616.6, 1617.5)
_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
25 PSF Partition loads (1607.5)
_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



Accessibility Building Code Certificate

Designer: John Ossie

Address of Project: 1901 Building, 125 Presumpscot St. Portland

Nature of Project: Remodel of existing Electric supply
building to professional office
space

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

Signature: John Ossie

Title: Designer / President

Firm: C&D-de-tech

Address: 285 Riverside Industrial Parkway
Portland, ME 04103

Phone: 207-329-6499

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

Date: 07/24/08

From: _____

These plans and / or specifications covering construction work on:

1901 Building, 125 ~~Presumpscot~~ Presumpscot St.
Portland, ME

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.

Signature: J. H. O. N.

Title: President/Designer

Firm: CAD-de-tech

Address: 235 Riverside Industrial Parkway
Portland, ME 04103

Phone: 207-329-6499

(SEAL)

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1901 BUILDING ALTERATIONS

125 PRESUMPCOT STREET

Portland, Maine

MATERIALS

	CONTINUOUS LUMBER
	NON-CONTINUOUS LUMBER
	PLYWOOD
	FINISH WOOD
	RIGID INSULATION
	BATT INSULATION
	PLASTER, GROUT, MORTAR, ETC.
	CONCRETE
	CONCRETE MASONRY UNITS
	EARTH
	GRAVEL
	METAL

SYMBOLS

	COLUMN CENTERLINE GRID
	WORK LIMIT LINE
	SECTION NUMBER SECTION KEY SHEET NUMBER WHERE SHOWN
	DETAIL NUMBER DETAIL KEY SHEET NUMBER WHERE SHOWN
	ELEVATION FLAG
	ROOM NAME ROOM KEY
	ROOM NUMBER
	WINDOW TYPE KEY
	DOOR KEY
	INTERIOR ELEVATION KEY
	WALL TYPE KEY



EMERGENCY LIGHTS



EXIT SIGN - ILLUMINATED



EXIT SIGN W/ DIRECTIONAL
CHEVRONS - ILLUMINATED



FIRE ALARM PULL STATION
48" A.F.F. TO CENTER



FIRE ALARM PULL STATION
EXISTING



FIRE EXTINGUISHER -
SURFACE WALL MOUNTED



SMOKE DETECTOR



HEAT DETECTOR



STROBE LIGHT - 15 -
80" A.F.F. TO CENTER



STROBE LIGHT W/HORN -
110 CANDELA AND 85 dB
80" A.F.F. TO CENTER AT
RENTAL SPACES, OFFICE
AREAS, TOILETS, ETC. AND
OPEN MEZZANINE.



LIFE SAFETY EXIST ACCESS
AISLE - FLOOR HATCHING

ABBREVIATIONS

ALUM	ALUMINUM	FE	FIRE EXTINGUISHER	QT	QUARRY TILE
AC P	ACOUSTIC PANEL	FFE	FINISH FLOOR ELEVATION	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	FIN	FINISH	R	RADIUS
ACOUS	ACOUSTICAL	FLG	FLASHING	RD	ROOF DRAIN
CLG	CEILING	FND	FOUNDATION		
CLOS	CLOSET	FIB	FIBER	SIM	SIMILAR
CMU	CONCRETE MASONRY UNIT	GALV	GALVANIZED	STL	STEEL
COL	COLUMN	GL	GLASS	STOR	STORAGE
COMP	COMPOSITION	GWB	GYPSTUM WALLBOARD	STRUC	STRUCTURAL
CONC	CONCRETE	HD	HAND	SUSP	SUSPENDED
CONF	CONFERENCE	HDRL	HANDRAIL	SYST	SYSTEM
CONSULT	CONSULTANT	HM	HOLLOW METAL	STD	STANDARD
CONT	CONTINUOUS	HR	HOUR	SHT	SHEET
CRS	COURSES			SIM	SIMILAR
DEG	DEGREES	INS	INSULAT(ION)(ING)(ED)	T	TOILET
DF	DRINKING FOUNTAIN	INSUL	INSULAT(ION)(ING)(ED)	TEL	TELEPHONE
DIA	DIAMETER			TEMP	TEMPERED
DN	DOWN	JAN	JANITOR	TO	TOP OF
DIAG	DIAGONAL	L	LAVATORY	TOM	TOP OF MASONRY
EF	EXHAUST FAN	LAM	LAMINATE	TOS	TOP OF STEEL
EXT	EXTERIOR			TYP	TYPICAL
EL	ELEVATION	MACH	MACHINE	UNO	UNLESS NOTED OTHER
ELEV	ELEVATION/ELEVATOR	MECH	MECHANICAL	UL	UNDERWRITERS LABOR
EQ	EQUAL	MET	METAL	VTR	VENT THROUGH ROOF
ELEC	ELECTRIC(AL)	MO	MASONRY OPENING	W/	WITH
EQUIP	EQUIPMENT	MR	MOISTURE RESISTANT	WC	WHEELCHAIR
EWC	ELECTRIC WATER COOLER	NIC	NOT IN CONTRACT		
EXIST	EXISTING	OC	ON CENTER		
		OPP	OPPOSITE		
		PLAS	PLASTIC		

FIRE RATED DESIGN

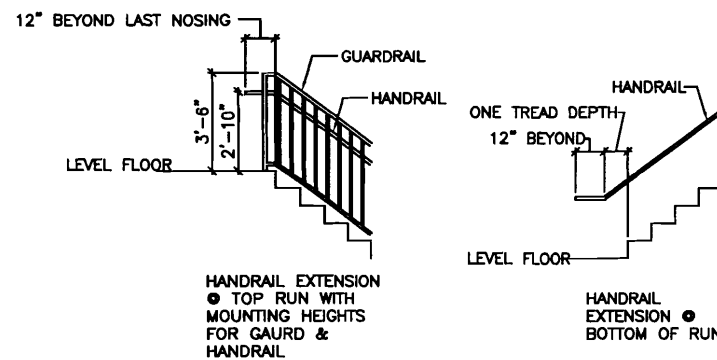
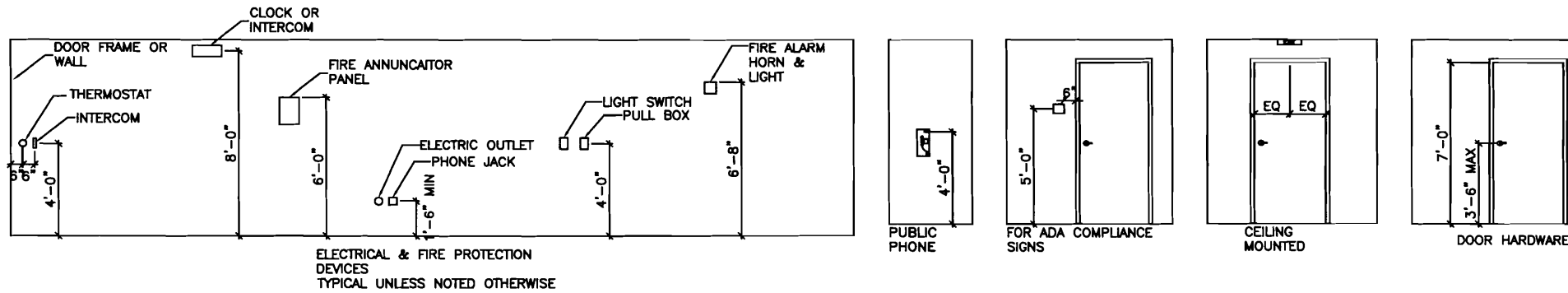
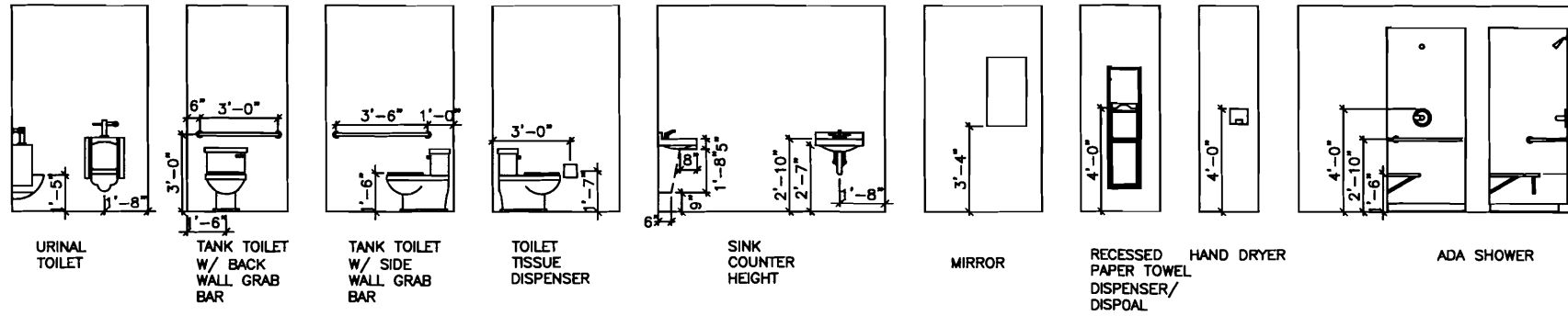
PENETRATION REQUIREMENTS:

ALL PENETRATIONS MADE THROUGH ANY FIRE RATED ASSEMBLY SHALL BE AN APPROVED METHOD SO AS TO MAINTAIN THE UL FIRE RATING. FIRE DAMPERS, ETC SHALL BE PROVIDED AND ALL PENETRATIONS SHALL RECEIVE AN APPROVED FIRESTOP SEALANT AROUND THE ENTIRE OPENING. THE FIRE STOP SEALANT SHALL BE OF THE APPROPRIATE MATERIAL SO AS TO MAINTAIN THE FIRE RATING OF THE SURFACE THAT IS BEING PENETRATED.

NOTE:

THE CONTRACTOR/OWNER ASSUMES ALL RESPONSIBILITY FOR LOCAL CODE COMPLIANCE. ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES AND LOCAL CODES. NONE OF THE EMPLOYEES OF CDT ARE REGISTERED ARCHITECTS, ENGINEERS OR LAND SURVEYORS. ALL DIMENSIONS AND SPECIFICATIONS SHOULD BE VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION BEGINS CDT WILL BE HELD HARMLESS. CDT ASSUMES NO LIABILITY FOR CHANGES AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

- Contractor/owner responsible for securing all necessary permits.
- Contractor/owner will comply with all applicable codes and ordinances.
- Contractor/owner to verify all site grades and dimensions.



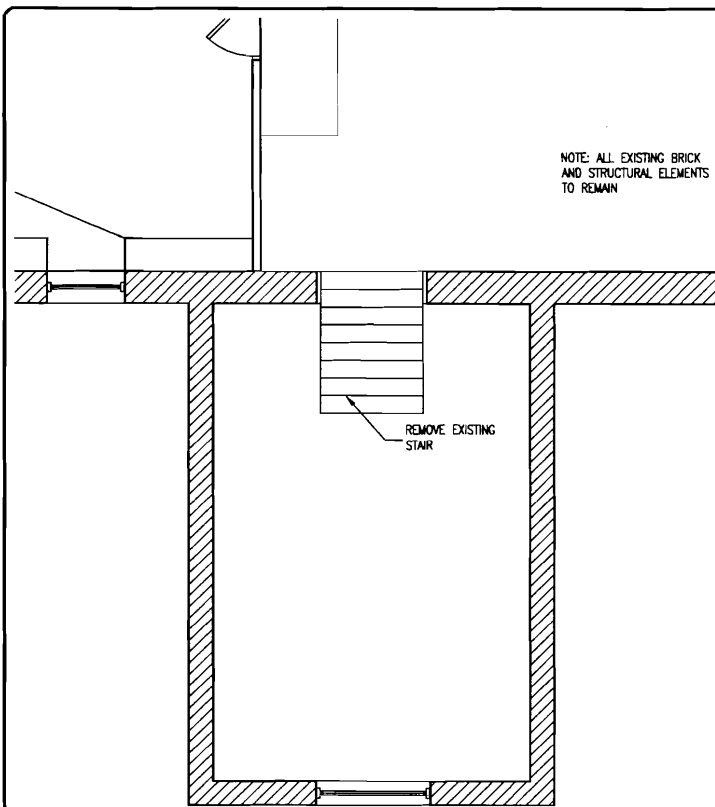
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ADA REQUIREMENTS

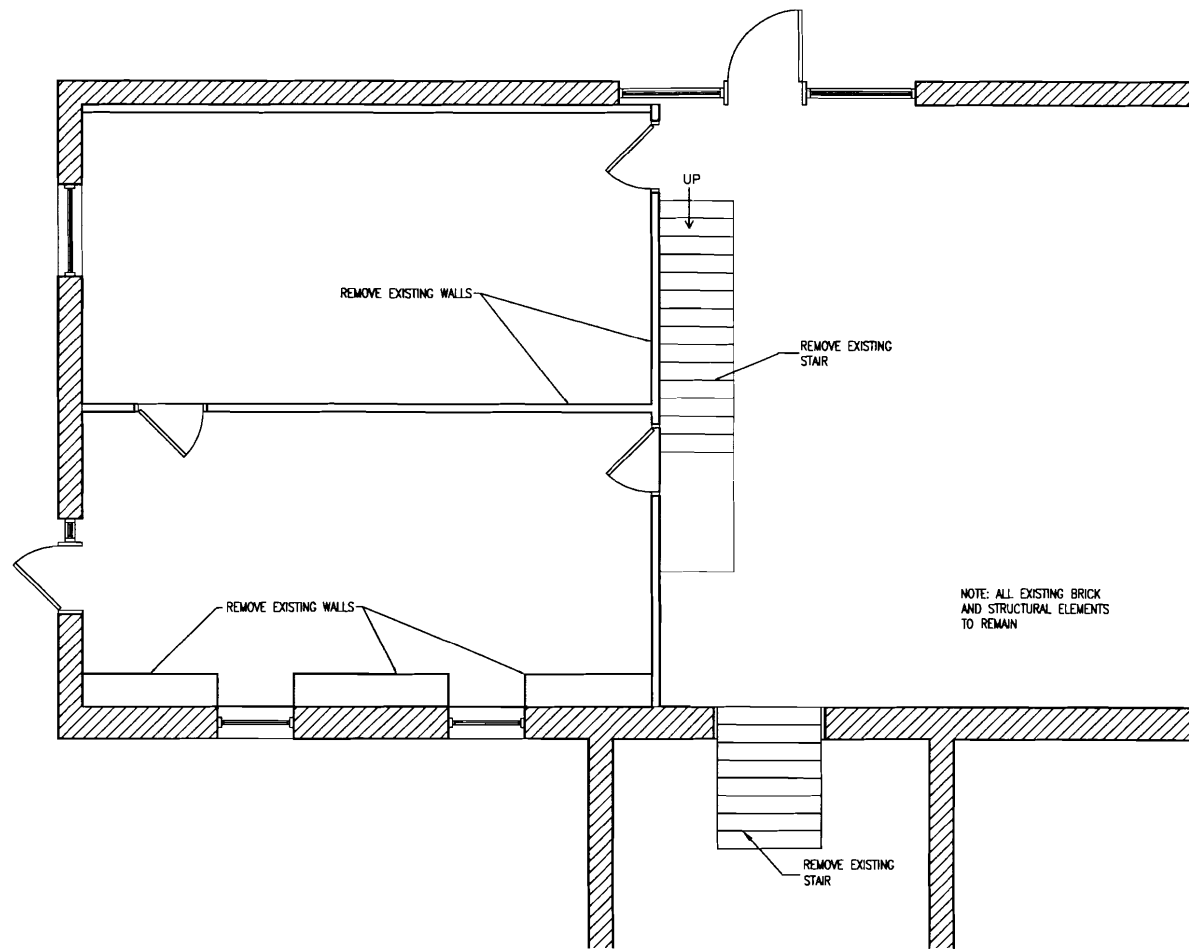
NOT TO SCALE



NOTE: ALL EXISTING BRICK
AND STRUCTURAL ELEMENTS
TO REMAIN

REMOVE EXISTING
STAIR

FIRST FLOOR PARTIAL
SCALE: 1/4"=1'-0"



REMOVE EXISTING WALLS

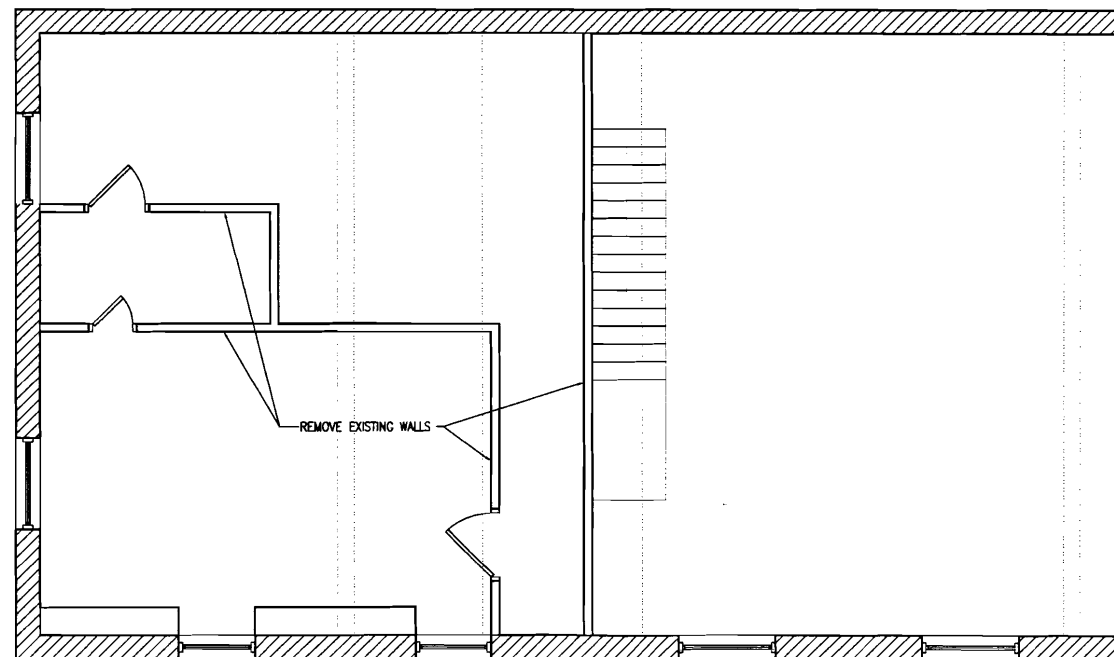
REMOVE EXISTING
STAIR

NOTE: ALL EXISTING BRICK
AND STRUCTURAL ELEMENTS
TO REMAIN

REMOVE EXISTING WALLS

REMOVE EXISTING
STAIR

NOTE:
REMOVE ALL EXISTING
PARTITIONS AND SECOND
FLOOR PLATFORM

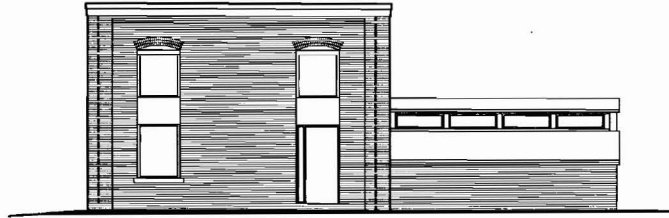


REMOVE EXISTING WALLS

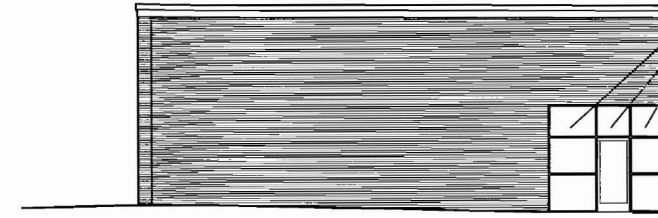
NOTE:

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BY CLIENT AND/OR CONTRACTOR BEFORE ACTUAL CONSTRUCTION
BEGINS. IF DIMENSIONS AND SPECIFICATIONS ARE NOT VERIFIED
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BEGINS CDT WILL BE HELD HARMLESS.
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AND/OR REVISIONS MADE TO PLANS BY CLIENT AND/OR CONTRACTOR.

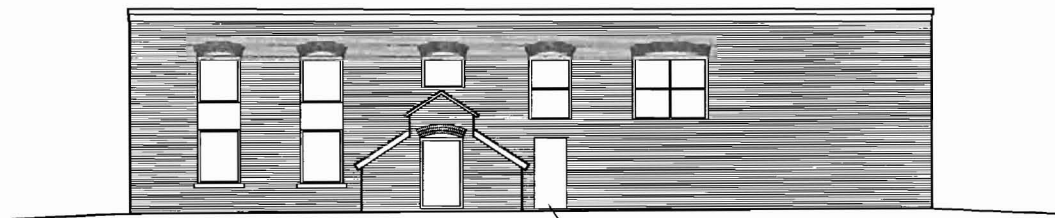
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2. Contractor/owner will Comply with all applicable codes and ordinances.
3. Contractor/owner to verify all site grades and dimensions.



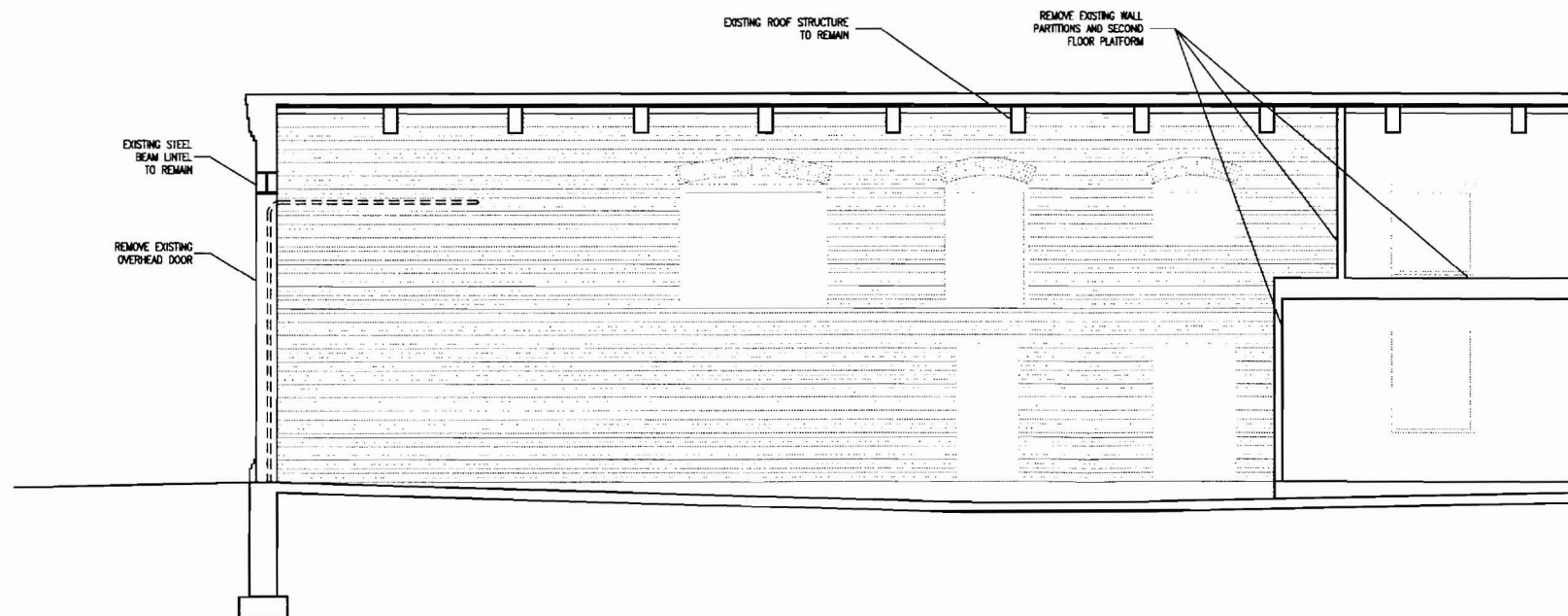
EXISTING FRONT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING LEFT ELEVATION
SCALE: 1/8" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

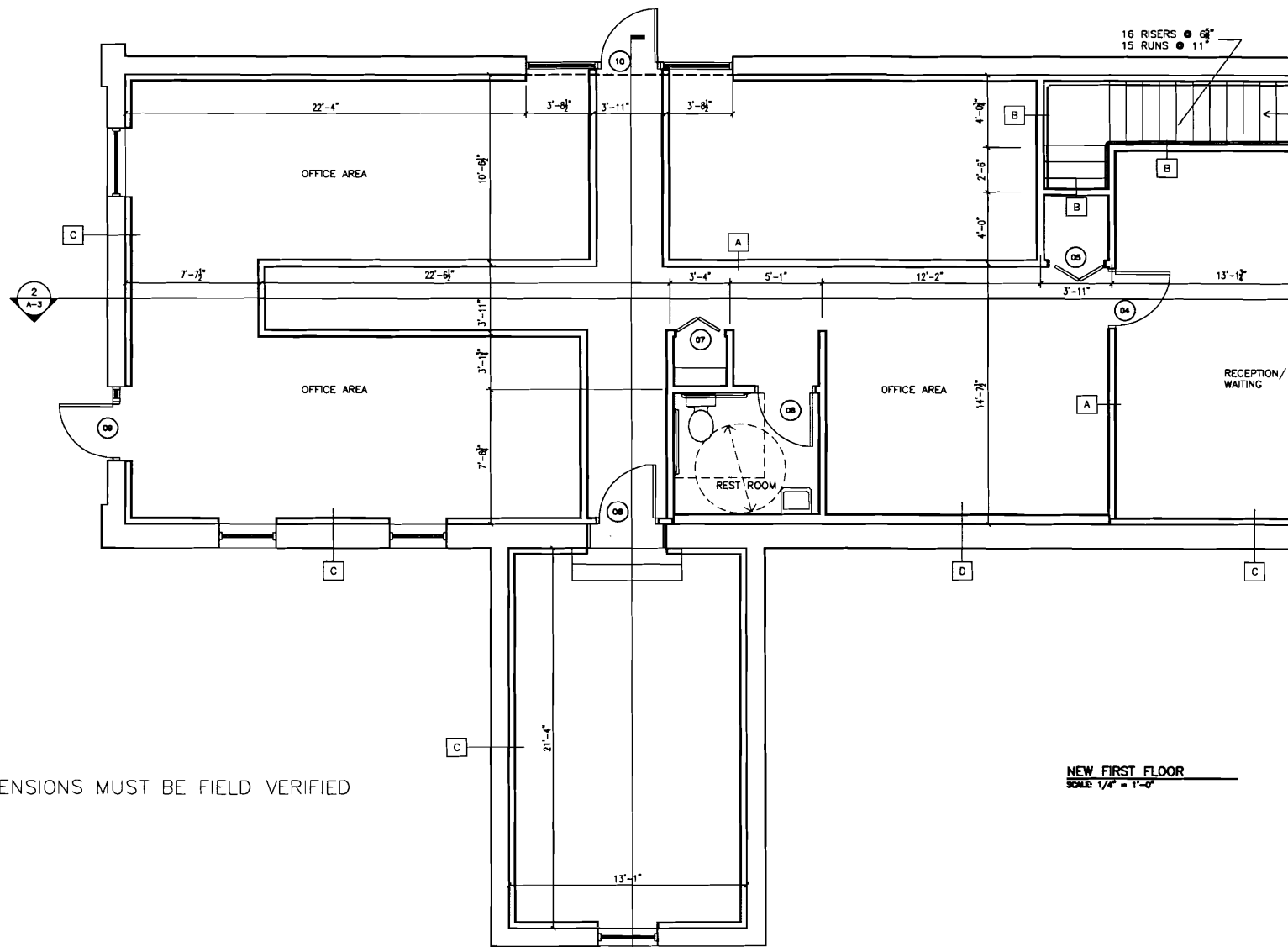


EXISTING BUILDING SECTION
SCALE: 1/4" = 1'-0"

NOTE:

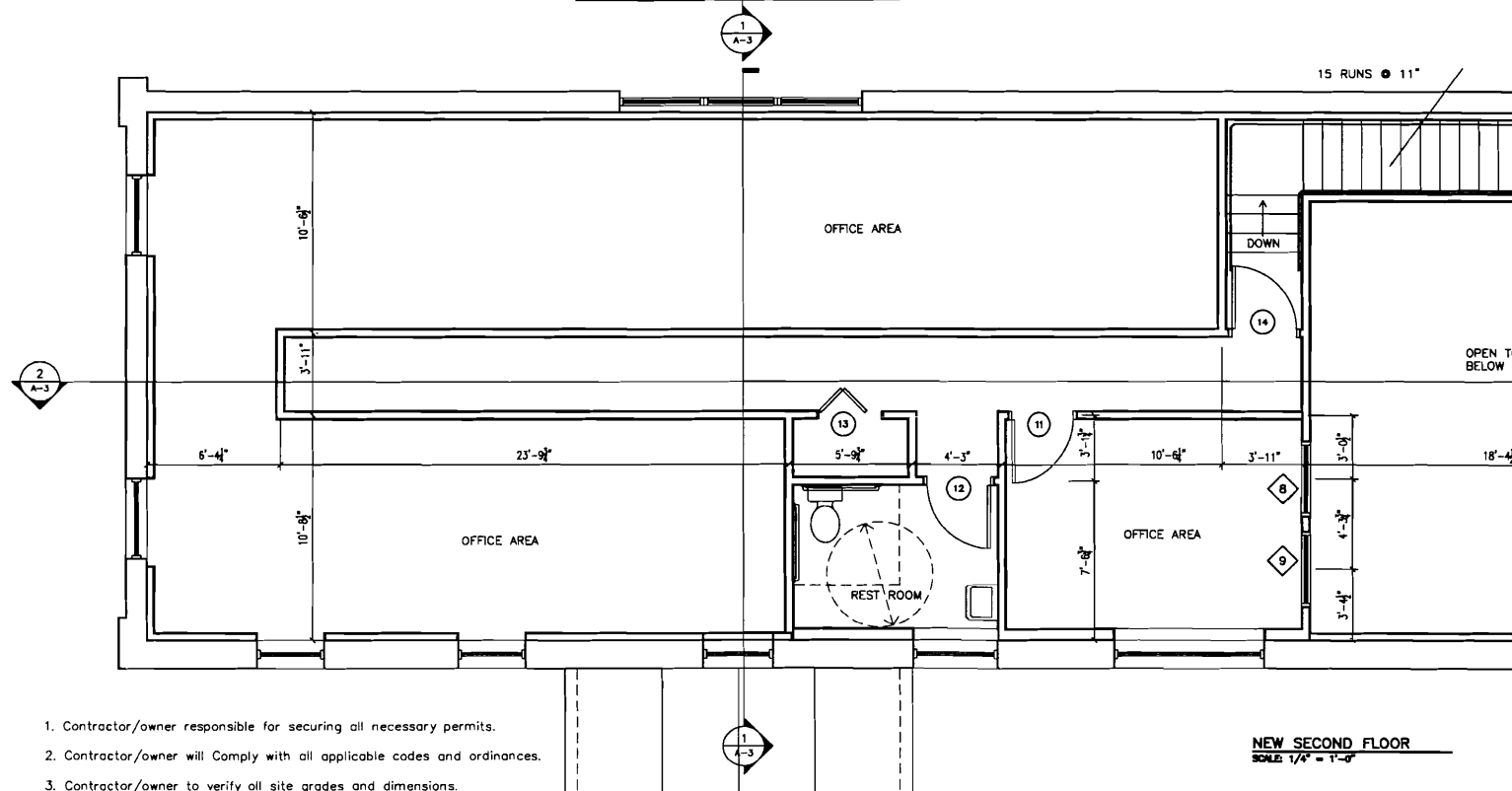
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NOTE:
ALL DIMENSIONS MUST BE FIELD VERIFIED

NEW FIRST FLOOR
SCALE 1/4" = 1'-0"

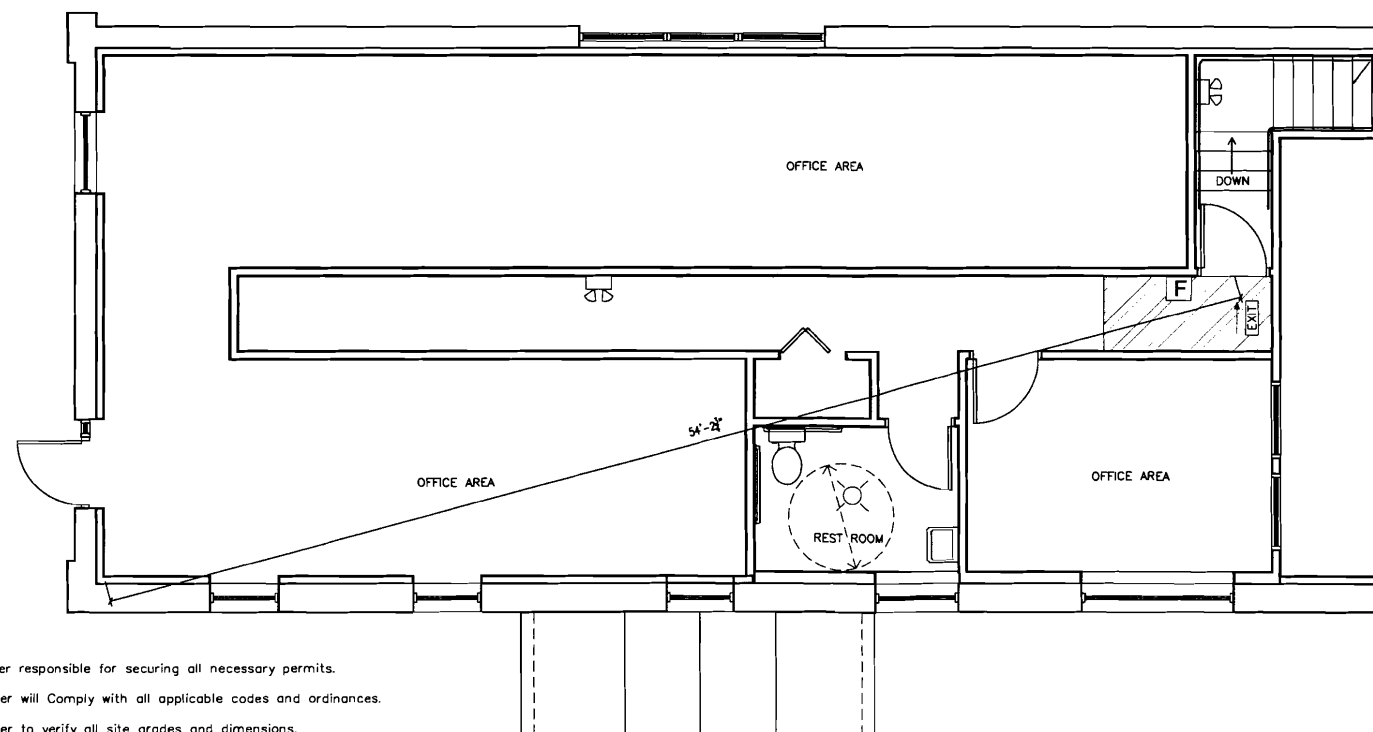
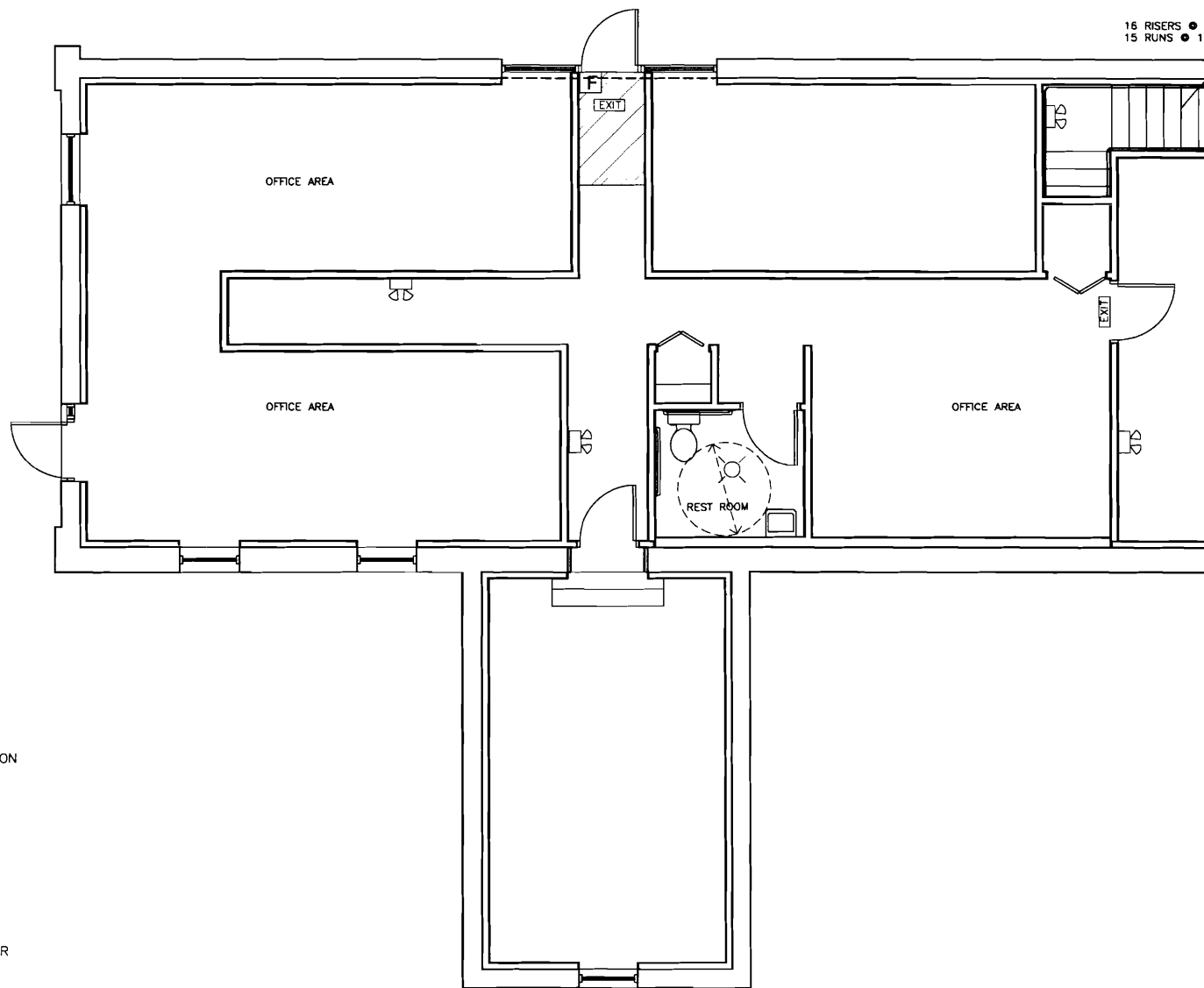


NEW SECOND FLOOR
SCALE 1/4" = 1'-0"

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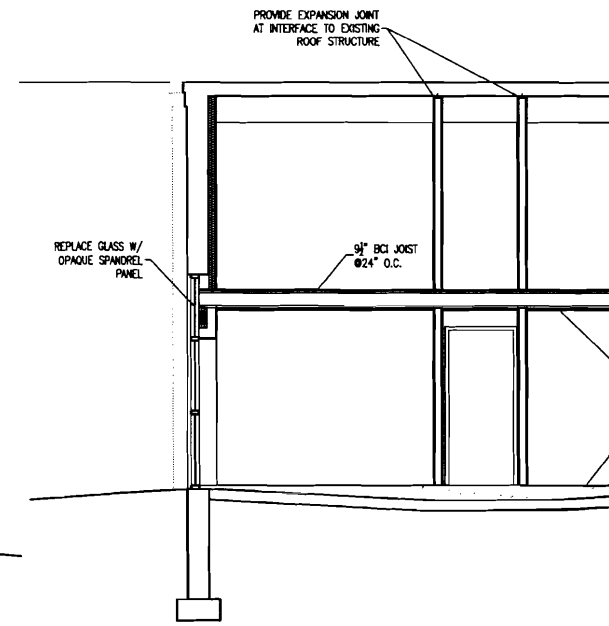
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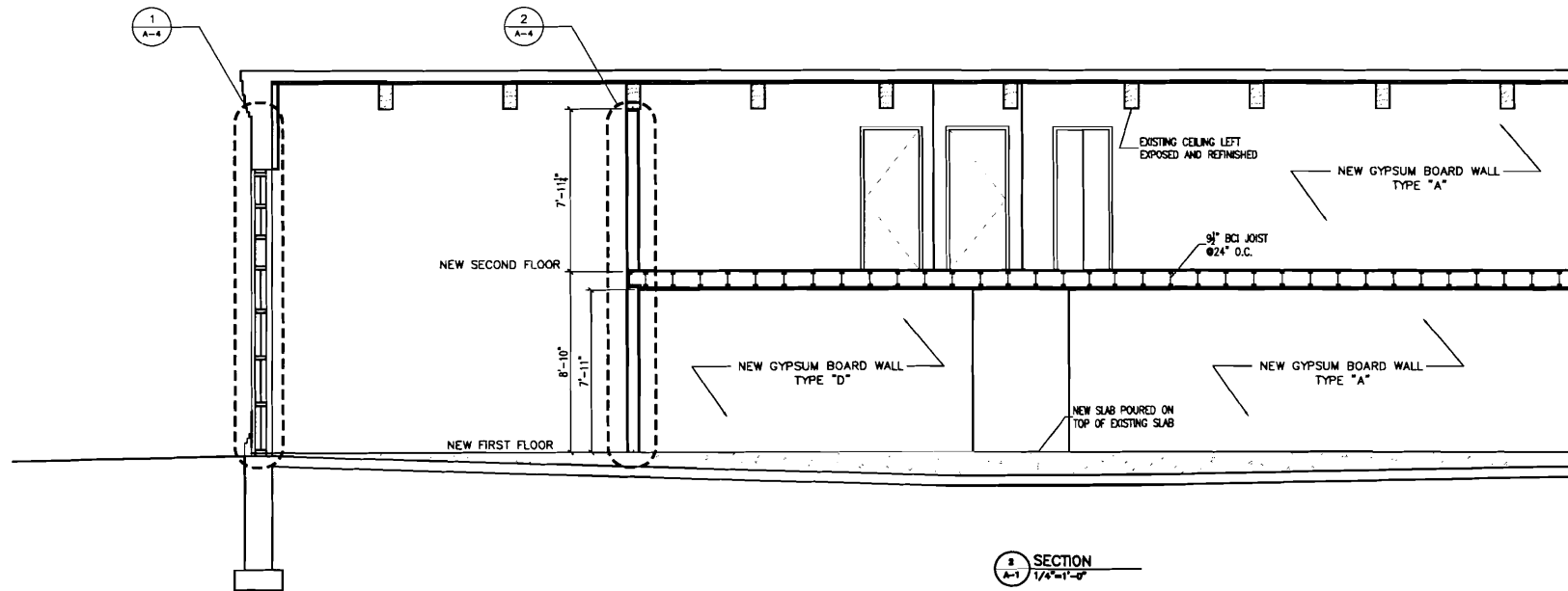


NEW FRONT ELEVATION
1/4"=1'-0"

ANODIZED ALUMINUM
STOREFRONT SYSTEM
ENGINEERED BY STORE
FRONT MANUFACTURER



1 SECTION
1/4"=1'-0"

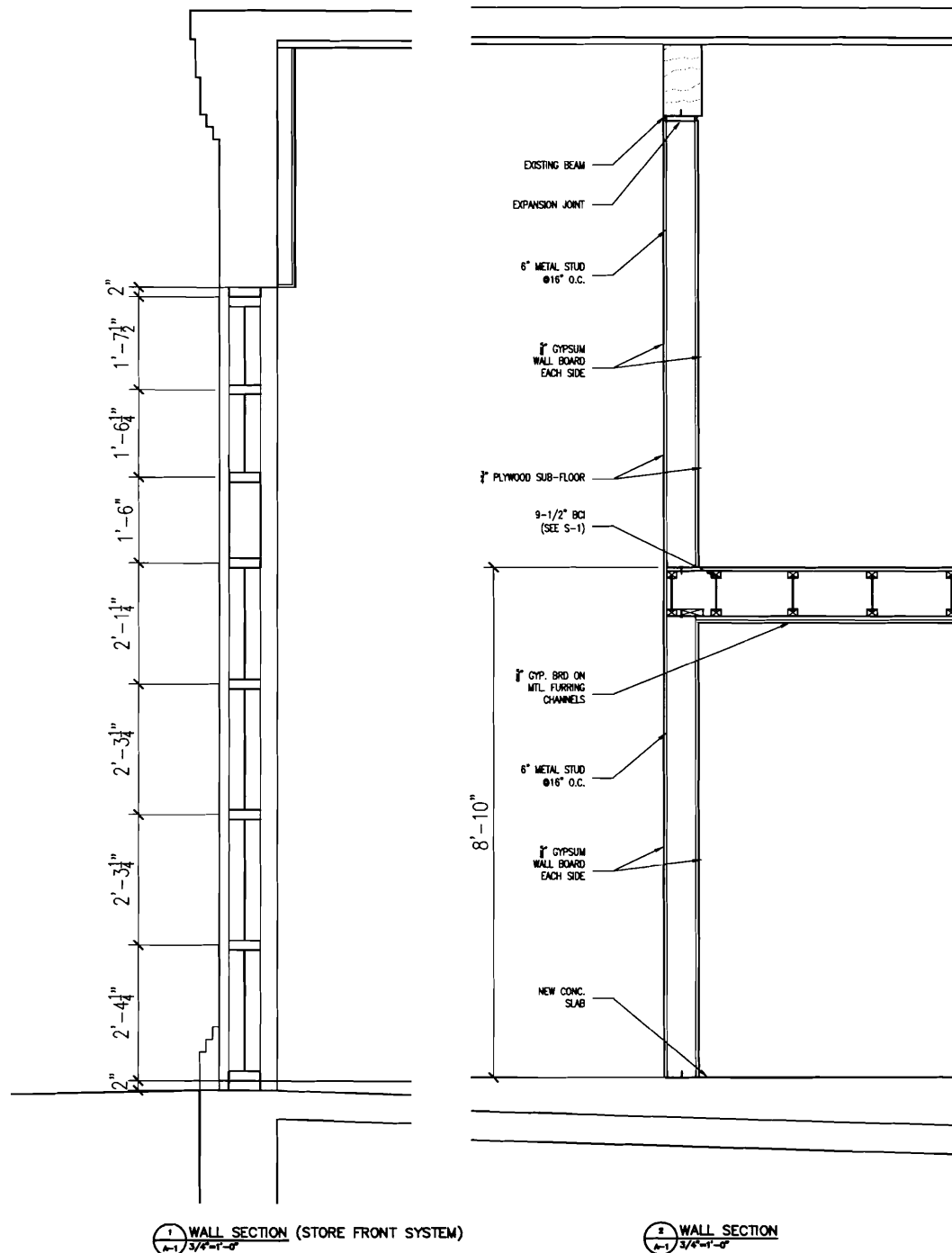


2 SECTION
1/4"=1'-0"

NOTE:

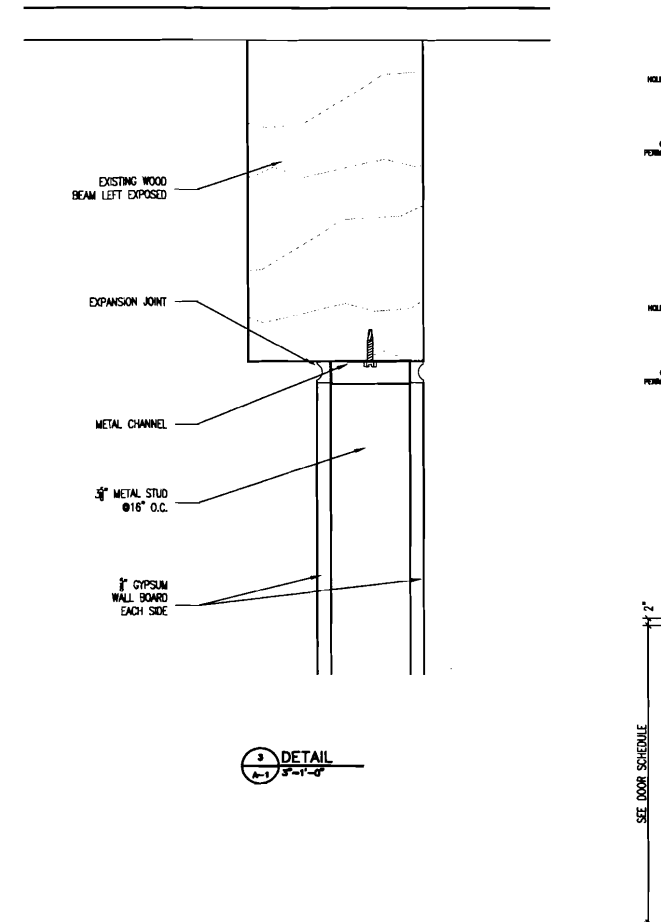
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1 WALL SECTION (STORE FRONT SYSTEM)
A-1 3/8"-1'-0"

2 WALL SECTION
A-1 3/8"-1'-0"



3 DETAIL
A-1 3/8"-1'-0"

SEE DOOR SCHEDULE

DOOR AND FR

MARK	DOOR								
	SIZE			MATL	GLAZING	LOUVER		MATL	EL
	WD	HGT	THK			WD	HGT		
NOT USED	--	--	--	--	--	0	0	--	--
2	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
3	3'-0"	7'-0"	1 3/4"	AL	--	0	0	HM	--
4	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
5	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
6	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
7	2'-8"	7'-0"	1 3/4"	WD	--	0	0	HM	--
8	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
9	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
10	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
11	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
12	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
13	3'-0"	7'-0"	1 3/4"	WD	--	0	0	HM	--
14	3'-0"	7'-0"	1 3/4"	HM	--	0	0	HM	--

SET #001

- 4 Hinges
- 2 Hinges
- 2 Door Pull
- 1 Magnalock
- 2 Closer
- 2 Kickplate
- 2 Wall Stop
- 1 Power Supply
- 2 Touch Sense Bar
- 1 Set Weatherstripping
- 2 Astragal
- 2 Door Bottom

SET #003

- 3 Hinges
- 1 Lockset
- 1 Cylinder
- 1 Closer
- 1 Wall Stop
- 3 Door Silencers

SET #005

- 5 Hinges
- 1 Hinges
- 2 Flush Bolt
- 1 Lockset
- 1 Cylinder
- 1 Electric Strike
- 1 Closer
- 2 Wall Stop
- 1 Dust Proof Strike
- 1 Set Weatherstripping
- 1 Weatherstripping
- 2 Auto Door Bottom
- 1 Threshold

SET #002

- 3 Hinges
- 1 Door Pull
- 1 Closer
- 1 Kickplate
- 1 Push Plate
- 1 Wall Stop
- 3 Door Silencers

SET #004

- 3 Hinges
- 1 Exit Device
- 1 Closer
- 1 Kickplate
- 1 Set Weatherstripping
- 1 Door Bottom
- 1 Threshold

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STRUCTURAL NOTES

DESIGN LOADS (Reference Code: 2006 International Building Code)

Building Live Loads:		
2nd Floor Offices	50	psf
2nd Floor Corridors	80	psf
Partition Allowance	25	psf

GENERAL NOTES

- The Contractor shall verify all dimensions and conditions at the site and report any discrepancies to the Project Engineer.
- All dimensions and elevations noted on structural drawings are to be coordinated by the Contractor with the architectural drawings. Any discrepancies shall be brought to the attention of the Architect before proceeding.
- Scale indicated on drawings is for convenience only. It is not intended that information be determined by scaling the drawing since some items may not be to the scale shown as the result of revisions.

CONCRETE NOTES

- Concrete for leveling of floors shall have a minimum 28 day compressive strength of 3,000 psi.
- Concrete mix shall meet the following criteria:

a. Maximum aggregate size:	3/4" (3/8" if concrete thickness < 1-1/2")
b. Percent air-entrainment (interior Slabs):	0%
c. Maximum slump:	4"
d. Maximum water/cement ratio:	0.50
- Concrete for slabs shall be reinforced with nylon or polypropylene fibers.

STEEL LINTELS

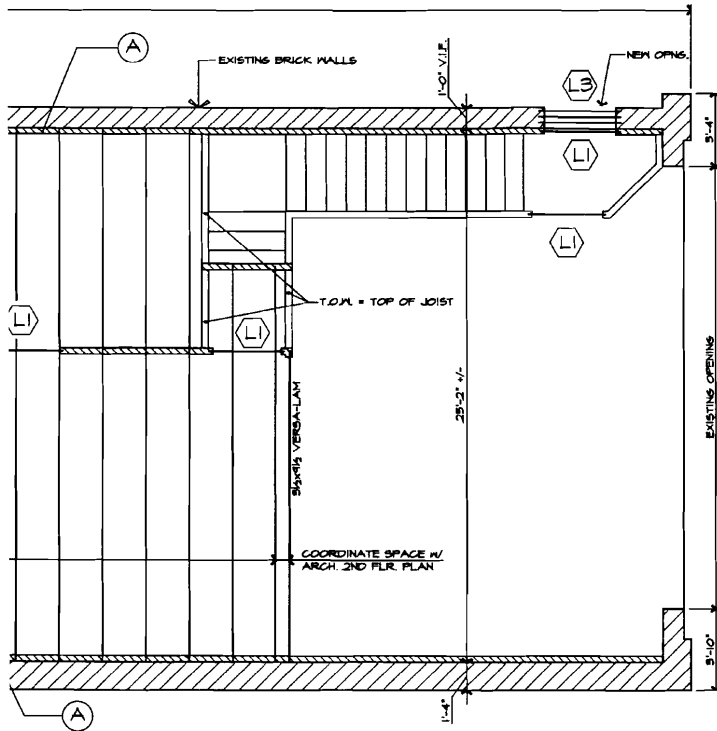
- Lintel angles at new openings in exterior brick walls shall conform to ASTM A36.
- Lintel angles shall be galvanized.
- Lintel angles shall extend a minimum of 6" beyond the jamb of the openings.

CONVENTIONAL WOOD FRAMING

- All wood wall framing shall be No. 2 kiln dried Spruce-Fine-Fir (S-P-F) or equal.
- Studs within bearing walls shall align with the wood I-joists above.
- Continuous lines of 2x4 horizontal blocking, 4'-0" above the floor, shall be provided between studs in load bearing walls studs.
- Use 3/4" tongue and groove plywood with a 48/24 AFA span rating for floor deck. Glue and screw the plywood to floor joists with #10 x 2" screws at 8" o.c.

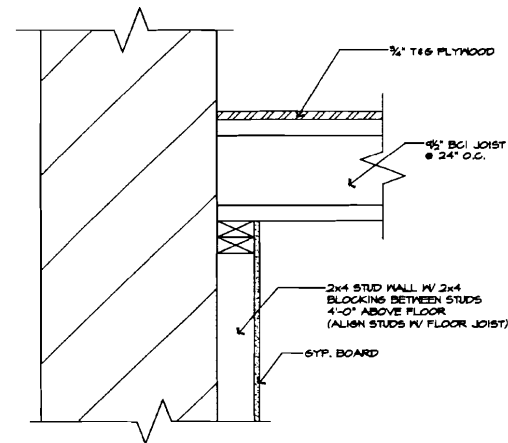
ENGINEERED WOOD BEAMS AND JOISTS

- Wood I-joists and engineered wood beams shall be as manufactured by Boise Cascade or approved equal. Any substitutions must be approved by the Engineer. Member sizes and designations shall be as indicated on the plans.
- Wood I-joists shall be continuous over bearing walls (i.e., full lengths w/o joints)

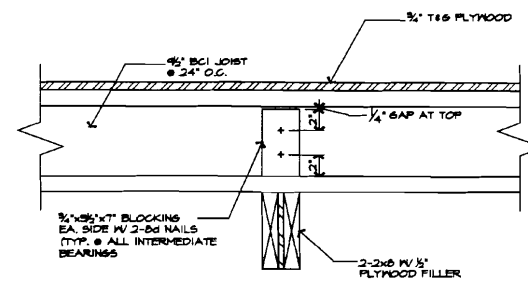


LEGEND

- (A) 2x4 STUDS BELOW @24" O.C., ALIGN W/ FLOOR JOIST
- (L1) 2-2x6 W/ 1/2" PLYWOOD FILLER- TYPICAL UNLESS NOTED
- (L2) 2x4 VERSA-LAM
- (L3) 3- 1" x 4x8x3/8"



SECTION 1
1/2" x 1'-0"



SECTION 2
1/2" x 1'-0"

NO.	DATE	REVISION

1901 BUILDING ALTERATIONS
125 PRESUMPCOT ST.
PORTLAND, MAINE
PROPOSED 2ND FLOOR FRAMING PLAN

OWNER BY	B&C
DESIGN BY	PLL
ISSUE DATE	7-22-08
PROJ. NO.	2008-094



Lincoln/Haney
Engineering Associates, Inc.
6 Federal Street
Brunswick, Maine 04011
Phone: 207-728-1061 Fax: 207-728-2841

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